

Canandaigua Town Board
Meeting Agenda
October 29, 2020
5:00pm – Zoom Meeting ID: 860 4370 2537
Join Zoom Meeting: <https://us02web.zoom.us/j/86043702537>
Dial by your location: +1 646 558 8656 US (New York)

- Call To Order and Pledge of Allegiance
 - Pledge led by Town Supervisor, Cathy Menikotz
- Roll Call
 - Town Clerk Confirmation meeting was properly advertised
- Circulation of Written Communications – Attachment #1
 - Email, Resident, Transfer Ownership of Onanda Park, October 9, 2020
 - Email, Resident, Transfer Ownership of Onanda Park, October 9, 2020
 - Email, Town Manager, Transfer Ownership of Onanda Park, October 8, 2020
 - Email, Town Manager, Squaw Island Name Change, September 29, 2020
 - Email, Resident, Squaw Island Name Change, September 23, 2020
 - Email, Resident, Noise Complaint, September 22, 2020
 - Email, Highway Superintendent, Cheshire Sidewalks, September 21, 2020
 - Newsletter, The Inside Dirt, Cornell Cooperative Extension, Volume 18, Issue 9, October 2020
 - Newsletter, The Chronicles, Ontario County Historical Society Museum and Research Center, Volume 49, Issue 3, September 2020
 - Newsletter, Ontario Pathways, Fall 2020
 - Newsletter, Budding Readers Update
- Privilege of the Floor
- Priority Business
- Presentations
- Public Hearings
 - None
- Continued Public Hearings:*
 - None
- New Public Hearings:*
 - None
- Reports of Town Officials and Department Heads – Attachment #2
 - A. Highway / Water Superintendent
 - B. Assessor
 - C. Historian
 - D. Town Clerk
 - E. Planner
 - F. Town Manager
 - G. Supervisor / Deputy Supervisor
 - 1. Monthly Financial Reports for September 2020

- a. Revenue & Expense Report and Cash Summary Report
- b. Overtime Report – All Departments
- c. Overtime Report – Highway & Water

- Reports of Committees, Boards and Commissions
 - A. Town Board Committees (as needed)
 - a. Finance – Councilwoman Dworaczyk
 - b. Planning – Councilman Fennelly
 - c. Environmental – Councilman Simpson
 - d. Ordinance – Councilman Davis – Attachment #3
 - B. Planning Board, Chairman Oyler
 - C. Zoning Board of Appeals, Chairman Robinson
 - D. Environmental Conservation Board, Chairwoman Marthaller
 - E. Citizens' Implementation Committee, Chairwoman Reynolds
 - F. Parks & Recreation Committee, Chairman MacNeil
 - G. Special Events Committee, Chairwoman Fuller
 - H. Agriculture Committee, Chairman DiCarlo
 - I. Drainage Committee, Chairman Oyler

- Privilege of the Floor

- Resolutions

Continued Resolutions:

New Resolutions:

FINANCE

- Resolution No. 2020 – 215: Acceptance of the Monthly Financial Reports
- Resolution No. 2020 – 216: Budget Transfer for Assessor Wages
- Resolution No. 2020 – 217: 2021 Dental Care Program Selection
- Resolution No. 2020 – 218: Authorize IT Professional Services Agreement with Integrated Systems and Budget Adjustment
- Resolution No. 2020 – 219: Authorization for Town Clerk to Surplus Items in Accordance with the Fixed Asset Inventory and Management Policy

PLANNING

- Resolution No. 2020 – 220: Reimbursement for Incorrect Water Bills
- Resolution No. 2020 – 221: Request for NYS DOT to Conduct a Speed Study Buffalo Street Extension Between Conifer Drive and Boundary with City of Canandaigua
- Resolution No. 2020 – 222: Approval of Engineer's Report for Cramer Road Water Extension and Authorization of MRB Proposal for Professional Services

ENVIRONMENTAL

- None

ORDINANCE

- Resolution No. 2020 – 223: Setting a Public Hearing on a Text Code Amendment to Town Code Regarding the Regulation of Off-Street Parking; and SEQR Intent to Declare Lead Agency
- Resolution No. 2020 – 224: Setting a Public Hearing for the Draft Natural Resources Inventory Update and Related Local Law Update and SEQR Intent to Declare Lead Agency
- Resolution No. 2020 – 225: Setting a Public Hearing on a Text Code Amendment to Town Code Chapter 220 that Regulate the Use of Short Term Rental Units; and SEQR Intent to Declare Lead Agency

ECONOMIC DEVELOPMENT/GENERAL

- Resolution No. 2020 – 226: Thanking NY State Assemblyman Brian Kolb and NY State Senator Pam Helming for their Assistance with Legislation Enabling the Transfer of Ownership of Onanda Park from the NY DEC to the Town of Canandaigua
- Resolution No. 2020 – 227: Authorizing Town Manager to Execute Documents Necessary to Transfer Ownership of the Lakeside Portion of Onanda Park from the NY State DEC to the Town of Canandaigua
- Resolution No. 2020 – 228: Authorization for Town Manager to Enter into an Option to Purchase Land for the Purposes of Town Park/Public Access to Lake
- Resolution No. 2020 – 229: Setting the Town of Canandaigua Town Board's 2021 Organizational Meeting
- Resolution No. 2020 – 230: Establishing the Standard Work Day for Retirement Purposes
- Resolution No. 2020 – 231: Soil Erosion and Sediment Control Surety for 5945 Knapp Road
- Resolution No. 2020 – 232: Soil Erosion and Sediment Control Surety for 3630 Lake Breeze Way (Tax Map #97.04-2-101.000)
- Resolution No. 2020 – 233: Soil Erosion and Sediment Control Surety for 3312 Fallbrook Park (Tax Map #98.11-1-6.000)
- Resolution No. 2020 – 234: Grading and Soil Erosion and Sediment Control Surety for Fox Ridge Phase 5B-1
- Resolution No. 2020 – 235: Authorization for Town of Canandaigua Town Manager to Sign Stormwater Control Facilities Maintenance Agreement for CGA CR10 LLC (Creekview Apartments at Woodland Park Phase 1)
- Resolution No. 2020 – 236: Authorization for Town of Canandaigua Town Manager to Sign Stormwater Control Facilities Maintenance Agreement for Creekview Apartments Housing Development Fund Corp (Creekview Apartments at Woodland Park Phase 1)

RESOLUTION NO. 2020 – 215: ACCEPTANCE OF THE MONTHLY FINANCIAL REPORTS

WHEREAS, the Town Board is responsible for the general oversight of the Town's operations and finances; and

WHEREAS, the Town Supervisor, as Chief Financial Officer, is responsible for providing financial reports to the Town Board; and

WHEREAS, the Town Supervisor has provided the Town Board with hard copies and electronic copies of the September 2020 Monthly Revenue/Expense Control Report, the Highway/Water Department Overtime Report and All Department Overtime Report; and

NOW THEREFORE BE IT RESOLVED, the Canandaigua Town Board hereby confirms receipt and acceptance of these items.

RESOLUTION NO. 2020 – 216: BUDGET TRANSFER FOR ASSESSOR WAGES

WHEREAS, the Town Manager and Human Resources and Payroll Coordinator have identified a need to make a budget adjustment in the Assessor's wage budget line due to vacation buyout being paid to previous Town Assessor upon end of service; and

WHEREAS, the Town Manager and Human Resources and Payroll Coordinator have identified the following budget transfer amounts and lines to correct the Assessor's line:

Increase:	AA100.1355.120.00000 (Assessor)	\$9,120.00
Decrease:	AA100.1990.400.00000 (Contingency)	\$9,120.00

NOW, THEREFORE BE IT RESOLVED, that the Town Board of the Town of Canandaigua directs the Finance Clerk and Town Manager to make the following budget transfer to adjust the 2020 adopted Town budget; and

BE IT FURTHER RESOLVED, the Town Clerk is directed to provide a copy of this resolution to the Finance Clerk and Town Manager.

RESOLUTION NO. 2020 – 217: 2021 DENTAL CARE PROGRAM SELECTION

WHEREAS, the Town has received the dental plan rates for 2021 and is recommending continuing the same plan and cost share with eligible employees (as defined by the Employee Handbook); and

WHEREAS, the cost share includes eligible employees subscribing to the plan shall continue to contribute 25% of the total plan cost; and

WHEREAS, there has been no change in the monthly dental premiums from 2020; and

NOW THEREFORE BE IT RESOLVED, that the Town Board hereby approves of contracting with Matson and Kellogg for the Excellus Dental Plan DBOC-1; and approves of eligible employees contributing 25% of the total plan cost.

RESOLUTION NO. 2020 – 218: AUTHORIZE IT PROFESSIONAL SERVICES AGREEMENT WITH INTEGRATED SYSTEMS AND BUDGET ADJUSTMENT

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as "Town Board") has regularly authorized Professional Service Agreements with Integrated Systems to provide 100 contract hours of IT service for \$7,500.00; and

WHEREAS, due to recent events, the Town's need for IT service has increased significantly; and

WHEREAS, the Town Board authorized the purchase of 100 contract hours by motion at the October 19, 2020 Town Board Meeting; and

WHEREAS, the Town Board wishes to purchase another 100 hours of IT service from Integrated Systems to guarantee continuous service during this time of need; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby approves the purchase of 100 additional contract hours for \$7,500.00 and authorizes the Town Manager to execute the Professional Services Agreement with Integrated Systems; and

BE IT FURTHER RESOLVED, the Town Manager and Finance Clerk are directed to make the following budget adjustment to the 2020 Adopted Town Budget:

DECREASE	AA100.1990.400 (Contingency)	\$ 15,000.00
INCREASE	AA100.1680.400 (Data Processing)	\$ 15,000.00

BE IT FINALLY RESOLVED, the Town Clerk shall provide a copy of this resolution to the Town Manager and Finance Clerk.

RESOLUTION NO. 2020 – 219: AUTHORIZATION FOR TOWN CLERK TO SURPLUS ITEMS IN ACCORDANCE WITH THE FIXED ASSET INVENTORY AND MANAGEMENT POLICY

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as ‘Town Board’) on August 17, 2020 adopted a new Fixed Asset Inventory and Management Policy; and

WHEREAS, in accordance with the Fixed Asset Inventory and Management Policy the Town Clerk would like to surplus these items:

Lenovo computers (Asset #'s 1953, 1995, 2238, 2042, 2064 & 2074)
Computer Monitors (Asset # 's 2127, 1579, 1582, 2247 & 2041)
Toshiba copiers (Asset #'s 2151 & 2149)
Canon printer (Asset # 2244)
as they have met their useful life; and

NOW THEREFORE BE IT RESOLVED, the Town Board has declared these items presented as surplus and authorizes the Town Clerk to dispose of these items and is directed to update the Town's inventory records accordingly.

RESOLUTION NO. 2020 – 220: REIMBURSEMENT FOR INCORRECT WATER BILLS

WHEREAS, the Water Superintendent of the Town of Canandaigua was informed by one of the Water Operators that an incorrect water meter register was installed at 4828 County Road 16; and

WHEREAS, the Water Superintendent determined that the incorrect water meter register was installed in 2013, but the current owners have owned the property since September 2015; and

WHEREAS, the Water Superintendent has calculated the correct usage consumed since 2015 by the property owner was 304,000 gallons and the property owner was invoiced for 1,497,000 gallons for a difference of 1,193,000 gallons that was over billed for; and

WHEREAS, the Water Superintendent is now requesting that the Town Board reimburse the property owner for \$4,918.31 of overpaid water bills; and

NOW THEREFORE BE IT RESOLVED, the Town Board hereby directs the Town Manager to reimburse the property owner of 4828 County Road 16 in the amount of \$4,918.31 from budget line SW500.8320.420 Water Purchases of the 2020 Town budget; and

BE IT FURTHER RESOLVED, the Town Manager is directed to make a budget adjustment by increasing water purchases SW500.8320.420 by \$4,918.31 and decreasing water contingency SW500.1990.400; and

BE IT FINALLY RESOLVED, the Town Board directs the Town Clerk to provide a copy of this resolution to the Town Manager and Water Superintendent.

Attachment #5

**RESOLUTION NO. 2020 – 221: REQUEST FOR NYS DOT TO CONDUCT A SPEED STUDY
BUFFALO STREET EXTENSION BETWEEN CONIFER DRIVE AND BOUNDARY WITH CITY OF
CANANDAIGUA**

WHEREAS, on September 22, 2020, the Town Clerk received a request through the Town Manager's office from a resident who resides on Buffalo Street to conduct a speed study of Buffalo Street Ext due to possible excessive speed from drivers coming down the Buffalo Street Ext hill towards the City of Canandaigua and the numerous pedestrians using the cross walk from the Old Brookside development to Outhouse Park; and

WHEREAS, the last speed study of Buffalo Street Ext was conducted in 2013 and at that time it was determined by the NYS DOT that an area speed limit was not warranted at that time; and

NOW, THEREFORE, BE IT RESOLVED, the Town Board hereby directs the Town Clerk to submit the required paperwork to request the NYSDOT perform a speed study along Buffalo Street Ext between Conifer Drive and the boundary with the City of Canandaigua.

Attachment #6

**RESOLUTION NO. 2020 – 222: APPROVAL OF ENGINEER'S REPORT FOR CRAMER ROAD
WATER EXTENSION AND AUTHORIZATION OF MRB PROPOSAL FOR PROFESSIONAL
SERVICES**

WHEREAS, the Town Board of the Town of Canandaigua (herein after known as 'Town Board') has previously contracted with MRB Group to prepare an Engineer's Report for the Cramer Road Water Extension to the Canandaigua Consolidated Water District; and

WHEREAS, the Cramer Road Water Extension improvement is identified as a high priority project in the Water Master Plan of the Town of Canandaigua completed in 2017; and

WHEREAS, MRB Group has presented a Proposal for Professional Services dated October 7, 2020 detailing the Engineering Services necessary to complete the Cramer Road Water Extension for a total cost of \$27,500.00; and

WHEREAS, funds for this service are identified in the 2020 Adopted Town Budget line SW500.8310.450 (Water Admin.Engineering); and

WHEREAS, it is the recommendation of the Highway & Water Superintendent to move forward with project engineering as soon as possible because of long delays in the regulatory permitting process with the New York State Department of Health; and

NOW THEREFORE BE IT RESOLVED, the Town Board hereby approves the Engineer's Report for the Cramer Road Water Extension to the Town of Canandaigua Consolidated Water District prepared by MRB Group; and

BE IT FURTHER RESOLVED, the Town Board hereby accepts the Proposal for Professional Services dated October 7, 2020 and authorizes the Town Manager to sign the proposal for a total cost not to exceed \$27,500.00; and

BE IT FINALLY RESOLVED, copies of this resolution shall be provided to the Town Manager and Highway & Water Superintendent.

Attachment #7

RESOLUTION NO. 2020 – 223: SETTING A PUBLIC HEARING ON A TEXT CODE AMENDMENT TO TOWN CODE REGARDING THE REGULATION OF OFF-STREET PARKING; AND SEQR INTENT TO DECLARE LEAD AGENCY

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as "Town Board") is considering a Local Law to execute a text code amendment to various chapters of Town Code and the Town of Canandaigua Site Design and Development Criteria that would amend the regulations regarding off-street parking spaces; and

WHEREAS, the Town Board would like to hear from residents about the proposed Local Law; and

WHEREAS, the Town Board wishes to refer the proposed Local Law to the Town of Canandaigua Planning Board, Environmental Conservation Board, and Zoning Board of Appeals; and

WHEREAS, the Town Board intends to determine said proposed Local Law is classified as an Unlisted Action under the SEQR Regulations per §617 of the NYS Department of Environmental Conservation Law; and

WHEREAS, the Town Board intends to declare itself as the Lead Agency on the proposed action; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby establishes a public hearing for the proposed Local Law to be held on November 16, 2020 at 6:00 pm at the Canandaigua Town Hall located at 5440 Route 5 & 20 West, Canandaigua, NY 14424; and

BE IT FURTHER RESOLVED, the Town Board directs the Town Manager to refer the proposed Local Law to the Town of Canandaigua Planning Board, Environmental Conservation Board, and Zoning Board of Appeals; and

BE IT FINALLY RESOLVED, the Town Clerk is directed to provide notice of said public hearing.

Attachment #8

RESOLUTION NO. 2020 – 224: SETTING A PUBLIC HEARING FOR THE DRAFT NATURAL RESOURCES INVENTORY UPDATE AND RELATED LOCAL LAW UPDATE AND SEQR INTENT TO DECLARE LEAD AGENCY

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as “Town Board”) is considering the adoption of an update to the 2011 Natural Resources Inventory (NRI) prepared by LaBella Associates, LLC (hereafter referred to as the ‘plan’); and

WHEREAS, the preparation of the draft plan by LaBella Associates, LLC was approved by the Town Board via Resolution 2019 – 077 and is in keeping with the goals and action steps set forth in the Town of Canandaigua’s Comprehensive Plan; and

WHEREAS, the Citizens’ Implementation Committee and the Environmental Conservation Board have been working with LaBella Associates over many months to prepare an update to the NRI that includes a Site Assessment and Project Guide to be used as a planning tool that will serve the Town and help to identify and protect its natural resources well into the future; and

WHEREAS, the Town Board is also aware that current language in the Town Code references the existing NRI document and will need to be updated to reference the NRI Update, once adopted, and the Town Manager and Town Planner have prepared a draft of that Local Law update; and

WHEREAS, the Town Board would like to hear from residents about the draft Natural Resources Inventory Update and the proposed changes to the Town Code where it pertains to the NRI; and

WHEREAS, the Draft NRI document and the Site Assessment and Project Review Guide prepared by LaBella Associates, LLC has been reviewed by the Citizens’ Implementation Committee and the Environmental Conservation Board and is available to review on the town’s website:

NRI Update: <http://townofcanandaigua.org/documents/files/DRAFT-NaturalResourcesInventory-WithAppendices7-7-2020.pdf>

Site Assessment and Project Review Guide: <http://townofcanandaigua.org/documents/files/DRAFT-SiteAssessmentandProjectReviewGuide-WithMaps-7-7-2020.pdf>; and

WHEREAS, the Town Board referred the NRI Plan to the Town of Canandaigua Planning Board, Zoning Board of Appeals, as well as the Ontario County Planning Board and the Planning Board reviewed and offered support for the plan at their meeting on August 11, 2020 and the Ontario County Planning Board reviewed and offered support for the plan at their meeting on August 12, 2020; and

WHEREAS, the Town Board intends to determine said plan is classified as an Unlisted Action under the SEQR Regulations per §617 of the NYS Department of Environmental Conservation Law; and

WHEREAS, the Town Board intends to declare itself as the Lead Agency on the proposed action; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby establishes a public hearing for the proposed Natural Resources Inventory Update and the related proposed local law to be held on November 16, 2020 at 6:00 pm at the Canandaigua Town Hall located at 5440 Route 5 & 20 West, Canandaigua, NY 14424; and

BE IT FINALLY RESOLVED, the Town Clerk is directed to provide notice of said public hearing.

Attachment #9

RESOLUTION NO. 2020 – 225: SETTING A PUBLIC HEARING ON A TEXT CODE AMENDMENT TO TOWN CODE CHAPTER 220 THAT REGULATE THE USE OF SHORT TERM RENTAL UNITS; AND SEQR INTENT TO DECLARE LEAD AGENCY

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as “Town Board”) is considering a Local Law to execute a text code amendment to Town Code Chapter §220 Zoning that would require Short Term Rental Units to register with the Town of Canandaigua; and

WHEREAS, the Town Board would like to hear from residents about the proposed Local Law; and

WHEREAS, the Town Board wishes to refer the proposed Local Law to the Town of Canandaigua Planning Board, Environmental Conservation Board, Zoning Board of Appeals, and the Ontario County Planning Board; and

WHEREAS, the Town Board intends to determine said proposed Local Law is classified as an Unlisted Action under the SEQR Regulations per §617 of the NYS Department of Environmental Conservation Law; and

WHEREAS, the Town Board intends to declare itself as the Lead Agency on the proposed action; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby establishes a public hearing for the proposed Local Law to be held on December 21, 2020 at 6:00 pm at the Canandaigua Town Hall located at 5440 Route 5 & 20 West, Canandaigua, NY 14424; and

BE IT FURTHER RESOLVED, the Town Board directs the Town Manager to refer the proposed Local Law and notification of SEQR intent to declare Lead Agency to the Town of Canandaigua Planning Board, Environmental Conservation Board, Zoning Board of Appeals, and the Ontario County Planning Board; and

BE IT FINALLY RESOLVED, the Town Clerk is directed to provide notice of said public hearing.

Attachment #10

RESOLUTION NO. 2020 – 226: THANKING NY STATE ASSEMBLYMAN BRIAN KOLB AND NY STATE SENATOR PAM HELMING FOR THEIR ASSISTANCE WITH LEGISLATION ENABLING THE TRANSFER OF OWNERSHIP OF ONANDA PARK FROM THE NY DEC TO THE TOWN OF CANANDAIGUA

WHEREAS, the Town Board of the Town of Canandaigua (hereinafter referred to as ‘Town Board’) is aware that on Wednesday, October 7, 2020 Governor Andrew Cuomo signed into NYS Law legislation sponsored by Assemblyman Brian Kolb and Senator Pamela Helming that would authorize the transfer of the 6.85 acres of lakeside parkland at Onanda Park to the Town of Canandaigua; and

WHEREAS, the Town Board would like to express their sincere thanks to both Senator Helming and Assemblyman Kolb for their support of the Town in this endeavor and for their sponsorship of the successful legislation (A.9675/S.7591); and

WHEREAS, the Town Board is aware that without the efforts of our legislators on behalf of the Town, this process would not have happened and this transfer of title to the Town of Canandaigua is so important because it means the lakeside portion of land will be protected and used for parkland and

recreational purposes available to the residents of the Town of Canandaigua and the greater community for generations to come; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby wholeheartedly thanks Senator Helming and Assemblyman Kolb for introducing this legislation and for their continued support and efforts on behalf of Town residents and the greater Canandaigua community; and

BE IT FINALLY RESOLVED, the Town Clerk of the Town of Canandaigua is hereby directed to provide a copy of this resolution to NY State Assemblyman Brian Kolb, NY State Senator Pamela Helming, and Town Manager Doug Finch.

RESOLUTION NO. 2020 – 227: AUTHORIZING TOWN MANAGER TO EXECUTE DOCUMENTS NECESSARY TO TRANSFER OWNERSHIP OF THE LAKESIDE PORTION OF ONANDA PARK FROM THE NY STATE DEC TO THE TOWN OF CANANDAIGUA

WHEREAS, Onanda Park, a public park managed by the Town of Canandaigua, is made up of two separate properties: the lakeside portion located at 4965 County Road 16, owned by the New York State Department of Environmental Conservation (DEC), and the uplands portion (directly opposite the lakeside) located at 4956 County Road 16 and owned by the Town of Canandaigua; and

WHEREAS, the Town Board of the Town of Canandaigua (hereinafter referred to as 'Town Board') has been in a long-term lease agreement with the DEC for the lakeside portion since the creation of the park in 1989; and

WHEREAS, the Town of Canandaigua has managed the property as a Town park open to the public and also maintained and improved the park lands and buildings since the park's inception and these improvements have been funded through Town of Canandaigua taxpayer dollars; and

WHEREAS, the Town Board requested, via Resolution 2019-136, that DEC turn over ownership of 4965 County Road 16, the lakeside portion, to the Town of Canandaigua; and

WHEREAS, our region's state representatives, NY Assemblyman Brian Kolb and NY Senator Pam Helming introduced legislation that enables said transfer (Senate Bill # S.7591 / Assembly Bill # A.9675) and the Town Board offered its support for this home rule legislation via Resolution 2020-058; and

WHEREAS, the legislation passed both the Senate and the Assembly and was then signed into law by the Governor on October 7, 2020; and

WHEREAS, the Town Manager has been in communication with representatives of the DEC throughout this process to ensure a smooth transition and to maintain a continued partnership into the future between the DEC and the Town; and

WHEREAS, as part of the transfer of title the Town Manager and NYS DEC officials sketched out an agreement in 2019 to make the transfer of title to the Town which included the following points:

- **DEC to transfer title of Onanda Park (lakeside) and all improvements to the Town of Canandaigua for the Town of Canandaigua to operate Onanda Park (lakeside) as a public access municipal park;**

- Legislation to stipulate that if the Town of Canandaigua should ever cease operating Onanda Park (lakeside) as a Town Park then the Town shall transfer title of Onanda Park back to the NYS DEC;
- Town to grant the DEC a Canandaigua Lake access easement from County Road 16 to Canandaigua Lake for access by the DEC to Canandaigua Lake crossing Onanda Park at any-time;
- Town to enter into a long term memorandum of understanding (or management agreement) with the DEC to provide fishing access to the general public at Onanda Park year-round with no entrance fee charged for people entering the park for fishing access only;
- Town to enter into a long term memorandum of understanding (or management agreement) with the DEC to provide meeting space in either Crouch Hall, Gorham Lodge, Babcock Hall, or similar suitable building at no charge up to three times per year (based on availability) for the DEC at Onanda Park as part of the transfer of title of Onanda Park (lakeside) to the Town of Canandaigua;
- Town to enter into a long term memorandum of understanding (or management agreement) with the DEC to permit the DEC to conduct cold water assessments and fish sampling at Onanda Park, and when possible hold the events in conjunction with the Town's Parks and Recreation Programs;
- Town to enter into a lease agreement with Ontario County, and a memorandum of understanding (or management agreement) with Ontario County to permit the Ontario County Sheriff's Department to use the Sherriff's Building (adjacent to Babcock Hall) to keep the Ontario County Sheriff's navigation unit, and launch the Sheriff's navigation unit when needed at Onanda Park;
- Town to enter into a long term memorandum of understanding (or management agreement) with the DEC to provide public boat launching access at Onanda Park from November 1st through April 1st of each year and when boat launching access is blocked by ice at the Canandaigua Lake State Park located at the north end of Canandaigua Lake (City of Canandaigua);

; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby authorizes the Town Manager to work with the NY State Department of Environmental Conservation to process the transfer of ownership of the lakeside portion of Onanda Park, 4965 County Road 16, from the DEC to the Town of Canandaigua and to execute any and all documents necessary to complete the transfer; and

BE IT FURTHER RESOLVED, the Town Board wishes to thank the NYS DEC for their willingness to work with the Town of Canandaigua; and

BE IT FURTHER RESOLVED, the Town Board wishes to inform the NYS DEC of the intent and interest in working together to make application and then proceed with the title transfer of Onanda Park (lakeside) to the Town of Canandaigua; and

BE IT FURTHER RESOLVED, the Town Board authorizes the Town Manager to make application for the transfer of 4965 County Road 16, Canandaigua from the NYS DEC to the Town of Canandaigua; and

BE IT FURTHER RESOLVED, the Town Board authorizes and directs the Town Manager to serve as the primary point of contact with the DEC, attorneys, and others as needed in order to complete the title transfer process; and

BE IT FURTHER RESOLVED, the Town Board acknowledges the points identified in this resolution and directs the Town Manager to prepare documents such as a management agreement or lease agreement or others as needed and submit to the Town Board for consideration; and

BE IT FINALLY RESOLVED, the Town Clerk of the Town of Canandaigua is hereby directed to provide a copy of this resolution to NYS DEC Regional Director D'Amato and Town Manager Doug Finch.

Attachment #11

RESOLUTION NO. 2020 – 228: AUTHORIZATION FOR TOWN MANAGER TO ENTER INTO AN OPTION TO PURCHASE LAND FOR THE PURPOSES OF TOWN PARK / PUBLIC ACCESS TO LAKE

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as 'Town Board') is aware of goals that often arise relating to planning for the Town of Canandaigua including the Town's Comprehensive Planning efforts to provide more public access to Canandaigua Lake; and

WHEREAS, the Town Board is aware of a need and desire and has participated in many efforts to protect Canandaigua Lake, which also serves as source water, through the preservation of natural resources, natural vegetation protection, natural resource protection, sensible lakefront development, and water quality improvement projects; and

WHEREAS, the Town Board is aware of feedback from the community over the past seventeen years that supports additional public access to Canandaigua Lake; and

WHEREAS, residents of the Town of Canandaigua were surveyed as part of the adopted 2003 Comprehensive Plan during which the question was asked, "Which features define the distinctive character of the town?" and 72.0% responded 'Lakefront' (2003 Comprehensive Plan, Appendix C, page 5); and

WHEREAS, the same survey expressed the following results (2003 Comprehensive Plan, Appendix C, page 5-9):

- 22. *Important things the Town should provide to improve residential area where I live:*
14.3% sidewalks; 14.3% trails; 12.5% parks; 28.7% sewer and water; 08.1% street lights; 41.4% wider shoulders on roads for walking and biking
- 26. *Should the Town develop public lakefront access?*
61.5% yes 38.5% no
The make up of the yes included: 45.6% trails; 41.2% boating; 47.8% fishing; 36.8% small craft launch; 74.2% swimming; 67.0% picnicking; and

WHEREAS, in 2011 the Town adopted an update to the Comprehensive Plan which also referenced the desire of increased public access to Canandaigua Lake:

*"Approximately, 1.4% of the shoreline parcels provide public access. Due to the limited public access to the lake, keep the town-owned land well maintained is import to the community."
(2011 Comprehensive Plan Update, page 10)*

“Another recent and pressing issue pertains to public access to the lake.” (2011 Comprehensive Plan Update, page 30)

Recreation Goals and Recommended Action Steps (2011 Comprehensive Plan, page 35

“Goal 1. Improve and expand the Town’s recreational resources to meet the needs of the community in accordance with the goals set forth in the adopted Town of Canandaigua Parks and Recreation Master Plan and Trails Master Plan.”

Recommended Action Steps:

“1. Continue to maintain, improve, and invest in the appearance functionality, and safety of town-owned recreational properties.”

“2. Identify opportunity to increase the amount of public accessible waterfront areas, whether through purchase or other acquisitions.” ; and

WHEREAS, in 2014 the Town Board created the Citizen’s Implementation Committee (CIC) to fully implement the goals of the Comprehensive Plan Update from 2011, and the CIC recommended a series of new goals that were adopted by the Town Board in December 2015 including (Implementation Plan Comprehensive Plan Update, 2017, page 22):

“Goal 10: Improve and expand the Town’s recreational resources to meet the needs of the community in accordance with the goals set forth in the adopted Town of Canandaigua Parks and Recreation Master Plan and Trails Master Plan”

2. Identify opportunities to increase the amount of publicly accessible waterfront areas, whether through purchase or other acquisitions. ; and

WHEREAS, in 2018 the Town Board, working with the Parks and Recreation Committee, adopted a ten year parks and recreation plan for the years 2018 through 2028 that includes many references to public access to Canandaigua Lake including: *“There is, however, additional demand by residents of the Town for water access including boat launching, and swimming. There is very limited shoreline available along Canandaigua Lake and what is available is quite expensive. Opportunities to acquire Lake frontage that can be useful for such activities should be pursued vigorously if an agreeable space for such acquisition can be found.”* (Town of Canandaigua Parks and Recreation Master Plan 2018-2028, page 52); and

WHEREAS, during 2019 and 2020 the Town of Canandaigua began the process to update the Town’s Comprehensive Plan including another community survey in which 73.5% of the respondents said Canandaigua Lake was a reason those choose to live in the Town (2020 survey results, Q9, page 17) which included comments referencing a lack of public access to the lake and limited wading spaces; and

WHEREAS, the same 2019 / 2020 survey asked the question (Q12) “What is missing within the Town?” to which 81.12% of the respondents stated Lake Access was either greatly needed or somewhat needed and 73.2% of the respondents stated More Parkland was either greatly needed or somewhat needed (2020 survey results, Q12, page 30); and

WHEREAS, the Town Manager has identified an opportunity to acquire 485 feet of lakefront on Canandaigua Lake that could be used for the purposes of Town of Canandaigua Park lands including public access to Canandaigua Lake, natural views, picnicking, and with limited improvements small craft launch, trails, and fishing access; and

WHEREAS, the Town Manager has been communicating with the landowner who is willing to enter into an option arrangement with the Town of Canandaigua giving the Town the option of purchasing the land at a later date as detailed per the terms of the option; and

WHEREAS, the Town Manager has been communicating with other community organizations about the possibility of funding options to help with any future potential purchase; and

WHEREAS, the Town Manager has provided a common list of questions and answers to help explain the potential option to acquire this land; and

WHEREAS, the Town Board understands this resolution does not bind the Town in any way to complete the proposed land acquisition or purchase; and

WHEREAS, the Town Board understands other factors such as traffic will need to be considered in planning for any possible use of the land, if any or if the land is acquired by the Town; and

WHEREAS, the Town Board understands any action to move forward with the land acquisition would take place by resolution to be considered in a public meeting; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua does hereby authorize the Town Manager to execute the document entitled 'Option to Purchase' consisting of approximately 4 acres, including approximately 485 feet of Canandaigua Lake shoreline, including all or part of the parcels identified as Tax ID # 113.13-2.61.000, Tax ID# 113.13-2-62.000, and Tax ID# 113.13-2-63.000; and

BE IT FURTHER RESOLVED, the Town Board does hereby authorize the Town Manager to expend \$250.00 to be paid to RSM West Lake Road, LLC in order to enter into the Option to Purchase to be paid from the 2020 Town of Canandaigua budget AA100.7110.200 Parks Capital Improvement; and

BE IT FURTHER RESOLVED, the Town Board directs the Town Manager to sign the Option to Purchase agreement and provide a copy of said Option to Purchase to the seller; and

BE IT FURTHER RESOLVED, the Town Board directs that a public hearing be established to be held in conjunction with any future action to acquire the land, such as the Option to Purchase is executed by the Buyer (Town of Canandaigua), and that any action to purchase the land associated with the Option to Purchase agreement be subject to permissive referendum; and

BE IT FINALLY RESOLVED, the Town Board directs the Town Clerk to provide a copy of this resolution to the Town Manager.

Attachment #12

RESOLUTION NO. 2020 – 229: SETTING THE TOWN OF CANANDAIGUA TOWN BOARD'S 2021 ORGANIZATIONAL MEETING

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as 'Town Board') wishes to set the 2021 Town Board organizational meeting by resolution for the year 2021 due to the current pandemic situation involving COVID-19; and

WHEREAS, the Town Board wishes to plan for more time between the normal scheduled December 21, 2020 Town Board meeting and the January Town Board meeting in case of quarantines relating to COVID-19 and the Holidays as needed; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua does hereby establish the date of the 2021 Organizational Meeting as January 11, 2021, at 6:00 pm at the Town Hall located at 5440 Route 5 & 20 W, Canandaigua; and

BE IT FURTHER RESOLVED, the Town Board does hereby direct the Town Manager to prepare the December 21, 2020 agenda to include any needed actions that might need to be taken prior to the January 11, 2021 Town Board meeting; and

BE IT FURTHER RESOLVED, the Town Clerk is hereby directed to cause to be noticed this meeting of the Town Board of the Town of Canandaigua.

RESOLUTION NO. 2020 – 230: ESTABLISHING THE STANDARD WORK DAY FOR RETIREMENT PURPOSES

WHEREAS, the New York State and Local Employees' Retirement System requires that a standard workday be established for retirement credit purposes; and

WHEREAS, the Town of Canandaigua has reviewed and recommends establishment of a standard work day for the position of Heavy Equipment Mechanic; and

Title	Standard Work Day Hours
Heavy Equipment Mechanic	8

RESOLVED, that the Town of Canandaigua hereby establishes the following standard work day of 8 hours for the position of Heavy Equipment Mechanic; and

RESOLVED, that the Town of Canandaigua will report the following days worked in the New York State Employees' Retirement System based on the employer's time keeping system; and

NOW THEREFORE BE IT RESOLVED, that a certified copy of this resolution be transmitted by the Town of Canandaigua Town Clerk to the New York State Comptroller.

SURETY AND STORMWATER BLOCK: RESOLUTION(S) 2020 - 231 THROUGH 2020 - 236

RESOLUTION NO. 2020 – 231: SOIL EROSION AND SEDIMENT CONTROL SURETY FOR 5945 KNAPP ROAD

WHEREAS, the Town of Canandaigua Planning Board has granted a site plan approval for the development / construction of a single-family dwelling located at 5945 Knapp Road (Tax Map # To be determined); and

WHEREAS, the Town of Canandaigua Planning Board has determined that a soil erosion and sediment control surety is to be provided and accepted by the Town Board; and

WHEREAS, the Town Code Enforcement Officer Christopher Jensen has reviewed the proposed estimate and found it to be satisfactory to meet the conditions of approval and the work to be completed; and

WHEREAS, the Town Manager has reviewed and accepted the surety and authorized Code Enforcement to issue building permits; and

WHEREAS, the applicant has provided a cash deposit in the amount of \$700 for the purposes of the soil erosion and sediment control; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby approves and accepts the cash surety (in the form of a check from Mark & Karen Kreiser) in the total amount of \$700.

Attachment #13

RESOLUTION NO. 2020 – 232: SOIL EROSION AND SEDIMENT CONTROL SURETY FOR 3630 LAKE BREEZE WAY (TAX MAP # 97.04-2-101.000)

WHEREAS, the Town of Canandaigua Planning Board has granted a site plan approval for the development / construction of a single-family dwelling located at 3630 Lake Breeze Way (Tax Map # 97.04-2-101.000); and

WHEREAS, the Town of Canandaigua Planning Board has determined that a soil erosion and sediment control surety is to be provided and accepted by the Town Board; and

WHEREAS, the Town Code Enforcement Officer Christopher Jensen has reviewed the proposed estimate and found it to be satisfactory to meet the conditions of approval and the work to be completed; and

WHEREAS, the Town Manager has reviewed and accepted the surety and authorized Code Enforcement to issue building permits; and

WHEREAS, the applicant has provided a cash deposit in the amount of \$1,500.00 for the purposes of the soil erosion and sediment control; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby approves and accepts the cash surety (in the form of a check from Venezia Group LLC) in the total amount of \$1,500.00.

Attachment #14

RESOLUTION NO. 2020 – 233: SOIL EROSION AND SEDIMENT CONTROL SURETY FOR 3312 FALLBROOK PARK (TAX MAP # 98.11-1-6.000)

WHEREAS, the Town of Canandaigua Planning Board has granted a site plan approval for the development / construction of a single-family dwelling located at 3312 Fallbrook Park (Tax Map # 98.11-1-6.000); and

WHEREAS, the Town of Canandaigua Planning Board has determined that a soil erosion and sediment control surety is to be provided and accepted by the Town Board; and

WHEREAS, the Town Code Enforcement Officer Christopher Jensen has reviewed the proposed estimate and found it to be satisfactory to meet the conditions of approval and the work to be completed; and

WHEREAS, the Town Manager has reviewed and accepted the surety and authorized Code Enforcement to issue building permits; and

WHEREAS, the applicant has provided a cash deposit in the amount of \$3,488.79 for the purposes of the soil erosion and sediment control; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby approves and accepts the cash surety (in the form of a check from Ketmar Development) in the total amount of \$3,488.79.

Attachment #15

RESOLUTION NO. 2020 – 234: GRADING AND SOIL EROSION AND SEDIMENT CONTROL SURETY FOR FOX RIDGE PHASE 5B-1

WHEREAS, the Town of Canandaigua Planning Board has granted a final subdivision approval for four (4) new single-family dwellings as part of the Fox Ridge Phase 5B-1 subdivision, owned by Venezia Associates, LLC; and

WHEREAS, the Town of Canandaigua Planning Board has determined that a grading, soil erosion and sediment control, water works and pavement surety is to be provided and accepted by the Town Board; and

WHEREAS, the Town Engineer, MRB Group, and Town Attorney, Christian Nadler, has reviewed the proposed estimate and found it to be satisfactory to meet the conditions of approval and the work to be completed; and

WHEREAS, the applicant has provided an Irrevocable Letter of Credit in the amount of \$27,566.25 for the purposes of storm sewer, water works, erosion control, roadway and paving; and

NOW, THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby approves and accepts the Letter of Credit in the total amount of \$27,566.25.

Attachment #16

RESOLUTION NO. 2020 – 235: AUTHORIZATION FOR TOWN OF CANANDAIGUA TOWN MANAGER TO SIGN STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT FOR CGA CR10 LLC (CREEKVIEW APARTMENTS AT WOODLAND PARK PHASE 1)

WHEREAS, the Town of Canandaigua and CGA CR10 LLC (Creekview Apartments at Woodland Park Phase 1), wish to enter into a stormwater control facilities maintenance agreement to provide for the long-term maintenance and continuation of permanent stormwater control measures, located at 0000 County Road 10 (between County Road 46 and State Routes 5 & 20), as detailed in plans titled "Civil Drawings for Creekview Apartments At Woodland Park Phase 1 Final" last revised November 9, 2017 and signed by the Town of Canandaigua Planning Board chairman on April 26, 2018; and

WHEREAS, the Town of Canandaigua as an MS4 is required to obtain storm water control facilities maintenance agreements on new projects located within the Town of Canandaigua; and

WHEREAS, the Town and the property owner desire that the permanent stormwater control measures be constructed, as detailed on the approved project plans, and thereafter be maintained, cleaned,

repaired, replaced, and continued in perpetuity by the facility owner (CGA CR10 LLC) in order to ensure optimum performance of the components; and

WHEREAS, the facility owner (CGA CR10 LLC) shall be responsible for all expenses related to the maintenance of the stormwater control measures; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua authorizes the Town Manager to sign the Stormwater Control Facilities Maintenance Agreement between the Town of Canandaigua and CGA CR10 LLC for the stormwater facilities located at 0000 County Road 10 (between County Road 46 and State Routes 5 & 20).

Attachment #17

RESOLUTION NO. 2020 – 236: AUTHORIZATION FOR TOWN OF CANANDAIGUA TOWN MANAGER TO SIGN STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT FOR CREEKVIEW APARTMENTS HOUSING DEVELOPMENT FUND CORP (CREEKVIEW APARTMENTS AT WOODLAND PARK PHASE 1)

WHEREAS, the Town of Canandaigua and Creekview Apartments Housing Development Fund Corp (Creekview Apartments at Woodland Park Phase 1), wish to enter into a stormwater control facilities maintenance agreement to provide for the long-term maintenance and continuation of permanent stormwater control measures, located at 0000 County Road 10 (between County Road 46 and State Routes 5 & 20), as detailed in plans titled “Civil Drawings for Creekview Apartments at Woodland Park Phase 1” last revised January 18, 2018 and signed by the Town of Canandaigua Planning Board chairman on April 26, 2018, and;

WHEREAS, the Town of Canandaigua as an MS4 is required to obtain storm water control facilities maintenance agreements on new projects located within the Town of Canandaigua, and;

WHEREAS, the Town and the property owner desire that the permanent stormwater control measures be constructed, as detailed on the approved project plans, and thereafter be maintained, cleaned, repaired, replaced, and continued in perpetuity by the facility owner (Creekview Apartments Housing Development Fund Corp) in order to ensure optimum performance of the components, and;

WHEREAS, the facility owner (Creekview Apartments Housing Development Fund Corp) shall be responsible for all expenses related to the maintenance of the stormwater control measures; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua authorizes the Town Manager to sign the Stormwater Control Facilities Maintenance Agreement between the Town of Canandaigua and Creekview Apartments Housing Development Fund Corp for the stormwater facilities located at 0000 County Road 10 (between County Road 46 and State Routes 5 & 20).

Attachment #18

- Approval of the following Town Board Meeting Minutes:
September 28, 2020
October 19, 2020
- Payment of the Bills
Abstract Claim Fund Totals presented by Town Clerk
Voucher Summary Report for Town Board signatures

(By signing, Town Board members represent they have reviewed the purchases for compliance with the Town's approved policies & approve of the prepared Voucher Summary Report and the attached invoices)

Utility Abstract dated 10/22/2020 totaling \$699,565.97

General fund \$19,853.45
Highway fund \$12,217.24
Capital projects \$662,708.94
Water districts \$4,786.34

Abstract dated 10/26/2020 totaling \$204,682.83

General fund \$116,760.42
Highway fund \$41,941.75
Capital projects \$32,647.58
Water districts \$7,386.38
Trust & Agency \$5,946.70

- Privilege of the Floor
- Other Business
- Privilege of the Floor
- Executive Session, as requested
 - *Request by Town Manager for an Executive Session to discuss "employment history of a particular individual"*
- Adjournment

ATTACHMENT 1

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Friday, October 9, 2020 8:23 AM
To: Sarah Reynolds
Subject: FW: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

For communication binder

Doug Finch, Town Manager

Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: spierce@townofcanandaigua.org <spierce@townofcanandaigua.org>
Sent: Friday, October 9, 2020 8:19 AM
To: 'Doug Finch' <dfinch@townofcanandaigua.org>
Subject: FW: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

From: Oksana Fuller <lffemc@rit.edu>
Sent: Thursday, October 8, 2020 12:20 PM
To: Town of Canandaigua <info@townofcanandaigua.org>
Subject: Re: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

HOORAY!!!!

Thank you for making this happen!

Oksana

From: Town of Canandaigua <info@townofcanandaigua.org>
Sent: Thursday, October 8, 2020 11:59 AM
To: Oksana Fuller
Subject: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Friday, October 9, 2020 8:23 AM
To: Sarah Reynolds
Subject: FW: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

For communication binder

Doug Finch, Town Manager

Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

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From: spierce@townofcanandaigua.org <spierce@townofcanandaigua.org>
Sent: Friday, October 9, 2020 8:19 AM
To: 'Doug Finch' <dfinch@townofcanandaigua.org>
Subject: FW: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

From: Mary Lou Havens <mlhavens101@msn.com>
Sent: Thursday, October 8, 2020 12:52 PM
To: Town of Canandaigua <info@townofcanandaigua.org>
Subject: Re: State of New York to Transfer Ownership of Onanda Park to the Town of Canandaigua

Best news!!

On October 8, 2020, at 12:18 PM, Town of Canandaigua <info@townofcanandaigua.org> wrote:

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Thursday, October 8, 2020 11:52 AM
To: Sarah Reynolds
Subject: FW: Onanda Park transfer to the Town of Canandaigua
Attachments: 198908070068[1].pdf; OnandaPark.lakeside.survey.pdf; OnandaPark.transferoftitle.pdf; Onanda.lakeside.Parcel Detailed Report.pdf; Re_ Onanda Park transfer to the Town of Canandaigua.pdf

For communication binder please

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: dfinch@townofcanandaigua.org <dfinch@townofcanandaigua.org>
Sent: Thursday, October 8, 2020 11:51 AM
To: 'Odell, Zachary D (DEC)' <Zachary.Odell@dec.ny.gov>; 'web.pearsall@dec.ny.gov' <web.pearsall@dec.ny.gov>; CNADLER@cnadlerlaw.com
Cc: Samantha Pierce <spierce@townofcanandaigua.org>; macneilm@frontiernet.net
Subject: Onanda Park transfer to the Town of Canandaigua

Web and Zach – good afternoon. I wanted to send an email to touch base regarding the transfer of Onanda Park (TaxMap#154.06-1-11.000) to the Town of Canandaigua. Copied on this email is our Town Attorney Chris Nadler. Per the legislation we need to make application to the NYS DEC to request the transfer to be approved by the Commissioner of the DEC. Could you provide me with the process that you feel is most appropriate to request the transfer? Should we send a letter to the Commissioner?

Also I wanted to touch base regarding our conversation from September 5, 2019. Based on the points below I will ask the Town Attorney to draft a memorandum of understanding between the Town and the DEC. Additionally, as part of the transfer process I will ask the Town Attorney to record an access easement to the lake from CR16 for the DEC.

Chris – please begin the process for a title transfer please. I will give you a call to discuss in detail.

For everyone I have attached:

- Deed for Onanda Park (lakeside);
- Survey for Onanda Park (lakeside) – Nadler we had MRB do the survey if you need more info;
- Legislation authorizing the transfer (lakeside);
- Parcel detail for Onanda Park (lakeside);

The Town already has a lease agreement in place with the Sheriff's department that comes up for renewal at the end of this year, so we will be able to address with the renewal.

