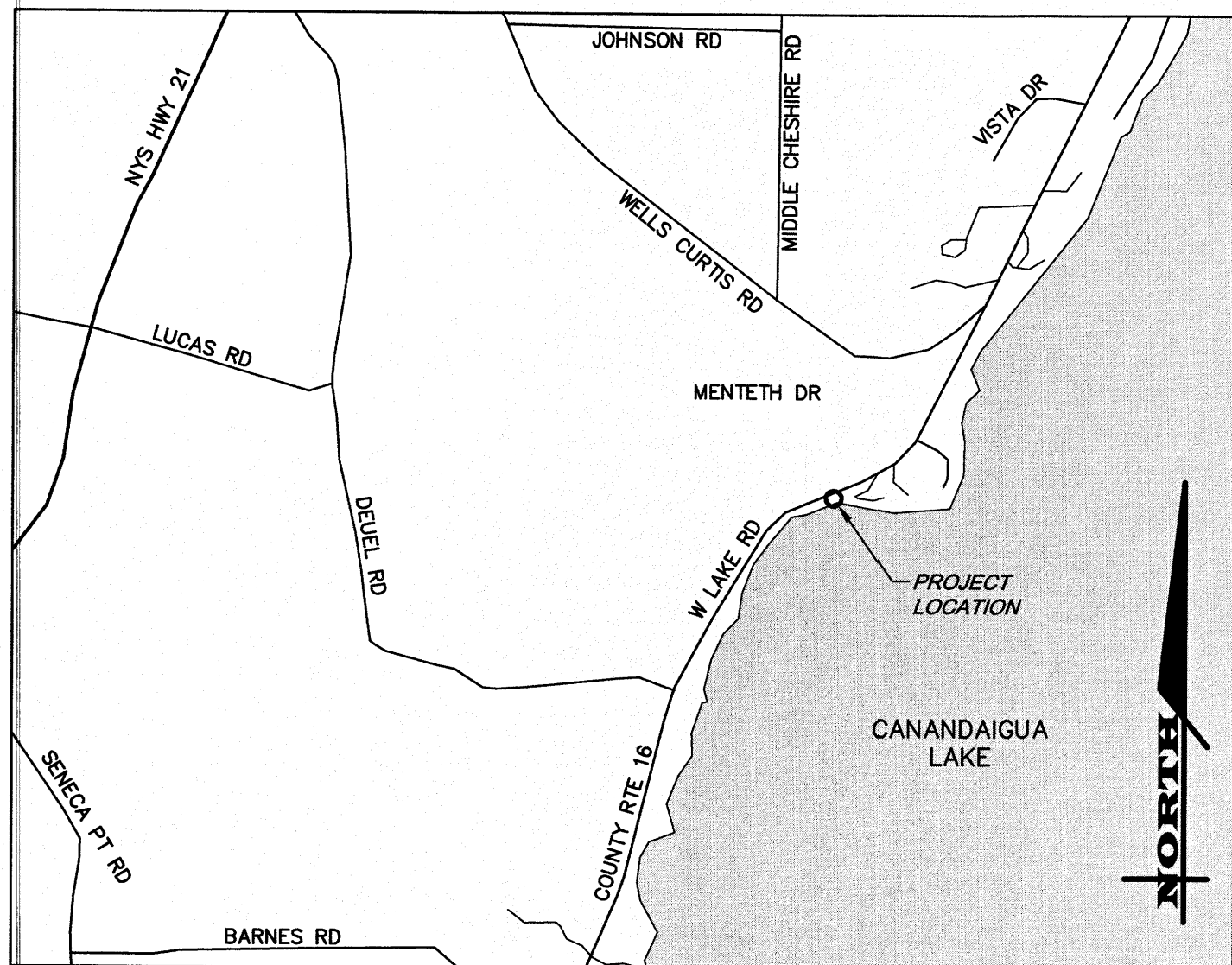


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LOCATION MAP
N.T.S.

SEPTIC SYSTEM NOTES

(1) FIELD TESTS

PERCOLATION TESTS ⁽¹⁾		DEEP HOLE 'D-1' RESULT ⁽²⁾	
Hole Designation	Stabilized Rate (Min.)	Depth (inches)	Description
P-1	21	0-14	Topsoil
P-2	16	14-78	Fine silty sand mixed with clay and organics
		78-90	Tight silty clay
Water seepage and mineral deposits encountered at 78 inches. No bedrock encountered.			

(1) ALL HOLES TESTED AT 12" DEPTH
(2) COMPLETED BY MARATHON ENGINEERING ON 09/18/2015.
THREE PERC TESTS AT 24 INCHES WERE NOT WITHIN ACCEPTABLE RANGE OF VARIATION FOR USE, AND ARE NOT INCLUDED IN THE DATA.