From our September 5, 2019 meeting these were the points we agreed would need to be addressed in the transfer:

- DEC to transfer title of Onanda Park (lakeside) and all improvements to the Town of Canandaigua for the Town of Canandaigua to operate Onanda Park (lakeside) as a public access municipal park;
- Legislation to stipulate that if the Town of Canandaigua should ever cease operating Onanda Park (lakeside) as a Town Park then the Town shall transfer title of Onanda Park back to the NYS DEC;
- Town to grant the DEC a Canandaigua Lake access easement from County Road 16 to Canandaigua Lake for access by the DEC to Canandaigua Lake crossing Onanda Park at any-time;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to provide fishing access to the general public at Onanda Park year-round with no entrance fee charged for people entering the park for fishing access only;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to provide meeting space in either Crouch Hall, Gorham Lodge, Babcock Hall, or similar suitable building at no charge up to three times per year (based on availability) for the DEC at Onanda Park as part of the transfer of title of Onanda Park (lakeside) to the Town of Canandaigua;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to permit the DEC to conduct cold water assessments and fish sampling at Onanda Park, and when possible hold the events in conjunction with the Town's Parks and Recreation Programs;
- Town to enter into a lease agreement with Ontario County, and a memorandum of understanding (or management agreement) with Ontario County to permit the Ontario County Sheriff's Department to use the Sheriff's Building (adjacent to Babcock Hall) to keep the Ontario County Sheriff's navigation unit, and launch the Sheriff's navigation unit when needed at Onanda Park;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to provide public boat launching access at Onanda Park from November 1st through April 1st of each year and when boat launching access is blocked by ice at the Canandaigua Lake State Park located at the north end of Canandaigua Lake (City of Canandaigua);

Doug Finch, Town Manager

Town of Canandaigua

5440 Route 5 & 20 West

Canandaigua, NY 14424

Phone: (585)394-1120 ext. 2234

Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Tuesday, September 29, 2020 10:40 AM
To: sreynolds@townofcanandaigua.org; 'Joe Stahlman'
Cc: Jean Chrisman; 'Gerald Jemison'; david.witt@dec.ny.gov; Doug Finch; 'Kate Silverstrim'; Samantha Pierce
Subject: RE: Squaw Island
Attachments: squawisland.name.reso.pdf

Dr. Stahlman,

Thank you for contacting us, and all of your input during the past three months as we have discussed this matter. I did see you attempt to log in; however, at that time we were already in Executive Session and the resolution had already been acted upon.

The Town Board heard from one individual who spoke in opposition to Resolution No.2020-205 during privilege of the floor. No other member of the public spoke in support or opposition to the resolution. The Town Board members shared their comments which will be available on the Town website via the zoom recording of last night's meeting.

The Town Board did approve Resolution No.2020-205, which I have attached for you. We will be forwarding this resolution to USGS and I will serve as the point of contact with USGS on behalf of the Town. If yourself and/or Peter Jemison would like to speak via phone or email I will make myself available to discuss with you further. I would anticipate that either yourself or Peter Jemison would make the application to USGS, and I will provide communication to them through the process.

Please let me know if you have any questions, or if you would like to setup a time to discuss further.

Sarah – for communication binder please

Doug Finch, Town Manager

Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Sarah Reynolds <sreynolds@townofcanandaigua.org>
Sent: Tuesday, September 29, 2020 10:20 AM
To: dfinch@townofcanandaigua.org; 'Joe Stahlman' <Joe.Stahlman@sni.org>
Subject: FW: Squaw Island

Good morning Joe. I'm sorry to hear you had difficulties with Zoom. I'm copying Town Manager Doug Finch here so he can address what transpired during the meeting.
Thank you.

Sarah Reynolds
Administrative Coordinator
Town of Canandaigua

From: Joe Stahlman <Joe.Stahlman@sni.org>
Sent: Tuesday, September 29, 2020 10:12 AM
To: sreynolds@townofcanandaigua.org
Subject: RE: Squaw Island

Hi Sarah,
Last night I tried to jump on zoom. I was late. No one let me in. I gave up after 5 minutes. Do you know of the outcome of renaming the island?

Joe

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Sarah Reynolds <sreynolds@townofcanandaigua.org>
Date: 9/28/20 12:22 PM (GMT-05:00)
To: Joe Stahlman <Joe.Stahlman@sni.org>
Subject: RE: Squaw Island

Hi Joe,
Of course. Here is a direct link to this month's agenda with a zoom link in it:
<http://www.townofcanandaigua.org/documents/files/2020-09-28%20Town%20Board%20Agenda%2C%20Resolutions%20and%20Attachments.pdf>. It's a large file so I didn't want to email it but you can download it if you want to.
Also, the Town Board's agendas are always available on this page: <http://www.townofcanandaigua.org/page.asp?id=138>
Please let me know if you need anything else.
Thanks.

Sarah Reynolds
Administrative Coordinator
Town of Canandaigua

Town of Canandaigua

5440 Routes 5 & 20 West

Canandaigua, NY 14424

(585) 394-1120

Fax: (585) 394-9476

Established 1789

The following resolution was acted upon by the Canandaigua Town Board on September 28, 2020.

RESOLUTION NO. 2020 – 205: REQUEST TO THE USGS TO CONSIDER ALL POINTS OF VIEW REGARDING THE POSSIBLE NAME CHANGE OF THE CANANDAIGUA ISLAND CURRENTLY KNOWN AS SQUAW ISLAND

WHEREAS, the Town Board of the Town of Canandaigua (herein after referred to as ‘Town Board’) is aware of and has received a request to rename Squaw Island; and

WHEREAS, the Town Board has received on August 11, 2020, a letter from the Seneca Nation of Indians, Rickey L. Armstrong Sr. President, in support of a name change to the island; and

WHEREAS, the Town Board has received on August 17, 2020, a letter from Deborah Maytubee Shipman the Director of Missing and Murdered Indigenous Women supporting a name change for the island; and

WHEREAS, the Town Board has received on July 28, 2020 an email from Mr. Gerald Peter Jemison of the Seneca Nation a proposal to rename the island ‘Skenoh Island’, in the Onondowagah Gaweno language meaning Health, Peace and according to Jemison the Seneca refer to themselves as Onondowagah; and

WHEREAS, the Town Board has received from City Council of the City of Canandaigua Resolution No.2020-051 adopted by City Council on August 6, 2020, supporting the effort to rename Squaw Island; and

WHEREAS, the Town Board is aware the name ‘Squaw Island’ has been used historically for the island in Canandaigua Lake; however, it is unknown the original name of the island or the timing on when the island became known as Squaw Island; and

WHEREAS, the Town Board is aware the Seneca people and others find the use of the word to be offensive; and

WHEREAS, the Town Board is aware a September 13, 1918, article in Science (Vol.28, Issue 1237, page 265) reports the New York State Museum had recently come into possession of Squaw Island in Canandaigua Lake already referred to as Squaw Island at that point; and

WHEREAS, the Town Board is aware that a New York State Museum Bulletin, No.39, Vol.8, from October 1900 contains reports from Dr. John M. Clarke on water biscuits at Squaw Island in Canandaigua Lake also called Squaw Island in 1900; and

WHEREAS, the Town Board is aware of historical accounts from 1919 in which Mary Clarke Thompson directed a monumental boulder be transported to the island; and

WHEREAS, the Town Board is aware of a map currently displayed in the Town Hall of the Town of Canandaigua from 1859 that displays the island with no name while many other land and ownership features are named on the map; and

WHEREAS, the Town Board is aware of reports from 1975 in which Squaw Island became part of the State Nature and Historic Preservation Trust; and

WHEREAS, the Town Board is aware the NYS DEC today reports the area to be a DEC Wildlife Management Area under the jurisdiction of the DEC's Bureau of Wildlife; and

WHEREAS, the Town Board has received numerous communications including emails from people in the greater Canandaigua community both in support and opposed to changing the current name; and

WHEREAS, the Town Board is aware of an online petition that contains hundreds of names in opposition to changing the name of the island; and

WHEREAS, the Town Board heard from people regarding the name of the island during public meetings of the Town Board on July 20, 2020; August 17, 2020; and September 28, 2020; and

WHEREAS, the Town Board has had communications with Dr. David E. Witt of the NYS Department of Environmental Conservation, Indian Nations Affairs Coordination, Office of Environmental Justice; and

WHEREAS, the Town Board has been informed by Dr. Witt that the USGS Board of Geographic Names (BGN) is the property entity that makes the decision regarding names; and

WHEREAS, it is the understanding of the Town Board the BGN Domestic Names Committee (DNC) will ultimately make the decision regarding the names of domestic features; and

WHEREAS, it is the understanding of the Town Board the DNC seeks input from local authorities including local governments and Tribal Governments; and

WHEREAS, Chapter 1 of the USGS names overview states, "It would be ideal if all people were to use a single name for a geographic feature and only one feature was known by that name. In practice, the extent to which this ideal can be reached varies due to sociopolitical conditions, the mobility of people and their naming habits, and the flexibility of language use"; and

WHEREAS, the Town Board is aware that many members of the greater Canandaigua community have lived using the name Squaw Island and consider Squaw Island part of the local cultural and historical heritage of the community; and

WHEREAS, the Town Board is aware through recent communication the name for the island is offensive to some as explained to the Town Board through communication from the Seneca Nation of Indians and the Center for Missing and Murdered Indigenous Women; and

WHEREAS, the Town Board is aware the USGS, BGN, and DNC seek input from local organizations including the New York State Committee on Geographic Names and the Town Manager has reached out to the New York State Museum and Committee on Geographic Names for feedback; and

WHEREAS, the Town Board is aware DNC conducts research seeking input from a variety of sources before meeting to review the merits of each case and is providing this information as part of the official record and submission to the USGS, BGN, and DNC; and

NOW THEREFORE BE IT RESOLVED, the Town Board of the Town of Canandaigua hereby requests the USGS, BGN, and DNC hold public hearings and gather input from all who wish to be heard regarding a possible name change or alteration of the name of the island in Canandaigua Lake known as Squaw Island; and

BE IT FURTHER RESOLVED, the Town Board acknowledges the renaming of cultural and historic sites is often emotional and many wish to see the current name remain; and

BE IT FURTHER RESOLVED, the Town Board requests the USGS, BGN, and DNC specifically seek input from the New York State Museum, the New York State Committee on Geographic Names, the National Heritage Trust, the NYS Department of Environmental Conservation, the NYS Office of Parks and Historic Preservation, the Ontario County Historical Society, Dr. Preston Pierce, Mr. Ray Henry (former Town of Canandaigua Historian), the current Town of Canandaigua Historian, and the Town of Canandaigua History Team prior to making a final decision; and

BE IT FURTHER RESOLVED, the Town Board requests the USGS, BGN, and DNC consider the name being suggested by Peter Jemison of the Seneca Nation of 'Skenoh Island' be incorporated in any consideration of any possible changes or the original name of the island if identified, including but not limited to an additional name for reference and use by those who find the current name disrespectful while also preserving the heritage of those who wish to keep the current name; and

BE IT FURTHER RESOLVED, the Town Board directs the Town Manager to serve as a main point of contact with USGS, and any of the entities listed in this resolution on behalf of the Town Board regarding this matter; and

BE IT FINALLY RESOLVED, the Town Board directs the Town Clerk to provide a copy of this resolution to the USGS and the Town Manager.

Motion made by Councilwoman Dworaczyk, seconded by Councilman Simpson.

5 Ayes: Davis, Dworaczyk, Fennelly, Menikotz, Simpson

STATE OF NEW YORK}
County of Ontario}
Town of Canandaigua}

I DO HEREBY CERTIFY that I have compared the preceding with the original thereof, on file and on record in the Town Clerk's office, and that the same is a correct copy and transcript therefrom and of the whole of said original; and that said original was duly adopted at a meeting of the Town Board held at Canandaigua, New York, on September 28, 2020.

SEAL

Given under my hand and the official seal of said Town, at Canandaigua NY, in said county, on September 29, 2020


Lisa Record, Deputy Town Clerk

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Monday, October 5, 2020 12:03 PM
To: Sarah Reynolds
Subject: FW: Squaw Island - Changing History

For communication binder please

Doug Finch, Town Manager

Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: david h hudson <dHUDSON2@rochester.rr.com>
Sent: Wednesday, September 23, 2020 1:48 PM
To: dfinch@townofcanandaigua.org
Subject: Squaw Island - Changing History

Squaw Island – Changing History

There are a few elitists among us that feel they have been charged to change history to agree with what they consider to be the “correct view”.

They want to remove any symbols of opposing truth – so it is fair game to remove, destroy or hide any opinion other than theirs. If you disagree, they resort to calling you names, like racist, etc.

Enter Squaw island – I doubt if many local folks have spent much time thinking about the little island’s name – in fact, there is no one alive today that ever heard any name but “Squaw Island” to represent that chunk of land that resides in the Town of Canandaigua (not in the city of Canandaigua). No matter, the chosen few have declared this name inappropriate, and they want it changed (shades of “Fahrenheit 451”)

If one did some research, you would find that there are many references to the word “Squaw” that is not offensive to indigenous people – unlike what the change merchants

would have you believe. I believe we all respect and honor the Native Americans that were here long before us.

So, let's leave history unchanged, let's keep the "Canandaigua Braves, the Red Jacket Indians and Squaw Island" and not destroy our history or our heritage.

Dave

dh hudson

4507 west lake rd

Canandaigua, ny 14424-8316

585-396-1783

Dhudson2@rochester.rr.com

Always kneel for the cross and stand for the flag

Sarah Reynolds

From: dfinch@townofcanandaigua.org
Sent: Tuesday, October 6, 2020 9:13 AM
To: Sarah Reynolds
Subject: FW: [EXTERNAL] RE: code enforcement noise complaint- whom to contact?

For communication binder please

Doug Finch, Town Manager

Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Rosenbaum, Michele VMD <michele.rosenbaum@zoetis.com>
Sent: Tuesday, September 22, 2020 3:04 PM
To: dfinch@townofcanandaigua.org
Subject: RE: [EXTERNAL] RE: code enforcement noise complaint- whom to contact?

Yesterday (Monday) we noticed a very loud seaplane flying repeatedly over our house from early morning until dusk- flying to and from the lake doing circles. I hear it today too. Last weekend I was woken up at 5:30 am on Sat morning by a loud seaplane flying over our house. We went to Onanda Park last night around dusk to have some quiet relaxation and saw the same plane again practicing landings and take offs on the lake and doing circles. At the time there were a few boaters and a kayaker. They were landing close to shore and the noise was incredible. This went on until dark. We called the Sherriff's office as it did not seem safe but they never called us back. We do have some cell phone videos of the plane on the lake landing and taking off. No matter how much wealth you have or what your last name is, this does not seem safe and is very loud and disruptive to the quiet enjoyment of our home- something needs to be done. Our neighbors and I did not buy our homes to be in a sea plane flight path. As I type this I hear it again right overhead. It is a white plane with a red stripe and pontoon landing gear. I can send the videos if you need them.

Thank you for taking this seriously.

Kind regards,

Michele

Michele Rosenbaum, VMD, DACVD

Veterinary Medical Lead, Dermatology (Professional) | Senior Manager, Veterinary Medical Affairs
Zoetis | US Petcare |
Mobile: 585.755.8947 | Michele.rosenbaum@zoetis.com
www.apoquel.com; www.cytoint.com; www.scienceofstrongerbonds.com

Visit us: www.ZoetisUS.com



From: dfinch@townofcanandaigua.org <dfinch@townofcanandaigua.org>
Sent: Tuesday, September 22, 2020 2:41 PM
To: Rosenbaum, Michele VMD <michele.rosenbaum@zoetis.com>
Subject: RE: [EXTERNAL] RE: code enforcement noise complaint- whom to contact?

Be cautious! Message sent from external source.

Michele,

That is a very good question. I am aware that some residents of West Lake Road have seaplanes and likely are landing or even flying over their property. Could you give me any additional info?

Doug Finch, Town Manager

Town of Canandaigua

5440 Route 5 & 20 West

Canandaigua, NY 14424

Phone: (585)394-1120 ext. 2234

Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Rosenbaum, Michele VMD <michele.rosenbaum@zoetis.com>
Sent: Tuesday, September 22, 2020 1:10 PM
To: dfinch@townofcanandaigua.org
Subject: RE: [EXTERNAL] RE: code enforcement noise complaint- whom to contact?

Doug,

Also, whom to we contact about excessive plane noise from pontoon planes going to and from the lake (tours?). This week seems to be excessive, flying low over our house every 20-30 min and last night taking off and landing on lake repeatedly close to shore while there were boats and kayakers on the lake. The noise is very disturbing and there are safety issues. Touring company? Billionaire's new toy?

Thanks

Kind regards,

Michele

Michele Rosenbaum, VMD, DACVD

Veterinary Medical Lead, Dermatology (Professional) | Senior Manager, Veterinary Medical Affairs
Zoetis | US Petcare |

Mobile: 585.755.8947 | Michele.rosenbaum@zoetis.com

www.apoquel.com; www.cytoint.com; www.scienceofstrongerbonds.com

Visit us: www.ZoetisUS.com



From: dfinch@townofcanandaigua.org <dfinch@townofcanandaigua.org>

Sent: Tuesday, September 22, 2020 12:03 PM

To: Rosenbaum, Michele VMD <michele.rosenbaum@zoetis.com>

Cc: Chris Jensen <cjensen@townofcanandaigua.org>; Jean Chrisman <jchrisman@townofcanandaigua.org>; Doug Finch <dfinch@townofcanandaigua.org>; 'Kate Silverstrim' <ksilverstrim@townofcanandaigua.org>; Samantha Pierce <spierce@townofcanandaigua.org>; Sarah Reynolds <sreynolds@townofcanandaigua.org>

Subject: [EXTERNAL] RE: code enforcement noise complaint- whom to contact?

Be cautious! Message sent from external source.

Chris - please contact Michele to look into this matter.

Michele – I am sorry to hear the phone tree was not helpful, we will review that and look into it further.

Doug Finch, Town Manager

Town of Canandaigua

5440 Route 5 & 20 West

Canandaigua, NY 14424

Phone: (585)394-1120 ext. 2234

Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Rosenbaum, Michele VMD <michele.rosenbaum@zoetis.com>

Sent: Tuesday, September 22, 2020 11:12 AM

To: dfinch@townofcanandaigua.org

Subject: code enforcement noise complaint- whom to contact?

Hi Doug,

I am not sure whom to contact about a barking dog noise complaint. I called the sheriff they referred me to the humane society who referred me back to you “code enforcement” which is not even an option in your phone tree. I would like to speak to someone about this.

Thank you.

Kind regards,

Michele

Michele Rosenbaum, VMD, DACVD

Veterinary Medical Lead, Dermatology (Professional) | Senior Manager, Veterinary Medical Affairs

Zoetis | US Petcare |

Mobile: 585.755.8947 | Michele.rosenbaum@zoetis.com

www.apoquel.com; www.cytoint.com; www.scienceofstrongerbonds.com

Visit us: www.ZoetisUS.com



Sarah Reynolds

From: Doug Finch <DFinch@townofcanandaigua.org>
Sent: Friday, October 16, 2020 7:29 AM
To: Sarah Reynolds
Cc: Oksana Fuller
Subject: Fwd: FW: Cheshire sidewalks

Flag Status: Flagged

Sarah - for communication binder please

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20
Canandaigua, NY 14424
Phone: (585)394-1120 x2234
LinkedIn: [Doug Finch](#)

From: <jfletcher@townofcanandaigua.org>
To: "'Eric Cooper'" <ecooper@townofcanandaigua.org>, <dfinch@townofcanandaigua.org>
Date: Mon, 21 Sep 2020 10:17:36 -0400
Subject: FW: Cheshire sidewalks

Eric
Your question last week or may be two weeks ago about sidewalks in Cheshire area is not currently being funded.

James Fletcher
Town of Canandaigua
Highway and Water Superintendent
585-394-3300

From: Harman, Jon P (DOT) <Jon.Harman@dot.ny.gov>
Sent: Monday, September 21, 2020 7:20 AM
To: Trost, Gregory J (DOT) <Gregory.Trost@dot.ny.gov>; jfletcher@townofcanandaigua.org
Subject: RE: Cheshire sidewalks

Good Morning,
The sidewalk program remains on hold. Should anything change, we will keep stakeholders notified.

Jon

Jon P. Harman
Landscape Architect
New York State Department of Transportation
1530 Jefferson Road, Rochester, NY 14623
(585) 371-9259 | Jon.Harman@dot.ny.gov
www.dot.ny.gov



From: Trost, Gregory J (DOT) <Gregory.Trost@dot.ny.gov>
Sent: Friday, September 18, 2020 6:45 AM
To: jfletcher@townofcanandaigua.org
Cc: Harman, Jon P (DOT) <Jon.Harman@dot.ny.gov>
Subject: RE: Cheshire sidewalks

Hi Jim,
I haven't heard anything. Last I knew, the sidewalk program was on hold. I've copied in Jon Harman, our regional sidewalk expert, to see if he has any incite.

Thanks,
Greg

Greg Trost
Assistant Resident Engineer
New York State Department of Transportation
125 Parrish Street, Canandaigua, NY 14424
(585) 396-4957 | gregory.trost@dot.ny.gov
www.dot.ny.gov



From: jfletcher@townofcanandaigua.org <jfletcher@townofcanandaigua.org>
Sent: Thursday, September 17, 2020 3:05 PM
To: Trost, Gregory J (DOT) <Gregory.Trost@dot.ny.gov>
Subject: Cheshire sidewalks

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Hello Greg
I am asking you if there has been any discussion of installing sidewalks in Cheshire in the next 5 years. The idea of them continues to come up.

James Fletcher
Town of Canandaigua
Highway and Water Superintendent
585-394-3300

ATTACHMENT 2

Report of highway and water superintendent

Highway

1. Canandaigua Farmington town line road is coming along. We should be done by the third week of November
2. Still have plans to pave Hickox road between Bliss road and County road 32 and from Bliss road to state route 21. Weather has been an issue keeping on schedule.
3. Snow plowing equipment has been serviced and trucks are ready for winter.
4. Working with RGE forestry in mid-November to remove the Ash trees along Sucker Brook.

Water

1. Will hold an information meeting on November 16 at 5:00 pm to inform the residents on Cramer road of the water main project.
2. The capitol project is moving along on the new pumps and tanks.

Assessor's Report – October 6, 2020

There were 14 residential sales recorded in the MLS for the Town of Canandaigua for the month of September 2020. Of these sales, 11 were single family houses ranging from \$150,000 - \$655,000 with an average sale price of \$400,591 and a median value of \$370,000. The average days on market was 52 days and the median days on market was 6. There were also 3 townhouse sales, ranging from \$295,000 - \$399,900 with an average sale price of \$356,600 and a median value of \$374,900. Average days on market was 29.

By comparison, September 2019 had a total of 16 residential sales, with 13 single family houses ranging from \$70,000 - \$515,000 with an average sale price of \$246,985 and a median value of \$220,000. The average days on market was 45 days. There were also 3 townhouses that sold within a range between \$295,000 - \$399,900 with an average sale price of \$341,633 and a median value of \$330,000. Average days on market for townhouses was 24.

There are currently 20 active residential listings and 40 properties under contract in our town.

School tax bills were sent to residents at the end of September. This typically triggers a high volume of questions from residents regarding their properties and their assessments. The school tax rate increased slightly between last year and this year which has been of particular concern and many residents have been inquiring as to the delivery date of the Star Checks. As of this writing, I have not heard from anyone that has received theirs yet.

The annual exemption renewal process is underway. All renewals will be mailed out between now and the end of December. Residents will have until March 1, 2021 to return the renewals to the Assessor.

Respectfully Submitted,

Pam Post, Assessor

Town Clerk Report for the October 2020 Town Board Meeting

1. **Monthly Financial Report:** Revenues collected in the Town Clerk's office for the month of September 2020 totaled \$32,762.33. (see attached).
2. **2020 Water Bill Balances:** On October 1, the final 2020 water bills were mailed to all Canandaigua Consolidate Water District users. As discussed at the October 19 Town Board meeting, due to the Covid-19 Pandemic and the Governor's Executive Order, water payments will be accepted after October 31, 2020, and any outstanding balances will not be levied to your 2021 County / Town tax bill. All water district users will be receiving a letter in the mail further explaining this year's exemption and payment options.

The Town Clerk's office accepts the following forms of payment: check, cash, bank check, auto withdrawal from their bank account, and online with a debit / credit card. These options are described in detail on the Town's website (<http://www.townofcanandaigua.org/page.asp?id=117>).

Receive the Water Bill Via Email: Using the link above, you can also select to receive your quarterly water bill by email rather than through the US Mail. It only takes a couple minutes to sign up to receive your quarterly water bill by email.

3. **Town Clerk Office Hours:** The Town Clerk office hours is now observing our Fall / Winter office hours. We are open every Wednesday until 7:00 p.m. These office hours will remain in effect until May 1, 2021.

There will be no evening hours on the following Wednesdays: November 25, December 23, and December 30.

The Town Clerk's office will be closed on Thursday, December 24 (Christmas Eve).

The Town Clerk's office will be closing at 2:00 p.m. on December 31 (New Year's Eve) to allow a deposit to be made prior to the bank closing at 3:00 p.m.

4. **Resolutions:**
 - a. Stormwater Control Facilities Maintenance Agreement (CGA CR 10 LLC)
 - b. Stormwater Control Facilities Maintenance Agreement (Creekview Apartments Housing Development Fund Corp)
 - c. TE-9 for Buffalo Street Ext (between Conifer Drive and City boundary)
 - d. Four separate surety resolutions: Reiff for Lymann/O'Shughnessy; Anthony Venezia LS; Grove for Kreiser; Venezia for Vestal /Quehl; Venezia Group LLC

Please let me know if you have any questions.

Submitted by,

Jean Chrisman
Town Clerk

Account#	Account Description	Fee Description	Qty	Local Share
A.2001	Cabins / Halls / Pavilions	Onanda Halls/Lodging	3	430.00
	Park Rentals	Onanda Cabin Residential Weekly	2	300.00
		Sub-Total:		\$730.00
A1255	Marriage Lic.	Marriage License Fees	19	332.50
		Sub-Total:		\$332.50
A2001	Walk Ins	Onanda Receipts	10	1,806.00
		Sub-Total:		\$1,806.00
AA100.0380	AR Charge Back Billing	AR Charge Back Billing	1	742.50
		Sub-Total:		\$742.50
AA100.1255	Conservation	Conservation	16	141.74
	Misc. Fees	Marriage Cert	10	100.00
		Sub-Total:		\$241.74
AA100.1603	Misc. Fees	Death Cert	36	360.00
		Sub-Total:		\$360.00
AA100.2001	CC Cart Fee	CC Cart Fee	21	2.10
	Onanda Cabin NON Residential Daily	Onanda Cabin NON Residential Daily	6	855.00
	Onanda Cabin NON Residential Weekly	Onanda Cabin NON Residential Weekly	1	300.00
	Onanda Cabin Residential Daily	Onanda Cabin Residential Daily	1	120.00
	Onanda Park Pavilion	Onanda Park Pavilions	2	160.00
	Outhouse Park Hall Full Day	Outhouse Park Hall Full Day	7	850.00
	Outhouse Park Pavilion	Outhouse Park Pavilion	3	120.00
	Pavilion rental	Pierce Park Pavilions	3	75.00
	WL Schoolhouse Weekend	WL Schoolhouse Weekday	4	100.00
		Sub-Total:		\$2,582.10
		Sub-Total:		\$3,800.00
AA100.2110	Plan & Zone	Zoning Fee	10	3,800.00
		Sub-Total:		\$3,800.00
AA100.2120	Plan & Zone	Soil Erosion	2	300.00
		Sub-Total:		\$300.00
AA100.2544	Dog Licensing	Female, Spayed	96	1,824.00
		Female, Unspayed	4	108.00
		Male, Neutered	60	1,140.00
		Male, Unneutered	9	243.00
	Late Fees	Late Fees	57	285.00
		Sub-Total:		\$3,600.00
AA100.2590	Building Fee	Building Fee	24	2,855.80
	Plan & Zone	Site Development	9	849.80
		Sub-Total:		\$3,705.60
A/ 2591	Misc. Fees	Transfer Coupons	1440	2,880.00
		Sub-Total:		\$2,880.00
CM100-2001	Plan & Zone	Parks And Recreation	1	1,000.00

Account#	Account Description	Fee Description	Qty	Local Share
			Sub-Total:	\$1,000.00
SW500.2140	Rents Payments	Rents Payments	19	5,688.40
			Sub-Total:	\$5,688.40
SW500.2142	Water Sales	Water Sales	5	397.75
			Sub-Total:	\$397.75
SW500.2144	Service Hookups	Service Hookups	1	850.00
			Sub-Total:	\$850.00
SW500.2148	Penalty	Penalty	11	227.98
			Sub-Total:	\$227.98

Total Local Shares Remitted:	\$29,244.57
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Amount paid to: NYS Ag. & Markets for spay/neuter program	195.00
Amount paid to: NYS Environmental Conservation	2,895.26
Amount paid to: State Health Dept. For Marriage Licenses	427.50

Total State, County & Local Revenues:	\$32,762.33
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Total Non-Local Revenues:	\$3,517.76
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To the Supervisor:

Pursuant to Section 27, Sub 1, of the Town Law, I hereby certify that the foregoing is a full and true statement of all fees and monies received by me, Jean Chrisman, Town Clerk, Town of Canadaigua during the period stated above, in connection with my office, excepting only such fees and monies, the application of which are otherwise provided for by law.

Catherine Menckes
Supervisor

10/5/2020
Date

Jean Chrisman
Town Clerk

10/2/2020
Date

TOWN OF CANANDAIGUA PLANNER MONTHLY REPORT

October 22, 2020

A Draft of the Comprehensive Plan is available for review, and I would appreciate any comments. We are working to prepare an acceptable draft for the Project Team's Public Meeting which we hope to hold as soon as possible. Our next meeting is November 4th @ 5PM. You can view the draft here:

http://www.townofcanandaigua.org/documents/files/Comprehensive_Plan_2020-10-01_edits.pdf

Best,



Eric Cooper, Planner

Town of Canandaigua

5440 Routes 5 & 20 West Canandaigua, NY 14424
(585) 394-1120 / Fax (585) 394-9476
www.townofcanandaigua.org

MEMO

To: Canandaigua Town Board Date: October 9, 2020
From: Kate Silverstrim-Jensen, Clerk – Finance
Re: September 2020 Revenue/Expense Control Report

BALANCE SHEET

Bank statements have been reconciled through September 30, 2020. Detailed reports can be found in the Bank Reconciliation folder included with the abstract of bills.

REVENUES

Receipts recorded for September totaled \$86,189.36 and include the following:

- Town Clerk - \$55,616.75 and \$2,000 in special park & recreation funds.
- Justice Fines & Fees - \$18,549.00
- Development Office - \$2,266.25 applied against accounts receivable
- CFTL Road Reimbursement - \$2,355.90
- Prior Year Expense Reimbursement - \$769.00
- Metal Recycling - \$1,137.50
- City Transfer Use - \$1,000
- Restitution - \$800.00
- Park Bench Sponsorship - \$650.00
- Real Property Rental - \$450.00
- Other - \$594.96

EXPENDITURES

We expect the available balance in each fund to be about 25.03% at the end of September.

- General Fund (AA100) – Expenditures to date are \$2,481,482.58 against a budget of \$3,971,953.67 which leaves 37.52% available.
- Highway Fund (DA100) – Expenditures to date are \$1,991,932.24 against a budget of \$3,487,960.38 which leaves 42.89% available.
- Water Fund (SW500) – Expenditures to date are \$1,872,634.25 against a budget of \$2,432,734.98 which leaves 23.02% available.



Town of Canandaigua , NY

Fiscal Budget Report

Account Summary

For Fiscal: 2020 Period Ending: 10/31/2020

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: AA100 - GENERAL FUND							
Revenue							
AA100.1001.00000	REAL PROPERTY TAXES	555,000.00	555,000.00	0.00	555,000.00	0.00	0.00 %
AA100.1030.00000	SPECIAL ASSESSMENT/PILOT	21,696.00	25,107.00	0.00	25,107.41	0.41	100.00 %
AA100.1090.00000	PENALTY ON TAXES	12,000.00	12,000.00	0.00	13,241.81	1,241.81	110.35 %
AA100.1120.00000	NON PROPERTY SALES TAX	2,000,000.00	1,315,500.00	0.00	514,629.89	-800,870.11	60.88 %
AA100.1170.00000	CABLE TV FRANCHISE FEES	80,000.00	80,000.00	0.00	89,009.31	9,009.31	111.26 %
AA100.1255.00000	TOWN CLERK FEES	1,400.00	1,900.00	574.24	3,257.38	1,357.38	171.44 %
AA100.1603.00000	VITAL STATISTICS FEE	5,500.00	5,500.00	360.00	3,005.00	-2,495.00	45.36 %
AA100.2001.00000	PARK & RECREATION FEES	105,000.00	55,000.00	5,118.10	64,422.21	9,422.21	117.13 %
AA100.2110.00000	ZONING FEES	27,500.00	18,000.00	3,800.00	25,800.00	7,800.00	143.33 %
AA100.2120.00000	SOIL EROSION CONTROL	6,000.00	4,000.00	300.00	4,200.00	200.00	105.00 %
AA100.2148.00000	RETURNED CHECK FEE	20.00	20.00	0.00	20.00	0.00	0.00 %
AA100.2192.00000	CEMETERY SERVICES	500.00	500.00	0.00	350.00	-150.00	30.00 %
AA100.2302.00000	SERVICES/OTHER GOVERNMENTS	26,620.00	26,620.00	0.00	26,500.00	-120.00	0.45 %
AA100.2401.00000	INTEREST & EARNINGS	15,000.00	15,000.00	0.00	2,074.60	-12,925.40	86.17 %
AA100.2410.00000	RENTAL OF REAL PROPERTY	12,800.00	12,800.00	0.00	16,860.00	4,060.00	131.72 %
AA100.2544.00000	DOG LICENSES	20,000.00	20,000.00	3,600.00	21,286.00	1,286.00	106.43 %
AA100.2590.00000	SITE DEVELOPMENT FEES	67,000.00	40,000.00	3,705.60	56,635.20	16,635.20	141.59 %
AA100.2591.00000	CONSTRUCTION DEBRIS FEES	20,000.00	20,000.00	2,880.00	21,027.00	1,027.00	105.14 %
AA100.2610.00000	FINES & FORFEITED BAIL	80,000.00	80,000.00	0.00	79,376.85	-623.15	0.78 %
AA100.2651.00000	RECYCLING REVENUE	15,000.00	15,000.00	330.62	8,938.13	-6,061.87	40.41 %
AA100.2665.00000	SALE OF EQUIPMENT	12,500.00	20,285.00	0.00	17,215.00	-3,070.00	15.13 %
AA100.2680.00000	INSURANCE RECOVERIES	0.00	0.00	0.00	260.60	260.60	0.00 %
AA100.2701.00000	REFUND PRIOR YEARS EXP	0.00	0.00	3,383.20	4,152.20	4,152.20	0.00 %
AA100.2705.00000	GIFTS & DONATIONS	0.00	2,350.00	400.00	2,350.00	0.00	0.00 %
AA100.2770.00000	MISCELLANEOUS INCOME	0.00	0.00	-3,383.20	101.87	101.87	0.00 %
AA100.3005.00000	ONTARIO CO MORTGAGE TAX	230,000.00	221,134.00	0.00	221,133.70	-0.30	0.00 %
AA100.3089.00000	ST AID.OTHER	0.00	1,038.00	0.00	1,038.77	0.77	100.07 %
AA100.3092.00000	ST AID.PLANNING STUDIES	45,000.00	45,000.00	0.00	0.00	-45,000.00	100.00 %
AA100.5031.00000	INTERFUND TRANSFERS	0.00	205,717.52	0.00	0.00	-205,717.52	100.00 %
AA100.5031.000CM	INTERFUND TRANSFERS.PARK FUN	192,500.00	180,000.00	0.00	0.00	-180,000.00	100.00 %
AA100.9000.00000	APPROPRIATED FUND BALANCE FO	491,334.00	829,368.92	0.00	330,194.92	-499,174.00	60.19 %
Revenue Total:		4,042,370.00	3,806,840.44	21,068.56	2,107,187.85	-1,699,652.59	44.65 %
Expense							
AA100.1010.110.00000	TOWN BOARD.ELECTED	20,660.00	20,660.00	765.20	16,069.20	4,590.80	22.22 %
AA100.1010.400.00000	TOWN BOARD.CONTRACTUAL	750.00	450.00	0.00	339.23	110.77	24.62 %
AA100.1110.110.00000	JUSTICES.ELECTED	50,850.00	50,850.00	1,883.34	39,550.14	11,299.86	22.22 %
AA100.1110.120.00000	JUSTICES.COURT CLERK, PT	23,400.00	23,400.00	1,417.50	20,169.00	3,231.00	13.81 %
AA100.1110.130.00000	JUSTICES.COURT CLERK, PT	5,000.00	5,000.00	54.00	1,881.00	3,119.00	62.38 %
AA100.1110.140.00000	JUSTICES.COURT CLERK, PT	17,316.00	5,316.00	0.00	3,996.01	1,319.99	24.83 %
AA100.1110.200.00000	JUSTICES.CAPITAL.EQUIPMENT	500.00	500.00	0.00	0.00	500.00	100.00 %
AA100.1110.400.00000	JUSTICES.CONTRACTUAL	10,140.00	11,178.00	0.00	3,549.88	7,628.12	68.24 %
AA100.1110.401.00000	JUSTICES..CONTR.COURTSECURITY	10,000.00	10,000.00	0.00	2,020.05	7,979.95	79.80 %
AA100.1220.110.00000	SUPERVISOR.ELECTED	20,400.00	20,400.00	755.56	15,866.76	4,533.24	22.22 %
AA100.1220.120.00000	SUPERVISOR.DEPUTY SUPERVISOR	2,000.00	2,000.00	76.92	1,538.40	461.60	23.08 %
AA100.1220.400.00000	SUPERVISOR.CONTRACTUAL	1,500.00	1,500.00	0.00	150.00	1,350.00	90.00 %
AA100.1230.100.00000	TOWN MANAGER.PERSONAL SERVI	125,000.00	125,000.00	4,629.63	97,222.23	27,777.77	22.22 %
AA100.1230.120.00000	TOWN MGR.ADMINISTRATIVE AIDE	30,810.00	30,810.00	1,091.19	17,750.33	13,059.67	42.39 %
AA100.1230.200.00000	TOWN MANAGER.CAPITAL.EQUIPM	2,350.00	0.00	0.00	0.00	0.00	0.00 %
AA100.1230.400.00000	TOWN MANAGER.CONTRACTUAL	7,490.00	2,490.00	31.12	2,035.58	454.42	18.25 %
AA100.1320.400.00000	AUDITOR.CONTRACTUAL	12,000.00	18,000.00	0.00	12,790.00	5,210.00	28.94 %

Fiscal Budget Report

For Fiscal: 2020 Period Ending: 10/31/2020

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
AA100.1340.400.00000	BUDGET.CONTRACTUAL	3,000.00	3,000.00	0.00	792.16	2,207.84	73.59 %
AA100.1345.400.00000	PURCHASING.CONTRACTUAL	2,250.00	750.00	0.00	562.25	187.75	25.03 %
AA100.1355.120.00000	ASSESSOR.PERSONAL SERVICES	73,000.00	56,755.08	2,185.19	52,759.90	3,995.18	7.04 %
AA100.1355.132.00000	ASSESSOR.REAL PROPERTY AIDE FT	45,931.00	12,175.92	0.00	12,175.92	0.00	0.00 %
AA100.1355.150.00000	ASSESSOR.BAR REVIEW SALARY	1,500.00	1,500.00	0.00	1,125.00	375.00	25.00 %
AA100.1355.200.00000	ASSESSOR.CAPITAL.EQUIPMENT	500.00	500.00	0.00	0.00	500.00	100.00 %
AA100.1355.400.00000	ASSESSOR.CONTRACTUAL	9,300.00	5,800.00	15.56	4,731.76	1,068.24	18.42 %
AA100.1355.420.00000	ASSESSOR.BAR REVIEW CONTRACT	200.00	200.00	0.00	58.12	141.88	70.94 %
AA100.1380.400.00000	FISCAL.AGENT.FEES	0.00	0.00	-75.00	0.00	0.00	0.00 %
AA100.1410.110.00000	TOWN CLERK.ELECTED	63,154.00	63,154.00	2,339.04	49,119.84	14,034.16	22.22 %
AA100.1410.131.00000	TOWN CLERK.DEPUTY F/T	37,986.00	37,986.00	1,483.95	28,408.25	9,577.75	25.21 %
AA100.1410.141.00000	TOWN CLERK.DEPUTY P/T	22,568.00	19,818.00	910.63	14,256.17	5,561.83	28.06 %
AA100.1410.200.00000	TOWN CLERK.CAPITAL.EQUIPMENT	850.00	820.00	0.00	0.00	820.00	100.00 %
AA100.1410.400.00000	TOWN CLERK.CONTRACTUAL	12,550.00	9,550.00	0.00	8,900.87	649.13	6.80 %
AA100.1420.400.00000	ATTORNEY.CONTRACTUAL	12,500.00	6,000.00	0.00	4,600.00	1,400.00	23.33 %
AA100.1430.132.00000	PERSONNEL.HR AND PAYROLL COO	68,750.00	68,750.00	2,546.30	52,713.90	16,036.10	23.33 %
AA100.1430.141.00000	PERSONNEL.CLERK P/T	15,600.00	6,600.00	0.00	4,923.75	1,676.25	25.40 %
AA100.1430.142.00000	PERSONNEL.CLERK P/T	31,110.00	29,110.00	0.00	586.54	28,523.46	97.99 %
AA100.1430.144.00000	PERSONNEL.FINANCE CLERK II	55,000.00	55,000.00	2,037.04	42,777.84	12,222.16	22.22 %
AA100.1430.200.00000	PERSONNEL.CAPITAL.EQUIPMENT	500.00	500.00	0.00	0.00	500.00	100.00 %
AA100.1430.410.00000	PERSONNEL.CONTRACTUAL	6,125.00	6,125.00	15.56	1,444.59	4,680.41	76.41 %
AA100.1430.420.00000	PERSONNEL.EAP HUMAN RESOURC	1,200.00	1,200.00	0.00	840.48	359.52	29.96 %
AA100.1440.400.00000	ENGINEERING.CONTRACTUAL	3,500.00	0.00	0.00	0.00	0.00	0.00 %
AA100.1440.406.00000	ENGINEERING. SEWERS	7,500.00	0.00	0.00	0.00	0.00	0.00 %
AA100.1450.400.00000	ELECTIONS.CONTRACTUAL	7,200.00	7,200.00	0.00	34.01	7,165.99	99.53 %
AA100.1460.200.00000	RECORDS MANAGEMENT.CAPITAL.	2,855.00	355.00	0.00	0.00	355.00	100.00 %
AA100.1460.400.00000	RECORDS MANAGEMENT.CONTRAC	12,600.00	4,600.00	0.00	4,101.03	498.97	10.85 %
AA100.1480.400.00000	PUBLICSERVINFO.CONTRACTUAL.C	6,250.00	250.00	0.00	214.91	35.09	14.04 %
AA100.1620.200.00000	BUILDINGS.CAPITAL.EQUIPMENT	65,000.00	101,969.23	0.00	83,609.08	18,360.15	18.01 %
AA100.1620.400.00000	BUILDINGS.CONTRACTUAL	4,000.00	4,000.00	723.77	2,151.69	1,848.31	46.21 %
AA100.1620.403.00000	BUILDINGS..TOWNHALL.CONTR.UTI	38,200.00	34,953.00	1,793.73	33,811.86	1,141.14	3.26 %
AA100.1620.404.00000	BUILDINGS..HIGHWAYBLDG.CONTR	60,000.00	56,500.00	510.97	34,831.80	21,668.20	38.35 %
AA100.1620.405.00000	BUILDINGS..PARKS.CONTR.UTILITY.	34,950.00	29,950.00	906.98	17,734.75	12,215.25	40.79 %
AA100.1620.410.00000	BUILDINGS.JANITORIAL	25,400.00	25,400.00	0.00	12,149.24	13,250.76	52.17 %
AA100.1670.400.00000	PRINTING & MAILING.CONTRACTU	28,500.00	18,500.00	0.00	10,982.90	7,517.10	40.63 %
AA100.1680.200.00000	DATA PROCESSING.CAPITAL.EQUIP	43,625.00	38,045.00	0.00	16,195.13	21,849.87	57.43 %
AA100.1680.400.00000	DATA PROCESSING.CONTRACTUAL	51,200.00	36,200.00	0.00	27,967.39	8,232.61	22.74 %
AA100.1910.400.00000	UNALLOCATED INSURANCE	110,000.00	95,000.00	0.00	41,340.09	53,659.91	56.48 %
AA100.1920.400.00000	MUNICIPAL ASSOCIATION DUES	1,350.00	1,350.00	0.00	1,350.00	0.00	0.00 %
AA100.1990.400.00000	CONTINGENCY	112,000.00	71,596.00	0.00	0.00	71,596.00	100.00 %
AA100.3120.400.00000	POLICE.CONTRACTUAL	27,500.00	14,000.00	0.00	4,893.08	9,106.92	65.05 %
AA100.3310.200.00000	TRAFFIC.CAPITAL.EQUIPMENT	20,000.00	0.00	0.00	0.00	0.00	0.00 %
AA100.3310.400.00000	TRAFFIC.CONTRACTUAL	91,500.00	51,500.00	0.00	49,603.94	1,896.06	3.68 %
AA100.3510.400.00000	DOG CONTROL CONTRACTUAL	24,600.00	24,630.00	0.00	24,630.00	0.00	0.00 %
AA100.4020.100.00000	REGISTRAR.PERSONAL SERVICES	2,400.00	2,400.00	0.00	1,800.00	600.00	25.00 %
AA100.4020.400.00000	REGISTRAR.CONTRACTUAL	250.00	250.00	0.00	76.63	173.37	69.35 %
AA100.4540.400.00000	AMBULANCE CONTRACTUAL	4,000.00	4,000.00	0.00	4,000.00	0.00	0.00 %
AA100.5010.110.00000	HIGHWAY SUPT.ELECTED	74,781.00	74,781.00	2,769.67	58,163.07	16,617.93	22.22 %
AA100.5010.120.00000	HIGHWAY.DEPUTY	3,191.00	3,191.00	122.73	2,454.60	736.40	23.08 %
AA100.5010.130.00000	HIGHWAY.ACCOUNT CLERK	20,000.00	4,768.00	733.50	9,359.25	-4,591.25	-96.29 %
AA100.5182.400.00000	STREET LIGHTING.CONTRACTUAL	33,000.00	18,900.00	2,030.43	17,499.31	1,400.69	7.41 %
AA100.6410.410.00000	PUBLICITY.CONTRACTUAL	7,500.00	5,500.00	0.00	0.00	5,500.00	100.00 %
AA100.6410.420.00000	PUBLICITY.PARK	3,500.00	0.00	0.00	0.00	0.00	0.00 %
AA100.6989.400.00000	ECONOMIC DEVELOPMENT.CONTR	50,000.00	50,000.00	0.00	50,000.00	0.00	0.00 %
AA100.7020.141.00000	RECREATION.SR LIFEGUARD	7,200.00	7,200.00	0.00	4,785.00	2,415.00	33.54 %
AA100.7110.121.00000	PARKS.MAINTENANCE ASSISTANT	49,350.00	49,350.00	1,827.78	38,434.80	10,915.20	22.12 %
AA100.7110.130.00000	PARK.LABORER F/T	38,440.00	38,440.00	1,440.00	28,494.00	9,946.00	25.87 %
AA100.7110.131.00000	SEASONAL.ONANDA PERSONAL SE	49,650.00	42,150.00	1,567.50	27,217.01	14,932.99	35.43 %

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
AA100.7110.142.00000	REC.ATTENDANTS GATEHOUSE	12,500.00	10,000.00	0.00	7,005.00	2,995.00	29.95 %
AA100.7110.143.00000	PARK.LABORERS P/T SEASONAL	12,188.00	12,188.00	390.00	10,237.50	1,950.50	16.00 %
AA100.7110.200.00000	PARKS.NORMAL.CAP.MAINTENANC	98,750.00	52,500.00	3,791.78	9,256.32	43,243.68	82.37 %
AA100.7110.201.00000	PARKS.PRKFUND.NEWREC.EXP.PAR	192,500.00	233,000.00	-3,791.78	31,806.21	201,193.79	86.35 %
AA100.7110.400.00000	PARK.CONTRACTUAL	96,115.00	36,115.00	288.75	24,046.54	12,068.46	33.42 %
AA100.7110.402.00000	PARKS.LANDSCAPING	8,400.00	3,275.77	0.00	0.00	3,275.77	100.00 %
AA100.7140.141.00000	PLAYGROUND/RECREATION.LIFEGU	50,500.00	50,500.00	0.00	28,393.66	22,106.34	43.77 %
AA100.7140.142.00000	PLAYGROUND/RECREATION.SPECIA	34,800.00	12,300.00	0.00	0.00	12,300.00	100.00 %
AA100.7140.200.00000	PLAYGROUND/RECREATION.CAPITA	350.00	350.00	0.00	0.00	350.00	100.00 %
AA100.7140.400.00000	PLAYGROUND/RECREATION.CONTR	16,500.00	7,500.00	0.00	2,456.79	5,043.21	67.24 %
AA100.7140.405.00000	RECREATION.EVENTS.MOVIE NIGHT	4,500.00	0.00	0.00	0.00	0.00	0.00 %
AA100.7140.410.00000	PLAYGROUND/RECREATION.DAY CA	15,000.00	15,000.00	0.00	10,000.00	5,000.00	33.33 %
AA100.7450.410.00000	MUSEUM.CONTRACTUAL	10,000.00	10,000.00	0.00	10,000.00	0.00	0.00 %
AA100.7510.120.00000	HISTORIAN.PERSONAL SERVICES	3,312.00	3,312.00	0.00	1,656.00	1,656.00	50.00 %
AA100.7510.400.00000	HISTORIAN.CONTRACTUAL	600.00	600.00	0.00	0.00	600.00	100.00 %
AA100.7550.400.00000	CELEBRATIONS.CONTRACTUAL	4,500.00	4,500.00	0.00	50.00	4,450.00	98.89 %
AA100.7620.400.00000	ADULT RECREATION.CONTRACTUAL	2,500.00	2,500.00	0.00	28.56	2,471.44	98.86 %
AA100.8010.120.00000	PLANNER	59,625.00	59,625.00	2,208.33	46,374.93	13,250.07	22.22 %
AA100.8010.141.00000	ZONING.INSPECTOR P/T	8,528.00	8,528.00	297.25	5,022.51	3,505.49	41.11 %
AA100.8010.144.00000	ZONING..OFFICE SPECIALIST I	40,040.00	40,040.00	1,540.00	30,405.39	9,634.61	24.06 %
AA100.8010.145.00000	ZONING..ZONING INSP F/T	31,200.00	22,200.00	0.00	10,965.00	11,235.00	50.61 %
AA100.8010.200.00000	ZONING INSPECTOR.CAPITAL.EQUIP	750.00	750.00	0.00	0.00	750.00	100.00 %
AA100.8010.400.00000	ZONING INSPECTOR.CONTRACTUAL	2,800.00	1,500.00	31.12	1,373.52	126.48	8.43 %
AA100.8020.120.00000	BOARD.PERSONAL SERVICES	13,750.00	13,750.00	0.00	10,312.50	3,437.50	25.00 %
AA100.8020.140.00000	STENOGRAPHER PT.PERSONAL SER	6,200.00	6,200.00	217.00	4,482.09	1,717.91	27.71 %
AA100.8020.150.00000	PLANNING..ECB PERS SVCS BOARD	4,200.00	4,200.00	0.00	2,700.00	1,500.00	35.71 %
AA100.8020.160.00000	PLANNING..ECB STENOGRAPHER	1,800.00	1,800.00	112.00	1,343.38	456.62	25.37 %
AA100.8020.400.00000	PLANNING.MISC.CONTRACTUAL	16,350.00	7,850.00	0.00	7,253.66	596.34	7.60 %
AA100.8020.410.00000	PLANNING.ENGINEERING.CONTRA	8,500.00	2,500.00	0.00	1,710.00	790.00	31.60 %
AA100.8020.412.00000	PLANNING.COMP PLAN	4,500.00	500.00	0.00	61.10	438.90	87.78 %
AA100.8020.422.00000	PLANNING.OPEN SPACE & CONSER	5,000.00	2,356.00	0.00	678.00	1,678.00	71.22 %
AA100.8020.424.00000	PLANNING.UPTOWN.MUO	25,000.00	7,500.00	0.00	0.00	7,500.00	100.00 %
AA100.8020.428.00000	PLANNING.HISTORICAL SURVEY	16,200.00	1,200.00	0.00	0.00	1,200.00	100.00 %
AA100.8020.430.00000	PLANNING..MIDDLECHESHIRE RD	10,000.00	2,500.00	0.00	0.00	2,500.00	100.00 %
AA100.8020.450.00000	ENVIRONMENTAL CONSULT BOARD	12,200.00	1,200.00	0.00	410.00	790.00	65.83 %
AA100.8040.120.00000	ZONING BOARD OF APPEALS.PERS	5,400.00	5,400.00	0.00	4,050.75	1,349.25	24.99 %
AA100.8040.400.00000	ZONING BOARD OF APPEALS CONT	9,000.00	2,500.00	0.00	1,421.91	1,078.09	43.12 %
AA100.8140.200.00000	STORMSEWERS.CAPITAL.EQUIPME	250.00	150.00	0.00	0.00	150.00	100.00 %
AA100.8140.400.00000	STORMSEWERS.CONTRACTUAL	1,400.00	0.00	0.00	0.00	0.00	0.00 %
AA100.8160.130.00000	WASTE & RECYCLING MEO.PERSON	60,098.00	60,098.00	2,157.60	34,569.98	25,528.02	42.48 %
AA100.8160.140.00000	WASTE & RECYCLING LABORS PT.PE	25,500.00	25,500.00	1,000.05	18,082.15	7,417.85	29.09 %
AA100.8160.200.00000	WASTE & RECYCLING EQUIPMENT	0.00	6,000.00	0.00	0.00	6,000.00	100.00 %
AA100.8160.201.00000	WASTE & RECYCLING.GRANT IMPR	7,500.00	2,500.00	0.00	0.00	2,500.00	100.00 %
AA100.8160.400.00000	WASTE & RECYCLING CONTRACTUA	89,380.00	96,380.00	0.00	55,312.83	41,067.17	42.61 %
AA100.8664.121.00000	CODE ENFORCEMENT	68,453.00	68,453.00	2,535.30	53,241.30	15,211.70	22.22 %
AA100.8664.122.00000	CODE ENFORCEMENT	17,314.00	17,314.00	665.92	12,272.70	5,041.30	29.12 %
AA100.8664.124.00000	CODE ENFORCEMENT	62,093.00	62,093.00	2,299.74	48,294.54	13,798.46	22.22 %
AA100.8664.200.00000	CODE ENFORCEMENT.CAPITAL.EQU	26,000.00	24,000.00	0.00	23,843.43	156.57	0.65 %
AA100.8664.400.00000	CODE ENFORCEMENT.CONTRACTU	5,315.00	3,815.00	78.48	2,512.28	1,302.72	34.15 %
AA100.8710.400.00000	CONSERVATION.CONTRACTUAL	12,000.00	0.00	0.00	0.00	0.00	0.00 %
AA100.8810.400.00000	CEMETERIES CONTRACTUAL	10,001.00	5,000.00	0.00	3,900.66	1,099.34	21.99 %
AA100.8989.400.00000	CDGA LAKE MANAGEMENT PLAN	29,000.00	27,600.00	0.00	27,593.00	7.00	0.03 %
AA100.9010.800.00000	NYS RETIREMENT	135,000.00	135,000.00	0.00	0.00	135,000.00	100.00 %
AA100.9030.800.00000	SOCIAL SECURITY/MEDICARE	112,000.00	112,000.00	3,330.92	74,494.52	37,505.48	33.49 %
AA100.9040.800.00000	WORKERS COMPENSATION	73,663.00	73,663.00	0.00	73,663.00	0.00	0.00 %
AA100.9050.800.00000	UNEMPLOYMENT INSURANCE	5,000.00	5,000.00	0.00	4,649.57	350.43	7.01 %
AA100.9055.800.00000	DISABILITY INSURANCE	2,500.00	2,500.00	0.00	1,050.64	1,449.36	57.97 %
AA100.9060.810.00000	MEDICAL INSURANCE	185,000.00	180,513.57	0.00	130,156.72	50,356.85	27.90 %

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AA100.9060.811.00000	DENTAL INSURANCE	13,000.00	13,000.00	0.00	8,787.96	4,212.04	32.40 %
AA100.9060.820.00000	HOSPITAL/MEDICAL BUY-OUT	2,000.00	2,000.00	74.07	1,555.47	444.53	22.23 %
AA100.9060.830.00000	HSA ACCOUNT	45,000.00	45,000.00	0.00	37,109.40	7,890.60	17.53 %
AA100.9710.600.00000	SERIAL BONDS.PRINCIPAL	205,000.00	205,000.00	0.00	0.00	205,000.00	100.00 %
AA100.9710.700.00000	SERIAL BONDS.INTEREST	81,113.00	81,113.00	0.00	40,556.29	40,556.71	50.00 %
AA100.9901.900.00000	INTERFUND TRANSFER	0.00	265,718.43	0.00	265,718.43	0.00	0.00 %
AA100.9950.900.00000	INTERFUND TRANSFER.CAPITAL PR	0.00	177,026.67	0.00	177,026.67	0.00	0.00 %
Expense Total:		4,042,370.00	3,971,953.67	53,816.32	2,481,482.58	1,490,471.09	37.52 %
Fund: AA100 - GENERAL FUND Surplus (Deficit):		0.00	-165,113.23	-32,747.76	-374,294.73	-209,181.50	-126.69 %
Fund: AA231 - CONTINGENT/TAX RESERVE							
Revenue							
AA231.2401.00000	INTEREST & EARNINGS.CONT TAX R	0.00	0.00	0.00	2,717.49	2,717.49	0.00 %
Revenue Total:		0.00	0.00	0.00	2,717.49	2,717.49	0.00 %
Fund: AA231 - CONTINGENT/TAX RESERVE Total:		0.00	0.00	0.00	2,717.49	2,717.49	0.00 %
Fund: AA232 - CAMPUS REPAIR RESERVE							
Revenue							
AA232.2401.00000	INTEREST & EARNING.BUILDING RE	0.00	0.00	0.00	674.30	674.30	0.00 %
Revenue Total:		0.00	0.00	0.00	674.30	674.30	0.00 %
Expense							
AA232.9901.900.00000	INTERFUND TRANSFER	0.00	95,717.52	0.00	0.00	95,717.52	100.00 %
Expense Total:		0.00	95,717.52	0.00	0.00	95,717.52	100.00 %
Fund: AA232 - CAMPUS REPAIR RESERVE Surplus (Deficit):		0.00	-95,717.52	0.00	674.30	96,391.82	100.70 %
Fund: AA233 - TECHNOLOGY RESERVE							
Revenue							
AA233.2401.00000	INTEREST & EARNING.TECHNOLOG	0.00	0.00	0.00	54.00	54.00	0.00 %
Revenue Total:		0.00	0.00	0.00	54.00	54.00	0.00 %
Fund: AA233 - TECHNOLOGY RESERVE Total:		0.00	0.00	0.00	54.00	54.00	0.00 %
Fund: AA234 - OPEN SPACE RESERVE							
Revenue							
AA234.2401.00000	INTEREST & EARNING.OPEN SPACE	0.00	0.00	0.00	3,549.17	3,549.17	0.00 %
AA234.5031.00000	INTERFUND TRANSFER	0.00	100,000.00	0.00	100,000.00	0.00	0.00 %
Revenue Total:		0.00	100,000.00	0.00	103,549.17	3,549.17	3.55 %
Expense							
AA234.9901.900.00000	INTERFUND TRANSFER	0.00	0.00	0.00	9,340.00	-9,340.00	0.00 %
Expense Total:		0.00	0.00	0.00	9,340.00	-9,340.00	0.00 %
Fund: AA234 - OPEN SPACE RESERVE Surplus (Deficit):		0.00	100,000.00	0.00	94,209.17	-5,790.83	5.79 %
Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE							
Revenue							
AA235.2401.00000	INTEREST & EARNING.NYS RETIRE	0.00	0.00	0.00	978.80	978.80	0.00 %
Revenue Total:		0.00	0.00	0.00	978.80	978.80	0.00 %
Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:		0.00	0.00	0.00	978.80	978.80	0.00 %
Fund: AA237 - BONDED INDEBTEDNESS RESERVE							
Revenue							
AA237.2401.00000	INTEREST & EARNINGS.BONDED IN	0.00	0.00	0.00	434.65	434.65	0.00 %
Revenue Total:		0.00	0.00	0.00	434.65	434.65	0.00 %
Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:		0.00	0.00	0.00	434.65	434.65	0.00 %
Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE							
Revenue							
AA238.2401.00000	INTEREST & EARNINGS.SOLID WAS	0.00	0.00	0.00	1,052.83	1,052.83	0.00 %
AA238.5031.00000	INTERFUND TRANSFER	0.00	150,000.00	0.00	150,000.00	0.00	0.00 %
Revenue Total:		0.00	150,000.00	0.00	151,052.83	1,052.83	0.70 %
Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:		0.00	150,000.00	0.00	151,052.83	1,052.83	0.70 %

Fiscal Budget Report

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: CL100 - LOCAL SOLID WASTE							
Revenue							
CL100.2401.00000	INTEREST & EARNINGS	0.00	0.00	0.00	7.12	7.12	0.00 %
CL100.9000.00000	APPROPRIATED FUND BALANCE	61,912.71	61,912.71	0.00	0.00	-61,912.71	100.00 %
Revenue Total:		61,912.71	61,912.71	0.00	7.12	-61,905.59	99.99 %
Expense							
CL100.1480.400.00000	PUBLICSERVINFO.CONTRACTUAL.C	43,211.56	9,357.91	0.00	895.16	8,462.75	90.43 %
CL100.8160.400.00000	WASTE & RECYCLING.CONTRACTUA	18,701.15	9,218.89	0.00	9,217.73	1.16	0.01 %
CL100.9901.900.00000	INTERFUND TRANSFER	0.00	11,745.22	0.00	11,745.22	0.00	0.00 %
Expense Total:		61,912.71	30,322.02	0.00	21,858.11	8,463.91	27.91 %
Fund: CL100 - LOCAL SOLID WASTE Surplus (Deficit):		0.00	31,590.69	0.00	-21,850.99	-53,441.68	169.17 %
Fund: CM100 - (CR) RECREATION.MISCELLANEOUS							
Revenue							
CM100.2001.00000	PARK & RECREATION FEES	30,000.00	30,000.00	1,000.00	15,000.00	-15,000.00	50.00 %
CM100.2401.00000	INTEREST & EARNINGS	0.00	0.00	0.00	1,801.23	1,801.23	0.00 %
CM100.9000.00000	APPROPRIATED FUND BALANCE FO	130,000.00	130,000.00	0.00	0.00	-130,000.00	100.00 %
Revenue Total:		160,000.00	160,000.00	1,000.00	16,801.23	-143,198.77	89.50 %
Expense							
CM100.9901.900.00000	INTERFUND TRANSFER	160,000.00	160,000.00	0.00	0.00	160,000.00	100.00 %
Expense Total:		160,000.00	160,000.00	0.00	0.00	160,000.00	100.00 %
Fund: CM100 - (CR) RECREATION.MISCELLANEOUS Surplus (Deficit)		0.00	0.00	1,000.00	16,801.23	16,801.23	0.00 %
Fund: DA100 - HIGHWAY							
Revenue							
DA100.1001.00000	REAL PROPERTY TAXES	865,000.00	865,000.00	0.00	865,000.00	0.00	0.00 %
DA100.1120.00000	NON PROPERTY SALES TAX	2,400,000.00	1,560,000.00	0.00	1,560,000.00	0.00	0.00 %
DA100.2302.00000	SERVICES/OTHER GOVERNMENTS	135,000.00	240,000.00	98,226.30	240,732.30	732.30	100.31 %
DA100.2303.00000	SALE OF FUEL	5,000.00	5,000.00	0.00	42.73	-4,957.27	99.15 %
DA100.2401.00000	INTEREST & EARNINGS	0.00	0.00	0.00	846.85	846.85	0.00 %
DA100.2410.00000	RENTAL OF LABOR/INDIVIDUALS	0.00	0.00	0.00	112,784.00	112,784.00	0.00 %
DA100.2414.00000	RENTAL OF EQUIPMENT	0.00	0.00	0.00	101,429.30	101,429.30	0.00 %
DA100.2665.00000	SALE OF EQUIPMENT	39,000.00	39,000.00	0.00	14,070.00	-24,930.00	63.92 %
DA100.2680.00000	INSURANCE RECOVERIES	0.00	0.00	0.00	800.00	800.00	0.00 %
DA100.3501.00000	NYS STATE AID CHIPS	260,000.00	195,000.00	190,784.66	190,784.66	-4,215.34	2.16 %
DA100.9000.00000	APPROPRIATED FUND BALANCE FO	295,070.00	111,570.00	0.00	0.00	-111,570.00	100.00 %
Revenue Total:		3,999,070.00	3,015,570.00	289,010.96	3,086,489.84	70,919.84	2.35 %
Expense							
DA100.1420.400.00000	HWY.ATTORNEY.CONTRACTUAL	5,000.00	2,500.00	0.00	0.00	2,500.00	100.00 %
DA100.1440.400.00000	HWY.ENGINEERING.CONTRACTUAL	75,003.00	20,003.00	0.00	2,415.00	17,588.00	87.93 %
DA100.1710.400.00000	HWY.CONTRACTUAL	14,500.00	14,500.00	78.31	3,309.78	11,190.22	77.17 %
DA100.5110.130.00000	GENERAL REPAIRS.WAGES F/T	585,000.00	626,100.00	32,470.23	425,516.15	200,583.85	32.04 %
DA100.5110.131.00000	GENERAL REPAIRS.VACATIONBUYB	8,000.00	8,000.00	0.00	0.00	8,000.00	100.00 %
DA100.5110.132.00000	GENERAL REPAIRS.RETIREEPAYOUT	10,000.00	10,000.00	0.00	0.00	10,000.00	100.00 %
DA100.5110.400.00000	GENERAL REPAIRS.CONTRACTUAL	1,116,001.00	802,009.00	0.00	332,283.58	469,725.42	58.57 %
DA100.5130.200.00000	MACHINERY.CAPITAL.EQUIPMENT	497,001.00	283,936.38	0.00	260,433.38	23,503.00	8.28 %
DA100.5130.400.00000	MACHINERY.CONTRACTUAL..	240,000.00	179,615.08	0.00	68,122.30	111,492.78	62.07 %
DA100.5130.400.00105	MACHINERY.CONTRACTUAL.CAR #5	0.00	11.72	0.00	11.72	0.00	0.00 %
DA100.5130.400.00109	MACHINERY.CONTRACTUAL.CAR #9	0.00	120.84	0.00	120.84	0.00	0.00 %
DA100.5130.400.00110	MACHINERY.CONTRACTUAL.CAR #1	0.00	73.99	0.00	73.99	0.00	0.00 %
DA100.5130.400.00111	MACHINERY.CONTRACTUAL.CAR#1	0.00	383.99	0.00	383.99	0.00	0.00 %
DA100.5130.400.00112	MACHINERY.CONTRACTUAL.CAR#1	0.00	425.68	0.00	425.68	0.00	0.00 %
DA100.5130.400.00114	MACHINERY.CONTRACTUAL.CAR#1	0.00	120.00	0.00	120.00	0.00	0.00 %
DA100.5130.400.00115	MACHINERY.CONTRACTUAL.CAR#1	0.00	689.79	0.00	689.79	0.00	0.00 %
DA100.5130.400.00203	MACHINERY.CONTRACTUAL.TRUCK	0.00	1,687.04	0.00	1,687.04	0.00	0.00 %
DA100.5130.400.00204	MACHINERY.CONTRACTUAL.TRUCK	0.00	5,850.46	0.00	5,850.46	0.00	0.00 %
DA100.5130.400.00205	MACHINERY.CONTRACTUAL.TRUCK	0.00	7,037.63	0.00	7,037.63	0.00	0.00 %
DA100.5130.400.00207	MACHINERY.CONTRACTUAL.TRUCK	0.00	12,868.07	0.00	12,868.07	0.00	0.00 %

Fiscal Budget Report

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
DA100.5130.400.00208	MACHINERY.CONTRACTUAL.TRUCK	0.00	623.94	0.00	623.94	0.00	0.00 %
DA100.5130.400.00209	MACHINERY.CONTRACTUAL.TRUCK	0.00	679.05	0.00	679.05	0.00	0.00 %
DA100.5130.400.00213	MACHINERY.CONTRACTUAL.TRUCK	0.00	2,435.11	0.00	2,435.11	0.00	0.00 %
DA100.5130.400.00214	MACHINERY.CONTRACTUAL.TRUCK	0.00	6,168.37	0.00	6,168.37	0.00	0.00 %
DA100.5130.400.00215	MACHINERY.CONTRACTUAL.TRUCK	0.00	3,335.79	0.00	3,335.79	0.00	0.00 %
DA100.5130.400.00216	MACHINERY.CONTRACTUAL.TRUCK	0.00	331.21	0.00	331.21	0.00	0.00 %
DA100.5130.400.00217	MACHINERY.CONTRACTUAL.TRUCK	0.00	14.99	0.00	14.99	0.00	0.00 %
DA100.5130.400.00231	MACHINERY.CONTRACTUAL.TRUCK	0.00	1,392.93	0.00	1,392.93	0.00	0.00 %
DA100.5130.400.00233	MACHINERY.CONTRACTUAL.TRUCK	0.00	2,049.60	0.00	2,049.60	0.00	0.00 %
DA100.5130.400.00234	MACHINERY.CONTRACTUAL.TRUCK	0.00	1,852.54	0.00	1,852.54	0.00	0.00 %
DA100.5130.400.00236	MACHINERY.CONTRACTUAL.TRUCK	0.00	156.42	0.00	156.42	0.00	0.00 %
DA100.5130.400.00238	MACHINERY.CONTRACTUAL.TRUCK	0.00	18,248.25	0.00	18,248.25	0.00	0.00 %
DA100.5130.400.00239	MACHINERY.CONTRACTUAL.TRUCK	0.00	2,384.28	0.00	2,384.28	0.00	0.00 %
DA100.5130.400.00240	MACHINERY.CONTRACTUAL TRUCK	0.00	2,466.86	0.00	2,466.86	0.00	0.00 %
DA100.5130.400.00313	MACHINERY.CONTRACTUAL.TRUCK	0.00	261.91	0.00	261.91	0.00	0.00 %
DA100.5130.400.00320	MACHINERY.CONTRACTUAL.EXCAV	0.00	634.86	0.00	634.86	0.00	0.00 %
DA100.5130.400.00323	MACHINERY.CONTRACTUAL.BACKH	0.00	675.00	0.00	675.00	0.00	0.00 %
DA100.5130.400.00324	MACHINERY.CONTRACTUAL.EXCAV	0.00	342.60	0.00	342.60	0.00	0.00 %
DA100.5130.400.00326	MACHINERY.CONTRACTUAL.TRACT	0.00	806.80	0.00	806.80	0.00	0.00 %
DA100.5130.400.00332	MACHINERY.CONTRACTUAL.TRAILE	0.00	125.98	0.00	125.98	0.00	0.00 %
DA100.5130.400.00340	MACHINERY.CONTRACTUAL.SWEEP	0.00	329.00	0.00	329.00	0.00	0.00 %
DA100.5130.400.00355	MACHINERY.CONTRACTUAL.DOZER	0.00	82.47	0.00	82.47	0.00	0.00 %
DA100.5130.400.00359	MACHINERY.CONTRACTUAL.MOWE	0.00	799.48	0.00	799.48	0.00	0.00 %
DA100.5130.400.00360	MACHINERY.CONTRACTUAL.FORKLI	0.00	129.99	0.00	129.99	0.00	0.00 %
DA100.5130.400.00361	MACHINERY.CONTRACTUAL.BACKH	0.00	810.29	0.00	810.29	0.00	0.00 %
DA100.5130.400.00363	MACHINERY.CONTRACTUAL.LOADE	0.00	1,048.74	0.00	1,048.74	0.00	0.00 %
DA100.5130.400.00364	MACHINERY.CONTRACTUAL.MOWE	0.00	316.97	0.00	316.97	0.00	0.00 %
DA100.5130.400.00365	MACHINERY.CONTRACTUAL.EXCAV	0.00	283.31	0.00	283.31	0.00	0.00 %
DA100.5130.400.00366	MACHINERY.CONTRACTUAL.EXCAV	0.00	98.03	0.00	98.03	0.00	0.00 %
DA100.5130.400.00367	MACHINERY.CONTRACTUAL.UTILIT	0.00	1,188.75	0.00	1,188.75	0.00	0.00 %
DA100.5130.400.00369	MACHINERY.CONTRACTUAL.LOADE	0.00	1,395.33	0.00	1,395.33	0.00	0.00 %
DA100.5130.400.00371	MACHINERY.CONTRACTUAL.LOADE	0.00	891.24	0.00	891.24	0.00	0.00 %
DA100.5130.400.00374	MACHINERY.CONTRACTUAL.MOWE	0.00	158.72	0.00	158.72	0.00	0.00 %
DA100.5130.400.00403	MACHINERY.CONTRACTUAL.WATER	0.00	26.95	0.00	26.95	0.00	0.00 %
DA100.5130.400.00404	MACHINERY.CONTRACTUAL.WATER	0.00	135.00	0.00	135.00	0.00	0.00 %
DA100.5130.400.00405	MACHINERY.CONTRACTUAL.WATER	0.00	55.63	0.00	55.63	0.00	0.00 %
DA100.5130.400.0244R	MACHINERY.CONTRACTUAL.TRUCK	0.00	815.32	0.00	815.32	0.00	0.00 %
DA100.5130.410.00000	MACHINERY.FUEL METERING	190,000.00	190,000.00	0.00	66,519.84	123,480.16	64.99 %
DA100.5142.130.00000	SNOW REMOVAL.WAGES F/T	400,000.00	400,000.00	0.00	279,078.88	120,921.12	30.23 %
DA100.5142.400.00000	SNOW REMOVAL.CONTRACTUAL	415,000.00	424,911.00	0.00	214,743.39	210,167.61	49.46 %
DA100.9010.800.00000	NYS RETIREMENT	125,000.00	125,000.00	0.00	0.00	125,000.00	100.00 %
DA100.9030.800.00000	SOCIAL SECURITY/MEDICARE	72,500.00	72,500.00	2,413.00	52,839.39	19,660.61	27.12 %
DA100.9040.800.00000	WORKERS COMPENSATION	54,565.00	54,565.00	0.00	54,565.00	0.00	0.00 %
DA100.9050.800.00000	UNEMPLOYMENT INSURANCE	2,000.00	2,000.00	0.00	0.00	2,000.00	100.00 %
DA100.9055.800.00000	DISABILITY INSURANCE	500.00	500.00	0.00	219.60	280.40	56.08 %
DA100.9060.810.00000	MEDICAL/DENTAL INSURANCE	135,000.00	132,300.00	0.00	97,879.20	34,420.80	26.02 %
DA100.9060.811.00000	DENTAL INSURANCE	13,000.00	13,000.00	0.00	9,685.41	3,314.59	25.50 %
DA100.9060.820.00000	HOSPITAL/MEDICAL BUY-OUT	4,000.00	4,000.00	148.14	3,110.94	889.06	22.23 %
DA100.9060.830.00000	HSA ACCOUNT	37,000.00	39,700.00	0.00	38,389.48	1,310.52	3.30 %
Expense Total:		3,999,070.00	3,487,960.38	35,109.68	1,991,932.24	1,496,028.14	42.89 %
Fund: DA100 - HIGHWAY Surplus (Deficit):		0.00	-472,390.38	253,901.28	1,094,557.60	1,566,947.98	331.71 %
Fund: DA230 - HWY EQUIPMENT RESERVE							
Revenue							
DA230.2401.00000	INTEREST & EARNING.EQUIPMENT	0.00	0.00	0.00	924.38	924.38	0.00 %
Revenue Total:		0.00	0.00	0.00	924.38	924.38	0.00 %
Fund: DA230 - HWY EQUIPMENT RESERVE Total:		0.00	0.00	0.00	924.38	924.38	0.00 %

Fiscal Budget Report

For Fiscal: 2020 Period Ending: 10/31/2020

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: DA232 - HWY IMPROVEMENT RESERVE							
Revenue							
DA232.2401.00000	INTEREST & EARNING.HWY IMPRO	0.00	0.00	0.00	902.19	902.19	0.00 %
	Revenue Total:	0.00	0.00	0.00	902.19	902.19	0.00 %
	Fund: DA232 - HWY IMPROVEMENT RESERVE Total:	0.00	0.00	0.00	902.19	902.19	0.00 %
Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE							
Revenue							
DA235.2401.00000	INTEREST & EARNING.SNOW&ICE R	0.00	0.00	0.00	1,015.85	1,015.85	0.00 %
	Revenue Total:	0.00	0.00	0.00	1,015.85	1,015.85	0.00 %
	Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:	0.00	0.00	0.00	1,015.85	1,015.85	0.00 %
Fund: HH100 - CAPITAL PROJECTS							
Revenue							
HH100.2401.00018	INTEREST & EARNINGS.SUCKERBRO	0.00	0.00	0.00	136.40	136.40	0.00 %
HH100.2401.00027	INTEREST & EARNINGS.PENDLETON	0.00	0.00	0.00	3.69	3.69	0.00 %
HH100.2401.00029	INTEREST & EARNINGS.MWRR	0.00	0.00	0.00	11.26	11.26	0.00 %
HH100.2401.0026W	INTEREST & EARNINGS.WATER DIST	0.00	0.00	0.00	130.23	130.23	0.00 %
HH100.5031.00025	INTERFUND TRANSFERS.HWY FACIL	0.00	0.00	0.00	175,902.44	175,902.44	0.00 %
HH100.5031.00027	INTERFUND TRANSFER.PENDLETON	0.00	0.00	0.00	9,340.00	9,340.00	0.00 %
HH100.5031.00028	INTERFUND TRANSFER.HWA ERADI	0.00	0.00	0.00	1,124.23	1,124.23	0.00 %
HH100.5031.00029	INTERFUND TRANSFER.MWRR	0.00	0.00	0.00	27,463.65	27,463.65	0.00 %
HH100.5031.0026W	INTERFUND TRANSFER.WATER CAPI	0.00	0.00	0.00	1,000,000.00	1,000,000.00	0.00 %
HH100.5730.0026W	BOND ANTICIPATION NOTES.WATER	0.00	0.00	0.00	1,508,036.00	1,508,036.00	0.00 %
	Revenue Total:	0.00	0.00	0.00	2,722,147.90	2,722,147.90	0.00 %
Expense							
HH100.1380.400.0026W	FISCAL AGENT FEES.CONTRACTUAL.	0.00	0.00	75.00	5,729.83	-5,729.83	0.00 %
HH100.1380.401.0026W	FISCAL AGENT FEES - EFC.WATER DI	0.00	0.00	0.00	-355.00	355.00	0.00 %
HH100.1420.400.00027	LEGAL.CONTRACTUAL.PENDLETON	0.00	0.00	0.00	1,125.00	-1,125.00	0.00 %
HH100.1420.400.0026W	ATTORNEY.CONTRACTUAL.WATER D	0.00	0.00	0.00	1,575.00	-1,575.00	0.00 %
HH100.1440.200.00018	ENGINEERING.CAPITAL.EQUIPMENT	0.00	0.00	0.00	2,000.00	-2,000.00	0.00 %
HH100.1440.200.0026W	ENGINEERING.CAPITAL.EQUIPMENT	0.00	0.00	0.00	209,532.00	-209,532.00	0.00 %
HH100.1989.200.0026W	ADMIN.CAPITAL.EQUIPMENT.WDT	0.00	0.00	0.00	253.74	-253.74	0.00 %
HH100.5132.204.00025	HWY GARAGE.MISC.HWY FACILITY	0.00	0.00	0.00	-2.70	2.70	0.00 %
HH100.8160.100.00029	REFUSE & GARBAGE.PERSONAL SE	0.00	0.00	0.00	5,053.50	-5,053.50	0.00 %
HH100.8160.400.00029	REFUSE & GARBAGE.CONT.MWRR	0.00	0.00	0.00	918.50	-918.50	0.00 %
HH100.8310.200.0026W	WATER ADMIN.WATER TANKS & SU	0.00	0.00	0.00	1,272,224.18	-1,272,224.18	0.00 %
HH100.8310.201.0026W	WATER ADMIN.ELECTRIC SERVICE F	0.00	0.00	0.00	11,248.81	-11,248.81	0.00 %
HH100.8310.202.0026W	WATER ADMIN.PUMP FACILITY.WD	0.00	0.00	0.00	198,596.72	-198,596.72	0.00 %
HH100.8310.203.0026W	WATER ADMIN.ELECTRIC SERVICE F	0.00	0.00	0.00	45,570.43	-45,570.43	0.00 %
HH100.8310.204.0026W	WATER ADMIN.TRANSMISSION MAI	0.00	0.00	0.00	266,129.88	-266,129.88	0.00 %
HH100.8310.205.0026W	WATER ADMIN.MOBILIZATION & G	0.00	0.00	0.00	106,727.20	-106,727.20	0.00 %
HH100.8597.400.00018	DRAIN&STORM, EQUIP & CAPITAL.	0.00	0.00	0.00	880.22	-880.22	0.00 %
	Expense Total:	0.00	0.00	75.00	2,127,207.31	-2,127,207.31	0.00 %
	Fund: HH100 - CAPITAL PROJECTS Surplus (Deficit):	0.00	0.00	-75.00	594,940.59	594,940.59	0.00 %
Fund: SD600 - RT 332 DRAINAGE DISTRICT							
Revenue							
SD600.2401.00000	INTEREST & EARNINGS.RT 332 DRAI	0.00	0.00	0.00	86.82	86.82	0.00 %
SD600.9000.00000	APPROPRIATED FUND BALANCE FO	75,000.00	75,000.00	0.00	0.00	-75,000.00	100.00 %
	Revenue Total:	75,000.00	75,000.00	0.00	86.82	-74,913.18	99.88 %
Expense							
SD600.8520.400.00000	MAINTENANCE..RT 332 DRAINAGE	75,000.00	75,000.00	0.00	2,417.92	72,582.08	96.78 %
	Expense Total:	75,000.00	75,000.00	0.00	2,417.92	72,582.08	96.78 %
	Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):	0.00	0.00	0.00	-2,331.10	-2,331.10	0.00 %

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT							
Revenue							
SD605.2401.00000	INTEREST & EARNINGS.LAKEWOOD	0.00	0.00	0.00	14.75	14.75	0.00 %
	Revenue Total:	0.00	0.00	0.00	14.75	14.75	0.00 %
	Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Total:	0.00	0.00	0.00	14.75	14.75	0.00 %
Fund: SD610 - ASHTON DRAINAGE DISTRICT							
Revenue							
SD610.2401.00000	INTEREST & EARNINGS.ASHTON DR	0.00	0.00	0.00	7.44	7.44	0.00 %
	Revenue Total:	0.00	0.00	0.00	7.44	7.44	0.00 %
	Fund: SD610 - ASHTON DRAINAGE DISTRICT Total:	0.00	0.00	0.00	7.44	7.44	0.00 %
Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT							
Revenue							
SD615.2401.00000	INTEREST & EARNINGS.FOX RIDGE	0.00	0.00	0.00	17.94	17.94	0.00 %
	Revenue Total:	0.00	0.00	0.00	17.94	17.94	0.00 %
	Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Total:	0.00	0.00	0.00	17.94	17.94	0.00 %
Fund: SD620 - LANDINGS DRAINAGE DISTRICT							
Revenue							
SD620.2401.00000	INTEREST & EARNINGS.LANDINGS	0.00	0.00	0.00	3.89	3.89	0.00 %
	Revenue Total:	0.00	0.00	0.00	3.89	3.89	0.00 %
	Fund: SD620 - LANDINGS DRAINAGE DISTRICT Total:	0.00	0.00	0.00	3.89	3.89	0.00 %
Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT							
Revenue							
SD625.1030.00000	SPECIAL ASSESSMENT.OLD BROOKS	1,651.00	1,651.00	0.00	1,651.00	0.00	0.00 %
SD625.2401.00000	INTEREST & EARNINGS.OLD BROOK	0.00	0.00	0.00	7.01	7.01	0.00 %
SD625.9000.00000	APPROPRIATED FUND BALANCE FO	3,349.00	3,349.00	0.00	0.00	-3,349.00	100.00 %
	Revenue Total:	5,000.00	5,000.00	0.00	1,658.01	-3,341.99	66.84 %
Expense							
SD625.8520.400.00000	MAINTENANCE..OLD BROOKSIDE D	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
	Expense Total:	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
	Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Defic	0.00	0.00	0.00	1,658.01	1,658.01	0.00 %
Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT							
Revenue							
SD630.2401.00000	INTEREST & EARNINGS.LAKESIDE ES	0.00	0.00	0.00	4.85	4.85	0.00 %
	Revenue Total:	0.00	0.00	0.00	4.85	4.85	0.00 %
	Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Total:	0.00	0.00	0.00	4.85	4.85	0.00 %
Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT							
Revenue							
SD635.2401.00000	INTEREST & EARNINGS.WATERFOR	0.00	0.00	0.00	4.52	4.52	0.00 %
	Revenue Total:	0.00	0.00	0.00	4.52	4.52	0.00 %
	Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Total:	0.00	0.00	0.00	4.52	4.52	0.00 %
Fund: SD640 - STABLEGATE DRAINAGE DISTRICT							
Revenue							
SD640.2401.00000	INTEREST & EARNINGS.STABLEGATE	0.00	0.00	0.00	9.22	9.22	0.00 %
	Revenue Total:	0.00	0.00	0.00	9.22	9.22	0.00 %
	Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Total:	0.00	0.00	0.00	9.22	9.22	0.00 %
Fund: SF450 - FIRE PROTECTION							
Revenue							
SF450.1001.00000	REAL PROPERTY TAXES.FIRE PROTE	1,143,820.00	1,143,820.00	0.00	1,143,820.00	0.00	0.00 %
SF450.2401.00000	INTEREST & EARNINGS.FIRE PROTE	0.00	0.00	0.00	286.75	286.75	0.00 %
	Revenue Total:	1,143,820.00	1,143,820.00	0.00	1,144,106.75	286.75	0.03 %
Expense							
SF450.3410.400.00000	FIRE PROTECTION DISTRICT AGREE	1,143,820.00	1,143,820.00	0.00	1,118,820.00	25,000.00	2.19 %

Fiscal Budget Report

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense Total:		1,143,820.00	1,143,820.00	0.00	1,118,820.00	25,000.00	2.19 %
Fund: SF450 - FIRE PROTECTION Surplus (Deficit):		0.00	0.00	0.00	25,286.75	25,286.75	0.00 %
Fund: SL700 - CENTERPOINT LIGHTING DISTRICT							
Revenue							
SL700.1001.00000	REAL PROPERTY TAXES.CENTERPOI	1,800.00	1,800.00	0.00	1,800.00	0.00	0.00 %
SL700.2401.00000	INTEREST & EARNINGS.CENTERPOI	0.00	0.00	0.00	4.66	4.66	0.00 %
Revenue Total:		1,800.00	1,800.00	0.00	1,804.66	4.66	0.26 %
Expense							
SL700.5182.400.00000	UTILITIES ELECTRIC..CENTERPOINT	1,800.00	1,800.00	126.90	1,086.77	713.23	39.62 %
Expense Total:		1,800.00	1,800.00	126.90	1,086.77	713.23	39.62 %
Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):		0.00	0.00	-126.90	717.89	717.89	0.00 %
Fund: SL705 - FOX RIDGE LIGHTING DISTRICT							
Revenue							
SL705.1001.00000	REAL PROPERTY TAXES.FOX RIDGE L	8,600.00	8,600.00	0.00	8,600.00	0.00	0.00 %
SL705.2401.00000	INTEREST & EARNINGS.FOX RIDGE	0.00	0.00	0.00	3.35	3.35	0.00 %
SL705.9000.00000	APPROPRIATED FUND BALANCE FO	2,200.00	2,200.00	0.00	0.00	-2,200.00	100.00 %
Revenue Total:		10,800.00	10,800.00	0.00	8,603.35	-2,196.65	20.34 %
Expense							
SL705.5182.400.00000	UTILITIES ELECTRIC..FOX RIDGE LIG	10,800.00	10,800.00	836.52	7,474.75	3,325.25	30.79 %
Expense Total:		10,800.00	10,800.00	836.52	7,474.75	3,325.25	30.79 %
Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):		0.00	0.00	-836.52	1,128.60	1,128.60	0.00 %
Fund: SL710 - LANDINGS LIGHTING DISTRICT							
Revenue							
SL710.2401.00000	INTEREST & EARNINGS.LANDINGS L	0.00	0.00	0.00	0.67	0.67	0.00 %
Revenue Total:		0.00	0.00	0.00	0.67	0.67	0.00 %
Fund: SL710 - LANDINGS LIGHTING DISTRICT Total:		0.00	0.00	0.00	0.67	0.67	0.00 %
Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT							
Revenue							
SL715.2401.00000	INTEREST & EARNINGS.LAKEWOOD	0.00	0.00	0.00	1.76	1.76	0.00 %
SL715.9000.00000	APPROPRIATED FUND BALANCE FO	250.00	250.00	0.00	0.00	-250.00	100.00 %
Revenue Total:		250.00	250.00	0.00	1.76	-248.24	99.30 %
Expense							
SL715.5182.400.00000	UTILITIES-ELECTRIC.LAKEWOOD ME	250.00	250.00	21.68	156.56	93.44	37.38 %
Expense Total:		250.00	250.00	21.68	156.56	93.44	37.38 %
Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus		0.00	0.00	-21.68	-154.80	-154.80	0.00 %
Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT							
Revenue							
SL720.1001.00000	REAL PROPERTY TAXES.FALLBROOK	500.00	500.00	0.00	500.00	0.00	0.00 %
SL720.2401.00000	INTEREST & EARNINGS.FALLBROOK	0.00	0.00	0.00	1.77	1.77	0.00 %
SL720.9000.00000	APPROPRIATED FUND BALANCE FO	700.00	700.00	0.00	0.00	-700.00	100.00 %
Revenue Total:		1,200.00	1,200.00	0.00	501.77	-698.23	58.19 %
Expense							
SL720.5182.400.00000	UTILITIES ELECTRIC.FALLBROOK PA	1,200.00	1,200.00	116.18	1,027.95	172.05	14.34 %
Expense Total:		1,200.00	1,200.00	116.18	1,027.95	172.05	14.34 %
Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Defici		0.00	0.00	-116.18	-526.18	-526.18	0.00 %
Fund: SS800 - SANITARY SEWER							
Revenue							
SS800.1030.00000	SPECIAL ASSESSMENTS..PURDY/MO	18,210.00	18,210.00	0.00	18,210.00	0.00	0.00 %
SS800.2401.00000	INTEREST & EARNINGS.SEWER	0.00	0.00	0.00	9.87	9.87	0.00 %
Revenue Total:		18,210.00	18,210.00	0.00	18,219.87	9.87	0.05 %

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense							
SS800.9710.600.00000	SERIAL BONDS.PRINCIPAL.PURDY/	18,210.00	18,210.00	0.00	0.00	18,210.00	100.00 %
Expense Total:		18,210.00	18,210.00	0.00	0.00	18,210.00	100.00 %
Fund: SS800 - SANITARY SEWER Surplus (Deficit):		0.00	0.00	0.00	18,219.87	18,219.87	0.00 %
Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT							
Revenue							
SW500.1001.00000	REAL PROPERTY TAXES.CANDGA CO	525,000.00	525,000.00	0.00	525,000.00	0.00	0.00 %
SW500.2140.00000	WATER RENTS.CANDGA CONS WD	700,000.00	700,000.00	5,688.40	370,197.03	-329,802.97	47.11 %
SW500.2142.00000	WATER METER SALES.CANDGA CON	10,000.00	10,000.00	397.75	2,722.01	-7,277.99	72.78 %
SW500.2144.00000	WATER SERVICES.CANDGA CONS W	15,000.00	15,000.00	850.00	16,469.00	1,469.00	109.79 %
SW500.2148.00000	PENALTY ON WATER.CANDGA CON	5,000.00	5,000.00	227.98	1,485.31	-3,514.69	70.29 %
SW500.2389.00000	INTEREST OTHER GOVT	0.00	0.00	2,456.20	2,456.20	2,456.20	0.00 %
SW500.2401.00000	INTEREST & EARNINGS.CANANDAI	0.00	0.00	0.00	831.93	831.93	0.00 %
SW500.5031.00000	INTERFUND TRANSFERS.CANDGA C	24,652.00	24,652.00	-2,456.20	11,616.00	-13,036.00	52.88 %
SW500.9000.00000	APPROPRIATED FUND BALANCE FO	107,822.00	1,107,822.00	0.00	1,000,000.00	-107,822.00	9.73 %
Revenue Total:		1,387,474.00	2,387,474.00	7,164.13	1,930,777.48	-456,696.52	19.13 %
Expense							
SW500.1380.400.00000	FISCAL AGENT FEES.CANDGA CONS	1,500.00	1,500.00	0.00	0.00	1,500.00	100.00 %
SW500.1910.400.00000	UNALLOCATED INS.CONTRACTUAL.	7,200.00	7,200.00	0.00	7,200.00	0.00	0.00 %
SW500.1990.400.00000	CONTINGENCY.CONTRACTUAL.CAN	41,352.00	41,352.00	0.00	0.00	41,352.00	100.00 %
SW500.8310.120.00000	WATER ADMIN.SUPER.SALARY.CAN	28,000.00	28,000.00	1,037.04	21,777.84	6,222.16	22.22 %
SW500.8310.121.00000	OFFICE SPECIALIST I.CDGA CONS W	18,720.00	18,720.00	720.00	14,119.50	4,600.50	24.58 %
SW500.8310.131.00000	WATER ADMIN.MAINASST.CANDGA	161,217.00	161,217.00	5,532.91	113,637.36	47,579.64	29.51 %
SW500.8310.200.00000	WATER ADMIN.CAP EQUIP.CANDGA	45,000.00	88,553.59	0.00	79,120.35	9,433.24	10.65 %
SW500.8310.400.00000	WATER ADMIN.CONTRACTUAL.CAN	2,000.00	2,000.00	15.56	1,893.70	106.30	5.32 %
SW500.8310.410.00000	WATER ADMIN.LEGAL SERVICES.CA	6,000.00	6,000.00	0.00	0.00	6,000.00	100.00 %
SW500.8310.420.00000	WATER ADMIN.METER READING.C	25,000.00	25,000.00	0.00	15,231.94	9,768.06	39.07 %
SW500.8310.423.00000	WATER ADMIN.VEHICLE GPS.CAND	1,500.00	1,500.00	0.00	305.76	1,194.24	79.62 %
SW500.8310.424.00000	WATER ADMIN.TRAINING & DUES.C	3,000.00	3,000.00	0.00	1,157.00	1,843.00	61.43 %
SW500.8310.450.00000	WATER ADMIN.ENGINEERING.CAN	67,500.00	67,500.00	0.00	9,287.50	58,212.50	86.24 %
SW500.8320.400.00000	WATER PURCHASES.CONT.CANDGA	520,000.00	520,000.00	193,935.22	399,897.26	120,102.74	23.10 %
SW500.8320.420.00000	WATER PURCHASES.UTILITIES.CAN	51,000.00	51,000.00	1,136.81	37,318.27	13,681.73	26.83 %
SW500.8340.440.00000	SERVICES & MAINT.SERVICES & MA	147,000.00	148,707.39	0.00	85,021.22	63,686.17	42.83 %
SW500.8397.200.00000	WATER CAP PROJECTS.CAP EQUIP.C	100,000.00	100,000.00	0.00	40,456.80	59,543.20	59.54 %
SW500.8397.400.00000	WATER CAPITAL PROJECTS.CONT.CA	15,000.00	15,000.00	0.00	0.00	15,000.00	100.00 %
SW500.9010.800.00000	NYS RETIREMENT..CANDGA CONS	15,000.00	15,000.00	0.00	0.00	15,000.00	100.00 %
SW500.9030.800.00000	SOCIAL SECURITY...CANDGA CONS	16,000.00	16,000.00	485.25	10,280.16	5,719.84	35.75 %
SW500.9040.800.00000	WORKERS COMPENSATION...CAND	8,185.00	8,185.00	0.00	8,185.00	0.00	0.00 %
SW500.9050.800.00000	UNEMPLOYMENT INSURANCE.CAN	500.00	500.00	0.00	0.00	500.00	100.00 %
SW500.9055.800.00000	DISABILITY INSURANCE...CANDGA C	100.00	100.00	0.00	43.92	56.08	56.08 %
SW500.9060.810.00000	HOSPITAL/MEDICAL INSURANCE.CA	18,000.00	18,000.00	0.00	16,861.89	1,138.11	6.32 %
SW500.9060.811.00000	DENTAL INSURANCE.CANDGA CON	2,000.00	2,000.00	0.00	1,309.14	690.86	34.54 %
SW500.9060.820.00000	HOSPITAL/MEDICAL INSURANCE.B	2,000.00	2,000.00	74.07	1,555.47	444.53	22.23 %
SW500.9060.830.00000	HOSPITAL/MEDICAL INS.HSA ACCO	9,700.00	9,700.00	0.00	7,974.17	1,725.83	17.79 %
SW500.9730.600.00000	BAN.PRINCIPAL	75,000.00	75,000.00	0.00	0.00	75,000.00	100.00 %
SW500.9901.900.00000	INTERFUND TRANSFER.CAP PROJ	0.00	1,000,000.00	0.00	1,000,000.00	0.00	0.00 %
Expense Total:		1,387,474.00	2,432,734.98	202,936.86	1,872,634.25	560,100.73	23.02 %
Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT S		0.00	-45,260.98	-195,772.73	58,143.23	103,404.21	228.46 %
Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT							
Revenue							
SW505.1001.00000	REAL PROPERTY TAXES.CANDGA BR	9,918.00	9,918.00	0.00	9,918.08	0.08	100.00 %
SW505.1030.00000	SPECIAL ASSESSMENT.CANDGA BRI	17,761.00	17,761.00	0.00	17,761.00	0.00	0.00 %
SW505.2401.00000	INTEREST & EARNINGS.CANANDAI	0.00	0.00	0.00	41.15	41.15	0.00 %
SW505.2770.00000	MISCELLANEOUS INCOME	42,814.00	42,814.00	0.00	42,813.84	-0.16	0.00 %
SW505.9000.00000	APPROPRIATED FUND BALANCE FO	0.00	1,147.00	0.00	1,147.00	0.00	0.00 %
Revenue Total:		70,493.00	71,640.00	0.00	71,681.07	41.07	0.06 %