(2) REQUIREMENTS & DESIGN

A. FLOW RATE: 150 GALLONS / BEDROOM. DESIGN FOR A 4-BEDROOM HOUSE. FLOW RATE = 600 GALLONS PER DAY.

B. SOLUTION: SHALLOW TRENCH SYSTEM

STANDARD DESIGN TABLE	
ITEM	QUANTITY
NUMBER OF BEDROOMS	4
DESIGN FLOW RATE: Q=(GPD)	600
SEPTIC TANK SIZE (GALLONS)	1,500
REQUIRED TRENCH LENGTH (FT)**	143 LFT

NOTE:

- ZABEL FILTER ON SEPTIC TANK
- DO NOT INSTALL FLOW LEVELERS - SLOPE DISTRIBUTION LINES AS NOTED ON C1.0 INVERT SCHEDULE.
- DOSING VOLUME = 100 GALLONS

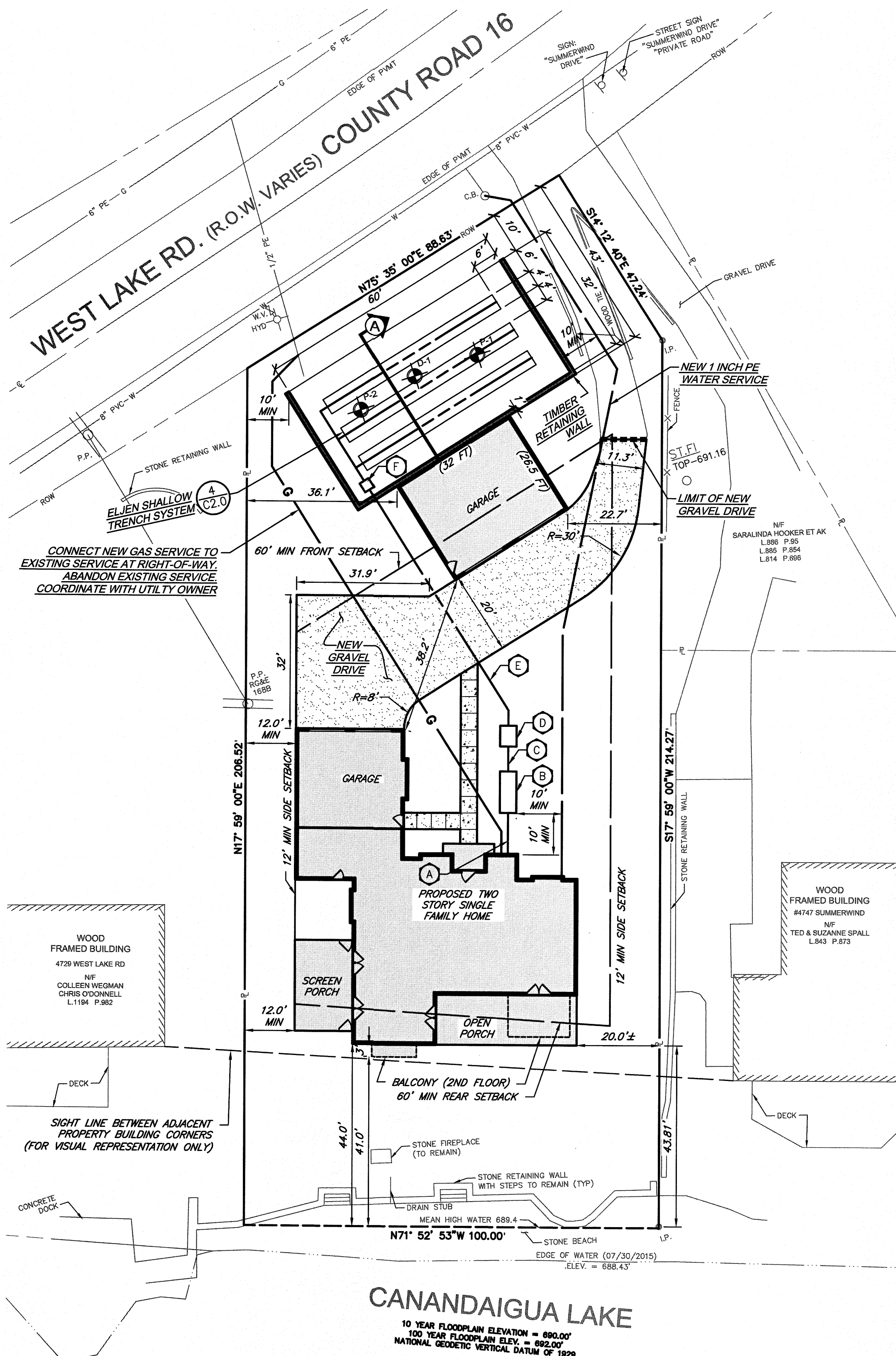
NOTES:

1. SYSTEMS IS DESIGNED TO CONFORM TO THE NEW YORK STATE DEPARTMENT OF PUBLIC HEALTH STANDARDS.
2. THE CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER.
3. RISERS MUST BE USED IF THE TANK IS BURIED DEEPER THAN 12".
4. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. THE PROPOSED ABSORPTION FIELD AREA SHOULD BE STAKED OUT TO PREVENT ENTRY OF VEHICLES AND MATERIALS. IF THIS AREA IS TO BE DISTURBED, NEW PERCOLATION TESTS MAY BE REQUIRED AND SEPTIC SYSTEM APPROVAL MAY BE REVOKED.
6. TIGHT JOINTS MUST BE USED FOR SEPTIC TANK INFLUENT AND EFFLUENT PIPE.

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
		SIGN
		LIGHT POLE
		POWER POLE
		GAS MAIN & VALVE
		ELECTRIC CONDUIT & STRUCTURE
		TELEPHONE CONDUIT & STRUCTURE
		CENTERLINE AND STATIONING
		RIGHT-OF-WAY OR PROPERTY LINE
		CURB
		FENCE (DESCRIPTION)
		SANITARY SEWER WITH MANHOLE
		STORM SEWER, MANHOLE & FIELD/DROP INLET
		WATER MAIN WITH HYDRANT & GATE VALVE
		CENTERLINE OF SWALE
		CONTOUR
		DRAINAGE FLOW ARROW
		SPOT ELEVATION
		TREE LINE
		TREE PROTECTION
		100 YR FLOODPLAIN BOUNDARY**

* EXISTING 100 YR FLOODPLAIN ELEVATION DRAWN ON BASED ON THE FEMA 100 YEAR FLOODPLAIN ELEVATION FOR CANANDAIGUA LAKE (892.00'). THE MAJORITY OF THE PROJECT SITE IS LOCATED WITHIN "ZONE A: NO BASE FLOOD ELEVATIONS DETERMINED." WITH A SMALL PORTION NEAR THE ROAD BEING LOCATED IN "ZONE X: AREA OUTSIDE OF THE 500 YEAR FLOOD PLAIN." REFER TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 360598 0025 C, MAP DATED MARCH 3, 1997.



1 LAYOUT & UTILITY PLAN
SCALE: 1"=20'

SEPTIC SYSTEM INVERT SCHEDULE

AT HOUSE	SEPTIC TANK	DISTRIBUTION BOX	INVERTS
889.0	IN 888.8 OUT 888.6	#1 891.6 #2 891.4	#1-3 891.3 #4 891.0

DEMOLITION LEGEND

- 1 DEMOLISH EXISTING HOME
- 2 DEMOLISH EXISTING STRUCTURE
- 3 REMOVE BRICK WALKWAY
- 4 ABANDON/REMOVE EXISTING SEPTIC SYSTEM: PUMP OUT SEPTIC TANK, THEN REMOVE SEPTIC COVER, FOR TANK LOCATED UNDER PROPOSED HOME, REMOVE ENTIRELY. FOR TANK LOCATED WITHIN LAWN AREA, INSERT HOLES INTO TANK BOTTOM, AND FILL TO GRADE WITH SAND. REMOVE DISTRIBUTION BOXES AND PLUG ALL LINES WITH CONCRETE. REMOVE ALL LEACH LINES UNDER PROPOSED HOME- ALL OTHER LEACH LINES MAY BE ABANDONED IN PLACE.
- X REMOVE TREE/VEGETATION

CONSTRUCTION LEGEND

- A 4" SCHEDULE 40 PVC SANITARY LATERAL
 - B CONCRETE SEPTIC TANK WITH ZABEL FILTER*
 - C 4" SCHEDULE 40 PVC SANITARY LATERAL
 - D 750 GALLON CONCRETE PUMP TANK WITH VENT PIPE TO BE TIED INTO HOME EXHAUST SYSTEM. DOSING VOLUME SHALL BE 100 GALLONS. SINGLE PUMP WITH HIGH WATER ALARM.*
 - E 2" SCHEDULE 40 PVC SANITARY FORCE MAIN
 - F DISTRIBUTION BOX
 - G CENTERLINE OF ELJEN UNIT (SEE DETAIL)
 - H NEW STRUCTURE
 - I NEW GRAVEL
- *CONTRACTOR SHALL SUBMIT PUMP TANK AND SEPTIC TANK CUT SHEETS TO ENGINEER FOR APPROVAL