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense							
SW505.8340.400.00000	SERVICES & MAINTENANCE.CONT.C	0.00	250.00	0.00	250.00	0.00	0.00 %
SW505.8350.400.00000	COMMON WATER.CONTRACTUAL.C	5,000.00	5,897.00	0.00	3,315.55	2,581.45	43.78 %
SW505.9710.600.00000	SERIAL BONDS BRISTOL.PRINCIPAL.	20,000.00	20,000.00	0.00	0.00	20,000.00	100.00 %
SW505.9710.700.00000	SERIAL BONDS BRISTOL.INTEREST.C	40,575.00	40,575.00	0.00	20,287.50	20,287.50	50.00 %
SW505.9903.900.00000	TRANSFER/WATER-MAINT.CANDGA	4,918.00	4,918.00	0.00	4,918.00	0.00	0.00 %
Expense Total:		70,493.00	71,640.00	0.00	28,771.05	42,868.95	59.84 %
Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Su		0.00	0.00	0.00	42,910.02	42,910.02	0.00 %
Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT							
Revenue							
SW515.1001.00000	REAL PROPERTY TAXES.CANDGA-FA	183,500.00	183,500.00	0.00	183,500.00	0.00	0.00 %
SW515.2401.00000	INTEREST & EARNINGS.CANANDAI	0.00	0.00	0.00	52.04	52.04	0.00 %
Revenue Total:		183,500.00	183,500.00	0.00	183,552.04	52.04	0.03 %
Expense							
SW515.8350.400.00000	FARM.COMMON WATER.CONTRAC	182,760.00	182,760.00	0.00	179,786.00	2,974.00	1.63 %
SW515.8389.400.00000	CDGA.COMMON WATER.CONTRAC	740.00	740.00	0.00	0.00	740.00	100.00 %
Expense Total:		183,500.00	183,500.00	0.00	179,786.00	3,714.00	2.02 %
Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Sur		0.00	0.00	0.00	3,766.04	3,766.04	0.00 %
Fund: SW520 - ANDREWS - NORTH ROAD WATER DISTRICT							
Revenue							
SW520.1001.00000	REAL PROPERTY TAXES.ANDREWS -	18,500.00	18,500.00	0.00	18,500.00	0.00	0.00 %
SW520.2401.00000	INTEREST & EARNINGS.ANDREWS -	0.00	0.00	0.00	5.56	5.56	0.00 %
Revenue Total:		18,500.00	18,500.00	0.00	18,505.56	5.56	0.03 %
Expense							
SW520.8350.400.00000	FARM.COMMON WATER.CONT.AN	6,304.00	6,304.00	0.00	6,202.00	102.00	1.62 %
SW520.8389.400.00000	CDGA.COMMON WATER.CONTRAC	1,994.00	1,994.00	0.00	0.00	1,994.00	100.00 %
SW520.9710.600.00000	SERIAL BONDS.PRINCIPAL.ANDREW	9,800.00	9,800.00	0.00	9,745.00	55.00	0.56 %
SW520.9710.700.00000	SERIAL BONDS.INTEREST.ANDREWS	402.00	402.00	0.00	0.00	402.00	100.00 %
Expense Total:		18,500.00	18,500.00	0.00	15,947.00	2,553.00	13.80 %
Fund: SW520 - ANDREWS - NORTH ROAD WATER DISTRICT Surplus		0.00	0.00	0.00	2,558.56	2,558.56	0.00 %
Fund: SW525 - MCINTYRE ROAD WATER DISTRICT							
Revenue							
SW525.1001.00000	REAL PROPERTY TAXES.MCINTYRE	7,200.00	7,200.00	0.00	7,200.00	0.00	0.00 %
SW525.2401.00000	INTEREST & EARNINGS.MCINTYRE	0.00	0.00	0.00	5.59	5.59	0.00 %
SW525.9000.00000	APPROPRIATED FUND BALANCE FO	552.00	552.00	0.00	0.00	-552.00	100.00 %
Revenue Total:		7,752.00	7,752.00	0.00	7,205.59	-546.41	7.05 %
Expense							
SW525.8340.400.00000	SERVICES & MAINTENANCE.CONT.	777.00	777.00	0.00	0.00	777.00	100.00 %
SW525.9710.600.00000	SERIAL BONDS.PRINCIPAL.MCINTYR	2,000.00	2,000.00	0.00	0.00	2,000.00	100.00 %
SW525.9710.700.00000	SERIAL BONDS.INTEREST.MCINTYRE	3,808.00	3,808.00	0.00	1,904.00	1,904.00	50.00 %
SW525.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	1,167.00	1,167.00	0.00	1,167.00	0.00	0.00 %
Expense Total:		7,752.00	7,752.00	0.00	3,071.00	4,681.00	60.38 %
Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):		0.00	0.00	0.00	4,134.59	4,134.59	0.00 %
Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT							
Revenue							
SW530.1001.00000	REAL PROPERTY TAXES.EMERSON A	19,200.00	19,200.00	0.00	19,200.00	0.00	0.00 %
SW530.2401.00000	INTEREST & EARNINGS.EMERSON A	0.00	0.00	0.00	4.99	4.99	0.00 %
Revenue Total:		19,200.00	19,200.00	0.00	19,204.99	4.99	0.03 %
Expense							
SW530.8389.400.00000	COMMON WATER.CONTRACTUAL.E	6,418.00	6,418.00	0.00	4,756.00	1,662.00	25.90 %
SW530.9710.600.00000	SERIAL BONDS.PRINCIPAL.EMERSO	6,000.00	6,000.00	0.00	6,000.00	0.00	0.00 %
SW530.9710.700.00000	SERIAL BONDS.INTEREST.EMERSON	6,782.00	6,782.00	0.00	6,782.00	0.00	0.00 %
Expense Total:		19,200.00	19,200.00	0.00	17,538.00	1,662.00	8.66 %
Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT S		0.00	0.00	0.00	1,666.99	1,666.99	0.00 %

Fiscal Budget Report

For Fiscal: 2020 Period Ending: 10/31/2020

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT							
Revenue							
SW535.1001.00000	REAL PROPERTY TAXES.COUNTY RO	16,257.00	16,257.00	0.00	16,257.00	0.00	0.00 %
SW535.2401.00000	INTEREST & EARNINGS.EX 36 - COU	0.00	0.00	0.00	8.85	8.85	0.00 %
	Revenue Total:	16,257.00	16,257.00	0.00	16,265.85	8.85	0.05 %
Expense							
SW535.8340.400.00000	SERVICES & MAIN.CONT.CO RD #30	793.00	793.00	0.00	0.00	793.00	100.00 %
SW535.9710.600.00000	SERIAL BONDS.PRINCIPAL.EX 36 - C	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
SW535.9710.700.00000	SERIAL BONDS.INTEREST.CO RD #30	9,275.00	9,275.00	0.00	4,637.50	4,637.50	50.00 %
SW535.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	1,189.00	1,189.00	0.00	1,189.00	0.00	0.00 %
	Expense Total:	16,257.00	16,257.00	0.00	5,826.50	10,430.50	64.16 %
Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplu		0.00	0.00	0.00	10,439.35	10,439.35	0.00 %
Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT							
Revenue							
SW540.1001.00000	REAL PROPERTY TAXES.HOPKINS G	12,000.00	12,000.00	0.00	12,000.00	0.00	0.00 %
SW540.2401.00000	INTEREST & EARNINGS.HOPKINS G	0.00	0.00	0.00	7.75	7.75	0.00 %
SW540.9000.00000	APPROPRIATED FUND BALANCE FO	1,038.00	1,038.00	0.00	0.00	-1,038.00	100.00 %
	Revenue Total:	13,038.00	13,038.00	0.00	12,007.75	-1,030.25	7.90 %
Expense							
SW540.8340.400.00000	SERVICES & MAIN.CONT.HOPKINS	200.00	200.00	0.00	0.00	200.00	100.00 %
SW540.9710.600.00000	SERIAL BONDS.PRINCIPAL.HOPKINS	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
SW540.9710.700.00000	SERIAL BONDS.INTEREST.HOPKINS	5,438.00	5,438.00	0.00	2,718.75	2,719.25	50.00 %
SW540.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	2,400.00	2,400.00	0.00	2,400.00	0.00	0.00 %
	Expense Total:	13,038.00	13,038.00	0.00	5,118.75	7,919.25	60.74 %
Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Defici		0.00	0.00	0.00	6,889.00	6,889.00	0.00 %
Fund: SW545 - HICKOX ROAD WATER DISTRICT							
Revenue							
SW545.1001.00000	REAL PROPERTY TAXES.HICKOX ROA	3,500.00	3,500.00	0.00	3,500.00	0.00	0.00 %
SW545.2401.00000	INTEREST & EARNINGS.HICKOX RO	0.00	0.00	0.00	2.11	2.11	0.00 %
	Revenue Total:	3,500.00	3,500.00	0.00	3,502.11	2.11	0.06 %
Expense							
SW545.8350.400.00000	COMMON WATER.CONTRACTUAL.	478.00	478.00	0.00	0.00	478.00	100.00 %
SW545.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	3,022.00	3,022.00	0.00	522.00	2,500.00	82.73 %
	Expense Total:	3,500.00	3,500.00	0.00	522.00	2,978.00	85.09 %
Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):		0.00	0.00	0.00	2,980.11	2,980.11	0.00 %
Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT							
Revenue							
SW550.1001.00000	REAL PROPERTY TAXES.NOTT RD EX	6,089.00	6,089.00	0.00	6,089.00	0.00	0.00 %
SW550.2401.00000	INTEREST & EARNINGS.NOTT RD EX	0.00	0.00	0.00	5.67	5.67	0.00 %
	Revenue Total:	6,089.00	6,089.00	0.00	6,094.67	5.67	0.09 %
Expense							
SW550.8340.400.00000	SERVICES & MAINTENANCE.CONTR	467.00	467.00	0.00	0.00	467.00	100.00 %
SW550.9710.600.00000	SERIAL BONDS.PRINCIPAL.NOTT RD	3,000.00	3,000.00	0.00	0.00	3,000.00	100.00 %
SW550.9710.700.00000	SERIAL BONDS.INTEREST.NOTT RD	1,922.00	1,922.00	0.00	961.00	961.00	50.00 %
SW550.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	700.00	700.00	0.00	700.00	0.00	0.00 %
	Expense Total:	6,089.00	6,089.00	0.00	1,661.00	4,428.00	72.72 %
Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):		0.00	0.00	0.00	4,433.67	4,433.67	0.00 %
Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT							
Revenue							
SW555.1001.00000	REAL PROPERTY TAXES.CO RD 32 EX	12,070.00	12,070.00	0.00	12,070.00	0.00	0.00 %
SW555.2401.00000	INTEREST & EARNINGS.CO RD 32 E	0.00	0.00	0.00	5.49	5.49	0.00 %
SW555.5031.00000	INTERFUND TRANSFERS.CO RD 32 E	0.00	0.00	0.00	877.52	877.52	0.00 %
	Revenue Total:	12,070.00	12,070.00	0.00	12,953.01	883.01	7.32 %

Fiscal Budget Report

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		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense							
SW555.8340.400.00000	SERVICES & MAIN.CONT.CO RD 32	814.00	814.00	0.00	0.00	814.00	100.00 %
SW555.9795.900.00000	INTERFUND LOAN...CO RD 32 WATE	10,536.00	10,536.00	0.00	2,456.20	8,079.80	76.69 %
SW555.9903.900.00000	TRANSFER/WATER-MAINTENANCE.	720.00	720.00	0.00	720.00	0.00	0.00 %
Expense Total:		12,070.00	12,070.00	0.00	3,176.20	8,893.80	73.69 %
Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit)		0.00	0.00	0.00	9,776.81	9,776.81	0.00 %
Report Surplus (Deficit):		0.00	-496,891.42	25,204.51	1,754,878.05	2,251,769.47	453.17 %

Group Summary

Account Type	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: AA100 - GENERAL FUND						
Revenue	4,042,370.00	3,806,840.44	21,068.56	2,107,187.85	-1,699,652.59	44.65 %
Expense	4,042,370.00	3,971,953.67	53,816.32	2,481,482.58	1,490,471.09	37.52 %
Fund: AA100 - GENERAL FUND Surplus (Deficit):	0.00	-165,113.23	-32,747.76	-374,294.73	-209,181.50	-126.69 %
Fund: AA231 - CONTINGENT/TAX RESERVE						
Revenue	0.00	0.00	0.00	2,717.49	2,717.49	0.00 %
Fund: AA231 - CONTINGENT/TAX RESERVE Total:	0.00	0.00	0.00	2,717.49	2,717.49	0.00 %
Fund: AA232 - CAMPUS REPAIR RESERVE						
Revenue	0.00	0.00	0.00	674.30	674.30	0.00 %
Expense	0.00	95,717.52	0.00	0.00	95,717.52	100.00 %
Fund: AA232 - CAMPUS REPAIR RESERVE Surplus (Deficit):	0.00	-95,717.52	0.00	674.30	96,391.82	100.70 %
Fund: AA233 - TECHNOLOGY RESERVE						
Revenue	0.00	0.00	0.00	54.00	54.00	0.00 %
Fund: AA233 - TECHNOLOGY RESERVE Total:	0.00	0.00	0.00	54.00	54.00	0.00 %
Fund: AA234 - OPEN SPACE RESERVE						
Revenue	0.00	100,000.00	0.00	103,549.17	3,549.17	3.55 %
Expense	0.00	0.00	0.00	9,340.00	-9,340.00	0.00 %
Fund: AA234 - OPEN SPACE RESERVE Surplus (Deficit):	0.00	100,000.00	0.00	94,209.17	-5,790.83	5.79 %
Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE						
Revenue	0.00	0.00	0.00	978.80	978.80	0.00 %
Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:	0.00	0.00	0.00	978.80	978.80	0.00 %
Fund: AA237 - BONDED INDEBTEDNESS RESERVE						
Revenue	0.00	0.00	0.00	434.65	434.65	0.00 %
Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:	0.00	0.00	0.00	434.65	434.65	0.00 %
Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE						
Revenue	0.00	150,000.00	0.00	151,052.83	1,052.83	0.70 %
Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:	0.00	150,000.00	0.00	151,052.83	1,052.83	0.70 %
Fund: CL100 - LOCAL SOLID WASTE						
Revenue	61,912.71	61,912.71	0.00	7.12	-61,905.59	99.99 %
Expense	61,912.71	30,322.02	0.00	21,858.11	8,463.91	27.91 %
Fund: CL100 - LOCAL SOLID WASTE Surplus (Deficit):	0.00	31,590.69	0.00	-21,850.99	-53,441.68	169.17 %
Fund: CM100 - (CR) RECREATION.MISCELLANEOUS						
Revenue	160,000.00	160,000.00	1,000.00	16,801.23	-143,198.77	89.50 %
Expense	160,000.00	160,000.00	0.00	0.00	160,000.00	100.00 %
Fund: CM100 - (CR) RECREATION.MISCELLANEOUS Surplus (Deficit)	0.00	0.00	1,000.00	16,801.23	16,801.23	0.00 %
Fund: DA100 - HIGHWAY						
Revenue	3,999,070.00	3,015,570.00	289,010.96	3,086,489.84	70,919.84	2.35 %
Expense	3,999,070.00	3,487,960.38	35,109.68	1,991,932.24	1,496,028.14	42.89 %
Fund: DA100 - HIGHWAY Surplus (Deficit):	0.00	-472,390.38	253,901.28	1,094,557.60	1,566,947.98	331.71 %
Fund: DA230 - HWY EQUIPMENT RESERVE						
Revenue	0.00	0.00	0.00	924.38	924.38	0.00 %
Fund: DA230 - HWY EQUIPMENT RESERVE Total:	0.00	0.00	0.00	924.38	924.38	0.00 %
Fund: DA232 - HWY IMPROVEMENT RESERVE						
Revenue	0.00	0.00	0.00	902.19	902.19	0.00 %
Fund: DA232 - HWY IMPROVEMENT RESERVE Total:	0.00	0.00	0.00	902.19	902.19	0.00 %
Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE						
Revenue	0.00	0.00	0.00	1,015.85	1,015.85	0.00 %
Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:	0.00	0.00	0.00	1,015.85	1,015.85	0.00 %
Fund: HH100 - CAPITAL PROJECTS						
Revenue	0.00	0.00	0.00	2,722,147.90	2,722,147.90	0.00 %
Expense	0.00	0.00	75.00	2,127,207.31	-2,127,207.31	0.00 %

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Account Type	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: HH100 - CAPITAL PROJECTS Surplus (Deficit):	0.00	0.00	-75.00	594,940.59	594,940.59	0.00 %
Fund: SD600 - RT 332 DRAINAGE DISTRICT						
Revenue	75,000.00	75,000.00	0.00	86.82	-74,913.18	99.88 %
Expense	75,000.00	75,000.00	0.00	2,417.92	72,582.08	96.78 %
Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):	0.00	0.00	0.00	-2,331.10	-2,331.10	0.00 %
Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	14.75	14.75	0.00 %
Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Total:	0.00	0.00	0.00	14.75	14.75	0.00 %
Fund: SD610 - ASHTON DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	7.44	7.44	0.00 %
Fund: SD610 - ASHTON DRAINAGE DISTRICT Total:	0.00	0.00	0.00	7.44	7.44	0.00 %
Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	17.94	17.94	0.00 %
Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Total:	0.00	0.00	0.00	17.94	17.94	0.00 %
Fund: SD620 - LANDINGS DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	3.89	3.89	0.00 %
Fund: SD620 - LANDINGS DRAINAGE DISTRICT Total:	0.00	0.00	0.00	3.89	3.89	0.00 %
Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT						
Revenue	5,000.00	5,000.00	0.00	1,658.01	-3,341.99	66.84 %
Expense	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Deficit):	0.00	0.00	0.00	1,658.01	1,658.01	0.00 %
Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	4.85	4.85	0.00 %
Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Total:	0.00	0.00	0.00	4.85	4.85	0.00 %
Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	4.52	4.52	0.00 %
Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Total:	0.00	0.00	0.00	4.52	4.52	0.00 %
Fund: SD640 - STABLEGATE DRAINAGE DISTRICT						
Revenue	0.00	0.00	0.00	9.22	9.22	0.00 %
Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Total:	0.00	0.00	0.00	9.22	9.22	0.00 %
Fund: SF450 - FIRE PROTECTION						
Revenue	1,143,820.00	1,143,820.00	0.00	1,144,106.75	286.75	0.03 %
Expense	1,143,820.00	1,143,820.00	0.00	1,118,820.00	25,000.00	2.19 %
Fund: SF450 - FIRE PROTECTION Surplus (Deficit):	0.00	0.00	0.00	25,286.75	25,286.75	0.00 %
Fund: SL700 - CENTERPOINT LIGHTING DISTRICT						
Revenue	1,800.00	1,800.00	0.00	1,804.66	4.66	0.26 %
Expense	1,800.00	1,800.00	126.90	1,086.77	713.23	39.62 %
Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):	0.00	0.00	-126.90	717.89	717.89	0.00 %
Fund: SL705 - FOX RIDGE LIGHTING DISTRICT						
Revenue	10,800.00	10,800.00	0.00	8,603.35	-2,196.65	20.34 %
Expense	10,800.00	10,800.00	836.52	7,474.75	3,325.25	30.79 %
Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):	0.00	0.00	-836.52	1,128.60	1,128.60	0.00 %
Fund: SL710 - LANDINGS LIGHTING DISTRICT						
Revenue	0.00	0.00	0.00	0.67	0.67	0.00 %
Fund: SL710 - LANDINGS LIGHTING DISTRICT Total:	0.00	0.00	0.00	0.67	0.67	0.00 %
Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT						
Revenue	250.00	250.00	0.00	1.76	-248.24	99.30 %
Expense	250.00	250.00	21.68	156.56	93.44	37.38 %
Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus	0.00	0.00	-21.68	-154.80	-154.80	0.00 %
Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT						
Revenue	1,200.00	1,200.00	0.00	501.77	-698.23	58.19 %
Expense	1,200.00	1,200.00	116.18	1,027.95	172.05	14.34 %
Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Deficit)	0.00	0.00	-116.18	-526.18	-526.18	0.00 %

Fiscal Budget Report

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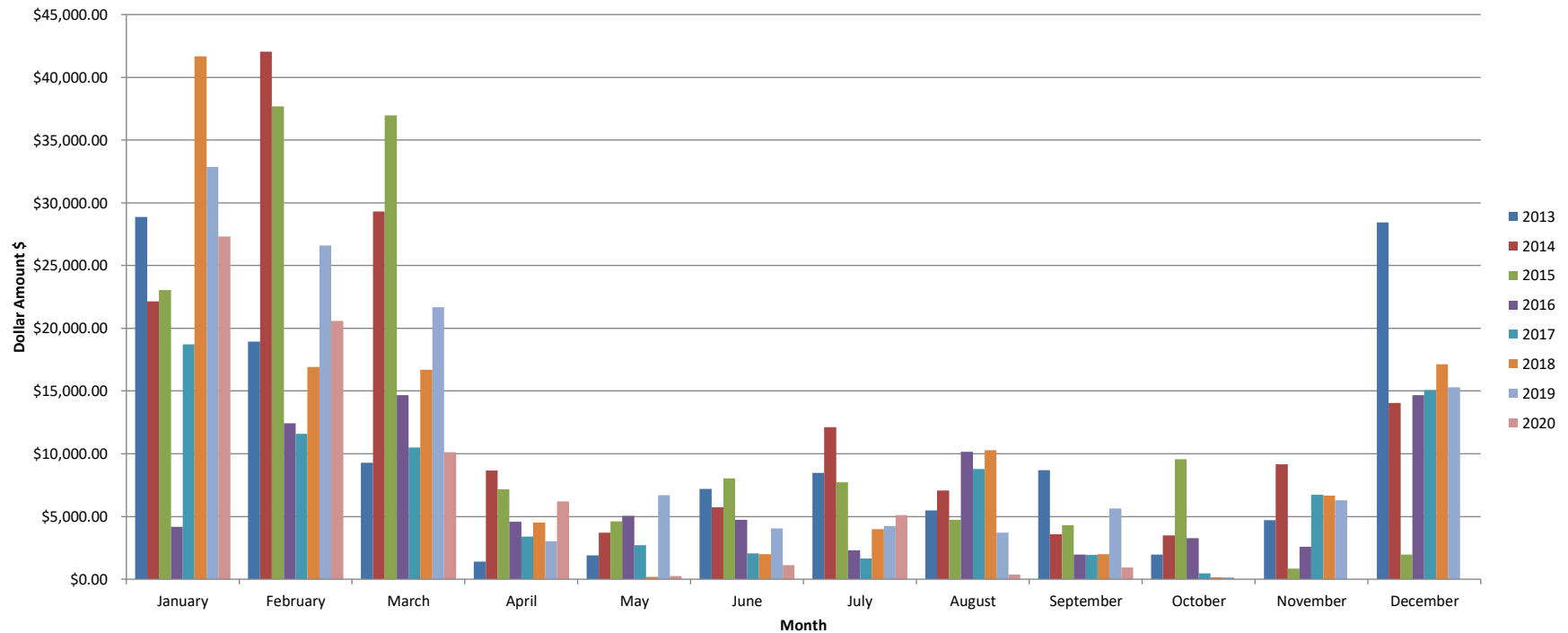
Account Type	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: SS800 - SANITARY SEWER						
Revenue	18,210.00	18,210.00	0.00	18,219.87	9.87	0.05 %
Expense	18,210.00	18,210.00	0.00	0.00	18,210.00	100.00 %
Fund: SS800 - SANITARY SEWER Surplus (Deficit):	0.00	0.00	0.00	18,219.87	18,219.87	0.00 %
Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT						
Revenue	1,387,474.00	2,387,474.00	7,164.13	1,930,777.48	-456,696.52	19.13 %
Expense	1,387,474.00	2,432,734.98	202,936.86	1,872,634.25	560,100.73	23.02 %
Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT S	0.00	-45,260.98	-195,772.73	58,143.23	103,404.21	228.46 %
Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT						
Revenue	70,493.00	71,640.00	0.00	71,681.07	41.07	0.06 %
Expense	70,493.00	71,640.00	0.00	28,771.05	42,868.95	59.84 %
Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Su	0.00	0.00	0.00	42,910.02	42,910.02	0.00 %
Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT						
Revenue	183,500.00	183,500.00	0.00	183,552.04	52.04	0.03 %
Expense	183,500.00	183,500.00	0.00	179,786.00	3,714.00	2.02 %
Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Sur	0.00	0.00	0.00	3,766.04	3,766.04	0.00 %
Fund: SW520 - ANDREWS - NORTH ROAD WATER DISTRICT						
Revenue	18,500.00	18,500.00	0.00	18,505.56	5.56	0.03 %
Expense	18,500.00	18,500.00	0.00	15,947.00	2,553.00	13.80 %
Fund: SW520 - ANDREWS - NORTH ROAD WATER DISTRICT Surplus	0.00	0.00	0.00	2,558.56	2,558.56	0.00 %
Fund: SW525 - MCINTYRE ROAD WATER DISTRICT						
Revenue	7,752.00	7,752.00	0.00	7,205.59	-546.41	7.05 %
Expense	7,752.00	7,752.00	0.00	3,071.00	4,681.00	60.38 %
Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):	0.00	0.00	0.00	4,134.59	4,134.59	0.00 %
Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT						
Revenue	19,200.00	19,200.00	0.00	19,204.99	4.99	0.03 %
Expense	19,200.00	19,200.00	0.00	17,538.00	1,662.00	8.66 %
Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT S	0.00	0.00	0.00	1,666.99	1,666.99	0.00 %
Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT						
Revenue	16,257.00	16,257.00	0.00	16,265.85	8.85	0.05 %
Expense	16,257.00	16,257.00	0.00	5,826.50	10,430.50	64.16 %
Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplu	0.00	0.00	0.00	10,439.35	10,439.35	0.00 %
Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT						
Revenue	13,038.00	13,038.00	0.00	12,007.75	-1,030.25	7.90 %
Expense	13,038.00	13,038.00	0.00	5,118.75	7,919.25	60.74 %
Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Defici	0.00	0.00	0.00	6,889.00	6,889.00	0.00 %
Fund: SW545 - HICKOX ROAD WATER DISTRICT						
Revenue	3,500.00	3,500.00	0.00	3,502.11	2.11	0.06 %
Expense	3,500.00	3,500.00	0.00	522.00	2,978.00	85.09 %
Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):	0.00	0.00	0.00	2,980.11	2,980.11	0.00 %
Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT						
Revenue	6,089.00	6,089.00	0.00	6,094.67	5.67	0.09 %
Expense	6,089.00	6,089.00	0.00	1,661.00	4,428.00	72.72 %
Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):	0.00	0.00	0.00	4,433.67	4,433.67	0.00 %
Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT						
Revenue	12,070.00	12,070.00	0.00	12,953.01	883.01	7.32 %
Expense	12,070.00	12,070.00	0.00	3,176.20	8,893.80	73.69 %
Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit)	0.00	0.00	0.00	9,776.81	9,776.81	0.00 %
Report Surplus (Deficit):	0.00	-496,891.42	25,204.51	1,754,878.05	2,251,769.47	453.17 %

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
AA100 - GENERAL FUND	0.00	-165,113.23	-32,747.76	-374,294.73	-209,181.50
AA231 - CONTINGENT/TAX RESER	0.00	0.00	0.00	2,717.49	2,717.49
AA232 - CAMPUS REPAIR RESERVI	0.00	-95,717.52	0.00	674.30	96,391.82
AA233 - TECHNOLOGY RESERVE	0.00	0.00	0.00	54.00	54.00
AA234 - OPEN SPACE RESERVE	0.00	100,000.00	0.00	94,209.17	-5,790.83
AA235 - NYS EMPLOYEE SYSTEM F	0.00	0.00	0.00	978.80	978.80
AA237 - BONDED INDEBTEDNESS	0.00	0.00	0.00	434.65	434.65
AA238 - SOLID WASTE MANAGEN	0.00	150,000.00	0.00	151,052.83	1,052.83
CL100 - LOCAL SOLID WASTE	0.00	31,590.69	0.00	-21,850.99	-53,441.68
CM100 - (CR) RECREATION.MISCE	0.00	0.00	1,000.00	16,801.23	16,801.23
DA100 - HIGHWAY	0.00	-472,390.38	253,901.28	1,094,557.60	1,566,947.98
DA230 - HWY EQUIPMENT RESER'	0.00	0.00	0.00	924.38	924.38
DA232 - HWY IMPROVEMENT RES	0.00	0.00	0.00	902.19	902.19
DA235 - SNOW/ICE REMOVAL RD	0.00	0.00	0.00	1,015.85	1,015.85
HH100 - CAPITAL PROJECTS	0.00	0.00	-75.00	594,940.59	594,940.59
SD600 - RT 332 DRAINAGE DISTRI	0.00	0.00	0.00	-2,331.10	-2,331.10
SD605 - LAKEWOOD MEADOWS D	0.00	0.00	0.00	14.75	14.75
SD610 - ASHTON DRAINAGE DIST	0.00	0.00	0.00	7.44	7.44
SD615 - FOX RIDGE DRAINAGE DIS	0.00	0.00	0.00	17.94	17.94
SD620 - LANDINGS DRAINAGE DIS	0.00	0.00	0.00	3.89	3.89
SD625 - OLD BROOKSIDE DRAINAC	0.00	0.00	0.00	1,658.01	1,658.01
SD630 - LAKESIDE ESTATES DRAIN	0.00	0.00	0.00	4.85	4.85
SD635 - WATERFORD POINT DRAI	0.00	0.00	0.00	4.52	4.52
SD640 - STABLEGATE DRAINAGE C	0.00	0.00	0.00	9.22	9.22
SF450 - FIRE PROTECTION	0.00	0.00	0.00	25,286.75	25,286.75
SL700 - CENTERPOINT LIGHTING C	0.00	0.00	-126.90	717.89	717.89
SL705 - FOX RIDGE LIGHTING DIST	0.00	0.00	-836.52	1,128.60	1,128.60
SL710 - LANDINGS LIGHTING DIST	0.00	0.00	0.00	0.67	0.67
SL715 - LAKEWOOD MEADOWS LI	0.00	0.00	-21.68	-154.80	-154.80
SL720 - FALLBROOK PARK LIGHTIN	0.00	0.00	-116.18	-526.18	-526.18
SS800 - SANITARY SEWER	0.00	0.00	0.00	18,219.87	18,219.87
SW500 - CANANDAIGUA CONSOLI	0.00	-45,260.98	-195,772.73	58,143.23	103,404.21
SW505 - CANANDAIGUA BRISTOL	0.00	0.00	0.00	42,910.02	42,910.02
SW515 - CANANDAIGUA-FARMIN	0.00	0.00	0.00	3,766.04	3,766.04
SW520 - ANDREWS - NORTH ROA	0.00	0.00	0.00	2,558.56	2,558.56
SW525 - MCINTYRE ROAD WATER	0.00	0.00	0.00	4,134.59	4,134.59
SW530 - EMERSON ALLEN TOWNI	0.00	0.00	0.00	1,666.99	1,666.99
SW535 - EX 36 - COUNTY ROAD #:	0.00	0.00	0.00	10,439.35	10,439.35
SW540 - HOPKINS GRIMBLE WATI	0.00	0.00	0.00	6,889.00	6,889.00
SW545 - HICKOX ROAD WATER DI	0.00	0.00	0.00	2,980.11	2,980.11
SW550 - NOTT RD EXT. 40 WATER	0.00	0.00	0.00	4,433.67	4,433.67
SW555 - CO RD 32 EXT. 41 WATE	0.00	0.00	0.00	9,776.81	9,776.81
Report Surplus (Deficit):	0.00	-496,891.42	25,204.51	1,754,878.05	2,251,769.47

	2013	2014	2015	2016	2017	2018	2019	2020
January	\$28,862.28	\$22,155.51	\$23,046.67	\$4,183.58	\$18,707.18	\$41,679.61	\$32,857.11	\$27,324.64
February	\$18,935.61	\$42,035.88	\$37,674.78	\$12,418.13	\$11,601.64	\$16,910.89	\$26,602.24	\$20,572.14
March	\$9,287.84	\$29,302.83	\$36,977.77	\$14,682.85	\$10,491.75	\$16,677.83	\$21,675.11	\$10,122.18
April	\$1,401.60	\$8,649.62	\$7,173.22	\$4,584.14	\$3,402.95	\$4,524.16	\$3,033.55	\$6,204.17
May	\$1,914.73	\$3,707.54	\$4,618.01	\$5,061.36	\$2,715.51	\$178.52	\$6,696.39	\$236.97
June	\$7,188.71	\$5,730.26	\$8,040.67	\$4,741.15	\$2,060.55	\$1,984.64	\$4,053.52	\$1,112.97
July	\$8,475.63	\$12,116.04	\$7,718.19	\$2,298.19	\$1,664.52	\$4,001.48	\$4,222.09	\$5,123.36
August	\$5,479.85	\$7,085.96	\$4,720.03	\$10,152.84	\$8,794.31	\$10,281.09	\$3,710.81	\$375.47
September	\$8,704.27	\$3,575.99	\$4,299.72	\$1,962.98	\$1,940.93	\$2,009.68	\$5,625.97	\$947.17
October	\$1,948.35	\$3,476.09	\$9,558.24	\$3,273.32	\$459.55	\$173.01	\$145.03	
November	\$4,708.75	\$9,158.92	\$844.76	\$2,596.51	\$6,743.01	\$6,656.18	\$6,289.66	
December	\$28,423.96	\$14,038.96	\$1,957.16	\$14,667.81	\$15,086.85	\$17,126.83	\$15,295.31	
Totals	\$125,331.58	\$161,033.60	\$146,629.22	\$80,622.86	\$83,668.75	\$122,203.92	\$130,206.79	\$72,019.07

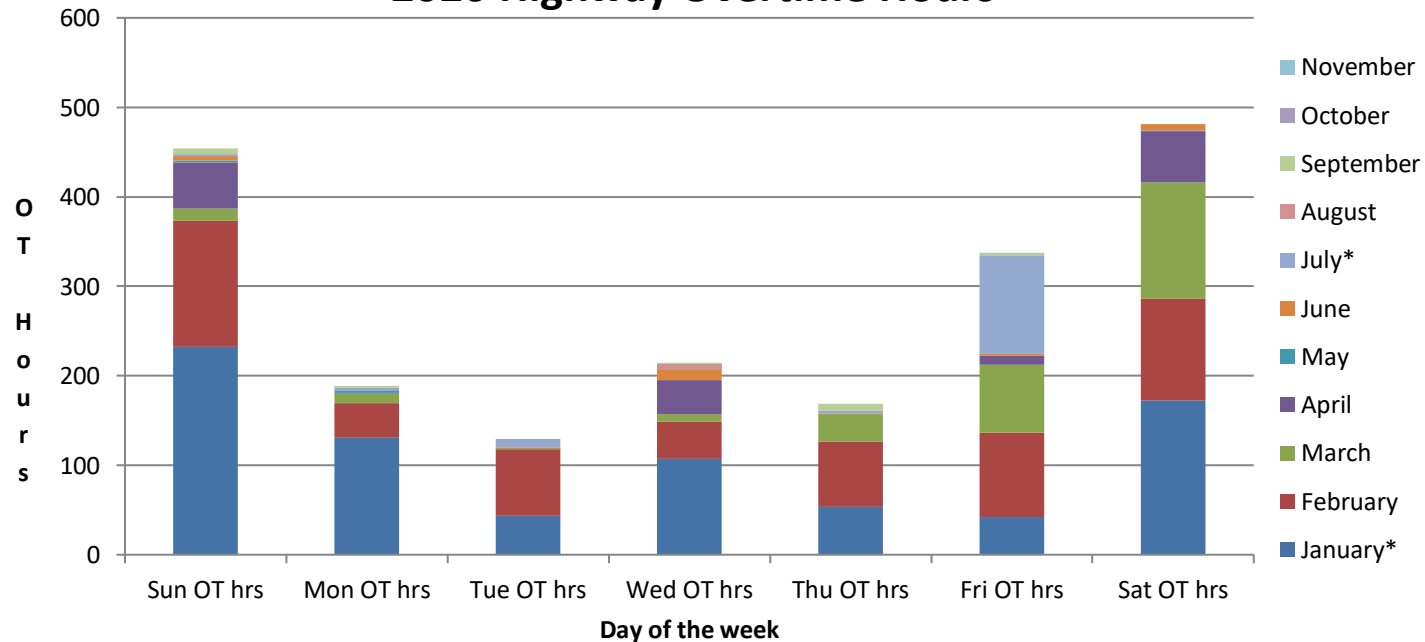
Overtime Amounts for All Employees 2013-2020



	Sun OT hrs	Mon OT hrs	Tue OT hrs	Wed OT hrs	Thu OT hrs	Fri OT hrs	Sat OT hrs
January*	232.25	131	43.25	107.25	53.5	42.25	172.25
February	141.25	38.25	74.75	41.5	72.75	94.5	114
March	13.5	11	1	8.75	31	75.5	129.75
April	51	0.25	0	37.75	0	10	57.25
May	2.25	2.5	0	0	0	0	1
June	5.5	0	1.25	11	0.5	2	6.75
July*	2	3.25	9	1	2.75	110.5	0
August	0	0	0	6	0	0	0
September	6	2.5	0	1.5	8.25	3	0
October	0	0	0	0	0	0	0
November	0	0	0	0	0	0	0
December*	0	0	0	0	0	0	0
	453.75	188.75	129.25	214.75	168.75	337.75	481.00

*3 pay period month

2020 Highway Overtime Hours



ATTACHMENT 3

Town of Canandaigua

5440 Routes 5 & 20 West
Canandaigua, NY 14424

ORDINANCE COMMITTEE

Monday October 5th, 2020, at 9:00 AM

Rev. 10/22/2020

MEETING REPORT

MEETING CALLED BY:	GARY DAVIS		
COMMITTEE MEMBERS:	GARY DAVIS	JOHN CASEY	CHUCK OYLER
	CHUCK OYLER	TOM SCHWARTZ	BOB HILLIARD
SECRETARY:	ERIC COOPER		
GUESTS:	TERRY FENNELLY	DOUG FINCH	

PRIVILEGE OF THE FLOOR

Chair Davis opened the meeting at 9am.

COMMITTEE BUSINESS

- **Zombie Properties**
 - o The Committee reviewed a draft proposal of an ordinance to regulate zombie properties.
 - o The Committee doubted the feasibility of garnering compliance with the requirements of the local law. They also discussed the limitations of the proposal.
 - o The Committee decided to work within existing State regulations to try and work a solution to problems with Zombie Homes and abandoned properties.
- **Short Term Rentals**
 - o Town Manager Finch went through a draft local law to register short term rentals. This was a parsed down version of previous proposals; simplified to eliminate questions of liability. The goal was to register short term rentals in order to get contact people for maintenance.

Upcoming Meetings:

- Mr. Finch listed several items for the Ordinance Committee's consideration. Some of which are being developed by other committee's and will later be reviewed by the Ordinance Committee. They are:
 - o Off street parking
 - o Parks section of code rewrite
 - o Form Based codes
 - o Conservation subdivision
 - o Surety
 - o Mixed use overlay
 - o Preliminary site plan

- **November 2nd, 2020 @ 9:00 am**
 - **Local Wetland Ordinance (Pending Colin Deihl's Schedule)**
 - **Neighborhood Commercial**
 - **Watercourse Setback**
 - **Pools**
 - **Manufactured Homes**

Adjournment @ 10:00 am

ATTACHMENT 4



Benefit Summary (Effective: 01/01/2021) (Version Updated: 09/21/2020)

DBOC-1-26/26	Dental Blue Options	
Rating Region: Rochester	Small Group	
Rate		
4-Tier- Ind/Subscriber Spouse/Subscriber Child(ren)/Family		
Single	\$39.02	
Sub w/Spouse	\$78.04	
Sub w/Child	\$79.00	
Sub w/Children	\$79.00	
Sub w/Spouse and one or more Children	\$128.58	
We are quoting these rates on the express condition that, if the rates actually approved by the New York State Insurance Department are different than the rates quoted above, your rates for the effective date will change		
The Sales Representative providing this quote is a New York State licensed insurance producer employed by Excellus Health Plan. The individual represents Excellus Health Plan in this transaction and will be compensated by Excellus Health Plan in part based on this sale. The amount of compensation is based on a number of factors, including the contract selected and the volume of sales. You may request information about the expected compensation from your Sales Representative.		

Signature: _____

Title:

Date:

Group Name:

Total Employees:

Total Eligible:

Coverage Effective Date:

Broker:

DBOC-1-26/26		Dental Blue Options	
Plan Overview			
Package ID	DBOC-1-26/26		
Plan Name	Dental Blue Options		
Plan Type	PPO EmpSponsored		
Package Status	Existing		
Effective Date	01/01/2021		
Activity Status	Active		
Dental Plan Features			
Dependents and students	Qualified dependents and students are covered to age 26.		
In Network	Coverage provided through Excellus BlueShield dental provider network		
Annual Deductible	\$50 Single/\$150 Family; applies to classes II, IIA & III		
Annual Maximum	\$1,500 applies to classes II, IIA and III		
Out of network	Covered at fee schedule, subject to balance billing		
Orthodontia Lifetime Maximum includes dependents to age 19	\$2,000 individual maximum. No more than one half of the Lifetime Maximum will be paid in any calendar year.		
Out of area	Covered at fee schedule, subject to balance billing		
Domestic partner	Covered		
Waiting periods & other limitations	Does not apply		
Plan Benefits			
Class I - Preventive	In-Network	Out Of Network	
Class I - Coinsurance	Covered at 100%	Covered at 100%, subject to balance billing	
Cleanings & exams	Covered at 100%	Covered at 100%, subject to balance billing	
Fluoride treatments covered to age 16	Covered at 100%	Covered at 100%, subject to balance billing	
Sealants	Covered at 100%	Covered at 100%, subject to balance billing	
Bitewing x-rays	Covered at 100%	Covered at 100%, subject to balance billing	
Full mouth and panorex x-rays	Covered at 100%	Covered at 100%, subject to balance billing	
Space maintainers	Covered at 100%	Covered at 100%, subject to balance billing	
Emergency palliative treatment	Covered at 100%	Covered at 100%, subject to balance billing	
Dental Prophylaxis	Covered at 100%	Covered at 100%, subject to balance billing	
Class II - Basic Restorative	In-Network	Out Of Network	
Class II - Coinsurance	Covered at 80%, subject to deductible	Covered at 80%, subject to deductible and balance billing	
Fillings	Covered at 80%, subject to deductible	Covered at 80%, subject to deductible and balance billing	
Simple Extraction Oral Surgery	Covered at 80%, subject to deductible	Covered at 80%, subject to deductible and balance billing	
Class II A - Basic Restorative	In-Network	Out Of Network	
Class II A - Coinsurance	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Oral surgery	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Endodontics	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Periodontal surgery	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Periodontal scaling and root planing	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Periodontal maintenance following surgery	Covered at 80%, subject to the deductible	Covered at 80%, subject to deductible and balance billing	
Class III - Major Restorative	In-Network	Out Of Network	
Class III - Coinsurance	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance	

DBOC-1-26/26	Dental Blue Options	
		billing
Fixed prosthetics	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance billing
Removable prosthetics	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance billing
Inlays / Onlays / Crowns	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance billing
Relines / rebases	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance billing
Implants	Covered at 50%, subject to deductible	Covered at 50%, subject to deductible and balance billing
Class IV - Orthodontia Group must have 10 contracts enrolled	In-Network	Out Of Network
Class IV - Coinsurance	Covered at 50% to age 19, subject to orthodontia lifetime maximum	Covered at 50% to age 19, subject to balance billing and orthodontia lifetime maximum
Braces	Covered at 50% to age 19, subject to orthodontia lifetime maximum	Covered at 50% to age 19, subject to balance billing and orthodontia lifetime maximum

This is not a contract or binding agreement, but a summary of benefits and services. You should rely on the subscriber contract as the complete description of member rights, responsibilities, benefits available under the benefit plan, and the definition of contract year as it applies to any benefit limitations. In the event of a dispute between this summary and your member contract, the member contract will prevail.

Certain services require pre-certification. Please refer to your contract for additional information regarding applicable services and penalties charged if pre-certification is not obtained.

For technical web issues please contact our Web Help Desk at 1-800-278-1247

ATTACHMENT 5

Max & Jaime Heagney 4828 County Road 16 Canandaigua, NY 14424	Gallons Charged	Multiplied by 0.2035	Gallons Used (Rounded to the nearest 1,000)	Difference	Min Bill (6,000 gallons) Water Rate	Min Bill Reimbursement	Water Rate/ Additional 1000 gallons	Water Rate in Addition Reimbursement
2015	79,000	16,077	16,000	63,000	\$ 3.60	\$ 86.40	\$ 4.20	\$ 161.85
2016	305,000	62,068	62,000	243,000	\$ 3.60	\$ 86.40	\$ 4.15	\$ 908.85
2017	325,000	66,138	66,000	259,000	\$ 3.60	\$ 86.40	\$ 4.15	\$ 975.25
2018	259,000	52,707	52,000	207,000	\$ 4.23	\$ 101.52	\$ 4.87	\$ 759.45
2019	278,000	56,573	57,000	221,000	\$ 4.23	\$ 76.14	\$ 4.23	\$ 842.45
2020	251,000	51,079	51,000	200,000	\$ 4.35	\$ 78.30	\$ 4.35	\$ 755.30
	1,497,000		304,000	1,193,000		\$ 515.16		\$ 4,403.15

Total Reimbursement	\$ 4,918.31
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ATTACHMENT 6

Jean Chrisman

From: dfinch@townofcanandaigua.org
Sent: Tuesday, September 22, 2020 3:20 PM
To: Jean Chrisman
Cc: macneilm@frontiernet.net; Samantha Pierce
Subject: FW: Concern

Jean,

Could you generate a TE9 request reso for October meeting?

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds
(sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232

-----Original Message-----

From: dfinch@townofcanandaigua.org <dfinch@townofcanandaigua.org>
Sent: Monday, July 27, 2020 10:25 AM
To: 'Christina Densley' <adornocm@twcny.rr.com>
Cc: macneilm@frontiernet.net; jfletcher@townofcanandaigua.org; 'Terry Fennelly'
<tfennelly@townofcanandaigua.org>; Doug Finch <dfinch@townofcanandaigua.org>; 'Kate Silverstrim'
<ksilverstrim@townofcanandaigua.org>; Samantha Pierce <spierce@townofcanandaigua.org>; Sarah Reynolds
<sreynolds@townofcanandaigua.org>
Subject: RE: Concern

Christina,

Thank you very much for your email about this crosswalk. I have also personally walked this cross walk hundreds of times, and have witnessed some cars not stopping for people in the crosswalk.

By way of this email I am forwarding your request to our parks and recreation committee for feedback. Any changes to speed, etc would require the Town to request approval from the NYS Department of Transportation.