PROJECT STATISTICS

1. GENERAL:
 - 1.1 PROPERTY ADDRESS - 4727 COUNTY ROAD 16 CANANDAIGUA, NY 14424
 - 1.2 TAX ACCOUNT - 140114-30
 - 1.3 PARCEL AREA - 23,130 SQ. FT. (531 AC)
2. OWNER INFORMATION:
 - 2.1 PROPERTY OWNER - EDWARD & PATRICIA BREWER
 - 2.2 MAILING ADDRESS - 78 TREVOR COURT ROAD ROCHESTER, NY 14610
3. ZONING REGULATIONS:
 - 3.1 ZONING DISTRICT - RLD (RESIDENTIAL LAKE)
 - 3.2 ZONING REQUIREMENTS -

SETBACK/ZONING REQUIREMENTS			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN FRONT SETBACK (FT)	60	81.6	79
MIN REAR (LAKE) SETBACK (FT)	60	40.6	41*
MIN SIDE SETBACK (FT)	12	26.6	12
MAX BUILDING HEIGHT (FT)	25	23	29*
MIN SIDE SETBACK (FT)	12	20.6	22
MIN FRONT SETBACK (FT)	60	32.75	43*
MAX GARAGE HEIGHT (FT)	16	15.4	18.5*
MAX BLDG LOT COVERAGE PERCENTAGE (%)	15	14	19*
MAX LOT COVERAGE PERCENTAGE (%)	25	34	33*
MAX GARAGE SIZE (SQ. FT)	900	848	848

*VARIANCES ARE BEING REQUESTED

2 EXISTING FEATURES & DEMOLITION PLAN
SCALE: 1"=20'

3.3 VARIANCES BEING REQUESTED:

ITEM:	REQUIRED	EXISTING	PROPOSED (RELIEF)
A. MAX BUILDING HEIGHT -	25	23	29' (4')
B. MIN REAR (LAKE) SETBACK -	60	40.6	41' (19')
C. MIN FRONT SETBACK (GARAGE) -	60	32.75	43' (17')
D. MAX GARAGE HEIGHT -	16	15.4	18.5 (3.5)
E. MAX BUILDING LOT COVERAGE -	15%	14%	19% (4%)
F. MAX LOT COVERAGE -	25%	34%	33% (8%)

4. REFERENCES:

4.1 BOUNDARY SURVEY - BOUNDARY INFORMATION WAS TAKEN FROM PLAN OF THE LAND OF EDWARD N. & PATRICIA R. BREWER 4727 COUNTY ROAD 16 TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK PREPARED BY DAVID M. PARRINELLO DATED 09/24/2010 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.

4.2 ARCHITECTURAL DRAWINGS - THE BUILDING FOOTPRINTS, (NOT DATED), WERE PROVIDED ON 12/08/2015, BY ARCHITECTURAL INNOVATIONS, P.C. DISCREPANCIES WITH BUILDINGS), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.

APPROVED BY:

TOWN ENGINEER

DATE:

APPROVED BY:

PLANNING BOARD CHAIRPERSON

DATE:

APPROVED BY:

HIGHWAY & WATER SUPERINTENDENT

DATE:

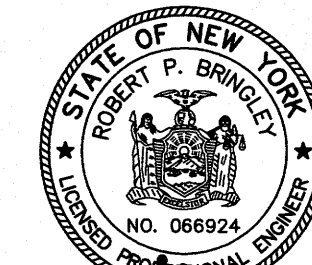
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PRELIMINARY/FINAL SITE PLANS
EDWARD & PATRICIA BREWER
4727 WEST LAKE ROAD
TOWN OF CANANDAIGUA
ONTARIO COUNTY
NEW YORK

JOB NO: 0674-15
SCALE: AS SHOWN
DRAWN: DAM
DESIGNED: RPB
DATE: 12/09/2015

REVISIONS
DATE BY REVISION
12/15/15 DAM DRC COMMENTS

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ROBERT P. BRINGLEY

DRAWING TITLE:
LAYOUT, UTILITY,
GRADING & EROSION
CONTROL PLANS

1 of 2
SHEET No: C1.0
0674-15
JOB No: DRAWING No:

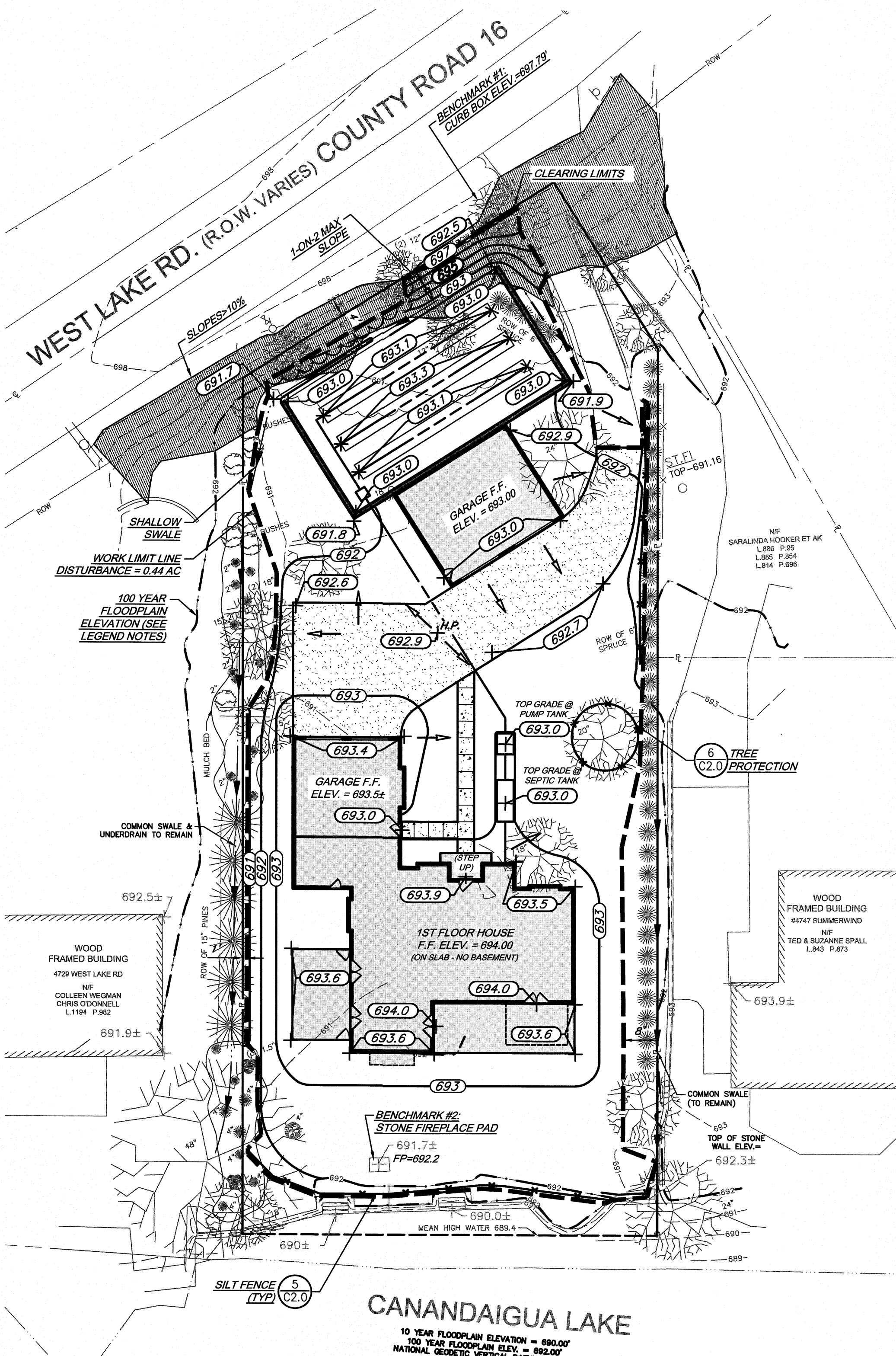
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GENERAL NOTES

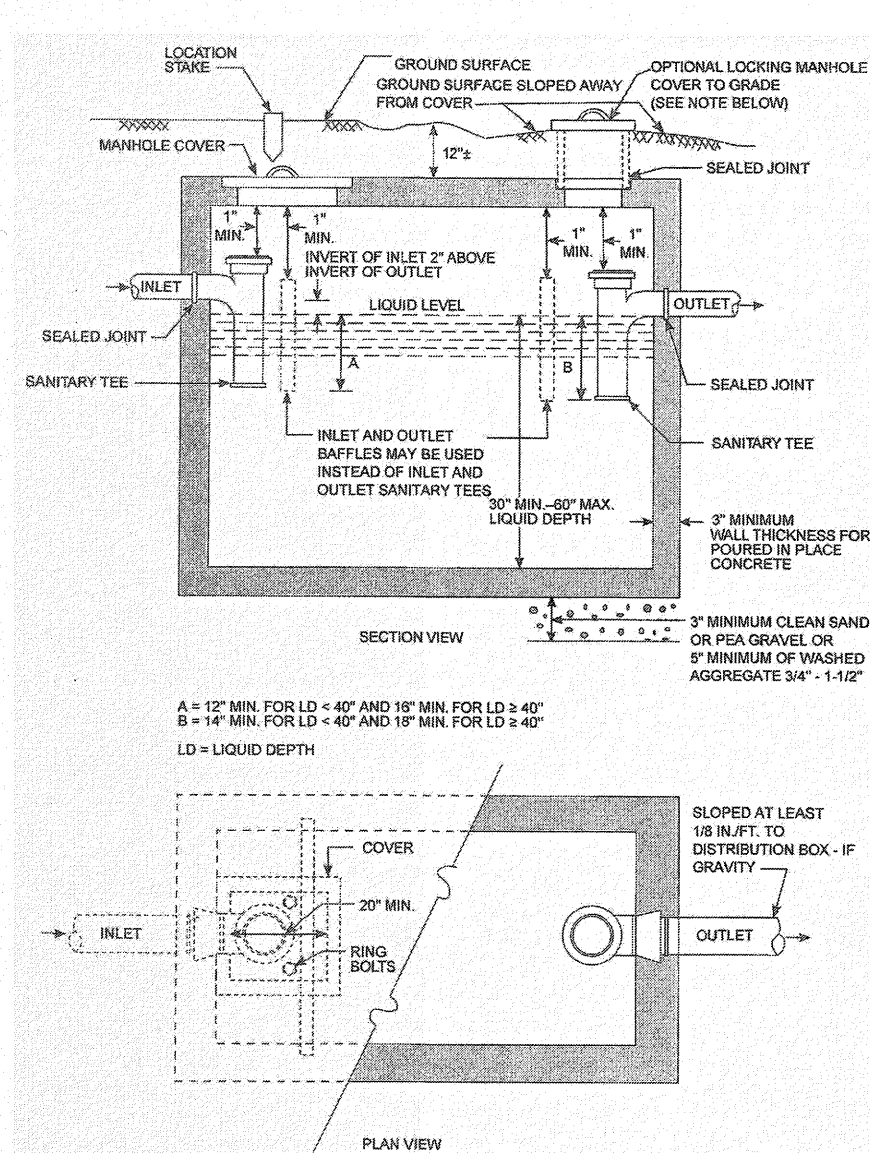
- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES.
- STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- DOWNSPOUTS** - ROOF DOWNSPOUTS SHALL BE TIED INTO EXISTING UNDERGROUND PIPING WHICH RECHARGES TO GROUND. CONTRACTOR TO FIELD DETERMINE CONNECTIONS.

EROSION CONTROL & RESTORATION NOTES

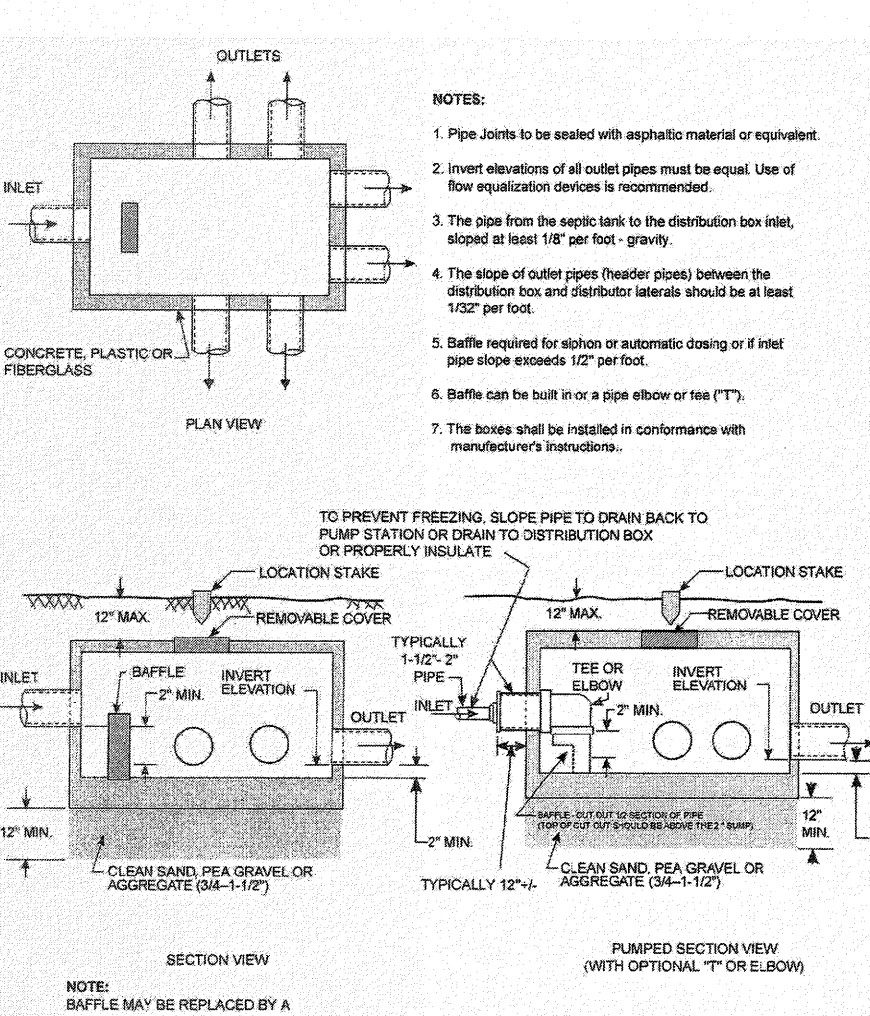
- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDOCS REGULATIONS. PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRAD TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- SEED** - LAWN AREAS SHALL BE SEEDED WITH AN APPROVED, SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION; THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS (IF APPLICABLE).
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.