Thank you so much for forwarding your comments to us.

Chairman MacNeil - would you mind adding this to your next agenda and updating Christina?
Sarah - for communication binder please

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424

Phone: (585)394-1120 ext. 2234

Email: dfinch@townofcanandaigua.org

** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232

-----Original Message-----

From: Christina Densley <adornocm@twcnny.rr.com>

Sent: Wednesday, July 22, 2020 9:57 AM

To: dfinch@townofcanandaigua.org

Subject: Concern

Hello there,

My name is Christina Densley and I am reaching out to express concern over the crosswalk on Buffalo Street that leads to Outhouse Park. This crosswalk is in front of a populated residential neighborhood with a lot of traffic (both walkers, Bikers, joggers and cars). Outhouse Park, by my observation, is a highly frequented Park by residents. The crosswalk on Buffalo Street is prior to city limits (where the speed limit drops to 30mph). The crosswalk is located at the bottom of a steep hill where cars are picking up speed when the speed limit in the town is already at 55mph (I think). Despite the crosswalk flashing lights to indicate a walker is coming- cars traveling toward the city are engaged at excessive speed- making it difficult for walkers to gauge their timing to cross the road. Families and children are crossing that crosswalk all day long- my family included. I cannot tell you how many times I personally have experienced cars flying toward us and not slowing down despite the flashing lights. Not to mention if the sun is full- the lights are difficult to see. In the 7 years I've lived on Buffalo Street I have been concerned for this crosswalk and confused why there would not either be a traffic light, stop sign, or reduced speed limit that begins Prior to the crosswalk. Cars driving toward Canandaigua city down that hill do not slow down at that crosswalk. Combine that with the additional realities of people on their phones and driving distracted there is always a risk that a fatal and serious accident could occur here. I am willing to go door to door to find out if residents share the same thoughts as I do and obtain signatures to petition for a safer intersection, if you feel that would be a necessary action. I know myself personally would love to see this intersection safer for walkers, joggers, bikers etc. Thank you for your time.

Best,

Christina Densley

Sent from my iPhone

ATTACHMENT 7

October 7, 2020

Mr. James Fletcher, Superintendent
Highway and Water Departments
Town of Canandaigua
5440 Routes 5&20 West
Canandaigua, NY 14424

RE: PROPOSAL FOR PROFESSIONAL SERVICES
(EXT. 43) CRAMER ROAD WATERMAIN PROJECT

Dear Jim,

At your request, we are pleased to provide the Town with this proposal to prepare agency approval and construction drawings for the above referenced project.

I. Project Overview

It is our understanding that the district improvements will include a new 8-inch main connecting to the existing 8-inch watermain on Cramer Road and continuing approximately 3,800 LF on Cramer Road to connect to the dead end on Cramer Road. This improvement is identified as a high priority project in the Town's adopted Water Master Plan.

Based on a cursory review of available mapping, the proposed district affects property within the county Agricultural District #1, is not within an archeologically sensitive area, is not near any mapped wetlands, and is not in an area identified as habitat for endangered/threatened wildlife or fauna. This project is consistent with an Unlisted Action as defined under SEQR.

II. Scope of Services and Compensation

- A. Survey & Base-mapping.
- B. SEQR.

- C. Site visit with Town representatives to establish watermain route/location.
- D. Pre-design meeting with representatives from the Town of Canandaigua.
- E. Agricultural Notice of Intent (NOI).
- F. Watermain and appurtenance design.
- G. Prepare Construction Drawings and Details.
- H. Prepare regulatory agency paperwork/permits including:
 - 1. NYS Department of Health – Approval of Plans.
- I. Witness the chlorination, pressure testing and sampling of the new watermain.
- J. NYSDOH Certification letter based on the Town providing a certification of installation letter to MRB Group.

Total of items listed above \$27,500.00

The cost figures shown above represent our lump sum amount. Any additional work beyond this fee and outside the scope of this proposal would be reviewed with the Client. MRB Group shall submit monthly statements for services rendered during each invoicing period based on the efforts performed during that period. MRB Group Standard Rates are subject to annual adjustment.

It is our understanding that Town of Canandaigua Forces will used to install the watermain and that specifications or bidding will not be required.

III. Additional Services

The following items are not included under this scope of services; however, can be provided at an additional charge to be negotiated upon request:

- A. Subsurface/Geotechnical investigation.
- B. Archeological investigation.
- C. Preparation of material bid or contract bid specifications.
- D. Wetland delineation.
- E. Easement Maps.

- F. Upgrade the construction documents to a biddable format.
- G. Updated Hydraulic Report if requested by the NYSDOH.
- H. Unexpected compliance with excessive response to public or agency request.

IV. Commencement of Work

Upon receipt of the signed proposal, MRB Group will begin work on the project.

If this proposal is acceptable to you, please sign where indicated and return one copy to our office. We have included an additional copy for your records. Thank you for your consideration of our firm. We look forward to working with you on this project.

Respectfully submitted,


Gregory J. Hotaling, P.E.
Project Manager


James J. Oberst, P.E., LEED AP
Executive Vice President/C.O.O.

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PROPOSAL ACCEPTED BY:

Signature

Title

Date

ATTACHMENT 8

Local Law Filing

(Use this form to file a local law with the Secretary of State.)

Text of law should be given as amended. Do not include matter being eliminated and do not use italics or underlining to indicate new matter.

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of CANANDAIGUA

Local Law No. _____ of the year 20 20

A local law TO AMEND TOWN CODE WITH RESPECT TO OFF-SITE PARKING REQUIREMENTS
(Insert Title)

Be it enacted by the TOWN BOARD _____ of the
(Name of Legislative Body)

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of _____ as follows:

SEE ATTACHED SCHEDULE "A"

(If additional space is needed, attach pages the same size as this sheet, and number each.)

(Complete the certification in the paragraph that applies to the filing of this local law and strike out that which is not applicable.)

1. (Final adoption by local legislative body only.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 2020 of the (County)(City)(Town)(Village) of CANANDAIGUA was duly passed by the TOWN BOARD on _____ 20____, in accordance with the applicable provisions of law.
(Name of Legislative Body)

2. (Passage by local legislative body with approval, no disapproval or repassage after disapproval by the Elective Chief Executive Officer*.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ and was deemed duly adopted *(Elective Chief Executive Officer*)* on _____ 20 , in accordance with the applicable provisions of law.

3. (Final adoption by referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ on _____ 20____. *(Elective Chief Executive Officer*)*

Such local law was submitted to the people by reason of a (mandatory)(permissive) referendum, and received the affirmative vote of a majority of the qualified electors voting thereon at the (general)(special)(annual) election held on _____ 20____, in accordance with the applicable provisions of law.

4. (Subject to permissive referendum and final adoption because no valid petition was filed requesting referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ on _____ 20____. Such local *(Elective Chief Executive Officer*)* law was subject to permissive referendum and no valid petition requesting such referendum was filed as of _____ 20____, in accordance with the applicable provisions of law.

* Elective Chief Executive Officer means or includes the chief executive officer of a county elected on a county-wide basis or, if there be none, the chairperson of the county legislative body, the mayor of a city or village, or the supervisor of a town where such officer is vested with the power to approve or veto local laws or ordinances.

5. (City local law concerning Charter revision proposed by petition.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the City of _____ having been submitted to referendum pursuant to the provisions of section (36)(37) of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of such city voting thereon at the (special)(general) election held on _____ 20____, became operative.

6. (County local law concerning adoption of Charter.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the County of _____ State of New York, having been submitted to the electors at the General Election of November _____ 20____, pursuant to subdivisions 5 and 7 of section 33 of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of the cities of said county as a unit and a majority of the qualified electors of the towns of said county considered as a unit voting at said general election, became operative.

(If any other authorized form of final adoption has been followed, please provide an appropriate certification.)

I further certify that I have compared the preceding local law with the original on file in this office and that the same is a correct transcript therefrom and of the whole of such original local law, and was finally adopted in the manner indicated in paragraph _____ above.

Clerk of the county legislative body, City, Town or Village Clerk or
officer designated by local legislative body

Date: _____

(Seal)

TOWN OF CANANDAIGUA
LOCAL LAW # ____ OF 2020

ATTACHMENT "A"

SECTION ONE. The definition of PARKING SPACE, OFF-STREET contained in Town Code § 1-17 shall be replaced in its entirety with the following:

PARKING SPACE, OFF-STREET. A space located outside a public right-of-way adequate for parking a motor vehicle, exclusive of passageways and driveways appurtenant thereto.

SECTION TWO. Town Code § 174-22(A) shall be replaced in its entirety with the following:

- A. In addition to the requirements in this section, proposed parking, loading areas and site access shall comply with Town Code §§ 220-9V, 220-73, 220-74, 220-75, and 220-76 respectively.

SECTION THREE. Town Code § 174-22(B) shall be replaced in its entirety with the following:

- B. All parking areas, passageways and driveways, except when provided in connection with one- and two-family residential uses, shall be surfaced with a dustless, durable, all-weather surface.

SECTION FOUR. Town Code § 174-22(D) shall be removed in its entirety, and listed as "Reserved."

SECTION FIVE. Town Code § 174-22(E) shall be replaced in its entirety with the following:

- E. In locations where deterrence of unwanted parking is necessary, pavement striping is discouraged in favor of alternate means.

SECTION SIX. Town Code Chapter 220, Attachment 3 – Schedule II, Off-Street Parking, shall be deleted in its entirety.

SECTION SEVEN. Town Code § 220-9(C) shall be replaced in its entirety with the following:

- C. Every developed lot of record shall have access to a public street. Access may be either direct or by private road or drive. All structures shall be so located on lots so as to provide safe and convenient access for servicing, fire

protection and required off-street parking. Further standards may be found within the Town of Canandaigua Site Design and Development Criteria.

SECTION EIGHT. Town Code § 220-20(D)(1)(c)(9) shall be replaced in its entirety with the following:

[9] Common off-street parking areas may be allowed.

SECTION NINE. Town Code § 220-20(D)(1)(c)[10] shall be deleted in its entirety.

SECTION TEN. Town Code § 220-20(D)(1)(c)[12] shall be deleted in its entirety.

SECTION ELEVEN. Town Code § 220-20(D)(1)(g)[1] shall be deleted in its entirety.

SECTION TWELVE. Town Code § 220-61(F) shall be deleted in its entirety.

SECTION THIRTEEN. The "Purpose" provision in Town Code § 220-73 shall be replaced in its entirety with the following:

Purpose: There are no provisions that establish a minimum number of off-street parking spaces for development. However, certain development proposals are required to complete a parking demand analysis, which will assist in determining off-street parking spaces required. In all districts there shall be provided, at the time any building or structure is erected, enlarged, increased in capacity or changed in use, improved and usable off-street parking spaces for motor vehicles in accordance with the requirements of this article, the New York State Uniform Fire Prevention and Building Code, and Federal Americans with Disabilities Act.

SECTION FOURTEEN. Town Code § 220-73(A) shall be replaced in its entirety with the following:

(A) Authority. Parking requirements shall be determined by the Planning Board in the course of their respective reviews of any site plan, subdivision, special use permit, or other necessary review.

SECTION FIFTEEN. Town Code § 220-73(B) shall be replaced in its entirety with the following:

(B) Design requirements.

(1) Off-street parking space shall be provided as further specified in this chapter and shall be furnished with necessary passageways and driveways. Required dimensional standards can be found within the Town of Canandaigua Site Design and Development Criteria.

- (2) Off-street parking areas for nonresidential uses shall provide sufficient area for access drives and aisles.
- (3) Off-street parking areas with a capacity for more than 20 vehicles shall delineate fire lanes and post "no parking" markers.
- (4) Any off-street parking area with at least 20 off-street parking spaces shall designate a minimum of 10% of those spaces as reserved only for the handicapped and clearly mark them for such use. Parking spaces designated to serve handicapped individuals shall be at least 14 feet in width and 20 feet in depth.
- (5) All parking areas, passageways and driveways (except where provided in connection with one- and two-family dwellings, or farm residences and buildings) shall be adequately drained and will have a durable surface, subject to approval of the Town Planning Board.
- (6) Each off-street parking space shall be so designed, maintained and regulated that no parking or maneuvering incidental to parking shall be on any public street, walk or alley, and so that any motor vehicle may be parked and unparked without moving or damaging another.
- (7) Parking areas may be located in any yard space for nonresidential uses but shall not be located:
 - (a) So as to impinge on the minimum required buffer width, as measured from the property lot line, as established in § **220-76D**; or
 - (b) For properties of 60,000 square feet or less in size, any closer than 10 feet to any side or rear property line unless specifically approved by the Planning Board as part of a multiple-parcel shared parking plan; or
 - (c) For properties greater than 60,000 square feet in size, any closer than 20 feet to any side or rear property line unless specifically approved by the Planning Board as part of a joint use parking plan.
- (8) Driveways to Off-Street Parking.

- (a) No driveway to an off-street parking area shall be located closer than 50 feet to the intersection of any two streets or within 10 feet of any side lot line identified in § 220-9V(3) or 20 feet servicing a lot identified in § 220-9V(4) of this chapter, provided further that

[1] Sufficient distance will always remain for all required radii for said driveway,

[2] Said driveway will not be determined by the Planning Board to adversely affect the minimum sight distance for motorists, as recommended in various Town, county and state highway design and traffic safety manuals, or prevent the stacking of vehicles along the highway where there is a traffic control device operating.

- (b) The Planning Board may require a different distance to the intersection of any two streets as a condition of approval where a traffic study identifies that said distance would improve safety and efficiency.

- (c) The distance from the driveway to the intersection shall be measured by extending the curb or pavement line of the intersecting street until it intersects the curb or pavement line, extending, if necessary, to the driveway in questions.

- (d) The maximum separation required by § 220-9V(2), (3), or (4) shall be maintained between two driveways located on any one frontage.

SECTION SIXTEEN. Town Code § 220-73(C) shall be replaced in its entirety with the following:

- (C) Location of off-site parking facilities. Required off-street parking is allowed on a separate parcel within 1,320 feet of the use served, as measured by closest walking distance from the closest public entrance to the off-site parking lot. Where parking is provided off-site, adequate provisions for safe, pedestrian travel shall be required.

SECTION SEVENTEEN. Town Code § 220-73(D) shall be replaced in its entirety with the following:

- (D) Screening and landscaping.

- (1) Off-street parking areas for more than five vehicles shall be effectively screened on the rear and side yards by a fence of acceptable design, unpierced masonry wall, landscaped berm or compact evergreen hedge. Such fence shall be erected and maintained in accordance with § 220-9K of these regulations. Such wall or hedge shall not be less than six feet in height and shall be maintained in good condition.
- (2) When a parking area for five or more vehicles is within or abuts a residential district, a planted buffer area shall be provided in addition to the fence or wall specified in Subsection C(1) above. Landscaping utilized to provide this buffer shall not be less than four feet in height at the time of planting and spaced not more than three feet apart. The planted buffer area shall not be less than 10 feet in depth.

SECTION EIGHTEEN. Town Code § 220-73(E) shall be replaced in its entirety with the following:

(E) Lighting.

- (1) All off-street parking areas and appurtenant passageways and driveways (excluding areas serving one- and two-family dwellings and farm dwellings) shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation.
- (2) Any lights used to illuminate an off-street parking area shall be so arranged as to reflect the light away from all adjoining property.
- (3) Lighting shall comply with the requirements of Town Code § 220-77.

SECTION NINETEEN . Town Code § 220-73(F) shall be deleted in its entirety.

SECTION TWENTY. Town Code § 220-73(G) shall be replaced in its entirety with the following:

- (G) Joint use. The off-street parking requirements of two or more uses, structures, or parcels of land may be satisfied by the same parking or loading

space used jointly if supported by a shared parking analysis. This analysis shall be based upon accepted standards. The right to joint use of the parking space must be evidenced by a deed, lease, contract, contract or other appropriate written document to establish the joint use.

SECTION TWENTY ONE. Town Code § 220-73(H) shall be replaced in its entirety with the following:

(H) Required off-street parking spaces. Off-street parking shall be provided to meet the realistic demand for the proposed land use. The applicant shall calculate this demand based on standards such as the Institute of Transportation Engineer's Parking Generation Reports, Urban Land Institute, observed local demand analysis, or any other standard acceptable to the Planning Board.

(1) Applicability. Projects exceeding the following thresholds shall provide a parking demand analysis:

- a. New construction of principle building/s in excess of 5,000 square feet of gross floor area; or
 - b. The substantial renovation of a principal building with a gross floor area of at least 50,000 square feet and involving a change of use;
 - c. Or upon request of the Planning Board during the course of their review.
-

(2) Exemptions:

- a. All Single-Family Dwellings and Two-Family Dwellings; or
 - b. Generally accepted agricultural operation or practice occurring within an established Ontario County Agricultural District, and Temporary Farm Stands; or
 - c. As otherwise stated within Chapter 220.
-

(3) Waiver for current construction:

- a. Applicant may request the Planning Board waive the requirement to construct off-street parking spaces during initial construction.
- b. Applicant shall specify on a Site Plan which off-street parking spaces are to be delayed, including the total number of spaces, and to provide justification for the waiver request.
- c. Such off-street parking spaces shall be included as if to be constructed in any SEQR consideration and planning approvals.

- d. The future construction of the subject spaces shall require a Site Development Permit and be exempt from Site Plan review if in substantial conformance with the approved plans.
 - e. If granted, the Planning Board may also impose additional conditions as needed to achieve the objectives of this chapter.
-

SECTION TWENTY TWO. Town Code § 220-73(I) shall be replaced in its entirety with the following:

(I) Authority for Planning Board to modify requirements of § 220-73.

(1) The Planning Board is hereby authorized to modify the required number of off-street parking spaces.

(2) Such modification may take place after the Planning Board finds that:

(a) Applicant has demonstrated that adequate, public off-street parking facilities are available within 1,320 feet of the primary entrance of all uses served as measured along the shortest legal, practical walking route; or

(b) Applicant can document that a notable percentage of their customers will be transported to and from their premises in buses, bikes, walking or other forms of alternative transportation; or

(c) Applicant provides a Transportation Management Plan documenting off-peak work hours, preferential parking, financial incentives, or some other manner for reducing parking demand.

(d) The requirement is found not to be requisite in the interest of the public health, safety, and general welfare or inappropriate because of inadequacy or lack of connecting facilities adjacent or in proximity to the site plan.

(3) Where the Planning Board modifies the required number of parking spaces pursuant to this section, the Planning Board shall impose such conditions as it deems necessary and shall make findings supporting their decision regarding a waiver.

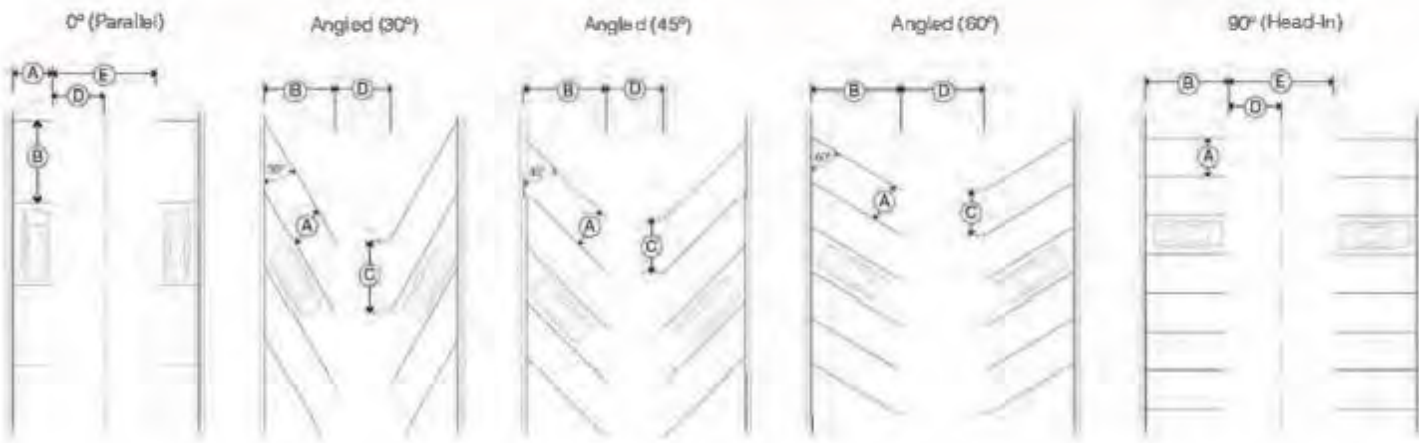
SECTION TWENTY THREE. The following shall be added to the Town of Canandaigua's Site Design and Development Criteria under Article II – Design Standards as § 2.13(A):

Stall and Aisle Dimensions. All off-street parking spaces and drive aisles must comply with the minimum dimensional standards shown below in "Parking Stall and Drive Aisle Dimensions" with the following exceptions:

1. Motorcycle and scooter parking stalls must measure at least four feet in width and eight feet in depth.
2. Mechanical access parking is exempt from parking stall and drive aisle dimensional requirements.

PARKING STALL AND DRIVE AISLE DIMENSIONS

STALL ANGLE	STALL WIDTH (MIN) (A)	STALL DEPTH (MIN) (B)	SKEW WIDTH (MIN) (C)	DRIVE AISLE WIDTH, 1-WAY (MIN) (D)	DRIVE AISLE WIDTH, 2 WAY (MIN) (E)	VERTICAL CLEARANCE (MIN)
0 degrees (parallel)	8'	18'	8'	11'	22'	7' 6"
30 degrees	8' 6"	15'	16' 6"	11'	--	7' 6"
45 degrees	8' 6"	17' 9"	11' 8"	11' 10"	--	7' 6"
60 degrees	8' 6"	19'	9' 6"	13' 6"	--	7' 6"
90 degrees (head-in)	8' 6"	18'	8' 6"	--	23'	7' 6"



SECTION TWENTY FOUR. Severability. If any portion of this Local Law shall be deemed by a court of competent jurisdiction to be invalid, illegal, or unenforceable, the remainder of this Local Law shall remain in full force and effect to the extent practicable.

SECTION TWENTY FIVE. Effective Date. This Local Law shall be effective immediately upon its filing with the New York State Secretary of State.

TITLE OF LL:

An act to remove minimum off-street parking requirements.

PURPOSE OR GENERAL IDEA OF BILL:

The purpose of this local law is to amend various Town Code Chapters to remove minimum off-street parking requirements and to revise various other parking requirements, as necessary.

SUMMARY OF SPECIFIC PROVISIONS:

See redline draft.

JUSTIFICATION:

Minimum Off-Street Parking requirements were initially added to local codes throughout the United States in mid-century. At the time, automobile traffic was booming and the various uses associated with vehicles were seen as the way of the future. There were shopping malls, drive in theatres, drive through restaurants, etc. In an effort to promote and protect the driving economy, Towns like Canandaigua passed rules requiring space for vehicle parking. Current off-street parking requirements have not been substantially modified for at least 30 years (1989).

This change has the potential to benefit the Town in numerous ways. For one, our current requirements are not based on objective research and studies, and do not illustrate a realistic estimate of potential parking demand. For instance, home occupations require 3 spaces for client use but do not consider at all what type of "client use" are referred to. The Town has recently issued a Special Use Permit for a Major Home Occupation to roast coffee. This generates ZERO parking demand and yet we require 3 spaces or 900 square feet of parking.

As another example, consider the Tops Plaza. We are all aware that this plaza has an enormous parking lot that is rarely, if ever, fully utilized. Enforcement of our code for this building would have required 575 parking spaces or approximately **4 Acres of Parking**. They only built 373 (2.5 Acres), and they are normally completely empty. Similarly, when Roseland Plaza was developed in the late 1980's, they were required to provide 1 space per 100 square foot of retail space. They received a variance to cut in half that requirement and provide 1/200, and we still see how many empty spaces there are. The code

requirement is still 1/100. Developers of LNB, Creekview Apartments, Hallstead Dental and many more have requested relief from our requirements. In short, our current requirements are inefficient and wasteful. Of course, developers can build more parking than is required. So, in effect, the Town is mandating more parking than the market requires.

This waste has serious, harmful effects on the Town of Canandaigua. Parking is harmful to the environment. It creates large patches of impervious surface that would otherwise allow stormwater and run-off to infiltrate into the ground. As one of our main environmental concerns is the watershed, parking requirements mandate a greater adverse impact. Dark pavement can artificially raise air temperature, resulting in "heat-islands". It usually requires lots of salt in the winter time which salinates water supply and harms biodiversity. By promoting driving it increases carbon consumption and reduces demand for multi-modal transportation.¹

Parking is expensive and requiring excessive parking requirements can make good projects infeasible. As mentioned previously, Tops would have been required to build 4 Acres of only parking. Using assessor's data, the land value for that parcel is \$65,866/AC. This required parking lot would have theoretically cost the developer \$263,464. By building a smaller but oversized lot at 2.5 AC, the developer would save approximately \$98,799 in land costs. Keep in mind, this does not include potential tax savings, maintenance costs, costs for stormwater management facilities and other costs. Planning literature has also pointed out that minimum parking requirements have hampered the ability to build affordable housing. Studies show parking can cost approximately \$5,000 per space to build and that it can add 17% to a unit's rent. (I.e. A \$1,000 apartment would cost \$1,170).²

Expansive parking runs counter to the Town's multi-modal goals. When the Town requires over and above the market supply of parking, we signal to potential consumers to drive to their destination, when we might otherwise prefer people to walk, bike or take the bus. Additionally, for consumers who do walk or bike, parking lots create an unattractive and inhospitable

¹ <https://journalistsresource.org/studies/environment/transportation/parking-environmental-impacts-development-policies-research-roundup/>; and, <https://archive.epa.gov/greenbuilding/web/pdf/epaparkingspaces06.pdf>

² <https://www.planning.org/planning/2018/oct/peopleoverparking/>; <https://www.nytimes.com/2014/09/15/arts/design/9-x-18-plan-ties-development-rules-to-public-benefits.html>; and, https://www.cnt.org/sites/default/files/publications/CNT_Stalled%20Out_0.pdf

environment. It also represents a serious physical barrier to walkers. We know many residents from Trolley Station, Candlewood, and Liberty Apartments walk to Tops and the required parking area adds almost 600 feet (2 minutes one-way) to their trip. Further, for people with mobility impairments either from disability or age, this increased distance makes getting around much more difficult. In a similar vein, minimum parking requirements increase the lot size required for uses, making distances between uses greater, further necessitating driving.

Finally, excessive parking requirements costs the Town tax dollars. Assume that our requirements create wasted spaces - which they do. Perpetually empty parking spaces do not add value to a business, they add cost. If the land devoted to empty parking could be repurposed into apartments, a bank, a shop, whatever, that land would be assessed at significantly more and provide a broader tax base to the Town.

Developers, Businesses, Renters, and Financiers are making tremendous investments in our community. Whether the Town requires parking or not, people will build it, banks will require it for loans, and businesses will request it before becoming tenants. Essentially, parking is a market driven phenomenon. It's why we see some developers build over and above our requirements and why some developers request substantial variance from them.

Our current requirements ignore this reality and impose substantial cost on not just developers but the Town at large. Our rules effectively prohibit much of the affordable, multi-use development that we wish to see. They increase drainage problems and other adverse environmental impact. They break apart land use making it more difficult for people to get from point A to point B. Finally, because they mandate the waste of land, the Town is losing potential assessed value that could reduce taxes.

PLAN REFERENCE:

1) 2014 Comprehensive Plan Goals/Action Steps

- a. Establish a regulatory and economic framework that supports the protection and continued development of agriculture.
 - 1. Cluster development use to preserve agriculture
- b. Ensure the protection of the Town of Canandaigua's natural resources.
- c. Protect Canandaigua Lake and its watershed as a major natural resource enjoyed by the Town and greater Canandaigua area.
 - 1. revise (if necessary) regulations to reduce impact of impervious surfaces on water quality and quantity
- d. Conserve and maintain the land that provides critical open space and scenic resources.
- e. Promote development of a diverse and sustainable tax base.
- f. *Uncategorized Steps*
 - 1. Review and consider code updates to MUO to maximize opportunities
 - 2. development of outside referral process
 - 3. affordable housing
 - 4. senior housing
 - 5. complete streets
 - 6. analyze planning and development of future non-motorized transportation
 - 7. design intermodal transportation plan

2) [Comprehensive Plan 2011 Update](#)

- a. Resource Protection
 - 1. Environmental
 - a. Ensure the protection of the Town's natural resources.
 - b. Protect Canandaigua Lake and its watershed as a major natural resource enjoyed by the Town and greater Canandaigua area.
- b. Economic Development

1. Promote development of a diverse and sustainable tax base.
2. Maximize opportunities for large and small scale commercial development within the Town without compromising the Town's natural, scenic, cultural and historic resources.

c. Community Character

1. Structure land use regulations, design standards and zoning code to improve and protect the character of the Town's hamlets and gateways.

d. Housing

1. Encourage residential development patterns that are elder-friendly.
2. Support future residential growth that makes Canandaigua livable for people of all ages and income levels.
3. Encourage elder-friendly residential housing near the City of Canandaigua.

e. Transportation Network and Services

4. Work with Ontario County to provide the level of public transit that meets the community's needs.
5. Consider the needs of pedestrians and bicyclists during transportation planning.

3) [2016 Agricultural Enhancement Plan](#)

a. Manage land use and development to avoid or reduce impacts on farmland.

1. Maintain zoning regulations and district boundaries that encourage more intensive development outside of priority agricultural areas.
2. Revise and maintain local laws and land use regulations that support agricultural operations.
 - A. Retain Home Business provisions to accommodate complementary business uses on farms.

4) [2003 Comprehensive Plan](#)

Zoning and Subdivision Revisions to reflect the comprehensive plan's recommendations, including the following:

1. Create the Corridor Development Incentive Overlay District and the Corridor Conservation Overlay District for the Route 332 Corridor. This will include the incentive zoning provision and the development of specific design guidelines for each of the development nodes.
2. Create a mini-master plan for the Hamlet of Cheshire. As a product of this master plan, establish a new Cheshire Hamlet Zoning District with design guidelines for **hamlet infill and expansion**. Additional topics to be addressed in the master plan would include **streetscape improvements**, the provision of public sewer, incentives for building rehabilitation and façade improvements, and **small business development** loan programs.

5) Hamlet of Cheshire Master Plan

a. Commercial Area Redevelopment

1. It is recommended that infill opportunities be examined.
2. It is recommended that small business opportunities be investigated.
3. It is recommended that public parking be reconfigured to allow for more convenient and efficient use of the existing parking facilities. Currently the off-street parking requirements in the Town zoning are inappropriate for the hamlet.

b. Residential Growth Alternatives

1. It is recommended that future residential growth follow a Traditional Neighborhood Design (TND). A Traditional Neighborhood Design is typically compact and walkable.
2. It is recommended that future residential development have open space provisions and possibly connections to walking trails and Leonard R. Pierce Park.
3. It is recommended that a diversity of housing types, such as townhomes, patio homes and senior apartments be allowed when considering future residential development.

c. Zoning Revisions

1. Revising zoning to allow for mixed-use development, such as residential mixed with office uses, would assist in revitalizing the commercial area within the hamlet. Also,

establishing an overlay district could provide options for future growth. An overlay for a Traditional Neighborhood Design District, for example, may be a viable option for landowners.

6) Open Space, Conservation, Scenic Views Master Plan 2018

- a. CONSERVE OPEN SPACE THROUGH LAND USE REGULATIONS
 - 1. MAINTAIN/ STRENGTHEN CONSERVATION PROVISIONS OF LAND USE AND DEVELOPMENT REGULATIONS

7) Concept Mapping (2018)

- a. Protect the Lake
 - 1. Protection of Water quality is utmost importance.
- b. Job Creation, Retention, Expansion
 - 1. Manufacturing Jobs
 - 2. Enable Development along Firehall-Parkside
 - 3. Health care master plan

DRAFT:
Chapter 220-73:
Off-Street Parking Regulations

LAST REVISED 10/22/2020

§ 1-17 Definitions

PARKING SPACE, OFF-STREET

A space located outside a public right-of-way adequate for **parking** an ~~automobile~~ motor vehicle as provided in section 1, subsection 17, ~~and having an area of not less than 200 square feet per motor vehicle,~~ exclusive of passageways and driveways appurtenant thereto.

§ 174-22 **Parking, loading areas and site access.**

A. In addition to the requirements in this section, proposed **parking**, loading areas and site access shall comply with Town Code §§ **220-9V**, **220-73**, **220-74**, ~~and~~ **220-75**, ~~and~~ **220-76** respectively.

B. All **parking** areas, passageways and driveways, except when provided in connection with one- and two-family residential uses, shall be surfaced with a dustless, durable, all-weather ~~pavement surface~~ ~~such as asphalt or concrete~~.

~~**D.** Appropriate screening and landscaping as deemed appropriate by the Planning Board will also be required.~~

~~**E.** Pavement striping is discouraged within site development **parking** areas in favor of alternate means of deterring unwanted **parking** to be discussed with the Town. In locations where deterrence of unwanted parking is necessary, pavement striping is discouraged in favor of alternate means.~~

~~Attachment 3 – Schedule II, Off-Street Parking shall be deleted in its entirety.~~

§ 220-9 Regulations applicable to all districts.

C. Every developed lot of record shall have access to a public street. Access may be either direct or by private road or drive. ~~Where a private road or drive~~

~~provides access to more than one developed lot of record, said road shall have a right-of-way width of not less than 30 feet and an improved surface of at least 20 feet in width.~~ All structures shall be so located on lots so as to provide safe and convenient access for servicing, fire protection and required **off-street parking**. Further standards may be found within the Town of Canandaigua Site Design and Development Criteria.

§ 220-20MR Multiple-Residence District.

D. Dimensional requirements and design standards.

(1) Townhouse development site design standards.

(c) Individual dwelling unit lot criteria.

~~[9]~~ ~~There shall be no c~~Common **off-street parking** areas may be allowed.

~~[10]~~ ~~Each townhouse dwelling unit shall have a minimum of one one-car garage.~~

~~[12]~~ ~~There shall be adequately sized common storage areas provided as part of each townhouse development site for the storage of boats, trailers, recreational vehicles and other personal vehicles. Each storage area shall be blacktopped, buffered by landscaping and maintained. No unregistered vehicle shall be allowed to remain in a common storage area. The minimum size for each common storage area shall be determined by the Planning Board as part of site plan approval. In the event a common storage area is not found to be adequately sized, either the landowner or the homeowners' association shall be responsible for providing additional area to meet the need. This storage area shall not be used for off-street parking of vehicles.~~

(g) Parking requirements.

~~[1] A minimum of two paved parking spaces shall be provided for each dwelling unit, one of which shall be completely enclosed and covered.~~

220-61 Tourist home (bed-and-breakfast).

~~F. Each lodging room shall have one off-street parking space assigned and there shall be a minimum of two additional off-street parking spaces provided. The owner/operator of the tourist home shall have a private garage to accommodate personal vehicles. The off-street parking area shall be located adjacent to the tourist home and must be illuminated.~~

§ 220-73 Off-street parking regulations.

Purpose: ~~There are no provisions that establish a minimum number of off-street parking spaces for development. However, certain development proposals are required to complete a parking demand analysis, which will assist in determining off-street parking spaces required.~~ In all districts there shall be provided, at the time any building or structure is erected, enlarged, increased in capacity or changed in use, improved and usable off-street parking spaces for motor vehicles in accordance with the requirements of this article, ~~Zoning Schedule II, ^{III} or~~ the New York State Uniform Fire Prevention and Building Code, ~~or Federal Americans with Disabilities Act~~. In the instance where there may be a conflict between the requirements of these ~~three~~ sources, the stricter regulations shall govern. In such cases, off-street parking facilities shall be provided as hereinafter specified for the building as enlarged, or to accommodate the needs of the new use.

~~A. Authority. Parking requirements shall be determined by the Planning Board in the course of their respective reviews of any site plan, subdivision, special use permit, or other necessary review.~~

~~B. Design requirements.~~

~~(1) Off-street parking space shall be provided as further specified in this chapter and shall be furnished with necessary passageways and driveways. Required dimensional standards can be found within the Town of Canandaigua Site Design and Development Criteria. For the purposes of this chapter, a parking space shall not be less than 10 feet in width and 20 feet in depth, exclusive of accessways and driveways.~~

(2) Off-street parking areas for nonresidential uses shall provide ~~a minimum additional area of 100 square feet of area per off-street parking space to provide~~ sufficient area for access drives and aisles.

(4) Any off-street parking area with at least 20 off-street parking spaces shall designate a minimum of ~~5~~10% of those ~~spaces, up to a maximum of 10 spaces, as~~ spaces as reserved only for the handicapped and clearly mark them for such use. Parking spaces designated to serve handicapped individuals shall be at least 14 feet in width and 20 feet in depth. Parking facilities and structures shall comply with the standards established in the Federal Americans with Disabilities Act.

~~(5) All off-street parking spaces shall be deemed to be required space on the lot on which it is situated and shall not be encroached upon or reduced in any manner. It shall not be separated by a public highway or right of way.~~

~~(8) The collective provision of off-street parking areas by two or more buildings or uses located on adjacent lots may be approved by the Planning Board, provided that the total of such facilities shall not be less than the sum required of the various buildings or uses computed separately.~~

(9) Parking areas may be located in any yard space for nonresidential uses but shall not be located:

(c) For properties greater than 60,000 square feet in size, any closer than 20 feet to any side or rear property line unless specifically approved by the Planning Board as part of ~~a multiple parcel shared~~ Joint Use parking ~~plan~~.

(10) Driveways to off-street parking.

(a) No driveway to an off-street parking area shall be located closer than 50 feet to the intersection of any two streets or within 10 feet of any side lot line identified in § ~~220-9V(3)~~ or 20 feet serving a lot identified in § 220-9V (4) of this chapter, provided further that:

[1] sufficient distance will always remain for all required radii for said driveway,

[2] ~~that~~ said driveway will not be determined by the Planning Board to adversely affect the minimum sight distance for motorists, as recommended in various Town, county and state highway design and traffic safety manuals, or prevent the stacking of vehicles along the highway where there is a traffic control device operating.

(b) ~~No driveway to an off-street parking area serving a lot identified in § 220-9V(4) of this chapter shall be located within 20 feet of any side lot line,~~

~~provided that sufficient distance will always remain for all required radii for said driveway, that said driveway will not be determined by the Planning Board to adversely affect the minimum sight distance for motorists, as recommended in various Town, county and state highway design and traffic safety manuals, or prevent the stacking of vehicles along the highway where there is a traffic control device operating. The Planning Board may require a different distance to the intersection of any two streets as a condition of approval where a traffic study identifies that said distance would improve safety and efficiency. Where a traffic study identifies a different distance to the intersection of any two streets would provide improved highway safety and efficiency, the Planning Board may then require said cited distance as a condition of subdivision or site plan approval.~~

(c) The distance from the driveway to the intersection shall be measured by extending the curb or pavement line of the intersecting street until it intersects the curb or pavement line, extending, if necessary, of the driveway in question.

~~(a)(d)~~ In addition, the minimum separation required by § 220-9V(2), (3), or (4) shall be maintained between two driveways located on any one frontage.

CB. Location of off-~~street site~~ parking facilities. ~~Required off-street parking is allowed on a separate parcel within 1,320 feet of the use served, as measured by closest walking distance from the closest public entrance to the off-site parking lot. Where parking is provided off-site, adequate provisions for safe, pedestrian travel shall be required. Parking facilities and structures shall comply with the standards established in the Federal Americans with Disabilities Act. Off-street parking facilities shall be located as hereinafter specified. Where a distance is specified, such distance shall be walking distance measured from the nearest point of the parking facility to the nearest public entrance of the building that such facility is required to serve.~~

~~(1) For one and two family dwellings and for all types of residential structures on the same lot with the building they are required to serve.~~

~~(2) For multiple family dwellings, not more than 200 feet from the building they are required to serve.~~

~~(3) For other uses, not more than 360 feet from the building they are required to serve.~~

DC. Screening and landscaping.

ED. Lighting.

(3) Lighting shall comply with the requirements of Town Code § 220-77.

E. Units of measurement.

(1) In churches and other places of assembly in which patrons or spectators occupy benches, bleachers, pews or other similar seating facilities, each 20 inches of such seating facilities shall be counted as one seat for the purpose of determining requirements for off-street parking facilities.

(2) When units of measurement determining the number of required parking spaces result in the requirement of a fractional space, any fraction shall require one parking space.

F. Mixed occupancies and uses not specified. In any case of mixed uses, the total requirements for off-street parking facilities shall be the sum of the requirements for the various uses computed separately. In the case of a use not specifically mentioned in this section, the requirements for off-street parking facilities shall be determined by the Town Planning Board. Off-street parking facilities for one use shall not be considered as providing required parking facilities for any other use, except as hereinafter specified for joint use.

G-F. Joint use. The off-street parking requirements of two or more uses, structures or parcels of land may be satisfied by the same parking or loading space used jointly if supported by a shared parking analysis. This analysis shall be based on accepted standards, such as published in the Institute of Transportation Engineer's Parking Generation Reports, the Urban Land Institute Shared Parking Study, or another acceptable standard, to the extent that it can be shown by the owners or operators of the uses, structures or parcels that their operations and parking needs do not overlap in point in time. If the uses, structures or parcels are under separate ownership, ~~the~~ the right to joint use of the parking space must be evidenced by a deed, lease, contract or other appropriate written document to establish the joint use.

H-G. Required off-street parking spaces. Off-street parking shall be provided to meet the realistic demand for the proposed land use. The applicant shall calculate this demand based on standards such as the Institute of Transportation Engineer's Parking Generation Reports, Urban Land Institute, observed local demand analysis, or any other standard acceptable to the Planning Board. Required off-street parking space for specific uses as regulated in this chapter is contained in Schedule II, which is part of this chapter.¹²¹

(1) Applicability. Projects exceeding the following thresholds shall provide a parking demand analysis:

- a. New construction of principle building/s in excess of 5,000 square feet of gross floor area; or
- b. The substantial renovation of a principal building with a gross floor area of at least 50,000 square feet and involving a change of use;

c. Or upon request of the Planning Board during the course of their review.

(2) Exemptions:

- a. All Single-Family Dwellings and Two-Family Dwellings; or
- b. Generally accepted agricultural operation or practice occurring within an established Ontario County Agricultural District, and Temporary Farm Stands;
or
- c. As otherwise stated within Chapter 220.

(3) Waiver for current construction:

- a. Applicant may request the Planning Board waive the requirement to construct off-street parking spaces during initial construction.
- b. Applicant shall specify on a Site Plan which off-street parking spaces are to be delayed, including the total number of spaces, and to provide justification for the waiver request.
- c. Such off-street parking spaces shall be included as if to be constructed in any SEQR consideration and planning approvals.
- d. The future construction of the subject spaces shall require a Site Development Permit and be exempt from Site Plan review if in substantial conformance with the approved plans.
- a-e. If granted, the Planning Board may also impose additional conditions as needed to achieve the objectives of this chapter.

I-H. Authority for Planning Board to modify ~~require~~requirements of § 220-73ed number of parking spaces.

(1) ~~Where the Planning Board is reviewing an application for site plan approval, t~~The Planning Board is hereby authorized to modify the required number of off-street parking spaces contained in Schedule II, provided that the Planning Board does not reduce said number of required parking spaces by more than 50%.

(2) Such modification may take place ~~only~~ after the Planning Board finds that ~~either~~:

~~(a) Applicant has demonstrated that the specific use routinely requires fewer parking spaces than required by Code; or~~

~~(ab)~~ Applicant has demonstrated that adequate, public off-street parking facilities are available within 400-1,320 feet of the primary entrance of all uses served as measured along the shortest legal, practical walking route~~the lot containing the subject use~~; or

~~(b) (c) Applicant has provided evidence of satisfactory off-site parking arrangements~~Applicant can document that a notable percentage of their

customers will be transported to and from their premises in buses, bikes, walking or other forms of alternative transportation; or

(c) Applicant provides a Transportation Management Plan documenting off-peak work hours, preferential parking, financial incentives, or some other manner for reducing parking demand.

~~(b)~~ The requirement is found not to be requisite in the interest of the public health, safety, and general welfare or inappropriate because of inadequacy or lack of connecting facilities adjacent or in proximity to the site plan.

(3) Where the Planning Board modifies the required number of parking spaces pursuant to this section, the Planning Board shall impose such conditions as it deems necessary and shall make findings supporting their decision regarding a waiver.

The following shall be added to the Town of Canandaigua's Site Design and Development Criteria under Article II – Design Standards as 2.13 A

Stall and Aisle Dimensions. All off-street parking spaces and drive aisles must comply with the minimum dimensional standards shown in Appendix *(TO BE DETERMINED)*; Parking Stall and Drive Aisle Dimensions, with the following exceptions:

1. Motorcycle and scooter parking stalls must measure at least four feet in width and eight feet in depth.

2. Mechanical access parking is exempt from parking stall and drive aisle dimensional requirements.

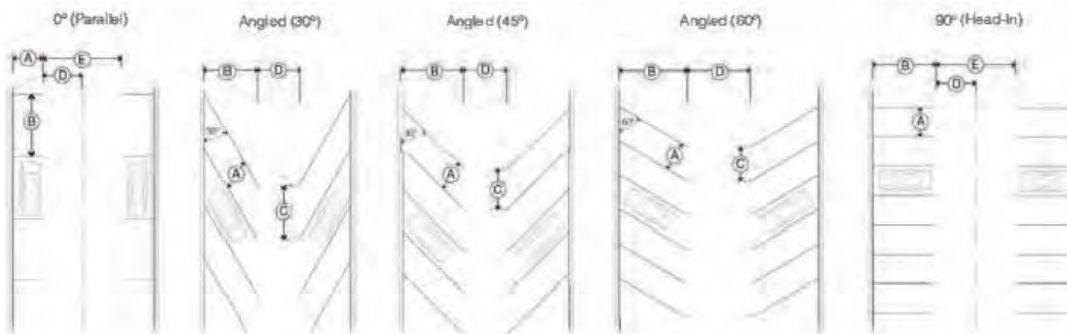
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PARKING STALL AND DRIVE AISLE DIMENSIONS

STALL ANGLE	STALL WIDTH (MIN) (A)	STALL DEPTH (MIN) (B)	SKEW WIDTH (MIN) (C)	DRIVE AISLE WIDTH, 1-WAY (MIN) (D)	DRIVE AISLE WIDTH, 2 WAY (MIN) (E)	VERTICAL CLEARANCE (MIN)
0 degrees (parallel)	8'	18'	8'	11'	22'	7' 6"
30 degrees	8' 6"	15'	16' 6"	11'	--	7' 6"
45 degrees	8' 6"	17' 9"	11' 8"	11' 10"	--	7' 6"
60 degrees	8' 6"	19'	9' 6"	13' 6"	--	7' 6"
90 degrees (head-in)	8' 6"	18'	8' 6"	--	23'	7' 6"



cal wildlife corridors and habitats. She said that it will be important to document where the wildlife habitats are being jeopardized and/or are being enhanced in the Town.

Ms. Davey suggested that the watershed inspector at the Ontario County Soil and Water Conservation District would be a good source on the location and information on abandoned wells.

g. REFERRALS FROM THE ORDINANCE COMMITTEE
Referred July 16, 2020

1. Off-Street Parking Regulations, Chapter 220-73, Draft Local Law:

Mr. Cooper reviewed the draft of the Off-Street Parking Regulations local law. He said that the current parking requirements in the Town Code, which have not been changed in approximately 30 years, impose a severe economic cost to developers (approximately \$4,000 per parking space). Mr. Cooper cited the Tops Super-market parking lot of several acres in size and other parking lots that often are vacant.

Effects of the overuse of asphalt paving due to current regulations are increases in impervious surfaces, the use of more road salt, and additional stormwater maintenance ponds, among others.

Mr. Cooper said that the Ordinance Committee is proposing a local law that will allow developers and the Planning Board to identify a project's specific parking needs instead of the current practice of requiring a specific number of parking spaces prior to the review of the site plans.

He reviewed the amended definitions, the dimensional changes to individual parking spaces, the elimination of a maximum number of handicapped spaces and replacement with a higher number of handicapped spaces than the ADA requires, and the allowance for more shared or off-site parking.

Dr. Kochersberger asked about incentives for property owners to revert some of their existing parking lots to green space. Mr. Cooper said that there would be an upfront cost of removing paving and restoring portions of parking lots to green space, but in areas of excess parking the land could become more valuable to the property owner and to the Town if it could revert to other uses.

Ms. Marthaller said that for years citizens have gone overboard for the car. She said that communities do not have the same emphasis as they once did 10 or 20 years ago and that many cities and towns are considering multi-modal alternatives.