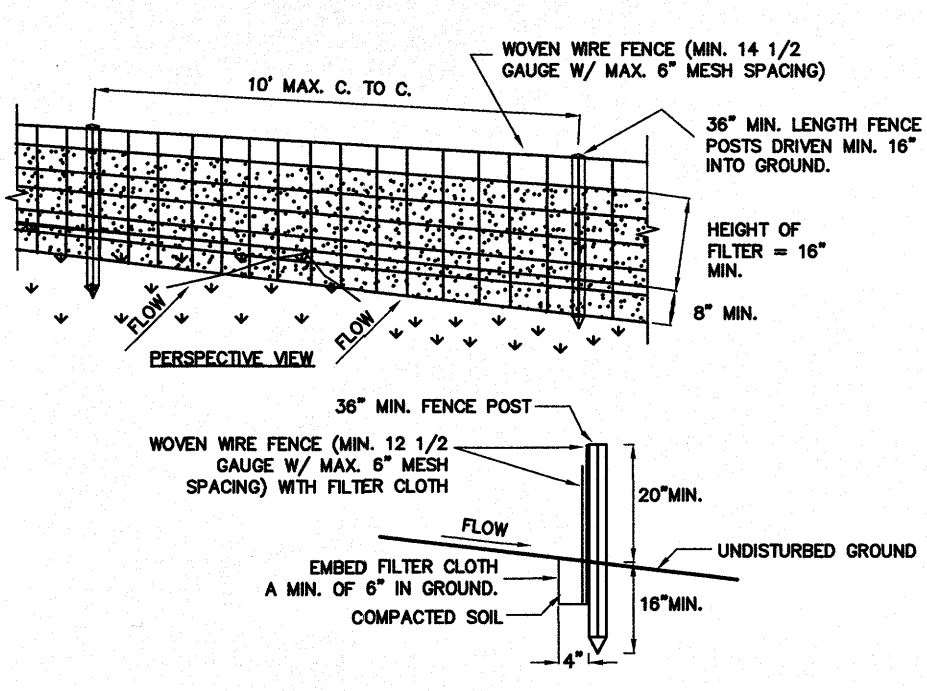
1 GRADING & EROSION CONTROL PLAN
SCALE: 1"=20'