ECB Recommendation: The ECB supports the reduction of the **requirements for** impervious parking lots and the restoration to green space or alternate uses with reduced adverse impact upon the environment whenever possible.

2. Manufactured Housing Standards, Chapter 220-9S, Draft Local Law:

Mr. Cooper reviewed the draft local law on Manufactured Housing Standards. He said that this proposal is in response to the complaint from a home builder that the Town is more restrictive than Federal Housing and Urban Development (HUD) standards to provide affordable housing.

He said that the Town cannot enact more construction foundation requirements but that the draft local law provides for better defined aesthetic requirements, such as:

- The use of plastic and/or metal type skirting material is not permitted.
- The placement of the permanent concrete or concrete block foundation walls is for aesthetic purposes. The foundation shall be installed per manufacturer's stamped plans.
- It is at the discretion of the manufacturer or owner if the foundation incorporates the permanent aesthetic wall.

The draft would allow single-wide manufactured homes only in manufactured home parks in the Town and prohibits double-wide manufactured homes in the Residential Lake District (RLD).

Ms. Hooker asked if the skirting material must be masonry. Mr. Cooper said that the draft code does not specify the skirting material other than it cannot be plastic or metal-type. He said that the skirting material could be wood.

Mr. Damann asked about the source of the aesthetic component of the draft.

Ms. Marthaller asked where a tiny house would be included in the Town Code and if a tiny house would be considered to be a manufactured home. (A tiny house is **one current** trend in affordable homes in a difficult financial climate as an alternative form of housing for aging parents or older children who may be struggling to find housing.)

Mr. Cooper said that tiny houses may partly be considered as a manufactured home. He said that he has discussed these houses with Code Enforcement Officer Chris Jensen and suggested that the Town should work toward including tiny houses in the code with the Ordinance Committee. Mr. Cooper said that it was understanding from speaking with Mr. Jensen that tiny houses may not comply

Town is more restrictive than Federal Housing and Urban Development (HUD) standards to provide affordable housing.

He said that the Town cannot enact more construction foundation requirements but that the draft local law provides for better defined aesthetic requirements, such as:

- The use of plastic and/or metal type skirting material is not permitted.
- The placement of the permanent concrete or concrete block foundation walls is for aesthetic purposes. The foundation shall be installed per manufacturer's stamped plans.
- It is at the discretion of the manufacturer or owner if the foundation incorporates the permanent aesthetic wall.

The draft would allow single-wide manufactured homes only in manufactured home parks in the Town and prohibits double-wide manufactured homes in the Residential Lake District (RLD).

The Ontario County Planning Board recommended that all double wide manufactured homes should be allowed in all residential or mixed-use zoning districts where single-family homes are allowed, to avoid discriminatory intent (Ontario County Planning Board Referral #123-2020, August 11, 2020).

Mr. Staychock and Mr. Oyler discussed the size of the homes and the recent trend toward smaller-size homes. Mr. Cooper said that the Town Code currently sets the minimum size at 1,100 square feet for all dwellings.

Dr. Blazey said that currently there are some manufactured homes in the Residential Lake District.

Mr. Staychock encouraged the Ordinance Committee to consider reducing the minimum size of any residential structure in the Town.

■ **CONSENSUS:** It is the consensus of the Planning Board to support the draft of Town Code Chapter 220-9S: Manufactured Housing Standards as proposed by the Ordinance Committee.

C. Referral from the Ordinance Committee:

Town Code Chapter 220-73: Off-Street Parking Regulations

Draft last revised July 14, 2020

Purpose: There are no provisions that establish a minimum number of off-street parking spaces for development. However, certain development proposals are required to complete a parking demand analysis which will assist in determining off-street parking spaces required. In all districts, there shall be provided—at the time any building or structure is erected, enlarged, increased in capacity or changed in use—improved and usable off-street parking spaces for motor vehicles in accordance with the requirements of this article, the New York State Uniform Fire Prevention and Building Code, or Federal Americans with Disabilities Act. In the instance where there may be a conflict between the requirements of these sources, the stricter regulations shall govern. In such cases, off-street parking facilities shall be provided as hereinafter specified for the building as enlarged, or to accommodate the needs of the new use.

Mr. Cooper reviewed the draft of the Off-Street Parking Regulations local law. He said that the current parking requirements in the Town Code, which have not been changed in approximately 30 years, impose a severe economic cost to developers (approximately \$4,000 per parking space). Mr. Cooper cited the Tops Supermarket parking lot of several acres in size and other parking lots that often are vacant. He said that the Town Code required that Tops Supermarket allocate four acres of land as a parking lot but that only 2½ acres was actually paved.

Examples of the current parking requirements upon the environmental are increases in impervious surfaces, the use of more road salt, and additional storm-water maintenance ponds, among others.

Mr. Cooper said that the Ordinance Committee is proposing a local law that will allow developers and the Planning Board to identify a project's specific parking needs instead of the current practice of requiring a specific number of parking spaces prior to the review of the site plans.

He reviewed the amended definitions, the dimensional changes to individual parking spaces, the elimination of a maximum number of handicapped spaces and replacement with a higher number of handicapped spaces than the ADA requires, and the allowance for more shared or off-site parking.

Mr. Cooper said that the elimination of the large amount of parking could open to better uses valuable land in the Uptown Canandaigua area, and in others areas of the Town.

He said that one of the amendments to the code would reduce the size of parking spaces and would provide the opportunity for the Planning Board to work with applicants to establish the number of parking spaces for an individual business or use. He said that consideration may be given to alternate forms of transportation to get people to the site, such as buses, bicycles or a transportation management plan.

Mr. Cooper also said that the amendments would permit off-site parking with an easement on an adjacent or nearby property for parking sharing arrangements. He said that this would make sure that more valuable locations are reserved for more valuable uses, and are not used only for parking.

Mr. Oyler said that the amendments are warranted. He said that the board often reviews non-residential applications with way too many parking spaces, as now required by the Town Code. He said that the amendments allow for land-banked parking and provide a great deal of discretion to the Planning Board and the applicant to determine the amount of parking that will be required. He also said that the applicant may be required to submit a parking generation study for the use, similar to a traffic study.

Mr. Oyler asked about the status of the draft ordinance. Mr. Cooper said that it is ready for Town Board action but that there are several other draft ordinances that Town Board may consider prior to this.

Mr. Lacourse and Dr. Blazey said that they support the amendments. Mr. Humes said that Mr. Cooper is moving in the right direction and that he will send any comments that he may have to Mr. Cooper. Mr. Staychock said that Mr. Cooper is a good advocate for reasonable parking and that he supports the amendments.

The Ontario County Planning Board issued the following comments on this text code amendment (Referral #124-2020):

1. Will the off-street parking regulations continue to include a table of typical parking needs to provide some guidance to those developing property?
2. The amendment should indicate that the Planning Board, in defining the number of parking spaces to be developed and space to be land banked, will consider the range of parking needs to use that may occupy the site over time.

■ **CONSENSUS:** It is the consensus of the Planning Board to support the draft of Town Code Chapter 220-73: Off-Street Parking Regulations.

D. Natural Resources Inventory (NRI) 2020 Update:

Mr. Cooper discussed the 2020 Update to the Natural Resources Inventory (NRI) which describes the Town's significant natural and cultural resources and guides decision makers in how to retain the benefits of these resources for Town residents now and in the future.

124 - 2020	Town of Canandaigua Town Board	Class: 2
Referral Type:	Text Amendment	
Applicant:	Town of Canandaigua	
Brief Description:	Text amendment to Town of Canandaigua off-street parking regulations, 220-73, to eliminate minimum parking standards, instead leaving such determination to the Planning Board with the assistance of a applicant provided parking demand analysis if warranted. The changes also authorize off-site parking within 1,350' of entrance and landbanking of parking areas with waiver from the Planning Board. https://www.co.ontario.ny.us/DocumentCenter/View/25041/124-2020-Off-Street-Parking-2020-07-06-Local-Law	

Comments

1. Will the off-street parking regulations continue to include a table of typical parking needs to provide some guidance to those developing property?
2. The amendment should indicate that the Planning Board, in defining the number of parking spaces to be developed and space to be land banked, will consider the range of parking needs to use that may occupy the site over time.

Board Motion: A motion to retain referrals 122-2020, 123-2020, 124-2020 and 125-2020 as class 2s and send each back to referring body with comments and a recommendation of approval.

Motion made by: David Wink

Seconded by Tom Lyon

Vote: 15 in favor, 0 opposed, 0 abstention **Motion carried**

125 - 2020	Town of Canandaigua Town Board	Class: 2
Referral Type:	Comprehensive Plan	
Applicant:	Town of Canandaigua	
Brief Description:	Update to the Town of Canandaigua 2012 Natural Resources Inventory which maps significant natural and cultural resources including ecological communities, water resources, steep slopes, agricultural lands, extractive resources, and cultural resources. The report also outlined best management practices to conserve such resources. https://www.co.ontario.ny.us/DocumentCenter/View/25042/125-2020-DRAFT-NaturalResourcesInventory-WithAppendices7-7-2020 https://www.co.ontario.ny.us/DocumentCenter/View/25043/125-2020-SiteAssessmentProjectReviewGuideMaps_Jan2020	

Proposals for development in areas delineated on natural and cultural resource maps must be referred to the Town's Environmental Conservation Board for advisory review. There is also a separate project review guide.

Comments The Town of Canandaigua is to be commended for investing in identifying natural and cultural resources and developing procedures to retain the benefits of such resources as development occurs in such areas.

Board Motion: A motion to retain referrals 122-2020, 123-2020, 124-2020 and 125-2020 as class 2s and send each back to referring body with comments and a recommendation of approval.

Motion made by: David Wink

Seconded by Tom Lyon

Vote: 15 in favor, 0 opposed, 0 abstention **Motion carried**

126 - 2020	Town of Victor Planning Board	Class: 1
Referral Type:	Site Plan	
Applicant:	Bell Atlantic DBA Verizon	
Property Owner:	Rochester Gas and Electric - utility pole	
Tax Map No(s):	14.02-1-6.170	
Brief Description:	Site plan and special use permit to install a 65' replacement utility pole with micro cell equipment mounted at a height of 12' and an antennae mounted at 27' in the ROW of CR 42 (Wangum Road) in front of 7871 Lehigh Crossing in the Town of Victor.	

Voting:

John Casey (Alternate)	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Bob Hilliard	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
David Emery	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Kelly LaVoie	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Chip Sahler (Vice Chair)	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Terence Robinson (Chair)	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained

Reasons

The Board's decision is based on facts presented during the Public Hearing at the July 21, 2020 and August 18, 2020 meeting as well as information received on June 5, 2020 and June 10, 2020.

The Board has considered the unique character of the lot and neighborhood. Fairgrounds and racetrack. Limited nearby nonconforming residential uses. The granting of this variance will not have an adverse effect on the property or neighborhood. Board has also determined that by granting the variance it will reduce the number of accessory buildings and personal property and improve the aesthetics of the neighborhood.

Conditions

1. The variance granted is specific to the layout and site plan presented to the Zoning Board of Appeals dated June 16, 2020. Any change in plans, shall invalidate the variance. This does not limit architectural changes.
 2. The variance is conditioned on building permits being issued within one (1) year of the date the variance is granted. Failure to obtain building permits within one (1) year shall invalidate the variance.
 3. Certificate of Compliance shall not be issued until the proposed removal of other accessory buildings as shown on the Sketch Plan is completed.
-

BOARD BUSINESS:

1. Approval of July 21, 2020 Meeting Minutes. Terence-motioned to approve. Kelly-second. Approved unanimously.
2. Referral from Town Board. –
 - Resolution extending ZBA approvals due to COVID
Eric explained that the resolution was passed at the July Town Board Meeting that due to COVID the local boards Planning & Zoning can extend approvals 120 days.
3. Board Business-
 - NRI
Eric said that this plan is an update from 2011 and explained that there are updated project review guidelines included in the plan.
 - Comprehensive Plan
The Comprehensive plan update has been going on for quite some time with a large delay because of COVID. If anyone would like to see a draft Comprehensive plan to let him know.
4. Ordinance Committee Report:
 - Off Street Parking
Eric explained that the Ordinance committee has been reviewing this part of the Town Code. They believe that the regulations are outdated and excessive. With things becoming more multi-modal

not as many parking spots will be needed. The applicant can suggest to the Planning Board a market demand for parking. Eric also stated that the size of spaces was discussed and could be made smaller. Terence said that he thinks that the amount of spaces should not be left up to the applicant and that the Town should at least have a minimum. Applicants may underestimate amount of spaces needed to cut costs.

➤ **Manufactured Homes**

A discussion was held about current Town code. The definition of a Manufactured home was displayed by Eric. There was confusion among the board as to what a Manufactured Home was. Eric stated that it was illegal to regulate Manufactured Homes out of the RLD. Many on the board said that they thought it would make the lake properties go down in value if Manufactured Homes were allowed in the RLD.

➤ **Pools in the RLD**

John, Eric & Bob explained this to the ZBA as to change the pool on the lakeside of a home and the allowance of above ground pools. Bob said that there were many landscape engineers as of late that are making it so if there is a spa on the lake side of the home, it is not seen from the lake. Terence asked how close to the lake a pool could be. Eric and John stated that 25 ft. is the closest that any structure could be to the lake unless a variance is obtained. The maximum size of a pool was also eliminated.

4. **Review of Next Month's Agenda (September 15, 2020)**

- Brovitz, 5265 Menteth Point.

Motion to adjourn Terence- motion to adjourn. Kelly-second. Bob-aye Chip-aye, Dave-aye,

Adjournment: The meeting was adjourned at 7:09 pm.

Respectfully submitted by: _____
Michelle Rowlinson, Secretary
Zoning Board of Appeals

Short Environmental Assessment Form

Part 1 - Project Information

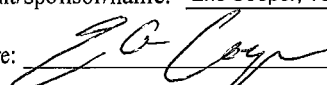
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Town of Canandaigua Town Board			
Name of Action or Project: Off-Street Parking Amendments			
Project Location (describe, and attach a location map): Town of Canandaigua			
Brief Description of Proposed Action: The Town Board of the Town of Canandaigua (herein after referred to as "Town Board") is considering a Local Law to execute a text code amendment to various Town Code Chapters that would amend the requirement of Off-Street Parking.			
Name of Applicant or Sponsor: Town of Canandaigua Town Board		Telephone: 585-394-1120	
		E-Mail: ecooper@townofcanandaigua.org	
Address: 5440 Route 5/20			
City/PO: Canandaigua		State: NY	Zip Code: 14424
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. <i>SEE LL MEMO</i>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Eric Cooper, Town of Canandaigua</u> Date: <u>10/22/2020</u> Signature: <u></u> Title: <u>Planner</u>		

ATTACHMENT 9

Local Law Filing

(Use this form to file a local law with the Secretary of State.)

Text of law should be given as amended. Do not include matter being eliminated and do not use italics or underlining to indicate new matter.

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of CANANDAIGUA

Local Law No. _____ of the year 20 20

A local law TO AMEND THE DEFINITION OF NATURAL RESOURCES INVENTORY (NRI)

(Insert Title)

CONTAINED IN TOWN CODE 1-17

Be it enacted by the TOWN BOARD _____ of the
(Name of Legislative Body)

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of _____ as follows:

SEE ATTACHED SCHEDULE "A"

(If additional space is needed, attach pages the same size as this sheet, and number each.)

**(Complete the certification in the paragraph that applies to the filing of this local law and
strike out that which is not applicable.)**

1. (Final adoption by local legislative body only.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 2020 of
the (County)(City)(Town)(Village) of CANANDAIGUA was duly passed by the
TOWN BOARD
(Name of Legislative Body) on _____ 20____, in accordance with the applicable
provisions of law.

**2. (Passage by local legislative body with approval, no disapproval or repassage after disapproval by the Elective
Chief Executive Officer*.)**

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of
the (County)(City)(Town)(Village) of _____ was duly passed by the
(Name of Legislative Body) on _____ 20____, and was (approved)(not approved)
(repassed after disapproval) by the _____ and was deemed duly adopted
(Elective Chief Executive Officer*)
on _____ 20 , in accordance with the applicable provisions of law.

3. (Final adoption by referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of
the (County)(City)(Town)(Village) of _____ was duly passed by the
(Name of Legislative Body) on _____ 20____, and was (approved)(not approved)
(repassed after disapproval) by the _____ on _____ 20____.
(Elective Chief Executive Officer*)

Such local law was submitted to the people by reason of a (mandatory)(permissive) referendum, and received the affirmative
vote of a majority of the qualified electors voting thereon at the (general)(special)(annual) election held on _____
20____, in accordance with the applicable provisions of law.

4. (Subject to permissive referendum and final adoption because no valid petition was filed requesting referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of
the (County)(City)(Town)(Village) of _____ was duly passed by the
(Name of Legislative Body) on _____ 20____, and was (approved)(not approved)
(repassed after disapproval) by the _____ on _____ 20____. Such local
(Elective Chief Executive Officer*)
law was subject to permissive referendum and no valid petition requesting such referendum was filed as of _____
20____, in accordance with the applicable provisions of law.

* Elective Chief Executive Officer means or includes the chief executive officer of a county elected on a county-wide basis or, if there
be none, the chairperson of the county legislative body, the mayor of a city or village, or the supervisor of a town where such officer is
vested with the power to approve or veto local laws or ordinances.

5. (City local law concerning Charter revision proposed by petition.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the City of _____ having been submitted to referendum pursuant to the provisions of section (36)(37) of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of such city voting thereon at the (special)(general) election held on _____ 20____, became operative.

6. (County local law concerning adoption of Charter.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the County of _____ State of New York, having been submitted to the electors at the General Election of November _____ 20____, pursuant to subdivisions 5 and 7 of section 33 of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of the cities of said county as a unit and a majority of the qualified electors of the towns of said county considered as a unit voting at said general election, became operative.

(If any other authorized form of final adoption has been followed, please provide an appropriate certification.)

I further certify that I have compared the preceding local law with the original on file in this office and that the same is a correct transcript therefrom and of the whole of such original local law, and was finally adopted in the manner indicated in paragraph _____ above.

Clerk of the county legislative body, City, Town or Village Clerk or
officer designated by local legislative body

(Seal)

Date: _____

TOWN OF CANANDAIGUA
LOCAL LAW # ____ OF 2020

ATTACHMENT "A"

SECTION ONE. The definition of Natural Resources Inventory contained in Town Code § 1-17 shall be replaced in its entirety with the following:

NATURAL RESOURCES INVENTORY (NRI)

The document adopted by resolution of the Canandaigua Town Board on November 16, 2020, entitled "Town of Canandaigua Natural Resources Inventory Update" together with the maps and appendices attached thereto. Copies of the NRI report and maps are available at the Town Clerk's Office.

SECTION TWO. Severability. If any portion of this Local Law shall be deemed by a court of competent jurisdiction to be invalid, illegal, or unenforceable, the remainder of this Local Law shall remain in full force and effect to the extent practicable.

SECTION THREE. Effective Date. This Local Law shall be effective immediately upon its filing with the New York State Secretary of State.

CPN-20-038**Michael Hess, owner of property at 4645 County Road 16**

Requesting a Single-Stage Site Plan approval to demolish an existing residence and construct a new three-level single-family home with a walk-out basement and an attached garage.

Result: Approved with conditions by the Planning Board, July 28, 2020

Mr. Cooper then provided the following updates:

- The Comprehensive Plan project team was reconvened on August 4, 2020, and worked through the remaining goals. A total of 11 goals, measureables and action items have been identified. The next step in the process is compiling a complete draft of the Comprehensive Plan. The project team continues to solicit comments from Town boards, committees and staff.
- A public workshop on the Middle Cheshire Road & Health Care Services Corridor Active Transportation Plan will be held on Wednesday, August 19, 2020, in an open-house format from 5:00 p.m. to 7:00 p.m. in the parking lot of Crosswinds Church, 3360 Middle Cheshire Road (attendees can stop by anytime between those hours). The study group, led by Kimberly Baptiste, AICP, Government Practice Leader at Bergmann Associates in Rochester, N.Y., is investigating potential multi-modal transportation initiatives.
- The next meeting of the Planning Committee of the State Route 332/State Route 96 Corridor Study will be held on September 1, 2020. Although the greater study area is in the Town of Farmington, Mr. Cooper said that a portion of the study area extends into the Town of Canandaigua north of Uptown Canandaigua and in the vicinity of the Padelford Brook Greenway. He said that the consultant presented a draft of existing conditions and will conduct meetings with stakeholders in August. The project may include a vision for the Mixed-Use Overlay District #2 in the Town of Canandaigua.

f. REFERRAL FROM THE CITIZENS' IMPLEMENTATION COMMITTEE (CIC)

Draft Natural Resource Inventory 2020 Update
Referred July 2020

Prior to the meeting, ECB members received the link to the video presentation on the draft Town of Canandaigua Natural Resource Inventory 2020 Update that was recently presented to the Citizens' Implementation Committee (CIC) by consultant Barb Johnson of LaBella Associates.

Ms. Marthaller said that the Town boards and committees have been requested to provide feedback to Ms. Johnson for inclusion in the revised draft that will be reviewed by the CIC prior to presentation to the Town Board.

Following adoption of the 2020 Update by the Town Board, the consultant will present a formal training for all Town boards and committees on how their operations will interact with the Natural Resource Inventory.

The Natural Resource Inventory (NRI) is intended as a reference document to supplement the Site Assessment (SA) and Project Review Guide (PRG), published separately and included as Part 3 of the document. The maps and checklists in the Site Assessment and Project Review Guide are designed to ensure that natural resources are considered in the review of proposed projects.

The Town will work with State, County and Federal government agencies as well as private partners to update the Natural Resource Inventory. Priorities for updates are:

- Update Land Cover Mapping. The mapping used in this NRI was completed in 2002 and updated in part for the Town's Agricultural Enhancement Plan. Some of the land cover types have changed due to succession, such as from shrubland to forest, and some natural land cover types have been developed.
- Investigate Wildlife Corridors. Additional field-level mapping is needed to identify critical habitats and corridors for wildlife.
- Identify locations of abandoned wells. Many abandoned wells in the Town may be uncapped and pose risk to groundwater contamination. Information about these wells is not available in any central source.
- Update Scenic Views Inventory and Prioritization. The locations of scenic views in this NRI was based on an inventory conducted in 2004 and 2006. Some of these views have changed because of tree growth or development.

The Town will periodically update the implementation tools to improve ease of use and effectiveness in considering natural resource impacts of proposed developments. In particular, the Town will work with Ontario County to maintain data in the ONCOR mapping systems for use in site assessments and project review.

Ms. Marthaller said that the ECB will have responsibilities for recommended priorities for a number of goals and strategies following approval of the Update by the Town Board. She said that these would be part of the ECB 2021 Project Plan, the first of which could be developing a working relationship with Bruce Gilman to formulate a plan to update Land Cover Mapping.

Ms. Marthaller also said that the ECB may possibly enter into a partnership with the New York State Department of Environmental Conservation regarding field mapping for criti-

cal wildlife corridors and habitats. She said that it will be important to document where the wildlife habitats are being jeopardized and/or are being enhanced in the Town.

Ms. Davey suggested that the watershed inspector at the Ontario County Soil and Water Conservation District would be a good source on the location and information on abandoned wells.

g. REFERRALS FROM THE ORDINANCE COMMITTEE
Referred July 16, 2020

1. Off-Street Parking Regulations, Chapter 220-73, Draft Local Law:

Mr. Cooper reviewed the draft of the Off-Street Parking Regulations local law. He said that the current parking requirements in the Town Code, which have not been changed in approximately 30 years, impose a severe economic cost to developers (approximately \$4,000 per parking space). Mr. Cooper cited the Tops Super-market parking lot of several acres in size and other parking lots that often are vacant.

Effects of the overuse of asphalt paving due to current regulations are increases in impervious surfaces, the use of more road salt, and additional stormwater maintenance ponds, among others.

Mr. Cooper said that the Ordinance Committee is proposing a local law that will allow developers and the Planning Board to identify a project's specific parking needs instead of the current practice of requiring a specific number of parking spaces prior to the review of the site plans.

He reviewed the amended definitions, the dimensional changes to individual parking spaces, the elimination of a maximum number of handicapped spaces and replacement with a higher number of handicapped spaces than the ADA requires, and the allowance for more shared or off-site parking.

Dr. Kochersberger asked about incentives for property owners to revert some of their existing parking lots to green space. Mr. Cooper said that there would be an upfront cost of removing paving and restoring portions of parking lots to green space, but in areas of excess parking the land could become more valuable to the property owner and to the Town if it could revert to other uses.

Ms. Marthaller said that for years citizens have gone overboard for the car. She said that communities do not have the same emphasis as they once did 10 or 20 years ago and that many cities and towns are considering multi-modal alternatives.

Mr. Cooper also said that the amendments would permit off-site parking with an easement on an adjacent or nearby property for parking sharing arrangements. He said that this would make sure that more valuable locations are reserved for more valuable uses, and are not used only for parking.

Mr. Oyler said that the amendments are warranted. He said that the board often reviews non-residential applications with way too many parking spaces, as now required by the Town Code. He said that the amendments allow for land-banked parking and provide a great deal of discretion to the Planning Board and the applicant to determine the amount of parking that will be required. He also said that the applicant may be required to submit a parking generation study for the use, similar to a traffic study.

Mr. Oyler asked about the status of the draft ordinance. Mr. Cooper said that it is ready for Town Board action but that there are several other draft ordinances that Town Board may consider prior to this.

Mr. Lacourse and Dr. Blazey said that they support the amendments. Mr. Humes said that Mr. Cooper is moving in the right direction and that he will send any comments that he may have to Mr. Cooper. Mr. Staychock said that Mr. Cooper is a good advocate for reasonable parking and that he supports the amendments.

The Ontario County Planning Board issued the following comments on this text code amendment (Referral #124-2020):

1. Will the off-street parking regulations continue to include a table of typical parking needs to provide some guidance to those developing property?
2. The amendment should indicate that the Planning Board, in defining the number of parking spaces to be developed and space to be land banked, will consider the range of parking needs to use that may occupy the site over time.

■ **CONSENSUS:** It is the consensus of the Planning Board to support the draft of Town Code Chapter 220-73: Off-Street Parking Regulations.

D. Natural Resources Inventory (NRI) 2020 Update:

Mr. Cooper discussed the 2020 Update to the Natural Resources Inventory (NRI) which describes the Town's significant natural and cultural resources and guides decision makers in how to retain the benefits of these resources for Town residents now and in the future.

Mr. Oyler asked about the changes in the 2020 Update. Mr. Cooper said that the original NRI covered only three topics and that the update is now much more inclusive of the Town's natural resources.

The Town will work with State, County and Federal government agencies as well as private partners to update the Natural Resource Inventory. Priorities for updates are:

- Update Land Cover Mapping. The mapping used in this NRI was completed in 2002 and updated in part for the Town's Agricultural Enhancement Plan. Some of the land cover types have changed due to succession, such as from shrubland to forest, and some natural land cover types have been developed.
- Investigate Wildlife Corridors. Additional field-level mapping is needed to identify critical habitats and corridors for wildlife.
- Identify locations of abandoned wells. Many abandoned wells in the Town may be uncapped and pose risk to groundwater contamination. Information about these wells is not available in any central source.
- Update Scenic Views Inventory and Prioritization. The locations of scenic views in this NRI was based on an inventory conducted in 2004 and 2006. Some of these views have changed because of tree growth or development.

The Town will periodically update the implementation tools to improve ease of use and effectiveness in considering natural resource impacts of proposed developments. In particular, the Town will work with Ontario County to maintain data in the ONCOR mapping systems for use in site assessments and project review.

E. Comprehensive Plan Update:

Mr. Cooper reported that the Comprehensive Plan project team was reconvened on August 4, 2020, and worked through the remaining goals. A total of 11 goals, measureables and action items have been identified. The next step in the process is to compile a complete draft of the Comprehensive Plan. The project team continues to solicit comments from Town boards, committees and staff.

Mr. Staychock said that he will work with Mr. Cooper to prepare a brief summary of the updated Comprehensive Plan for review by the Planning Board.

Mr. Oyler and members of the Planning Board commended Mr. Cooper for his work on this update. Mr. Oyler said that Mr. Cooper coordinated the effort in-house without the Town having to retain and incur the expense of a consultant.

Voting:

John Casey (Alternate)	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Bob Hilliard	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
David Emery	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Kelly LaVoie	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Chip Sahler (Vice Chair)	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained
Terence Robinson (Chair)	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> Abstained

Reasons

The Board's decision is based on facts presented during the Public Hearing at the July 21, 2020 and August 18, 2020 meeting as well as information received on June 5, 2020 and June 10, 2020.

The Board has considered the unique character of the lot and neighborhood. Fairgrounds and racetrack. Limited nearby nonconforming residential uses. The granting of this variance will not have an adverse effect on the property or neighborhood. Board has also determined that by granting the variance it will reduce the number of accessory buildings and personal property and improve the aesthetics of the neighborhood.

Conditions

1. The variance granted is specific to the layout and site plan presented to the Zoning Board of Appeals dated June 16, 2020. Any change in plans, shall invalidate the variance. This does not limit architectural changes.
 2. The variance is conditioned on building permits being issued within one (1) year of the date the variance is granted. Failure to obtain building permits within one (1) year shall invalidate the variance.
 3. Certificate of Compliance shall not be issued until the proposed removal of other accessory buildings as shown on the Sketch Plan is completed.
-

BOARD BUSINESS:

1. Approval of July 21, 2020 Meeting Minutes. Terence-motioned to approve. Kelly-second. Approved unanimously.
2. Referral from Town Board. –
 - Resolution extending ZBA approvals due to COVIDEric explained that the resolution was passed at the July Town Board Meeting that due to COVID the local boards Planning & Zoning can extend approvals 120 days.
3. Board Business-
 - NRIEric said that this plan is an update from 2011 and explained that there are updated project review guidelines included in the plan.
 - Comprehensive PlanThe Comprehensive plan update has been going on for quite some time with a large delay because of COVID. If anyone would like to see a draft Comprehensive plan to let him know.
4. Ordinance Committee Report:
 - Off Street ParkingEric explained that the Ordinance committee has been reviewing this part of the Town Code. They believe that the regulations are outdated and excessive. With things becoming more multi-modal

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):	
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	N/A <input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

TOWN OF CANANDAIGUA
LOCAL LAW # ____ OF 2020

ATTACHMENT "A"

SECTION ONE. The definition of Natural Resources Inventory contained in Town Code § 1-17 shall be replaced in its entirety with the following:

NATURAL RESOURCES INVENTORY (NRI)

The document adopted by resolution of the Canandaigua Town Board on November 16, 2020, entitled "Town of Canandaigua Natural Resources Inventory Update" together with the maps and appendices attached thereto. Copies of the NRI report and maps are available at the Town Clerk's Office.

SECTION TWO. Severability. If any portion of this Local Law shall be deemed by a court of competent jurisdiction to be invalid, illegal, or unenforceable, the remainder of this Local Law shall remain in full force and effect to the extent practicable.

SECTION THREE. Effective Date. This Local Law shall be effective immediately upon its filing with the New York State Secretary of State.

ATTACHMENT 10

TOWN OF CANANDAIGUA
LOCAL LAW # ____ OF 2020

ATTACHMENT "A"

SECTION ONE. The following new section shall be added to Town Code Article III as § 220-9.1:

§220-9.1. Short Term Rentals

(A) Definitions. For purposes of this section 220-9.1 the following words and phrases shall have the definitions and meanings set forth below. If any words or phrases are defined elsewhere in this code the definitions set forth in this section 220-9.1(A) shall control for purposes of short term rentals.

(1) Application shall mean the application for a Short-Term Rental Permit.

(2) Complete Application shall mean an Application that has satisfied all of the submittal requirements set forth in this Short Term Rental Ordinance and otherwise complies with all of the criteria required for the issuance of a Short Term Rental Permit.

(3) Short Term Rental shall mean the rental of a Dwelling Unit for less than thirty (30) days to a person.

(4) Owner shall mean the record titled owner of the residence for which a Short-Term Rental Permit is sought or has been issued. The Owner may be a person or any form of business entity recognized by the State of New York. If the Owner is a form of business entity, the business entity shall maintain current registration with the New York State.

(5) Property or Short-Term Rental Property shall mean all such residences or dwelling units used for Short-Term Rental purposes.

(6) Property Management Company shall mean the Owner's agent, including but not limited to rental platform, for renting the Property, if any.

(7) Sleeping Area shall mean any room that has a bed, bunk beds, daybed, or other furniture for sleeping, including, and without limitation, pull out couch or futon or any area advertised for sleeping. To be a valid sleeping area the sleeping area shall have appropriate requirements as defined by NYS building code.

(8) Temporary Access Easement shall mean an easement granted to the Owner to cross over the property of another when such access is necessary to provide entry to the Property being rented.

(9) Town shall mean Town of Canandaigua, New York.

(10) Use With Criteria shall mean the land use approval process contained in the Town's Municipal Code; provided, however, if there are any conflicts, contradictions, or differences between the process and requirements set out in the Municipal Code and the process and requirements set out in this Short-Term Rental Ordinance, the terms and conditions in the Short-Term Rental Ordinance shall control.

(B) Permit. To operate as a Short-Term Rental, the Property Owner or Owner's Agent shall file an Application with the Town of Canandaigua and be granted a permit to operate a Short-Term Rental.

(C) Requirements for Application. Short-term rentals may be allowed in all zones unless otherwise restricted. The following information and documentation shall accompany the application and be provided to the Town of Canandaigua:

(1) Completed Application.

(2) Street address for each unit.

(3) The name, address, and contact information including a 24-hour contact phone number for the person at the Property Management Company managing the Property; or, if there is no Property Management Company, the name, address and contact information, including a 24-hour contact phone number who may be the Owner or Owner's Agent, and who may be contacted in the event of an emergency.

(4) A signed acknowledgement on the application, that the Owner, Property Management Company, and/or Owner's agent, if any, have read all of the Town's regulations pertaining to the operation of a Short-Term Rental. The Owner shall sign the application certifying the accuracy of the information submitted and agreeing to comply with all regulations. If there is a Property Management Company or other agent of the Owner managing the Short-Term Rental, the agent or an authorized officer of the Property Management Company, or both, shall also sign the application certifying the accuracy of the information submitted and agreeing to comply with all regulations.

(D) Effective Date of Permit. The Permit shall be issued by the Zoning Inspector or Code Enforcement Officer upon receipt of a completed application as defined in §220-9.1 C. Requirements for Application.

(E) Fees. The application fee and annual renewal fee shall be set by resolution of the Town Board. The fee associated with new applications will be pro-rated by month based on the current fee set by the Town Board.

(F) Term of Permit. The Permit shall be valid for up to one year and may be renewed annually by January 1st of each year. The Permit may be renewed upon the payment of the annual renewal fee unless there is a substantial change to the information contained in the application.

(1) If the permit is not renewed by January 1st, it is considered to be suspended until such time the renewal process is complete.

(2) The Owner shall amend the Application at any time there is a change in circumstances that would require an update to the information submitted by the Owner or Property Manager.

(G) Operating a Short-Term Rental without a Permit. Any Person violating the provisions of this Chapter by conducting Short Term Rental(s) without a valid permit shall be in violation of Town Code § 220.

(H) Discovery of an Immediate Health Hazard. Upon the discovery of an immediate health hazard to renters, the Code Enforcement Officer can suspend the Short-Term Rental permit until the hazard is remedied.

SECTION TWO. Severability. If any portion of this Local Law shall be deemed by a court of competent jurisdiction to be invalid, illegal, or unenforceable, the remainder of this Local Law shall remain in full force and effect to the extent practicable.

SECTION THREE. Effective Date. This Local Law shall be effective immediately upon its filing with the New York State Secretary of State.

Local Law Filing

(Use this form to file a local law with the Secretary of State.)

Text of law should be given as amended. Do not include matter being eliminated and do not use italics or underlining to indicate new matter.

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of CANANDAIGUA

Local Law No. _____ of the year 20²⁰

A local law TO ADD REQUIREMENTS TO TOWN CODE RELATED TO SHORT-TERM RENTALS
(Insert Title)

Be it enacted by the TOWN BOARD _____ of the
(Name of Legislative Body)

☐ County ☐ City ☒ Town ☐ Village
(Select one:)

of _____ as follows:

SEE ATTACHED SCHEDULE "A"

(If additional space is needed, attach pages the same size as this sheet, and number each.)

(Complete the certification in the paragraph that applies to the filing of this local law and strike out that which is not applicable.)

1. (Final adoption by local legislative body only.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20²⁰ of the (County)(City)(Town)(Village) of CANANDAIGUA was duly passed by the TOWN BOARD on _____ 20____, in accordance with the applicable provisions of law.
(Name of Legislative Body)

2. (Passage by local legislative body with approval, no disapproval or repassage after disapproval by the Elective Chief Executive Officer*.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) (repassed after disapproval) by the _____ and was deemed duly adopted on _____ 20____, in accordance with the applicable provisions of law.
(Name of Legislative Body)
(Elective Chief Executive Officer*)

3. (Final adoption by referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) (repassed after disapproval) by the _____ on _____ 20____.
(Name of Legislative Body)
(Elective Chief Executive Officer*)

Such local law was submitted to the people by reason of a (mandatory)(permissive) referendum, and received the affirmative vote of a majority of the qualified electors voting thereon at the (general)(special)(annual) election held on _____ 20____, in accordance with the applicable provisions of law.

4. (Subject to permissive referendum and final adoption because no valid petition was filed requesting referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) (repassed after disapproval) by the _____ on _____ 20____. Such local law was subject to permissive referendum and no valid petition requesting such referendum was filed as of _____ 20____, in accordance with the applicable provisions of law.
(Name of Legislative Body)
(Elective Chief Executive Officer*)

* Elective Chief Executive Officer means or includes the chief executive officer of a county elected on a county-wide basis or, if there be none, the chairperson of the county legislative body, the mayor of a city or village, or the supervisor of a town where such officer is vested with the power to approve or veto local laws or ordinances.

5. (City local law concerning Charter revision proposed by petition.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the City of _____ having been submitted to referendum pursuant to the provisions of section (36)(37) of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of such city voting thereon at the (special)(general) election held on _____ 20____, became operative.

6. (County local law concerning adoption of Charter.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the County of _____ State of New York, having been submitted to the electors at the General Election of November _____ 20____, pursuant to subdivisions 5 and 7 of section 33 of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of the cities of said county as a unit and a majority of the qualified electors of the towns of said county considered as a unit voting at said general election, became operative.

(If any other authorized form of final adoption has been followed, please provide an appropriate certification.)

I further certify that I have compared the preceding local law with the original on file in this office and that the same is a correct transcript therefrom and of the whole of such original local law, and was finally adopted in the manner indicated in paragraph _____ above.

Clerk of the county legislative body, City, Town or Village Clerk or
officer designated by local legislative body

(Seal)

Date: _____

TOWN OF CANANDAIGUA
LOCAL LAW # ____ OF 2020

ATTACHMENT "A"

SECTION ONE. The following new section shall be added to Town Code Article III as § 220-9.1:

§220-9.1. Short Term Rentals

(A) Definitions. For purposes of this section 220-9.1 the following words and phrases shall have the definitions and meanings set forth below. If any words or phrases are defined elsewhere in this code the definitions set forth in this section 220-9.1(A) shall control for purposes of short term rentals.

- (1) Application** shall mean the application for a Short-Term Rental Permit.
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- (3) Short Term Rental** shall mean the rental of a Dwelling Unit for less than thirty (30) days to a person.
- (4) Owner** shall mean the record titled owner of the residence for which a Short-Term Rental Permit is sought or has been issued. The Owner may be a person or any form of business entity recognized by the State of New York. If the Owner is a form of business entity, the business entity shall maintain current registration with the New York State.
- (5) Property or Short-Term Rental Property** shall mean all such residences or dwelling units used for Short-Term Rental purposes.
- (6) Property Management Company** shall mean the Owner's agent, including but not limited to rental platform, for renting the Property, if any.
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(8) **Temporary Access Easement** shall mean an easement granted to the Owner to cross over the property of another when such access is necessary to provide entry to the Property being rented.

(9) **Town** shall mean Town of Canandaigua, New York.

(10) **Use With Criteria** shall mean the land use approval process contained in the Town's Municipal Code; provided, however, if there are any conflicts, contradictions, or differences between the process and requirements set out in the Municipal Code and the process and requirements set out in this Short-Term Rental Ordinance, the terms and conditions in the Short-Term Rental Ordinance shall control.

(B) **Permit.** To operate as a Short-Term Rental, the Property Owner or Owner's Agent shall file an Application with the Town of Canandaigua and be granted a permit to operate a Short-Term Rental.

(C) **Requirements for Application.** Short-term rentals may be allowed in all zones unless otherwise restricted. The following information and documentation shall accompany the application and be provided to the Town of Canandaigua:

(1) Completed Application.

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(3) The name, address, and contact information including a 24-hour contact phone number for the person at the Property Management Company managing the Property; or, if there is no Property Management Company, the name, address and contact information, including a 24-hour contact phone number who may be the Owner or Owner's Agent, and who may be contacted in the event of an emergency.

(4) A signed acknowledgement on the application, that the Owner, Property Management Company, and/or Owner's agent, if any, have read all of the Town's regulations pertaining to the operation of a Short-Term Rental. The Owner shall sign the application certifying the accuracy of the information submitted and agreeing to comply with all regulations. If there is a Property Management Company or other agent of the Owner managing the Short-Term Rental, the agent or an authorized officer of the Property Management Company, or both, shall also sign the application certifying the accuracy of the information submitted and agreeing to comply with all regulations.

(D) **Effective Date of Permit.** The Permit shall be issued by the Zoning Inspector or Code Enforcement Officer upon receipt of a completed application as defined in §220-9.1 C. Requirements for Application.

(E) Fees. The application fee and annual renewal fee shall be set by resolution of the Town Board. The fee associated with new applications will be prorated by month based on the current fee set by the Town Board.

(F) Term of Permit. The Permit shall be valid for up to one year and may be renewed annually by January 1st of each year. The Permit may be renewed upon the payment of the annual renewal fee unless there is a substantial change to the information contained in the application.

(1) If the permit is not renewed by January 1st, it is considered to be suspended until such time the renewal process is complete.

(2) The Owner shall amend the Application at any time there is a change in circumstances that would require an update to the information submitted by the Owner or Property Manager.

(G) Operating a Short-Term Rental without a Permit. Any Person violating the provisions of this Chapter by conducting Short Term Rental(s) without a valid permit shall be in violation of Town Code § 220.

(H) Discovery of an Immediate Health Hazard. Upon the discovery of an immediate health hazard to renters, the Code Enforcement Officer can suspend the Short-Term Rental permit until the hazard is remedied.

SECTION TWO. Severability. If any portion of this Local Law shall be deemed by a court of competent jurisdiction to be invalid, illegal, or unenforceable, the remainder of this Local Law shall remain in full force and effect to the extent practicable.

SECTION THREE. Effective Date. This Local Law shall be effective immediately upon its filing with the New York State Secretary of State.

**State Environmental Quality Review
LEAD AGENCY COORDINATION REQUEST**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8
(State Environmental Quality Review Act) of the Environmental Conservation Law

**The Canandaigua Town Board seeks Lead Agency Status for the
environmental review for the action described below:**

Project Number

Name of Action: Local Law to Register Short Term Rentals

Location: 5440 Route 5 & 20 West Canandaigua, NY 14424

Description of the Action:

The Town Board of the Town of Canandaigua (herein after referred to as "Town Board") is considering a Local Law to execute a text code amendment to Town Code Chapter 220 Zoning that would require the registration of dwelling units used as Short Term Rentals.

_____ This agency has no objection to the **Canandaigua Town Board** assuming Lead Agency Status for this action

_____ This Agency will seek Lead Agency Status

Print or Type Name of Responsible Officer

Signature of Responsible Officer

Please return to:

Town of Canandaigua, Town Clerk
5440 Route 5 & 20 West
Canandaigua, NY 14424

If no response is received within 30 calendar days from the date of this authorization by the Canandaigua Town Board (10/29/2020), the Canandaigua Town Board will assume Lead Agency in accordance to 6 NYCRR Part 617.

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Town of Canandaigua Town Board			
Name of Action or Project: Short Term Rental Registration			
Project Location (describe, and attach a location map): Town of Canandaigua			
Brief Description of Proposed Action: The Town Board of the Town of Canandaigua (herein after referred to as "Town Board") is considering a Local Law to execute a text code amendment to Town Code Chapter 220 Zoning that would require the registration of dwelling units used as Short Term Rentals.			
Name of Applicant or Sponsor: Town of Canandaigua Town Board		Telephone: 585-394-1120	
		E-Mail: ecooper@townofcanandaigua.org	
Address: 5440 Route 5/20			
City/PO: Canandaigua		State: NY	Zip Code: 14424
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
_____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ _____	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Eric Cooper, Town of Canandaigua</u> Date: <u>10/22/2020</u>		
Signature: <u></u> Title: <u>Planner</u>		

ATTACHMENT 11

A09675 Summary:

BILL NO A09675
SAME AS SAME AS
SPONSOR Kolb
COSPNSR
MLTSPNSR

Provides for the transfer of Onanda Park from the department of environmental conservation to the town of Canandaigua; requires property to be used for park purposes.

A09675 Actions:

BILL NO A09675
02/04/2020 referred to local governments
05/15/2020 reference changed to governmental operations
06/09/2020 reference changed to ways and means
06/10/2020 reported referred to rules
06/10/2020 reported
06/10/2020 rules report cal.131
06/10/2020 ordered to third reading rules cal.131
06/10/2020 home rule request
06/10/2020 passed assembly
06/10/2020 delivered to senate
06/10/2020 REFERRED TO RULES
07/22/2020 SUBSTITUTED FOR S7591
07/22/2020 3RD READING CAL.821
07/22/2020 PASSED SENATE
07/22/2020 RETURNED TO ASSEMBLY
09/25/2020 delivered to governor
10/07/2020 signed chap.209

A09675 Committee Votes:**WAYS AND MEANS** Chair:WeinsteinDATE: 06/10/2020 **AYE/NAY: 31/0** Action: **Favorable refer to committee Rules**

Weinstein	Aye	Ra	Aye
Lentol	Aye	Crouch	Aye
Schimminger	Excused	Fitzpatrick	Aye
Gantt	Excused	Hawley	Aye
Glick	Aye	Malliotakis	Aye
Nolan	Aye	Montesano	Aye
Pretlow	Aye	Blankenbush	Aye
Perry	Aye	Palmesano	Excused
Colton	Aye	Norris	Aye
Cook	Excused	Brabenec	Aye
Cahill	Aye		
Aubry	Aye		
Cusick	Aye		
Ortiz	Aye		
Benedetto	Aye		
Weprin	Aye		
Rodriguez	Aye		
Ramos	Aye		
Braunstein	Aye		
McDonald	Aye		
Rozic	Aye		
Simotas	Aye		
Dinowitz	Aye		
Miller	Aye		
Joyner	Aye		

RULES Chair:GottfriedDATE: 06/10/2020 **AYE/NAY: 28/0** Action: **Favorable**

Heastie	Excused	Barclay	Aye
Gottfried	Aye	Crouch	Aye
Lentol	Aye	Finch	Excused
Gantt	Excused	Hawley	Aye
Nolan	Aye	Giglio	Aye
Weinstein	Aye	Malliotakis	Aye
Ortiz	Aye	Blankenbush	Aye
Pretlow	Aye	Norris	Aye
Cook	Aye		
Glick	Aye		
Aubry	Aye		
Englebright	Aye		
Dinowitz	Aye		
Colton	Aye		
Magnarelli	Aye		
Perry	Aye		
Paulin	Aye		
Peoples-Stokes	Aye		
Benedetto	Aye		
Lavine	Aye		
Lupardo	Aye		
Zebrowski	Aye		
Thiele	Aye		

A09675 Floor Votes:

DATE: 06/10/2020 Assembly Vote

YEA/NAY: 138/6

Abbate	Y	Crespo	Y	Galef	Y	Lifton	Y	Peoples-Stokes	Y	Smith	Y
Abinanti	Y	Crouch	Y	Gantt	ER	LiPetri	Y	Perry	Y	Smullen	Y
Arroyo	Y	Cruz	Y	Garbarino	Y	Lupardo	Y	Pheffer Amato	Y	Solages	Y
Ashby	Y	Cusick	Y	Giglio	Y	Magnarelli	Y	Pichardo	Y	Stec	Y
Aubry	Y	Cymbrowitz	Y	Glick	Y	Malliotakis	Y	Pretlow	Y	Steck	Y
Barclay	Y	Darling	Y	Goodell	Y	Manktelow	Y	Quart	Y	Stern	Y
Barnwell	NO	Davila	Y	Gottfried	Y	McDonald	Y	Ra	Y	Stirpe	Y
Barrett	Y	De La Rosa	Y	Griffin	Y	McDonough	Y	Ramos	Y	Tague	Y
Barron	NO	DenDekker	Y	Gunther	NO	McMahon	Y	Reilly	Y	Taylor	Y
Benedetto	Y	DeStefano	Y	Hawley	Y	Mikulin	Y	Reyes	Y	Thiele	Y
Bichotte	Y	Dickens	Y	Hevesi	Y	Mill B	Y	Richardson	Y	Vanel	Y
Blake	Y	Dilan	Y	Hunter	Y	Mill MG	Y	Rivera	Y	Walczyk	Y
Blankenbush	Y	Dinowitz	NO	Hyndman	Y	Mill ML	Y	Rodriguez	Y	Walker	NO
Brabenec	Y	DiPietro	Y	Jacobson	Y	Montesano	Y	Rose D	Y	Wallace	Y
Braunstein	Y	D'Urso	Y	Jaffee	Y	Morinello	Y	Rose L	Y	Walsh	Y
Bronson	Y	Eichenstein	Y	Jean-Pierre	Y	Mosley	Y	Rozic	Y	Weinstein	Y
Buchwald	Y	Englebright	Y	Johns	Y	Niou	Y	Ryan	Y	Weprin	Y
Burke	Y	Epstein	Y	Jones	Y	Nolan	Y	Salka	Y	Williams	Y
Buttenschon	Y	Fahy	Y	Joyner	Y	Norris	Y	Santabarbara	Y	Woerner	Y
Byrne	Y	Fall	Y	Kim	Y	O'Donnell	Y	Sayegh	Y	Wright	Y
Byrnes	Y	Fernandez	Y	Kolb	Y	Otiz	Y	Schimminger	ER	Zebrowski	Y
Cahill	NO	Finch	ER	Lalor	Y	Otis	Y	Schmitt	Y	Mr Spkr	Y
Carroll	Y	Fitzpatrick	Y	Lavine	Y	Palmesano	Y	Seawright	Y		
Colton	Y	Friend	Y	Lawrence	Y	Palumbo	Y	Simon	Y		
Cook	Y	Frontus	Y	Lentol	Y	Paulin	Y	Simotas	Y		

A09675 Memo:

NEW YORK STATE ASSEMBLY
MEMORANDUM IN SUPPORT OF LEGISLATION
submitted in accordance with Assembly Rule III, Sec 1(f)

BILL NUMBER: A9675**SPONSOR:** Kolb**TITLE OF BILL:**

An act providing for the transfer of Onanda Park from the department of environmental conservation to the town of Canandaigua

PURPOSE OF GENERAL IDEA OF BILL:

To authorize the transfer of Onanda Park from the State Department of Environmental Conservation to the Town of Canandaigua.

SUMMARY OF PROVISIONS:

Section 1 of the bill authorizes the Commissioner of the Department of Environmental Conservation to transfer and convey state lands, and any and all buildings and improvements thereon, known as Onanda Park, as described in section 2 of this act, to the Town of Canandaigua for one dollar, upon such terms and considerations as the Commissioner may deem appropriate.

Section 2 sets forth the legal description of the land authorized to be transferred and conveyed consisting of all that tract or parcel of land in the Town of Canandaigua, being part of town lot number 4 of the academy tract in township' number 9 in the third range of townships in Ontario County.

Section 3 provides that the description of the land in section two of this act is not meant to be a legal description, and that, as a condition of the purchase, the Town of Canandaigua may submit to the Commissioner of OGS and the Attorney General an accurate survey and description of the lands to be conveyed.

Section 4 provides that the Commissioner of the Department of Environmental Conservation shall not transfer or convey the land unless application is made by the Town of Canandaigua within one year of this act becoming law.

Section 5. provides that the property transferred to the Town of Canandaigua shall be used and maintained for park purposes similar to current uses and shall be accessible to the general public or revert back to the state.

Section 6 contains the effective date.

JUSTIFICATION:

The New York State Department of Environmental Conservation (NYSDEC) has leased the land at issue in this legislation to the Town of Canandaigua as part of a long-term lease.

For the past 30 years, the residents of the Town of Canandaigua have maintained the land as a public park and invested hundreds of thousands of dollars in building improvements including; new roofs, new septic systems, pump stations, new sidewalks, ramps, docks, maintenance and many other items to make the park more ADA friendly.

This authorization will allow the town to purchase the land outright, and the provisions included in the legislation will, ensure the property continues to be operated as a public park and available to all residents of the greater Canandaigua community for many generations to come.

PRIOR LEGISLATIVE HISTORY:

New Bill

FISCAL IMPLICATIONS FOR STATE AND LOCAL GOVERNMENTS:

Minimal

EFFECTIVE DATE:

This act shall take effect immediately.

A09675 Text:

STATE OF NEW YORK

9675

IN ASSEMBLY

February 4, 2020

Introduced by M. of A. KOLB -- read once and referred to the Committee
on Local Governments

AN ACT providing for the transfer of Onanda Park from the department of
environmental conservation to the town of Canandaigua

The People of the State of New York, represented in Senate and Assem-
bly, do enact as follows:

1 Section 1. Subject to the provisions of this act but notwithstanding
2 any other provisions of law to the contrary, the commissioner of the
3 department of environmental conservation is hereby authorized to trans-
4 fer and convey to the town of Canandaigua, in consideration of one
5 dollar and upon such other terms and consideration as the commissioner
6 of the department of environmental conservation may deem appropriate,
7 the state lands, and any and all buildings and improvements thereon,
8 known as Onanda Park, located in the town of Canandaigua, county of
9 Ontario, and which are described more particularly in section two of
10 this act.

11 § 2. The lands authorized by section one of this act to be transferred
12 and conveyed are as follows:

13 ALL THAT TRACT OR PARCEL OF LAND situate in the town of Canandaigua,
14 county of Ontario and state of New York, being part of town lot number 4
15 of the academy tract in township number 9 in the third range of town-
16 ships in said county and being more particularly bounded and described
17 as follows:

18 BEGINNING in the southeasterly right of way line of West Lake Road
19 (County Road Number 16) at an angle or jog in said right of way line and
20 at its intersection with the northerly line of premises conveyed to the
21 Young Women's Christian Association of Rochester, NY by deed recorded in
22 the Ontario County Clerk's office in liber 312 of deeds, page 58; thence
23 (1) south 81° 46' 46" East, along said northerly line of the aforesaid
24 premises and along said jog in the southeasterly right-of-way line of
25 said road, a distance of 9.26 feet to a point in the southeasterly
26 right-of-way line of that portion of West Lake Road extending towards
27 the north; thence (2) South 81° 06' 20" East, along said northerly line
28 of the aforementioned premises, a distance of 544.23 feet, more or less,

EXPLANATION--Matter in *italics* (underscored) is new; matter in brackets
[] is old law to be omitted.

LBD13951-02-0

A. 9675

2

1 to the shoreline or waters of Canandaigua lake; thence (3) generally
2 southerly or southwesterly along the shoreline or waters of Canandaigua
3 lake a distance of 670.98 feet, more or less, to the southerly or south-
4 westerly line of the aforesaid premises conveyed by deed recorded in
5 said clerk's office in liber 312 of deeds, page 58, at a point in an
6 existing break wall; thence (4) North 62° 46' 29" West, along said
7 southwesterly line of the aforesaid premises, a distance of 585.66 feet
8 to an intersection with the southeasterly right-of-way line of West Lake
9 Road and generally opposite the intersection of said road with the
10 right-of-way of Barnes Road extending to the northwest; thence (5)
11 generally northeasterly along said southeasterly right of way line of
12 West Lake Road on a circular arc of a curve to the right with a radius
13 of 5,704.83 feet an arc distance of 255.69 feet to a point in said right
14 of way line; thence (6) northeasterly along said right-of-way line meas-
15 ured on a bearing of North 35° 16' 48" East a distance of 157.13 feet to
16 the point or place of beginning, being 7.079 acres of land, more or
17 less.

18 § 3. The description in section two of this act of the land to be
19 conveyed is not intended to be a legal description but is intended to
20 identify the parcel to be conveyed. As a condition of the purchase, the
21 town of Canandaigua may submit to the commissioner of general services
22 and New York state attorney general, for his or her approval, an accu-
23 rate survey and description of the lands to be conveyed, which may be
24 used in the conveyance thereof.

25 § 4. The department of environmental conservation shall not transfer
26 or convey the aforesaid land unless application in a form acceptable to
27 such department is made thereto by the town of Canandaigua within one
28 year after the effective date of this act.

29 § 5. Any lands transferred pursuant to this act shall be used and
30 maintained by the town of Canandaigua for park purposes similar to
31 current uses, and shall be open and accessible to the general public. In
32 the event the town of Canandaigua ceases to use the property, or any
33 portion thereof, transferred pursuant to this act for park purposes,
34 title to the lands so transferred shall revert to the state of New York.

35 § 6. This act shall take effect immediately.

A09675 Chamber Video/Transcript:

6-10-20

(@ 05:14:37)

LIBER 888 PAGE 306

Proceeding 9471
DEPARTMENT OF ENVIRONMENTAL
CONSERVATION
INLAND WATERWAY ACCESS
CAMP ONANDA
E-IWA ONTARIO 30

07879

DEED

Made the 7th day of August, 1989, between THE YOUNG WOMEN'S CHRISTIAN ASSOCIATION OF ROCHESTER AND MONROE COUNTY, N.Y. formerly known as THE YOUNG WOMEN'S CHRISTIAN ASSOCIATION OF ROCHESTER, N.Y., having an office for the transaction of business at 175 North Clinton Avenue, Rochester, New York 14604, Grantor, and THE PEOPLE OF THE STATE OF NEW YORK, acting by and through Thomas C. Jorling, their Commissioner of Environmental Conservation, who has an office at 50 Wolf Road, Albany, New York 12233-0001, Grantees.

Grantor, in consideration of TWO MILLION AND NO/100 DOLLARS (\$2,000,000.00), paid by the Grantees, does hereby grant and release to the Grantees, their successors and assigns, forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the Town of Canandaigua, County of Ontario and State of New York, being part of Town Lot Number 4 of the Academy Tract in Township Number 9 in the Third Range of Townships in said County and being more particularly bounded and described as follows:

BEGINNING in the southeasterly right-of-way line of West Lake Road (County Road Number 16) at an angle or jog in said right-of-way line and at its intersection with the northerly line of premises conveyed to The Young Women's Christian Association of Rochester, N.Y. by deed recorded in the Ontario County Clerk's Office in Liber 312 of Deeds, page 58; thence (1) South 81° 46' 46" East, along said northerly line of the aforesaid premises and along said jog in the southeasterly right-of-way line of said road, a distance of 9.26 feet to a point in the southeasterly right-of-way line of that portion of West Lake Road extending towards the north; thence (2) South 81° 06' 20" East, along said northerly line of the aforementioned premises, a distance of 544.23 feet, more or less, to the shoreline or waters of Canandaigua Lake; thence (3) generally southerly or southwesterly along the shoreline or waters of Canandaigua Lake a distance of 670.98 feet, more or less, to the southerly or southwesterly line of the aforesaid premises conveyed by deed recorded in said Clerk's Office in Liber 312 of Deeds, page 58 at a point in an existing breakwall; thence (4) North 62° 46' 29" West, along said southwesterly line of the aforesaid premises, a distance of 585.66 feet to an intersection with the southeasterly right-of-way line of West Lake Road and generally opposite the intersection of said road with the right-of-way of Barnes Road extending to the northwest; thence (5) generally northeasterly along said southeasterly right-of-way line of West Lake Road on a circular arc of a curve to the right with radius of 5,704.83 feet an arc distance of 255.69 feet to a point in said right-of-way line; thence (6) northeasterly along said right-of-way line measured on a bearing of North 35° 16' 48" East a distance of 157.13 feet to the point or place of beginning, being 7.079 acres of land, more or less.

Bearings are oriented to conform with those of "Map of Canandaigua Shores subdivision map" filed in the Ontario County Clerk's Office as Map 2402.

TOGETHER with all right, title and interest, if any, of the Grantor in and to any strips and gores between the above described parcel and adjoining owners on the north, south, east and west.

TOGETHER with all right, title and interest of the Grantor in and to all rivers, lakes, ponds, streams, roads, highways and the land lying with the beds of all rivers, lakes, ponds, streams, roads and highways abutting or adjoining the above described premises.

SUBJECT to the rights granted by the Grantor to The Town of Canandaigua by deed of even date herewith which were recited therein:

"TOGETHER with the right to remove, and sell or otherwise dispose of, any and all of the buildings and other structures located on a 7.079 acre parcel of land on the east side of West Lake Road to be conveyed by the Grantor to The People of the State of New York by deed of even date herewith.

"After the removal, Grantee will, at its sole expense, restore the ground under the buildings or structures so that there is no safety hazard.

"This right shall terminate 24 months from the date of the recording of this deed and after said date the Grantee will have no right, title or interest in the 7.079-acre parcel or the buildings or structures that have not been removed."

TOGETHER with the appurtenances and all the estate, rights, and interest of the Grantor in and to the premises.

TO HAVE AND TO HOLD, the above granted premises unto the Grantees, their successors and assigns forever.

And Grantor covenants with Grantees as follows:

FIRST: That Grantor is seized of the premises in fee simple, and has good right to convey the same;

SECOND: That the Grantees shall quietly enjoy the premises;

THIRD: That the premises are free from incumbrances;

FOURTH: That Grantor will execute or procure any further necessary assurance of the title to the premises;

FIFTH: That Grantor will forever warrant the title to the premises.

SIXTH: That this conveyance is made subject to the trust fund provisions of section thirteen of the lien law.

AS PROOF OF THE fact that it makes the above grant and release and covenants, the said Grantor has caused the imprint of its seal to be made hereon, and this deed to be executed on its behalf by its duly authorized officer the day and year first above written.

LIBER 888 PAGE 308

IN PRESENCE OF

(S E A L)

THE YOUNG WOMEN'S CHRISTIAN ASSOCIATION OF
ROCHESTER AND MONROE COUNTY, N.Y.By: Nancy E. Brayley
Nancy E. Brayley
6
7140Its: Vice-Chair Board of TrusteesSTATE OF NEW YORK)
COUNTY OF ONTARIO) ss.:

On this 7th day of August, 1989, before me personally came
Nancy E. ⁸Brayley, to me known, who, being by me duly sworn did depose
and say that she resides in 460 Winton Road North, that she is the
Vice-Chair of THE YOUNG WOMEN'S CHRISTIAN ASSOCIATION OF ROCHESTER
AND MONROE COUNTY, N.Y., the corporation described in and which executed
the above instrument; and that she signed her name thereto by order
of the Board of Trustees of said corporation.

Thomas P. Noonan
Notary Public, State of New York

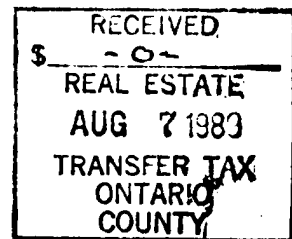
THOMAS P. MOONAN
Notary Public in the State of New York
MONROE COUNTY
Commission Expires July 31, 1991

RECORD AND RETURN TO:

Mr. Gary W. Grimshaw
Supervisor of Real Property
Region 8 Headquarters
Department of Environmental
Conservation
115 Liberty Street
Bath, New York 14810

ONTARIO COUNTY S.S.
Recorded on August 7 19 89
at 4:41 P M., in Book 888
of 1000 Page 306
and examined
Renato G. Vecchi
RENATO G. VECCHI, County Clerk

(1111)68





NOTE: Inventory and assessment data originates with the respective local assessor

Property Information

Tax Map ID: 154.06-1-11.000
Physical Address: 4965 Co Rd 16
Community: Town of Canandaigua
Easting: 623987
Northing: 1014512
Roll Section: 8 2020 **Acres:** 6.859
Property Class: 582 Camping park
School District: Cdga City Sch Dist
Frontage: 0.00 **Depth:** 0.00

Heat:

Fuel:

Water: Private

Sewer: Private

NOTES:

WHERE TO VOTE:

4285 State Rt 21 South,
Canandaigua (Cheshire Fire Hall)

BUILDING DETAILS (primary bldg only):

Year Built: 1930 **Sq Ft.** 7,336

Condition: Normal

Style: 1 sty dorm load sup

Stories: 2 **Central Air:**

Siding:

Basement:

Full Baths: **Half Baths:**

Bedrooms: **Fireplaces:**

NOTE: Please see pages 5-6 of this report for details of additional buildings on this property.

Assessed Values:

Full Market Value: \$4,600,000

Total Assessment: \$4,600,000

Land Assessment: \$4,000,000

Owner Information

Owners: NEW YORK STATE DEC

Address 1: 50 WOLF ROAD

City: ALBANY

State, ZIP: NY 12233

Deed Book: 888 **Deed Page:** 306 **Date:** 8/1/1989 **Comments:**

Recent Sales

Residential Sales (Valid Only)



THIS MAP AND INFORMATION IS PROVIDED "AS IS" AND ONTARIO COUNTY MAKES NO WARRANTIES OR GUARANTEES, EXPRESSED OR IMPLIED, INCLUDING WARRANTIES OF TITLE, NON-INFRINGEMENT, MERCHANTABILITY AND THAT OF FITNESS FOR A PARTICULAR PURPOSE CONCERNING THIS MAP AND THE INFORMATION CONTAINED HEREIN. USER ASSUMES ALL RISKS AND RESPONSIBILITY FOR DETERMINING WHETHER THIS INFORMATION IS SUFFICIENT FOR PURPOSES INTENDED.

Report Created:

10/07/2020

Previous Owners

OWNER NAME(S): YWCA OF ROCHESTER

DEED DATE:

DEED BOOK: 564

DEED PAGE: 448

CLERK NUMBER:

COMMENTS:

OWNER NAME(S): YWCA OF ROCHESTER

DEED DATE:

DEED BOOK: 395

DEED PAGE: 469

CLERK NUMBER:

COMMENTS:



Tax Information

SPECIAL DISTRICT TAX RATES

Special District	Code	SD Tax Rate	UN Tax Rate	FE Tax Rate
Cdga Fire Prot	FD241	0.727893	\$0	\$0
Cdga Cons Water-ETC	WD247	0.530287	\$0	\$0

EXEMPTIONS

Exemption Description	Code	County	Town	Village	School
NY STATE	12100	\$4,600,000	\$4,600,000	\$0	\$4,600,000

ESTIMATED TAXES WORKSHEET

The workspace below can be used to estimate the TRUE taxes for this property. Users are strongly urged to contact the Ontario County Treasurer's Office (585-396-4432) to verify exact total taxes. If the property is in one of the cities, please contact either the City of Canandaigua (585-396-5015) or the City of Geneva (315-789-2114) depending on the location.

	RATE	TAXABLE	TAX YEAR
School Tax:	18.932372 x	\$4,600,000 / 1000 =	\$87,088.91 2018-2019
County Tax:	6.350357 x	\$4,600,000 / 1000 =	\$29,211.64 2019
Town or City Tax:	1.024586 x	\$4,600,000 / 1000 =	\$4,713.10 2019
Village Tax:	0.000000 x	\$4,600,000 / 1000 =	\$0.00 2019

Municipal and School Taxes Subtotal: \$121,013.65

+

Special District Taxes Subtotal:

TOTAL ESTIMATED TAXES:

SURVEYS

Survey ID	Survey Link (copy and paste in a browser)
17244	http://oncorng.co.ontario.ny.us/surveys/17244.tiff

TAX BILLS

(copy and paste link in a browser)

School:	https://oncorng.co.ontario.ny.us/TaxbillSchool/154.06-1-11.000_School.pdf
County/Town:	https://oncorng.co.ontario.ny.us/TaxbillCountyTown/154.06-1-11.000_CountyTown.pdf
City:	
Village:	

TAX MAP

http://oncorng.co.ontario.ny.us/taxmap322400/Town of Canandaigua_154.06.pdf



Additional Inventory

IMPROVEMENTS

Structure Description	Code	Year	Sqft	Dim1	Dim2	Condition	Grade
2sty boathse	BH2	1990	865	0	0	Normal	Average
Cabin/bungl	CC1	1950	240	0	0	Normal	Average
Cabin/bungl	CC1	1950	550	0	0	Normal	Average
Cabin/bungl	CC1	1959	595	0	0	Normal	Average
Cabin/bungl	CC1	1950	305	0	0	Normal	Average
Cabin/bungl	CC1	1950	540	0	0	Normal	Average
Cabin/bungl	CC1	1950	430	0	0	Normal	Average
Barn-1.0 gen	FB4	1950	1,008	0	0	Normal	Average
Shed-machine	FC1	1950	80	0	0	Normal	Average
Misc. imprv.	MS1	1950	0	935	0	Normal	Average
Misc. imprv.	MS1	1950	0	25,000	0	Normal	Average
Misc. imprv.	MS1	1950	0	26,500	0	Normal	Average
Gar-1.5 det	RG5	1992	960	0	0	Normal	Average
Porch-open/deck	RP1	1992	1,036	0	0	Normal	Average
Porch-open/deck	RP1	2001	276	23	12	Normal	Average
Porch-covered	RP2	1970	582	0	0	Normal	Average
Porch-covered	RP2	1992	160	0	0	Normal	Average
Porch-covered	RP2	1991	840	0	0	Normal	Average
Porch-covered	RP2	1935	80	8	10	Normal	Average
Porch-enclsd	RP4	1950	252	0	0	Normal	Average
Porch-enclsd	RP4	1900	192	8	24	Normal	Average
Tennis-asph	TC6	1950	9,000	0	0	Normal	Average

LAND DESCRIPTION

Notes: Soil Rating is assigned for tillable, pasture, woodland, muck, orchard and vineyard land types. Click on the Soil Rating heading for more information about how the rating was determined. Although unusual, there may be characteristics that affect the base land value. If so, this "Influence" description is indicated at the end of the table.

Land Type	Waterfront	Soil Rating	Acres	Depth	Frontage	Value
Primary			0.000	350	671	\$2,498,500
Secondary			1.000	0	0	\$3,550
Secondary			1.000	0	0	\$2,000



Individual Building Details

RESIDENTIAL BUILDINGS

Building Style:	Old style	Overall Condition:	Normal
Actual Year Built:	1900	Construction Grade:	Average
Effective Year Built:	1950	Number of Stories:	2
Year Remodeled:	0	Heating Type:	Hot air
Number of Bedrooms:	3	Fuel Type:	Gas
Number Full Baths:	1	Exterior Wall Material:	Wood
Number Half Baths:	1	Basement Type:	Full
Number of Kitchens:	1	Central Air (1 - Yes):	0
Number of Fireplaces:	1		

BUILDING AREA (in square feet)

Total Living Area:	1,955	1/2 Story:	0	Finished Basement Area:	0
First Story:	1,157	<i>Unfinished:</i>	0	Finished Attic Area:	0
Second Story:	798	3/4 Story:	0	Finished Rec Room Area:	0
Additional Story:	0	<i>Unfinished:</i>	0	Finished Over Garage:	0



COMMERCIAL BUILDINGS

Building Number:	1	Number of Stories:	2
Building Section:	1	Story Height (feet):	11
No. Identical Bldgs:	1	% Air-Conditioned:	0.00
Actual Year Built:	1930	% Sprinkler:	0.00
Effective Year Built:	0	% Alarmed:	50.00
Construction Quality:	Economy	Number of Elevators:	0
Overall Condition:	Normal	Basement Type:	
Perimeter:	600	Basement Perimeter:	0
Gross Floor Area:	7336	Basement Sqft:	0
Wall A %:	100.00	Wall B %:	0.00
		Wall C %:	0.00

Building Number:	2	Number of Stories:	2
Building Section:	1	Story Height (feet):	12
No. Identical Bldgs:	1	% Air-Conditioned:	0.00
Actual Year Built:	1935	% Sprinkler:	0.00
Effective Year Built:	0	% Alarmed:	0.00
Construction Quality:	Average	Number of Elevators:	0
Overall Condition:	Good	Basement Type:	
Perimeter:	200	Basement Perimeter:	0
Gross Floor Area:	2400	Basement Sqft:	0
Wall A %:	100.00	Wall B %:	0.00
		Wall C %:	0.00

Building Number:	3	Number of Stories:	1
Building Section:	1	Story Height (feet):	16
No. Identical Bldgs:	1	% Air-Conditioned:	0.00
Actual Year Built:	1970	% Sprinkler:	0.00
Effective Year Built:	0	% Alarmed:	0.00
Construction Quality:	Average	Number of Elevators:	0
Overall Condition:	Good	Basement Type:	
Perimeter:	222	Basement Perimeter:	0
Gross Floor Area:	1800	Basement Sqft:	0
Wall A %:	0.00	Wall B %:	100.00
		Wall C %:	0.00

Building Number:	4	Number of Stories:	2
Building Section:	1	Story Height (feet):	14
No. Identical Bldgs:	1	% Air-Conditioned:	0.00
Actual Year Built:	1920	% Sprinkler:	0.00
Effective Year Built:	0	% Alarmed:	0.00



Construction Quality:	Average	Number of Elevators:	0
Overall Condition:	Good	Basement Type:	
Perimeter:	344	Basement Perimeter:	0
Gross Floor Area:	3248	Basement Sqft:	0
Wall A %:	100.00	Wall B %:	0.00
		Wall C %:	0.00



Property Analysis

Type	Description	% Coverage	Acres
Ecological Community	Mowed Lawn	0.022%	0.0
Ecological Community	Summer-Stratified Monomictic Lake	1.044%	0.1
Flood Zone	A	3.6%	0.3
Flood Zone	AE	38.8%	2.7
NRCS Soils	Guyanoga channery silt loam, fan, 0 to 3 percent slopes	99.8%	6.9
NRCS Soils	Water	0.2%	0.0
Utilities - Electric	ROCHESTER GAS & ELECTRIC	100.0%	6.9
Utilities - Gas	NEW YORK STATE ELCTRIC & GAS	100.0%	6.9
Utilities - Telephone	Finger Lakes Technology Group	100.0%	6.9
Utilities - Telephone	Frontier Telephone of Rochester	100.0%	6.9
Watershed	Canandaigua Lake	99.6%	6.8

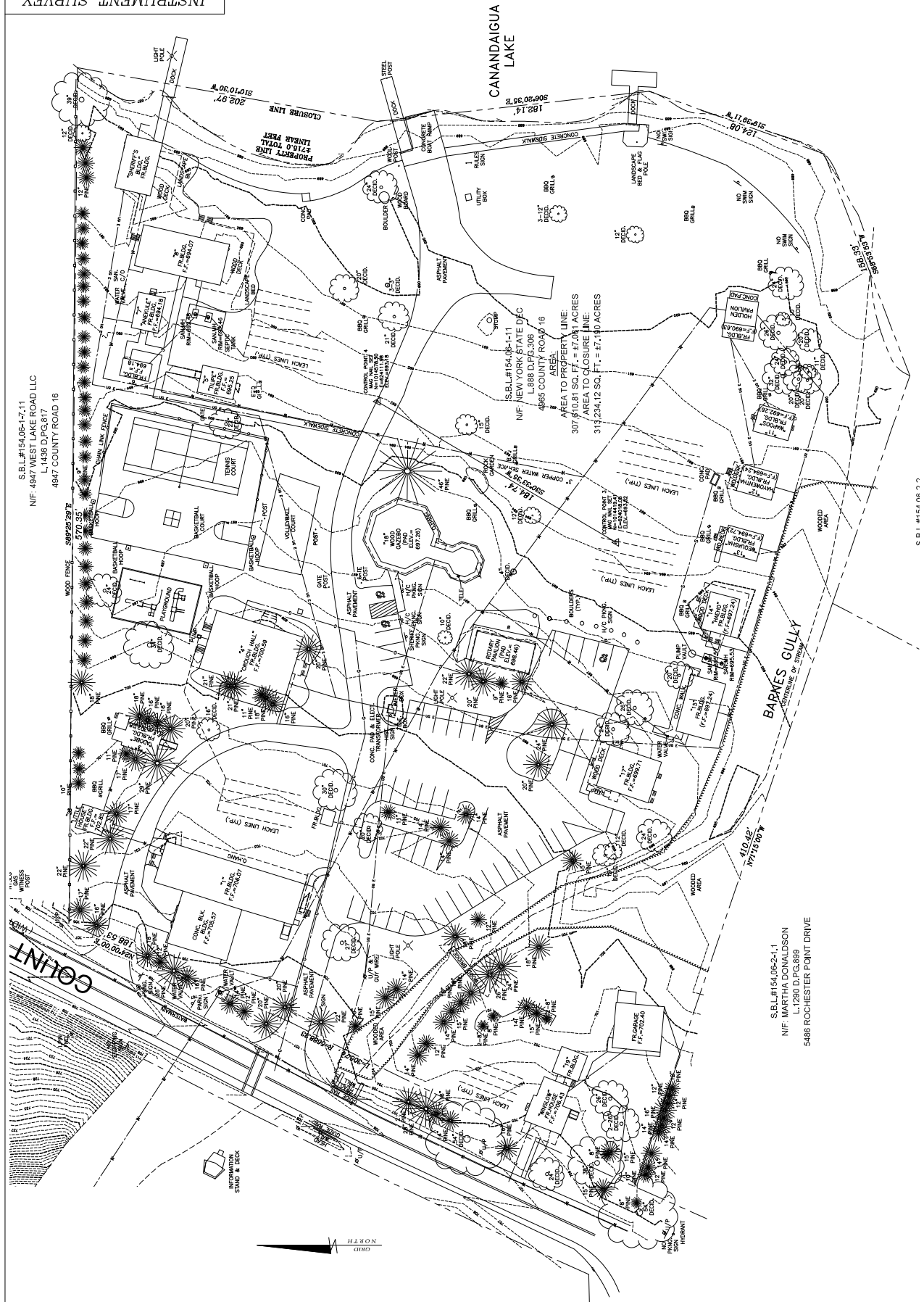


Local Zoning

Note: OnCOR users are strongly urged to contact the municipal planning/zoning office to confirm accuracy of the zoning information listed below.

Community Zoning Type	Description	% Coverage
-----------------------	-------------	------------





PROJECT

ONANDA PARK

SITUATED IN TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

LOCATION

4945 COUNTY ROAD 16 CANANDAIGUA, NY 14424

CLIENT

URS GROUP

DATE

November 26, 2019

SHEET

2 of 2

PROJECT NO.

19-0530

DRAWN BY

Checked By

SCF

RJF

GRAPHIC SCALE: 1" = 40'

1" = 40'

0 20 40 60 80 100

100 80 60 40 20 0

REVISIONS

DATE

BY

NEW YORK STATE

LICENSED PROFESSIONAL

STATE OF NEW YORK

277 ALEXANDER STREET, SUITE 210 ROCHESTER, NY 14607

ROBERT J. ARROW, P.E., S.D.S. 06535-008

SCOTT A. COX, S.D.S. 06535-009

N:\2019\19051000\URS\Canandaigua\Canandaigua Park.dwg 11/26/2019 9:33:22 AM W:\mason

From: [Jason Kehoe](#)
To: dfinch@townofcanandaigua.org
Cc: CNADLER@cnadlerlaw.com; "Kate Silvertrim"; [Samantha Pierce](#); [Sarah Reynolds](#)
Subject: Re: Onanda Park transfer to the Town of Canandaigua
Date: Thursday, September 26, 2019 10:58:20 AM

Thank you!

On 9/26/2019 10:57 AM, dfinch@townofcanandaigua.org wrote:

Jason,

We will work on getting you a copy and the bounds.

The parcel of property was transferred from the YWCA of Rochester on 8/1/1989 to the listed owner in the County Property Info as "New York State DEC" with an address of 50 Wolf Road, Albany, NY 12233.

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Jason Kehoe kehoej@nyassembly.gov
Sent: Tuesday, September 24, 2019 3:41 PM
To: dfinch@townofcanandaigua.org
Subject: Re: Onanda Park transfer to the Town of Canandaigua

Hi Doug, we are putting the language together and had two questions: Do you know the metes and bounds of the park (we need to list that in the bill)? Also, do you have a copy of title, if so does it list the title holder as DEC, the Office of General Services (OGS), or New York State? Thanks!

On 9/6/2019 12:02 PM, dfinch@townofcanandaigua.org wrote:

Jason,

Perfect! Thank you!! Have a great weekend.

Doug Finch, Town Manager

Town of Canandaigua

5440 Route 5 & 20 West

Canandaigua, NY 14424

Phone: (585)394-1120 ext. 2234

Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to reach me please contact Sarah Reynolds (sreynolds@townofcanandaigua.org) or by phone (585)394-1120 ext. 2232*

From: Jason Kehoe kehoej@nyassembly.gov

Sent: Friday, September 6, 2019 11:50 AM

To: dfinch@townofcanandaigua.org; kolbb@nyassembly.gov; kolbb@www.nysassembly.gov; 'Jason Kehoe' kehoej@assembly.state.ny.us; helming@nysenate.gov

Cc: Sarah Reynolds sreynolds@townofcanandaigua.org; Samantha Pierce spierce@townofcanandaigua.org; 'Odell, Zachary D (DEC)' Zachary.Odell@dec.ny.gov; web.pearsall@dec.ny.gov; CNADLER@cnadlerlaw.com; Jean Chrisman jchrisman@townofcanandaigua.org; macneilm@frontiernet.net; Karen Parkhurst karenparkhur@gmail.com; 'Cathy Menikotz' cmenikotz@townofcanandaigua.org; 'Gary Davis' gdavis@townofcanandaigua.org; 'Kevin Reynolds' kreynolds@townofcanandaigua.org; 'Linda Dworaczyk' ldworaczyk@townofcanandaigua.org; 'Terry Fennelly' tfennelly@townofcanandaigua.org

Subject: Re: Onanda Park transfer to the Town of Canandaigua

Mr. Finch,

Thanks for the update! I will work with our staff, Senator Helming's staff and the NYS DEC Legislative Affairs staff to get the bill drafted.

Sincerely,

Jason Kehoe

On 9/5/2019 5:45 PM, dfinch@townofcanandaigua.org wrote:

Assembly Leader Kolb & Senator Helming
Mr. Jason Kehoe

September 5, 2019

Leader Kolb, Senator Helming, and Mr. Kehoe:

Thank you for your assistance in coordinating a meeting between the New York State Department of Environmental Conservation and the Town of Canandaigua, Town Manager's Office pertaining to the turnover of Onanda Park (lakeside) to the Town of Canandaigua. On today's date (September 5, 2019) we had a very successful meeting to talk about the logistics of such a transfer.

The outcome of the meeting resulted in next steps including requesting Leader Kolb and Senator Helming introduce legislation for the 2020 Legislative Session to allow the transfer of Onanda Park (lakeside) including all buildings and improvements from the DEC to the Town of Canandaigua. In terms of the legislation and memorandum of understanding, the Town Manager and representatives from the DEC have tentatively sketched out an agreement for further consideration including:

- DEC to transfer title of Onanda Park (lakeside) and all improvements to the Town of Canandaigua for the Town of Canandaigua to operate Onanda Park (lakeside) as a public access municipal park;
- Legislation to stipulate that if the Town of Canandaigua should ever cease operating Onanda Park (lakeside) as a Town Park then the Town shall transfer title of Onanda Park back to the NYS DEC;
- Town to grant the DEC a Canandaigua Lake access easement from County Road 16 to Canandaigua Lake for access by the DEC to Canandaigua Lake crossing Onanda Park at any-time;

Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to provide fishing access to the general public at Onanda Park year-round with no entrance fee charged for people entering the park for fishing access only;

- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to provide meeting space in either Crouch Hall, Gorham Lodge, Babcock Hall, or similar suitable building at no charge up to three times per year (based on availability) for the DEC at Onanda Park as part of the transfer of title of Onanda Park (lakeside) to the Town of Canandaigua;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to permit the DEC to conduct cold water assessments and fish sampling at Onanda Park, and when possible hold the events in conjunction with the Town's Parks and Recreation Programs;
- Town to enter into a lease agreement with Ontario County, and a memorandum of understanding (or management agreement) with Ontario County to permit the Ontario County Sheriff's Department to use the Sheriff's Building (adjacent to Babcock Hall) to keep the Ontario County Sheriff's navigation unit, and launch the Sheriff's navigation unit when needed at Onanda Park;
- Town to enter into a long term (indefinite?) memorandum of understanding (or management agreement) with the DEC to

provide public boat launching access at Onanda Park from November 1st through April 1st of each year and when boat launching access is blocked by ice at the Canandaigua Lake State Park located at the north end of Canandaigua Lake (City of Canandaigua);

Next steps: Jason if you are going to take the lead on drafting this legislation for Leader Kolb and Senator Helming the NYS DEC Legislative Affairs Contact in Albany (Jessica) would welcome the opportunity to review anything you put together with their team. Additionally, please share with Mr. Zach Odell from the NYSDEC and Mr. Web Pearsall from the NYSDEC (Region 8) so that they can be sure all of the stakeholders at the NYSDEC are aware.

Justification: Please know that I would be happy to work with Leader Kolb and Senator Helming's offices to further explain the justification for this request. The Town of Canandaigua is very much interested in making improvements at Onanda Park (lakeside) to make the facility accessible for people of all abilities. The investments needed at Onanda Park (lakeside) would be paid for by the taxpayers of the Town of Canandaigua through the annual budgeting process, so in general it is fitting that the taxpayers of the Town of Canandaigua own all of those improvements and the park.

Additionally, please know the Town and the DEC are very much interested in working together to promote fishing in the Town of Canandaigua at both Onanda Park and during non-beach times of the year at the Butler Road Schoolhouse Park. Additionally, it is our understanding a fishing program might also be a possibility with the DEC for the Town's Blue Herron Park.

cc: Town Board of the Town of Canandaigua
Town Attorney Chris Nadler, Town of
Canandaigua

Town Clerk Jean Chrisman, Town of Canandaigua
Ms. Samantha Pierce, Parks/Recreation, Town of
Canandaigua
Mr. Zachary Odell, NYS DEC
Mr. Web Pearsall, NYS DEC
Parks and Recreation Committee of the Town of
Canandaigua

Doug Finch, Town Manager
Town of Canandaigua
5440 Route 5 & 20 West
Canandaigua, NY 14424
Phone: (585)394-1120 ext. 2234
Email: dfinch@townofcanandaigua.org

*** If you need immediate assistance and are not able to
reach me please contact Sarah Reynolds
(sreynolds@townofcanandaigua.org) or by phone (585)394-
1120 ext. 2232*

--
Jason Kehoe,
Sr. Director of Minority Program Development/Legislative
Policy
New York State Assembly
Office of Republican Leader Brian M. Kolb
Room 933, Legislative Office Building
Albany, New York 12248
(518) 455-3751

--
Jason Kehoe,
Sr. Director of Minority Program Development/Legislative Policy
New York State Assembly
Office of Republican Leader Brian M. Kolb
Room 933, Legislative Office Building
Albany, New York 12248
(518) 455-3751

--
Jason Kehoe,
Sr. Director of Minority Program Development/Legislative Policy
New York State Assembly
Office of Republican Leader Brian M. Kolb
Room 933, Legislative Office Building
Albany, New York 12248
(518) 455-3751

ATTACHMENT 12

OPTION TO PURCHASE

This Option to Purchase ("Option") is made by and between RSM WEST LAKE ROAD LLC, a New York State limited liability company having offices at 197 W. Main Street, Victor NY 14564 ("Owner") and the TOWN OF CANANDAIGUA, a New York State municipal corporation having offices at 5440 Routes 5 & 20, Canandaigua NY 14424 ("Buyer") as of the ____ day of _____, 2020.

In consideration of U.S. \$250.00 and other good and valuable consideration, the receipt and sufficiency of which is hereby agreed and acknowledged, Owner and Buyer agree as follows:

1. GRANT OF OPTION. Owner hereby grants to Buyer an exclusive right and option to purchase the real property described below pursuant to the terms and conditions described herein.
2. TERM OF OPTION. This Option shall remain in effect until the 30th day of September 2022.
3. DESCRIPTION OF PROPERTY. The property ("Property") shall consist of the following three parcels:
 - a. Parcel # 1: Tax ID # 113.13-2-61.000 (3950 County Road 16) consisting of approximately 1.7794 acres of lake frontage and a single family residence.
 - b. Parcel # 2: Tax ID # 113.13-2-62.000 (Marella View) consisting of approximately 1.550 acres of vacant residential land.
 - c. Parcel # 3: A portion of Tax ID # 113.13-2-63.000 (Marella View) consisting of a 20-foot wide strip of land along the southern boundary running approximately 1,360 feet between the western boundary of Tax ID # 113.13-2-62.000 to the east, and the eastern boundary of Tax ID # 112.04-1-2.171 to the west. Upon exercise of this Option, Owner agrees to cooperate fully with Buyer to subdivide said portion for conveyance to Buyer.
 - d. The parties understand that the Property shall be conveyed "as-is" subject to necessary utility and access easements, including an access easement inuring to the benefit of future owners of parcels identified on the Residences at West Lake Subdivision Plat recorded on April 27, 2012 at Map Nos. 32522-A and 32522-B.
4. NOTICE. To exercise this Option, Buyer must provide notice to Owner via certified mail at any time during the Term of Option at the address stated above. Any notices to be given under this Option shall be in writing, sent by certified mail, postage prepaid, addressed to the party at the mailing addresses set forth

below. Notices sent in accordance with this section shall be deemed effective on the date of dispatch.

- 5. PURCHASE CONTRACT.** If Buyer exercises this Option, then Buyer and Owner agree to execute a Purchase and Sale Contract within 15 days of date Notice is sent by Buyer.
- 6. PURCHASE PRICE.** If Buyer exercises this Option then Buyer and Owner agree that the Purchase Price shall be determined as follows:

 - a.** Within 20 days after giving Notice as required by Paragraph 4 of this Agreement, the parties shall retain two (2) independent appraisers ("Appraisers") to value the Property described above. One of the Appraisers shall be selected by RSM and one shall be selected by the Town. The Appraisers shall be MAI certified by the Appraisal Institute, and shall be licensed to practice in New York State.
 - b.** The Appraisers shall ascertain the full market value of the Property based on its current condition.
 - c.** The purchase price for the Property shall be determined as follows:

 - i. If the two appraisals are within five percent (5%) of each other, the purchase price shall be the lower of the two appraisals;
 - ii. If the two appraisals are within ten percent (10%) of each other, the purchase price shall be the average of the two appraisals; and
 - iii. If the two appraisals vary by more than ten percent (10%), a third appraiser will be chosen by the parties and the purchase price shall be the average of all three appraisers.
 - d.** Each party shall pay its own appraisal, and in the event a third appraisal is needed pursuant to paragraph 6(c)(iii) above, the parties shall each pay half of the cost of the third appraisal.
 - e.** RSM agrees to cooperate with the Appraisers so that they can value the Property in an efficient, cost-effective manner.
 - f.** The parties shall instruct the Appraisers to produce final appraisals within sixty (60) days following their engagement. Each party shall deliver to the other a copy of the appraisals within five (5) days of receipt.
- 7. CLOSING.** Closing on the Property will occur at the Ontario County Clerk's Office, or such other location agreed to by the parties, within 30 days of receipt of the Appraisals by RSM.

8. BINDING EFFECT. This Option shall be binding upon and inure to the benefit of the parties, their successors, assigns, heirs, agents, and personal representatives.

9. RECORDING. Buyer shall have the right to record this Option at the Ontario County Clerk's Office at any time during the Term of Option, without notice to Owner.

10. OBLIGATIONS OF OWNER.

a. During the entire Term of Option Owner agrees to maintain the Property substantially in the condition as it exists on the date of execution of this Option and not to alter the Property or construct any improvements without the express written consent of Buyer, except that Owner may subdivide Parcel # 3 as provided in 3(c) above.

b. During the entire Term of Option Owner shall not sell, transfer, lease, pledge, or otherwise encumber any direct or indirect interest in the Property or any portion thereof.

11. OTHER APPROVALS. It is understood by both parties that neither this Option nor its exercise by the Town will negate, alter or otherwise impact approvals previously received by Owner from the Town and its boards for the Residences at West Lake.

12. PARTIES.

a. Town of Canandaigua
5440 Routes 5 & 20
Canandaigua, NY 14424
Attn: Doug Finch, Town Manager

b. RSM West Lake Road LLC
197 W. Main Street
Victor, NY 14564

Knauf Shaw LLP
Attn: Amy K. Kendall, Esq.
2 State Street, Ste 1400
Rochester, NY 14614

13. AUTHORITY. The individuals signing below expressly represent that they are duly authorized to execute this Option.

IN WITNESS WHEREOF, the parties have duly executed this Option to Purchase as of the date first mentioned above.

OWNER:

BUYER:

RSM WEST LAKE ROAD LLC

TOWN OF CANANDAIGUA

By: _____

Name: _____

Title: _____

By: _____

Name: _____

Title: _____

State of New York }
County of Ontario }ss:

On the ___ day of _____, 2020, before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacities, and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public

State of New York }
County of Ontario }ss:

On the ___ day of _____, 2020, before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacities, and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public

TOWN OF CANANDAIGUA

Possible Frequently Asked Questions

Relating to Land Acquisition for possible Town Park – 3950 County Road 16

Public Access: Potential Town Park - 10/26/2020

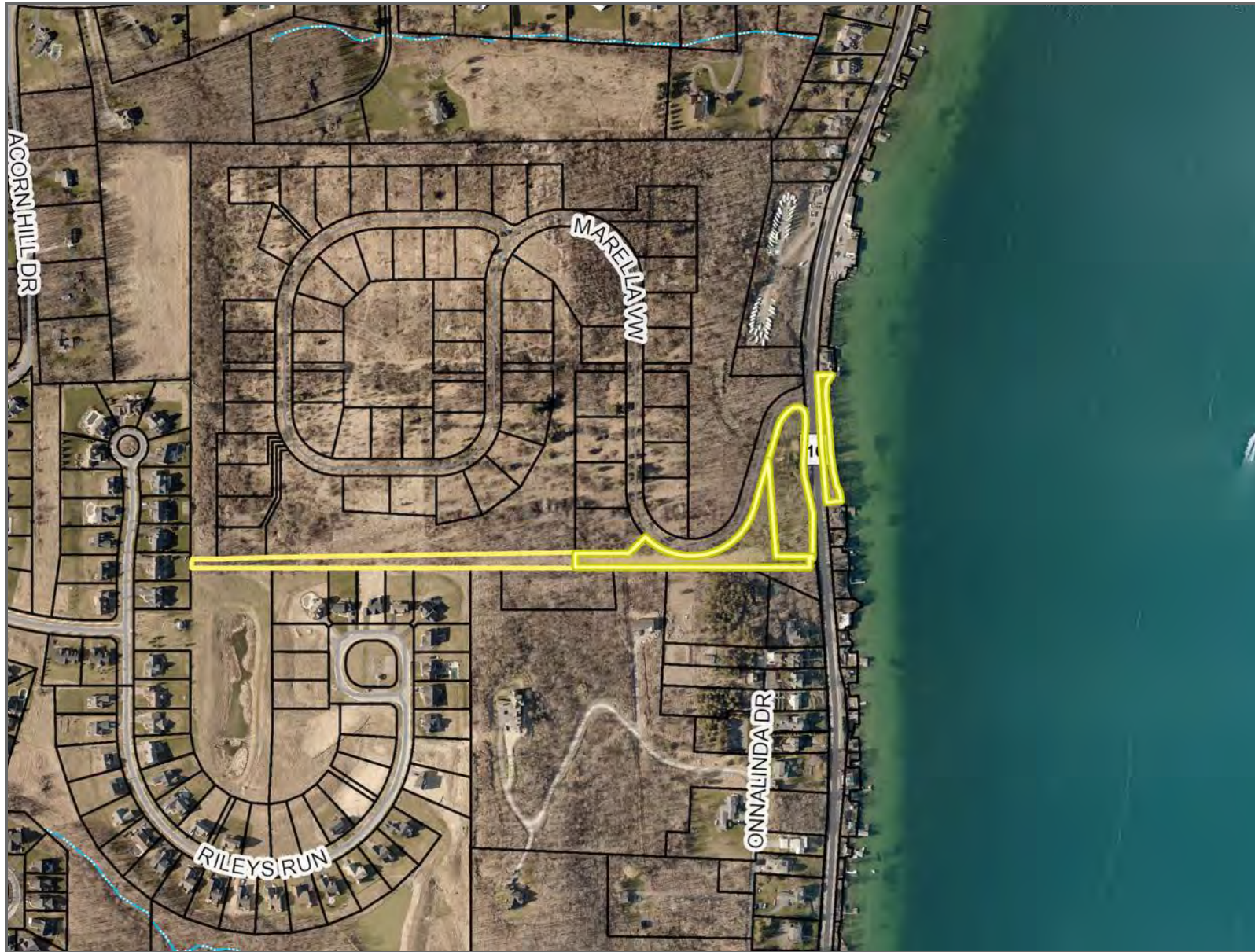
- What is an Option to Purchase mean?
The Option to Purchase is an agreement between the buyer and the seller that allows the buyer to purchase the property per the agreed upon terms anytime between present and September 30, 2022. If the buyer (Town) moves forward with the purchase, then the Town Board of the Town of Canandaigua would need to take subsequent action in a Town Board meeting to authorize the purchase option. If the Town does nothing, then the option will expire on September 30, 2022 and the seller will be free to sell the property to someone else, develop the property, or continue to own the property as it is currently.
- What is the purchase price of the land?
The purchase price of the land will be determined by taking the average of two different appraisals. The buyer (Town) will hire one appraiser, and the seller the other. If the appraisal varies more than 10%, then a third appraiser would be chosen, and the purchase price would be the average of all three appraisals.
- Has the Town already purchased the land?
No. The Town has not purchased the land. This is an option to purchase agreement for a defined time period. Options to purchase must include a fee for entering into the option in this case \$250.00. The Town has the option whether or not to execute the option.
- What would be the process if the Town moves forward?
The process would be directed by the Town Board; however, it would likely include a public hearing on a resolution to exercise the option, then a resolution to authorize the excision of the option. At that point, the process would begin to have appraisals done on the property, and subsequently authorize the purchase subject to permissive referendum.
- What will the Town build on the land?
It is premature to say exactly what this park would include as specific plans would need to be formalized. The lakeside portion of the park would likely include a walking path near the water, a picnic area, some benches or chairs to enjoy the view of Canandaigua Lake, likely some sort of fishing dock or platform, conservation of natural features and wildlife including the hardwoods and wildlife nests, and likely some sort of small craft launch for things like kayaks.
- May I walk the property?
No. The Town does not own the property, this is private property. If the Town moves forward and purchases the land, then it would become available to the public.

- Why is the Town considering this purchase?
Residents of the Town of Canandaigua and the greater Canandaigua community have time and time again requested greater access to Canandaigua Lake. The Town's planning documents including the 2003 Comprehensive Plan, the 2011 Comprehensive Plan Update, the 2016 Town Comprehensive Implementation Plan, the 2018 – 2028 Parks and Recreation Master Plan, and the survey results for the Town's 2020 Comprehensive Plan all call out a need for additional public access to Canandaigua Lake. With approximately 485 feet of shoreline of Canandaigua Lake this parcel is one of the last single largest parcels of land and is available without having been developed offering natural scenic beauty.
- Who benefits from the purchase?
The residents of the Town of Canandaigua, and the greater community. The purchase (if exercised) would allow the general additional public access to Canandaigua Lake.
- Will my taxes go up as a result of this purchase?
It is impossible to say what future budgets and tax rates might look like exactly. It is possible that additional community organizations and grant dollars might be utilized to help with the purchase (if option is exercised) to acquire and or make improvements. Future action by the Town Board on any resolution to authorize the exercising of the option would include additional details surrounding financing plans and tax rates. The Option to Purchase agreement itself would not have any impact on the Town tax rate.
- Will the home on County Road 16 be saved?
If the Town of Canandaigua moves forward with the purchase, the particulars of the current property would need to be evaluated for any future potential use. The current home may or may not be useable and would be evaluated at that time. As a general rule, the Town always makes an attempt to preserve or protect historic sites when possible.
- What would be the name of the new park?
It is premature to say the name of any future possible park (if the land is purchased by the Town). The Town Board would consider the name of any park with consultation of the Parks and Recreation Committee. No name has been selected, if this land was to be purchased by the Town.
- What about traffic on County Road 16 near this land?
Any future land use of this property (if purchased by the Town) would include the need to consider things like traffic, infrastructure, land use, and the private enjoyment of neighboring lands. The Town Board would hear from residents during a public hearing, conduct a State Environmental Quality Review (SEQR) on any future action including improvements and traffic, and then take measures as needed for mitigation. The Town understand the volume of traffic, and the problem with parking along County Road 16 in this area. Additionally, the Town understands the residents have concerns about speeding vehicles on County Road 16, and in recent years has contracted with the Ontario County Sheriff's Department for Enhanced Law Enforcement of this area.

- Will this park feature a trail to Middle Cheshire Road?
It is premature to say. The Town's Parks and Recreation Committee is consistently looking at opportunities to improve trail access and pedestrian accessibility. If the Town were to purchase this land, it might be possible to explore connection points if other land owners or subdivisions were willing to consider granting such access.
- Will this park have public access to Canandaigua Lake?
Yes. Details would need to be finalized if the Town were to purchase the land; however, the priority goal would be access to Canandaigua Lake.
- Where would parking be for the park?
Parking for the park (if the Town purchases the land) would be on the upland side of County Road 16 with a cross walk or other mechanism for allowing people to cross over County Road 16 such as is done at Onanda Park. The particulars of a parking area and storm water controls would need to be engineered at a later time.
- What will the developer do with the rest of the land?
The current owner would retain ownership of the rest of the land not being purchased (if the Town acquires the land) and would likely request some sort of modification of their existing approval for land development from the Town of Canandaigua Planning Board.
- Does the developer have approval to build their project?
Yes. The developer received approval for the construction of an approximately sixty unit development approximately ten years ago.
- Who should I contact to ask additional questions?
Any member of the Town Board or the Town Manager. The Town Manager maybe reached by email at dfinch@townofcanandaigua.org or by phone (585)394-1120 ext. 2234.



Possible Park



Legend

- Tax Parcels
- Streets**
 - Interstate
 - State or US Routes
 - County Roads
 - Local Public Roads
 - Private Roads
- Railroads
- Streams
- Municipal Boundaries
- Finger Lakes Region

Map Created: 2/26/2020

Notes

1,446.0 0 723.00 1,446.0 Feet





ATTACHMENT 13

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

September 21, 2020

Doug Finch, Town Manager
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424

RE: GROVE FOR KREISER
NEW SINGLE FAMILY DWELLING - EROSION CONTROL SURETY ESTIMATE REVIEW
TAX MAP NO. (TO BE DETERMINED)
CPN No. 2020-056
ADDRESS: 5945 KNAPP ROAD

SEP 23 2020
CK# 5287 LR

Dear Mr. Finch,

Please be advised that I have completed a review of the submitted Erosion Control Surety Estimate dated August 12, 2020, prepared by William Grove PE of Grove Engineering for the above referenced project.

Based on our review of the submitted estimate we recommend that an Erosion Control Surety be approved in the amount of **\$700 (Seven-Hundred Dollars and No Cents)** The breakdown of this amount is on the attached estimate.

Surety must be paid by cash or check to Town Clerk prior to issuance of building permits.

Any questions and/or comments you may have in this regard, please feel free to contact me at your earliest convenience.

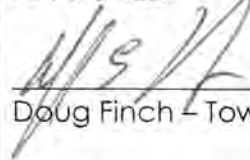
Sincerely,



Chris Jensen
Town of Canandaigua – Code Enforcement Officer

C Jean Chrisman, Town Clerk
Project Binder
Parcel Owner

APPROVED



Doug Finch – Town Manager

9/23/20
Date



GROVE ENGINEERING

8677 STATE ROUTE 53
NAPLES, NEW YORK 14512
585-797-3989 PHONE
585-531-4084 FAX
grove.engineering@yahoo.com

August 12, 2020

5945 KNAPP

Eric Cooper
Zoning Officer
Town of Canandaigua

Re: Soil stabilization and erosion control cost estimate
Proposed Kreiser Residence,
Portion of 5955 Knapp Road, Portion of TM# 125.00-1-38.000

Dear Mr. Cooper,

As required by the Final Site Plan Requirements of the Town, here are the estimated costs for the installation and maintenance of the soil stabilization and erosion control on the above referenced project:

Silt Fence	170 LF@ \$2.50/LF	= \$425
Final seed/mulch all disturbed areas	Lump Sum	= <u>\$275</u>

Total: \$700

If you have any questions, feel free to contact me.

Sincerely,



William J. Grove, P.E.

ATTACHMENT 14

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

July 22, 2020

Doug Finch, Town Manager
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424



RE: ANTHONY VENEZIA LS
NEW SINGLE FAMILY DWELLING - EROSION CONTROL SURETY ESTIMATE REVIEW
TAX MAP No. 97.04-2-101.00
CPN No. 2020-018
ADDRESS: 3630 LAKE BREEZE WAY

Dear Mr. Finch,

Please be advised that I have completed a review of the submitted Erosion Control Surety Estimate dated March 13, 2020, prepared by Anthony Venezia LS for the above referenced project.

Based on our review of the submitted estimate we recommend that an Erosion Control Surety be approved in the amount of **\$1,500 (One-Thousand Five-Hundred Dollars and No Cents)**. The breakdown of this amount is on the attached estimate.

Surety must be paid by cash or check to Town Clerk prior to issuance of building permits.

Any questions and/or comments you may have in this regard, please feel free to contact me at your earliest convenience.

Sincerely,

Chris Jensen
Town of Canandaigua – Code Enforcement Officer

C Jean Chrisman, Town Clerk
Project Binder
Parcel Owner

APPROVED
Doug Finch – Town Manager
Date



Surety Estimate – Sediment and Erosion Control at 0000 Lake Breeze Way

New Single Family Residence

Prepared by: Venezia and Associates

Prepared For: Venezia Residence

Section A: Erosion Control

Item Description	Estimated Quantity	Unit	Unit Price (\$)	Estimate
Silt Fence	300	LF	2.00	\$ 600.00
Stabilized Construction Entrance	1	EA	500	500.00
Seed /Straw Mulch	20,000	SF	0.02	\$ 400.00
TOTAL SECTION A				\$1,500.00

By Venezia and Associates

March 13, 2020

Anthony A. Venezia

A handwritten signature in dark ink, appearing to read 'Anthony A. Venezia', is written over a light blue horizontal line.



ATTACHMENT 15

Town of Canandaigua

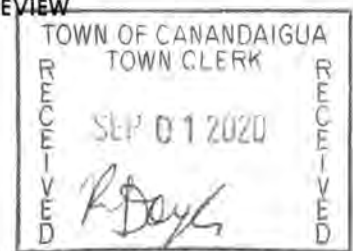
5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

September 1, 2020

Doug Finch, Town Manager
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424



RE: VENEZIA FOR VESTAL / QUEHL
NEW SINGLE FAMILY DWELLING - EROSION CONTROL SURETY ESTIMATE REVIEW
TAX MAP No. 98.11-1-6.000
CPN No. 2020-022
ADDRESS: 3312 FALLBROOK PARK



Dear Mr. Finch,

Please be advised that I have completed a review of the submitted Erosion Control Surety Estimate dated August 31, 2020, prepared by Erin V. Joyce PE for the above referenced project.

Based on our review of the submitted estimate we recommend that an Erosion Control Surety be approved in the amount of **\$3,488.79 (Three-Thousand Four-Hundred Eighty-Eight Dollars and Seventy-Nine Cents)**. The breakdown of this amount is on the attached estimate.

Surety must be paid by cash or check to Town Clerk prior to issuance of building permits.

Any questions and/or comments you may have in this regard, please feel free to contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Jensen".

Chris Jensen
Town of Canandaigua – Code Enforcement Officer

C Jean Chrisman, Town Clerk
Project Binder
Parcel owner





Surety Estimate – Erosion and Sediment Control and Drainage at 3312 Fallbrook Park

Prepared by: Venezia and Associates

Prepared For: Richard Quell & Kelli Vestal

Section A: Erosion Control	\$3,171.63
10% Contingency:	\$317.16
TOTAL ESTIMATE:	\$3,488.79

By Venezia and Associates

Erin V. Joyce, PE

August 31, 2020

Section A: Erosion Controls

Item Description	Estimated Quantity	Unit	Unit Price (\$)	Estimate
Stabilized Construction Entrance	1	EA	500.00	\$500.00
Silt Fence (209.13*)	380	LF	5.39*	\$2,048.20
Inlet Protection, Drop-In (209.1703*)	3	EA	23.81*	\$71.43
Permanent Lawn (601.1602*)	300	SY	\$1.84*	\$552.00
TOTAL SECTION A				\$3,171.63

Source: *NYS DOT Weighted Average Item Price Report – January 1, 2018 to December 31, 2019 (Avg of all Regions)

Source: **Town of Canandaigua Development Office

ATTACHMENT 16

October 1, 2020

Mrs. Jean Chrisman, Town Clerk
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424

**RE: FOX RIDGE 5B-1
 LOC ESTIMATE REVIEW
 TAX MAP No. 97.04-2-102.000
 CPN No. 19-082
 MRB PROJECT NO.: 0300.12001.000 PHASE 172**

Dear Mrs. Chrisman,

Please be advised that MRB Group has completed a review of the submitted Letter of Credit Estimate dated September 30, 2020 prepared by Professional Engineering Group for the approved Final Subdivision Plans titled: Fox Ridge Phase 5B-1 Subdivision.

Based on our review, the quantities and unit prices identified in the Letter of Credit Estimate are consistent with the approved plans and private contractor pricing respectively. Therefore, we recommend that a Letter of Credit be approved in the amount of **\$27,566.25**. A copy of the Applicant's Engineers Estimate is enclosed for your file.

Please note that the original surety documentation regarding the establishment of the Letter of Credit is required to be submitted to the Town Clerk for processing. Once the original is received by the Town Clerk, all information will be forwarded to the Town Attorney for review prior to being placed onto the Town Board agenda.

Any questions and/or comments you may have in this regard, please feel free to contact us at your earliest convenience.

Sincerely,



Lance S. Brabant, CPESC
Director of Planning & Environmental Services

Enclosures:

- Applicant's Engineers Estimate dated September 30, 2020

C Kate Silverstrim-Jensen, Town Bookkeeper
 Doug Finch, Town Manager
 Jim Fletcher, Highway and Water Superintendent
 Eric Cooper, Planner
 Chris Jensen, P.E., Code Enforcement Officer
 Rocco Venezia, Venezia Associates

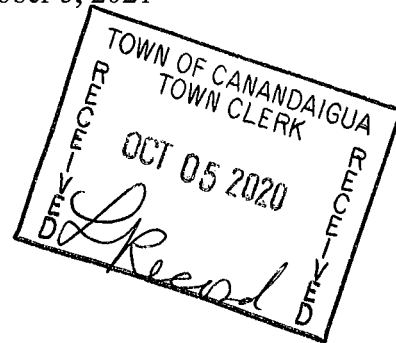


LNB Banking.
It's all about people.

Beneficiary:
Town of Canandaigua
Canandaigua, New York

Effective Date: October 5, 2020
Expiration Date: October 5, 2021

Irrevocable Letter of Credit No. 454
Amount: \$27,566.25



To whom it may concern:

At the request of and on the account of **Venezia Group LLC.**, Canandaigua, New York, hereinafter called Principal, we hereby issue this Letter of Credit in your favor and hereby authorize you to draw on The Lyons National Bank up to an aggregate amount of **\$27,566.25 (Twenty Seven Thousand Five Hundred Sixty Six 25/100 Dollars)**, available by your draft at sight accompanied by the following documents:

- 1.) A copy of this Letter of Credit
- 2.) An invoice or statement indicating the excess cost or liability resulting from a default as described in 1, 2 & 3 below, or
- 3.) Your officially signed and acknowledged statement: "The attached invoice(s) or bills, for labor or material in the amount (\$ _____) remains unpaid"

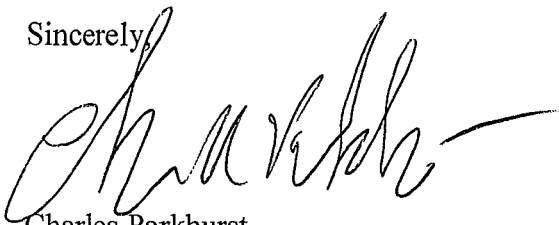
This letter is issued in favor of the Town of Canandaigua (hereinafter called "Town") for any excess cost or liability resulting from a default in the completion of the Fox Ridge Subdivision Phase 5-B1 by Venezia Group LLC.

The following events shall constitute a default by the Principal under the terms of said contract:

- 1.) Failure to perform the work in accordance with the terms of the plans and specifications for Phase 5-B1 of the Fox Ridge Subdivision. Site work being the storm sewer, water line, erosion control, roadway and paving.
- 2.) Failure to commence and complete the work for Phase 5-B1 of the Fox Ridge Subdivision within the time prescribed.
- 3.) Failure to pay all claims for labor and material owing in conjunction with the work for Phase 5-B1 of the Fox Ridge Subdivision.

Drafts must be drawn and presented on or before October 5, 2021. Each draft must be endorsed with the statement that it is drawn against Letter of Credit No. 454 for Venezia Group LLC. This letter is Irrevocable.

Sincerely,

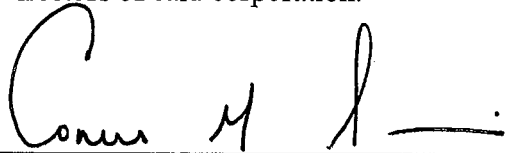


Charles Parkhurst

Branch Manager, Asst. Vice President

STATE OF NEW YORK)
COUNTY OF ONTARIO) SS:

On this 5 day of October 2020 before me personally appeared Charles Parkhurst and he did say that he resides in _____, New York: that he is the Asst. Vice President of The Lyons National Bank, the corporation described in, and which executed, the within instrument and that he signed his name thereto by order of the Board of Directors of said corporation.



Notary Public

Connie M. Shedrick
Notary Public State of New York
Ontario County Reg# 01SH6038012
Commission Expires 06/08/22

Established 1865

MAIN OFFICE - 35 WILLIAM STREET, P.O. BOX 380, LYONS, N.Y. 14489-0380

TEL. 315-946-4871 FAX 315-946-6215

Member FDIC

Eric Cooper

From: Brabant, Lance <Lance.Brabant@mrbgroup.com>
Sent: Tuesday, October 6, 2020 12:17 PM
To: Eric Cooper; 'Christain M. Nadler'
Cc: dfinch@townofcanandaigua.org; jchrisman@townofcanandaigua.org; 'Lisa Record'; Eric Cooper
Subject: RE: Letter of Credit - Fox Ridge 5B-1

Looks good to me and matched my letter of recommendation. Thank you.

Lance Brabant, CPESC

Director of Planning & Environmental Services



The Culver Road Armory
145 Culver Road, Suite 160
Rochester, NY 14620
(585) 381-9250 Phone
(585) 381-1008 Fax



The content of this email is the confidential property of MRB Group and should not be copied, modified, retransmitted, or used for any purpose except with MRB Group's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

From: Eric Cooper <zoninginspector@townofcanandaigua.org>
Sent: Tuesday, October 06, 2020 11:59 AM
To: Brabant, Lance <Lance.Brabant@mrbgroup.com>; 'Christain M. Nadler' <CNADLER@cnadlerlaw.com>
Cc: dfinch@townofcanandaigua.org; jchrisman@townofcanandaigua.org; 'Lisa Record' <lrecord@townofcanandaigua.org>; Eric Cooper <ecooper@townofcanandaigua.org>
Subject: Letter of Credit - Fox Ridge 5B-1

Lance and Chris,

Can you please review the attached Letter of Credit? They would like to get this on the October meeting if possible.

Also attached is Lance's initial letter and Scott Harter's estimate.

Eric A. Cooper

Planner

Town of Canandaigua

ecooper@townofcanandaigua.org

585-394-1120 x2254

Eric Cooper

From: CHRIS NADLER <cnadler@cnadlerlaw.com>
Sent: Wednesday, October 7, 2020 12:56 PM
To: Eric Cooper (Town Planner); 'Chrisman, Jean (Canandaigua Town Clerk)'; 'Lance 'Brabant'
Subject: Fox Ridge 5b1 letter of credit.

I approve the letter of credit.

Chris

LAW OFFICES OF

CHRISTIAN M NADLER

9 Mima Circle

Fairport NY 14450

Phone # 585-315-4767

ATTACHMENT 17

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT

WHEREAS, the Town of Canandaigua, having an address of 5440 Routes 5 & 20 West, Canandaigua, New York 14424 ("Municipality") and CGA CR10 LLC ("Facility Owner"), having an address of 1950 Brighton Henrietta Townline Road, Rochester, NY 14623 want to enter into an agreement (this "Agreement") to provide for the long term maintenance and continuation of permanent stormwater control measures approved by the Municipality ("Control Measures") for the below named project as more particularly set forth below, and

WHEREAS, the Municipality and the Facility Owner desire that the Control Measures, as detailed on the approved project plans entitled "Creekview Apartments at Woodland Park Phase 1 Final Plans", having drawing number(s) 2490A-01 to 2490A-24A, prepared by BME Associates and last revised April 3, 2018, (the "Plans"), be built in accordance with the Plans and thereafter be maintained, cleaned, repaired, replaced, and continued in perpetuity in order to ensure optimum performance of the components in accordance with this Agreement. Reduced size versions of the Plans are attached hereto as Exhibit A.

Therefore, the Municipality and the Facility Owner agree as follows:

1. This Agreement binds the Municipality and the Facility Owner, its successors and assigns, to maintain the Control Measures depicted in the Plans (as same may be amended with written consent of both the Municipality and Facility Owner).
2. The Facility Owner shall maintain, clean, repair, replace and continue the Control Measures depicted on the Plans as necessary to ensure the facilities are and remain in proper working condition in accordance with design standards, rules and regulations and applicable laws.
3. If identified on the Plans, the Control Measures shall include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices, and retention ponds all of which shall be within the definition of Control Measures.
4. The Facility Owner shall be responsible for all expenses related to the preventive maintenance of the Control Measures in accordance with the Plan.
5. The Facility Owner shall provide for the periodic inspection of the Control Measures, not less than once in every five (5) year period, to determine the condition and integrity of the Control Measures. The Facility Owner's obligations to inspect the Control Measures under this Section 5 shall commence upon the issuance of the first Certificate of Occupancy for the project depicted on the Plans. Each inspection shall be performed by a Professional Engineer, at the Facility Owner's choosing, so long as such Professional Engineer is licensed by the State of New York (the "Inspecting Engineer"). The Inspecting Engineer shall prepare and submit to the Municipality within 30 days of each inspection, a written report of the findings of his/her inspection including any recommendations necessary for the continued maintenance or repair of the Control Measures in accordance with the Plan.

6. The Facility Owner shall grant right of entry to duly authorized representatives of the Town. Upon presentation of proper credentials, duly authorized representatives of the Town may enter at reasonable times and in a reasonable manner upon the premises described in the Plan ("Premises") to inspect the implementation, condition or operation and maintenance of the Control Measures. Persons working on behalf of the Town shall have the right to temporarily locate, on any stormwater facility or Control Measure in the Town, such devices as are necessary to conduct monitoring and/or sampling of the discharges from such Control Measures provided such acts do not unreasonably interfere with Facility Owner's use of the Premises.

7. Except in an emergency situation, or as permitted by Section 8 below, The Facility Owner shall not authorize, undertake, or permit any material alteration, abandonment, modification, or discontinuation of the Control Measures except in accordance with written approval of the Municipality.

8. The Facility Owner shall undertake all necessary repairs, maintenance, or replacement of the Control Measures in accordance with the recommendations of the Inspecting Engineer but only to the extent to comply with the terms and conditions of this Agreement, except to the extent such repairs, maintenance, or replacement are made necessary by the acts or omissions of the Municipality, including without limitation offsite grading. Such repair, maintenance, or replacement shall not require the approval of the Municipality. Repairs, maintenance, or replacements made necessary by the acts or omissions of the Municipality shall be undertaken by the Municipality as its cost and expense.

9. This Agreement shall be recorded in the Office of the County Clerk, County of Ontario by the Municipality.

10. If ever the Municipality reasonably determines that the Facility Owner has failed to maintain, clean, repair, replace, and continue the Control Measures in accordance with the Plans or has failed to undertake necessary corrective action in accordance with Section 8 above, the Municipality shall give the Facility Owner written notice of such a default. In the event the Facility Owner fails to cure such default within thirty (30) days from its receipt of such notice, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation, or maintenance of the Control Measures in accordance with the Plan and to charge the Facility Owner for the reasonable expenses of such steps related thereto; provided however that if the nature of the default is such that it cannot reasonably be cured within such thirty (30) day period, then so long as the Facility Owner commences to cure such default within such thirty (30) day period, and, thereafter, diligently, in good faith and expeditiously proceeds to cure such default before the Municipality may take action under this Section 10. This provision shall not be construed to allow the Municipality to erect any structure of a permanent nature on the Premises of the Facility Owner without first obtaining written approval of the Facility Owner.

11. The parties agree and acknowledge that this Agreement shall cover not only the Control Measures set forth on the Plans, but it also shall cover any alterations or modifications to the Plans that may be approved by the Municipality and Facility Owner after the execution of this Agreement.

12. This Agreement shall be binding upon, and inure to the benefit of, the respective successors and permitted assigns of the parties. This Agreement shall not be assignable by the Municipality but may be assigned or transferred by the Facility Owner. Any assignment or transfer of the Premises by the Facility Owner and relieve the transferor from any further liability or obligations hereunder.

13. All notices required or permitted hereunder shall be in writing and shall be sent to the parties at the following addresses:

If to the Municipality: Stormwater Program Manager
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424

If to the Facility Owner: CGA CR10 LLC
1950 Brighton Henrietta Townline Road
Rochester, NY 14623

With copies to: The DiMarco Group, LLC
1950 Brighton Henrietta Townline Road
Rochester, NY 14623

Any such notices may be sent by: (a) certified mail, return receipt requested, or
(b) a nationally recognized overnight courier

The above addresses may be changed by written notice to the other party. Any such notices shall be deemed effective upon receipts.

14. This Agreement sets forth all of the agreements, conditions, and understandings between the Municipality and the Facility Owner concerning the maintenance of the Control Measures and supersedes any and all prior agreements and understandings between the parties with respect thereto.

15. This Agreement shall be governed exclusively by the laws of the State of New York, without giving effect to choice of laws or choice of laws rules or principles.

16. Issuance of the first Certificate of Occupancy or Certificate of Compliance for the project depicted on the Plans shall be deemed an acknowledgement by the Municipality that the Control Measures have been constructed in accordance with the Plans.

17. This Agreement may be executed in several counterparts, including by facsimile, each of which shall be an original and all of which shall constitute but one and the same instrument.

18. This Agreement may not be amended, changed, modified, altered, or terminated, except by an instrument in writing, signed by the parties hereto.

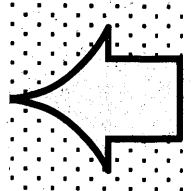
19. This Agreement is effective upon full execution by both parties.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

The parties have entered into this Agreement on this _____ day of _____, 2020.

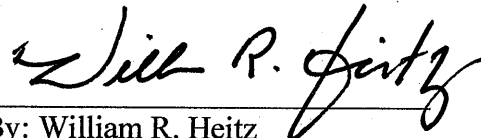
MUNICIPALITY
TOWN OF CANANDAIGUA, NY

By:
Title:
Date:



HERE

FACILITY OWNER
CGA CR10 LLC



By: William R. Heitz
Title: Manager
Date: 10/6/2020

[REMAINDER OF PAGE INTENTIONALLY BLANK]

State of New York)
County of Ontario) ss.:

On the ____ day of _____ in the year ____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledge to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Signature and Office of individual taking acknowledgment

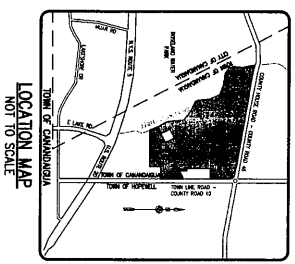
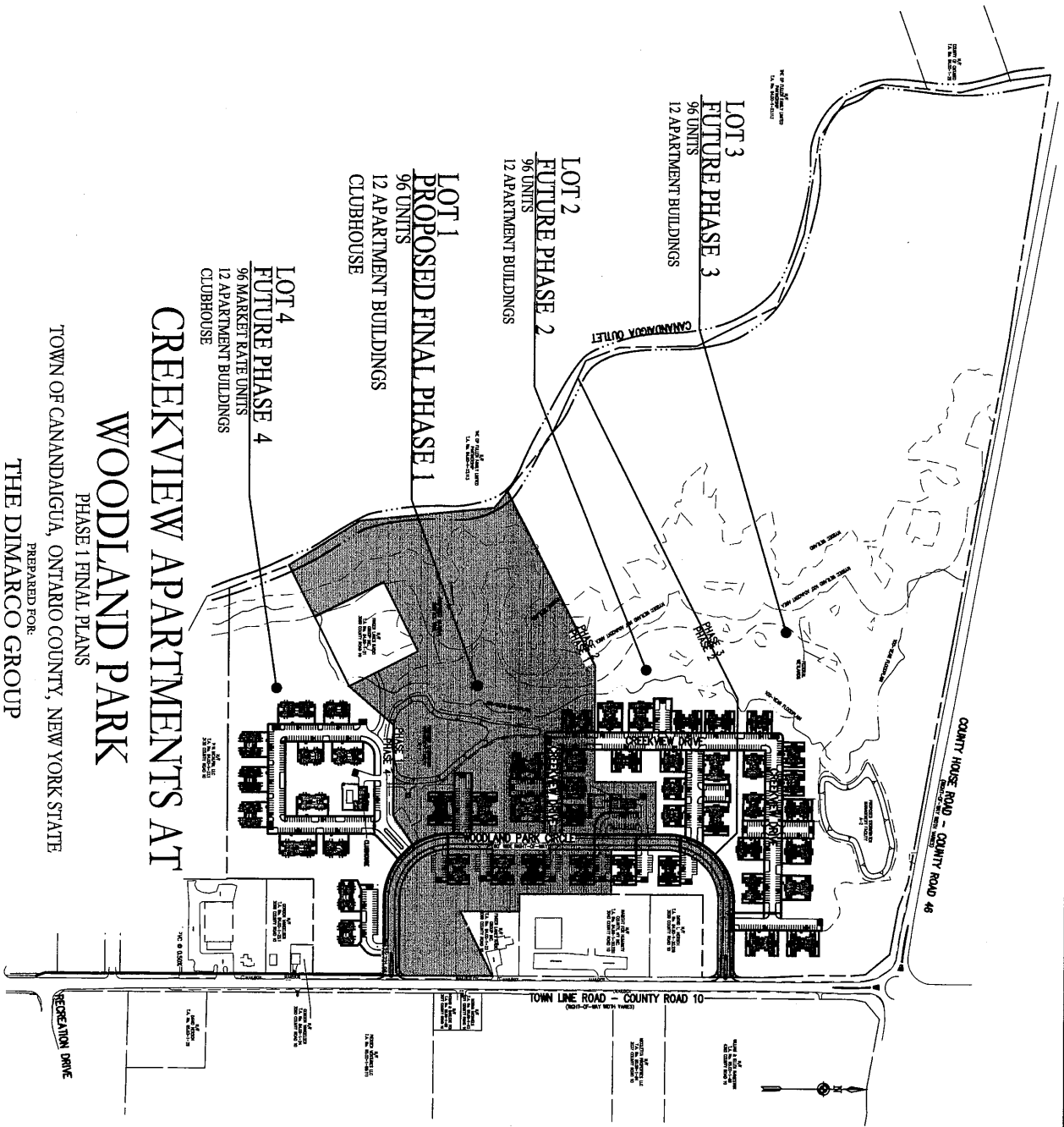
State of Florida)
County of Putnam) ss.:

On the 16 day of October in the year 2020 before me, the undersigned, personally appeared William R. Heitz, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledge to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



Laurie Porath
Signature and Office of individual taking acknowledgment

EXHIBIT A



PHASE 1 FINAL PLANS CREEKVIEW APARTMENTS AT WOODLAND PARK

DWG. NO.	TITLE
2460A.01	COVER SHEET
2460A.02	SITE PLAN SHEET 1 OF 2
2460A.03	SITE PLAN SHEET 2 OF 2
2460A.04	UTILITY PLAN SHEET 1 OF 2
2460A.05	UTILITY PLAN SHEET 2 OF 2
2460A.06	OPERITE UTILITY AND GRADING PLAN
2460A.07	GRADING PLAN SHEET 1 OF 2
2460A.08	GRADING PLAN SHEET 2 OF 2
2460A.09	CONSTRUCTION EROSION CONTROL PLAN SHEET 1 OF 2
2460A.10	CONSTRUCTION EROSION CONTROL PLAN SHEET 2 OF 2
2460A.11	LANDSCAPING PLAN SHEET 1 OF 2
2460A.12	LANDSCAPING PLAN SHEET 2 OF 2
2460A.13	LANDSCAPING PLAN SHEET 3 OF 2
2460A.14	LANDSCAPING PLAN SHEET 4 OF 2
2460A.15	LANDSCAPING PLAN SHEET 5 OF 2
2460A.16	NOTE SHEET
2460A.17	NOTE SHEET SHEET 1 OF 2
2460A.18	NOTE SHEET SHEET 2 OF 2
2460A.19	PROFILE SHEET SHEET 1 OF 2
2460A.20	PROFILE SHEET SHEET 2 OF 2
2460A.21	DETAIL SHEET SHEET 1 OF 2
2460A.22	DETAIL SHEET SHEET 2 OF 2
2460A.23	DETAIL SHEET SHEET 3 OF 2
2460A.24	DETAIL SHEET SHEET 4 OF 2
2460A.25	DETAIL SHEET SHEET 5 OF 2
2460A.26	DETAIL SHEET SHEET 6 OF 2
2460A.27	DETAIL SHEET SHEET 7 OF 2
2460A.28	DETAIL SHEET SHEET 8 OF 2
2460A.29	DETAIL SHEET SHEET 9 OF 2
2460A.30	DETAIL SHEET SHEET 10 OF 2
2460A.31	DETAIL SHEET SHEET 11 OF 2
2460A.32	DETAIL SHEET SHEET 12 OF 2
2460A.33	DETAIL SHEET SHEET 13 OF 2
2460A.34	DETAIL SHEET SHEET 14 OF 2
2460A.35	DETAIL SHEET SHEET 15 OF 2
2460A.36	DETAIL SHEET SHEET 16 OF 2
2460A.37	DETAIL SHEET SHEET 17 OF 2
2460A.38	DETAIL SHEET SHEET 18 OF 2
2460A.39	DETAIL SHEET SHEET 19 OF 2
2460A.40	DETAIL SHEET SHEET 20 OF 2
2460A.41	DETAIL SHEET SHEET 21 OF 2
2460A.42	DETAIL SHEET SHEET 22 OF 2
2460A.43	DETAIL SHEET SHEET 23 OF 2
2460A.44	DETAIL SHEET SHEET 24 OF 2
2460A.45	DETAIL SHEET SHEET 25 OF 2
2460A.46	DETAIL SHEET SHEET 26 OF 2
2460A.47	DETAIL SHEET SHEET 27 OF 2
2460A.48	DETAIL SHEET SHEET 28 OF 2
2460A.49	DETAIL SHEET SHEET 29 OF 2
2460A.50	DETAIL SHEET SHEET 30 OF 2
2460A.51	DETAIL SHEET SHEET 31 OF 2
2460A.52	DETAIL SHEET SHEET 32 OF 2
2460A.53	DETAIL SHEET SHEET 33 OF 2
2460A.54	DETAIL SHEET SHEET 34 OF 2
2460A.55	DETAIL SHEET SHEET 35 OF 2
2460A.56	DETAIL SHEET SHEET 36 OF 2
2460A.57	DETAIL SHEET SHEET 37 OF 2
2460A.58	DETAIL SHEET SHEET 38 OF 2
2460A.59	DETAIL SHEET SHEET 39 OF 2
2460A.60	DETAIL SHEET SHEET 40 OF 2
2460A.61	DETAIL SHEET SHEET 41 OF 2
2460A.62	DETAIL SHEET SHEET 42 OF 2
2460A.63	DETAIL SHEET SHEET 43 OF 2
2460A.64	DETAIL SHEET SHEET 44 OF 2
2460A.65	DETAIL SHEET SHEET 45 OF 2
2460A.66	DETAIL SHEET SHEET 46 OF 2
2460A.67	DETAIL SHEET SHEET 47 OF 2
2460A.68	DETAIL SHEET SHEET 48 OF 2
2460A.69	DETAIL SHEET SHEET 49 OF 2
2460A.70	DETAIL SHEET SHEET 50 OF 2
2460A.71	DETAIL SHEET SHEET 51 OF 2
2460A.72	DETAIL SHEET SHEET 52 OF 2
2460A.73	DETAIL SHEET SHEET 53 OF 2
2460A.74	DETAIL SHEET SHEET 54 OF 2
2460A.75	DETAIL SHEET SHEET 55 OF 2
2460A.76	DETAIL SHEET SHEET 56 OF 2
2460A.77	DETAIL SHEET SHEET 57 OF 2
2460A.78	DETAIL SHEET SHEET 58 OF 2
2460A.79	DETAIL SHEET SHEET 59 OF 2
2460A.80	DETAIL SHEET SHEET 60 OF 2
2460A.81	DETAIL SHEET SHEET 61 OF 2
2460A.82	DETAIL SHEET SHEET 62 OF 2
2460A.83	DETAIL SHEET SHEET 63 OF 2
2460A.84	DETAIL SHEET SHEET 64 OF 2
2460A.85	DETAIL SHEET SHEET 65 OF 2
2460A.86	DETAIL SHEET SHEET 66 OF 2
2460A.87	DETAIL SHEET SHEET 67 OF 2
2460A.88	DETAIL SHEET SHEET 68 OF 2
2460A.89	DETAIL SHEET SHEET 69 OF 2
2460A.90	DETAIL SHEET SHEET 70 OF 2
2460A.91	DETAIL SHEET SHEET 71 OF 2
2460A.92	DETAIL SHEET SHEET 72 OF 2
2460A.93	DETAIL SHEET SHEET 73 OF 2
2460A.94	DETAIL SHEET SHEET 74 OF 2
2460A.95	DETAIL SHEET SHEET 75 OF 2
2460A.96	DETAIL SHEET SHEET 76 OF 2
2460A.97	DETAIL SHEET SHEET 77 OF 2
2460A.98	DETAIL SHEET SHEET 78 OF 2
2460A.99	DETAIL SHEET SHEET 79 OF 2
2460A.100	DETAIL SHEET SHEET 80 OF 2

FOR CONSTRUCTION

TOWN OF CANADAGUA, ONTARIO COUNTY, NEW YORK STATE
 PREPARED FOR:
 THE DIMARCO GROUP
 1950 BRIGHTON HENRIETTA TOWN LINE ROAD
 ROCHESTER, NEW YORK 14623

SCALE: 1"=200'
 DRAWING NUMBER: 2460A-01
 DATE: JULY 2017
 LAST REVISION: NONE, N. 2018
 ENGINEERS & SURVEYORS • LANDSCAPE ARCHITECTS
 B.M. ASSOCIATES
 1100 HENRIETTA TOWN LINE ROAD
 SUITE 200
 ROCHESTER, NEW YORK 14623
 TEL: 585-277-2700
 FAX: 585-277-2700
 WWW.BM-ASSOCIATES.COM

DATE: 10/17/17
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

LEGEND

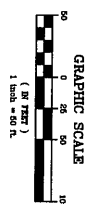
[Symbol]	PROPERTY LINE
[Symbol]	LOT LINE
[Symbol]	STREET LINE
[Symbol]	NO TYP. PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	PROPOSED DRIVE

AFFORDABLE HOUSING UNITS

[Symbol]	1 BDRM / 1 BATH 8 UNITS PER BUILDING 15,000 SF
[Symbol]	2 BDRM / 1 BATH 8 UNITS PER BUILDING 15,000 SF
[Symbol]	3 BDRM / 1 BATH 8 UNITS PER BUILDING 15,000 SF

**SEE SITE PLAN
(SHEET 1 OF 2) FOR SITE
NOTES, BME DWG 2490A-02**

REQUIRED DISTANCES	EXISTING	NEW
POSTED SPEED LIMIT TOWN LINE ROAD - COUNTY ROAD 10: 45 mph		
REQUIRED DISTANCES		
REQUIRED DISTANCES		



FOR CONSTRUCTION

PHILIPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84-00-1-16, 84-00-1-20-110, 84-00-1-20-122 & 84-00-1-43-1

**CREEKVIEW APARTMENTS AT
WOODLAND PARK**

THE OWNERS: CREEKVIEW APARTMENTS AT WOODLAND PARK
1500 BROOKVIEW DRIVE, SUITE 100
ROCKVILLE, MD 20850

CLIENT: [Name]
DATE: 10/17/17

PROJECT NO: 2490A
SHEET NO: 03 (SHEET 2 OF 3)

**PHASE 1 FINAL
SITE PLAN**



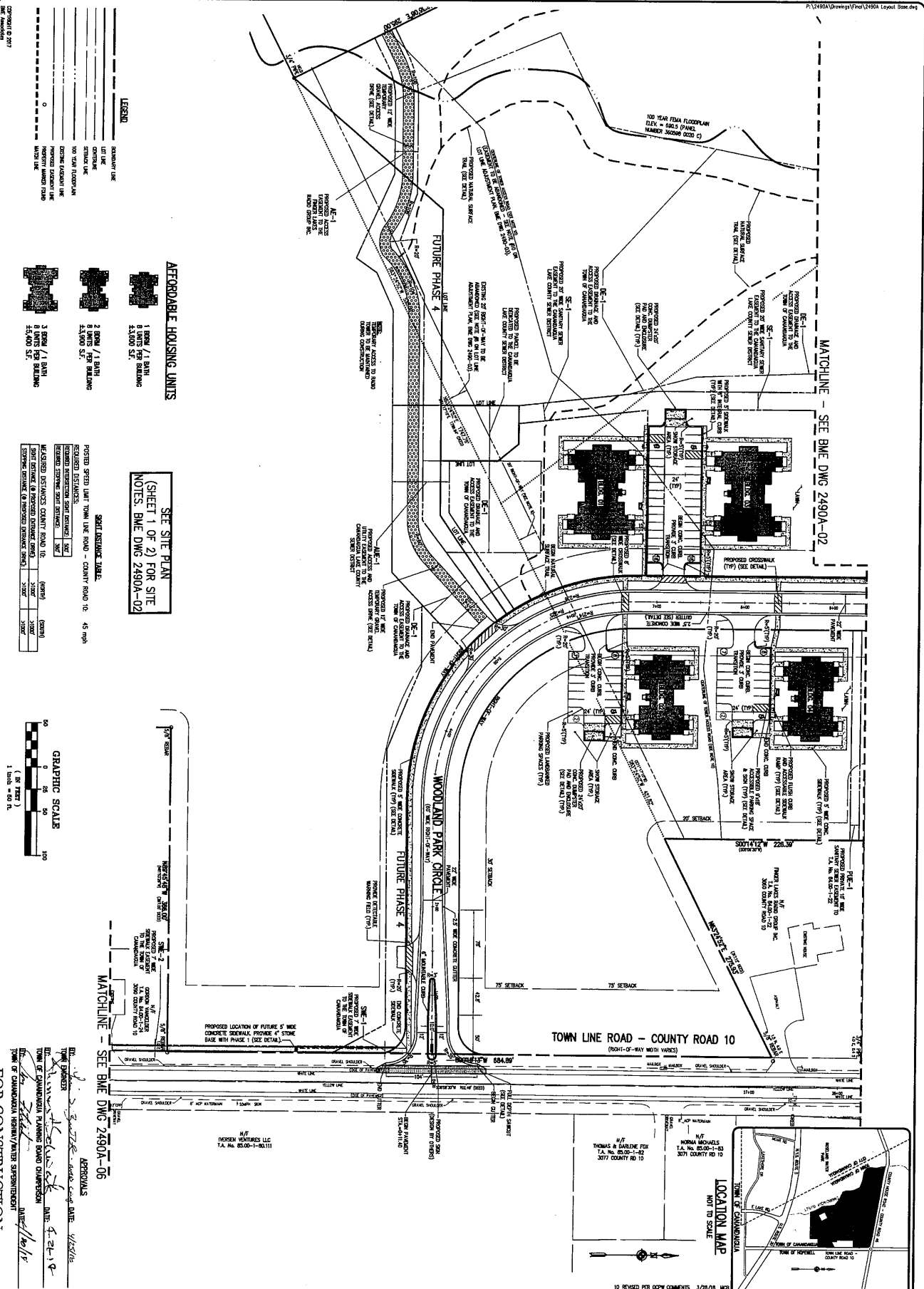
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

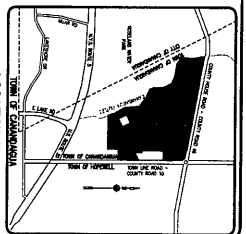
19 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BME.COM

PHONE: 516-371-7740
FAX: 516-371-7799

NO.	REVISION	DATE
1	REVISED PER CCOP COMMENTS	11/6/17 BPC
2	REVISED PER CCOP COMMENTS	2/24/17 BPC
3	REVISED PER GENERAL COMMENTS	2/24/17 BPC
4	REVISED PER TOWN ENGINEER AND GENERAL COMMENTS	6/23/17 BPC
5	REVISED PER TOWN COMMENTS	6/23/17 BPC
6	REVISED PER TOWN ENGINEER COMMENTS	6/17/17 BPC
7	REVISED PER CCOP AND CLIENT COMMENTS	7/27/17 BPC

LOCATION MAP
NOT TO SCALE



[illegible][illegible]

- | | | | |
|----|--|---------|-----|
| 12 | REVISED MM PHASE 1 LIMIT NOTE | 4/2/18 | MCB |
| 11 | REVISED PER OCPW COMMENTS | 3/28/18 | MCB |
| 10 | REVISED MM PER TOWN COMMENTS & SAM PER OCPW COMMENTS | 3/21/18 | NAS |
| 9 | REVISED PER OCPW COMMENTS | 3/08/18 | MCB |
| 8 | REVISED PER OCPW COMMENTS | 1/18/18 | ZPC |

- | | |
|---|---------------------------------------|
| 7 | REVISED PER OGDPM COMMENTS |
| 6 | REVISED PER OGDPM COMMENTS |
| 5 | REVISED PER NYSDOH COMMENTS |
| 4 | REVISED PER NYSDOH COMMENTS |
| 3 | REVISED PER TOWN ENGINEER AND GENERAL |
| 2 | REVISED PER TOWN ENGINEER COMMENTS |
| 1 | REVISED PER OGDPM AND CLIENT COMMENTS |
| | DESIGN/DATE |

Directly Affected
Not thinking it as exempt from the new law, South Education Law Article 143 states: "2008 not subject to this law."

FOR CONSTRUCTION

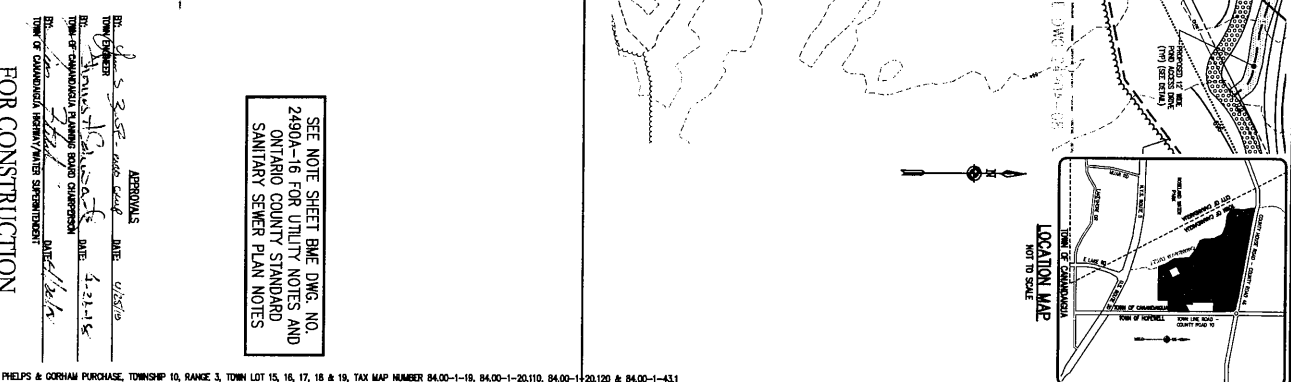