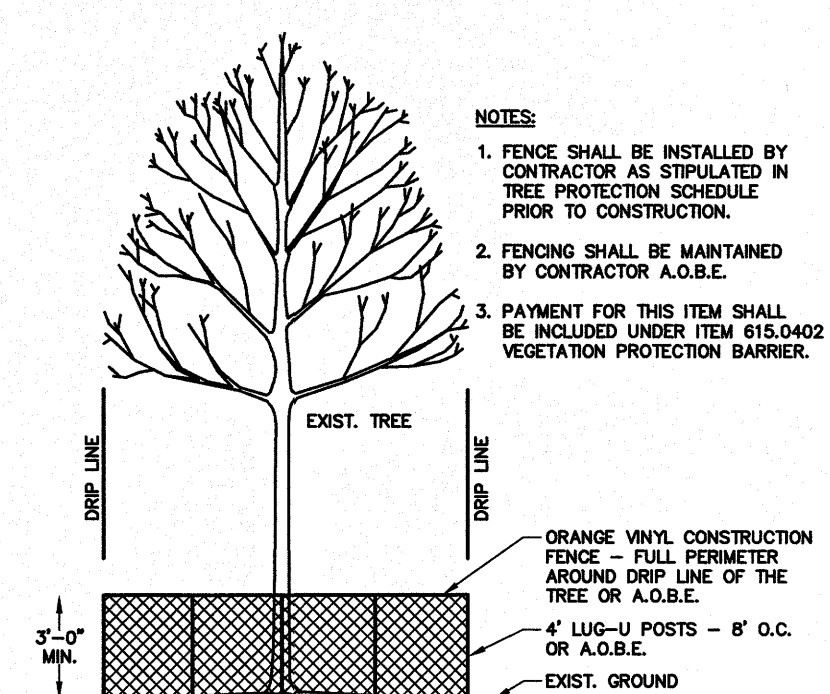
2 TYPICAL SEPTIC TANK
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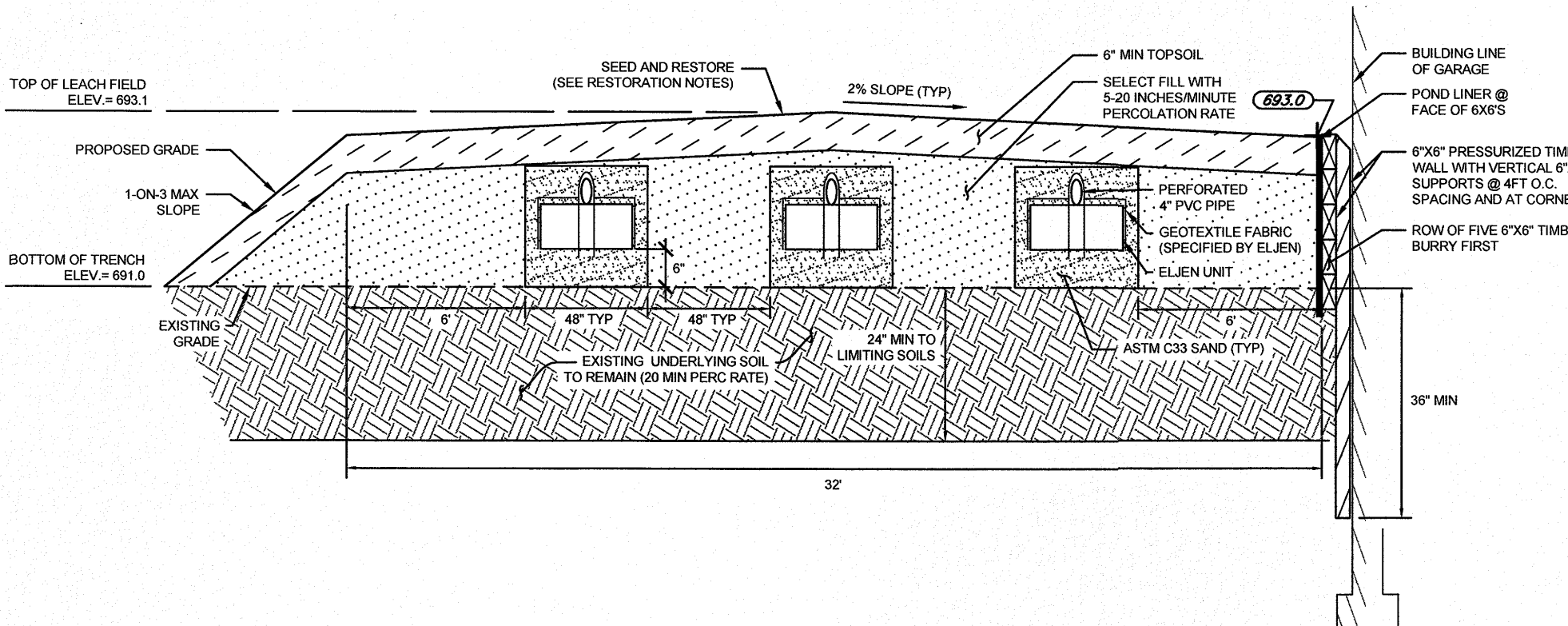
3 DISTRIBUTION BOX DETAIL
SCALE: N.T.S.



5 SILT FENCE
SCALE: N.T.S.



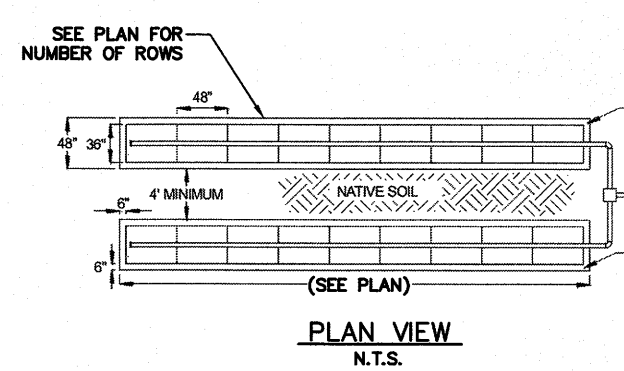
6 TREE PROTECTION



SECTION A: SHALLOW TRENCH AND TIMBER WALL SECTION

HORIZONTAL SCALE: 1"=5'

VERTICAL SCALE: 1"=2'



4 SHALLOW TRENCH SYSTEM (ELJEN UNITS) & TIMBER WALL
SCALE: AS SHOWN

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DATE	BY	REVISION
12/15/15	DAM	DRC COMMENTS

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DRAWING TITLE:
NOTES AND
DETAILS

2 of 2
SHEET NO: C2.0
0674-15
JOB NO: DRAWING NO:

APPROVED BY:	APPROVED BY:	APPROVED BY:
PLANNING BOARD CHAIRPERSON	HIGHWAY & WATER SUPERINTENDENT	TOWN ENGINEER
DATE:	DATE:	DATE: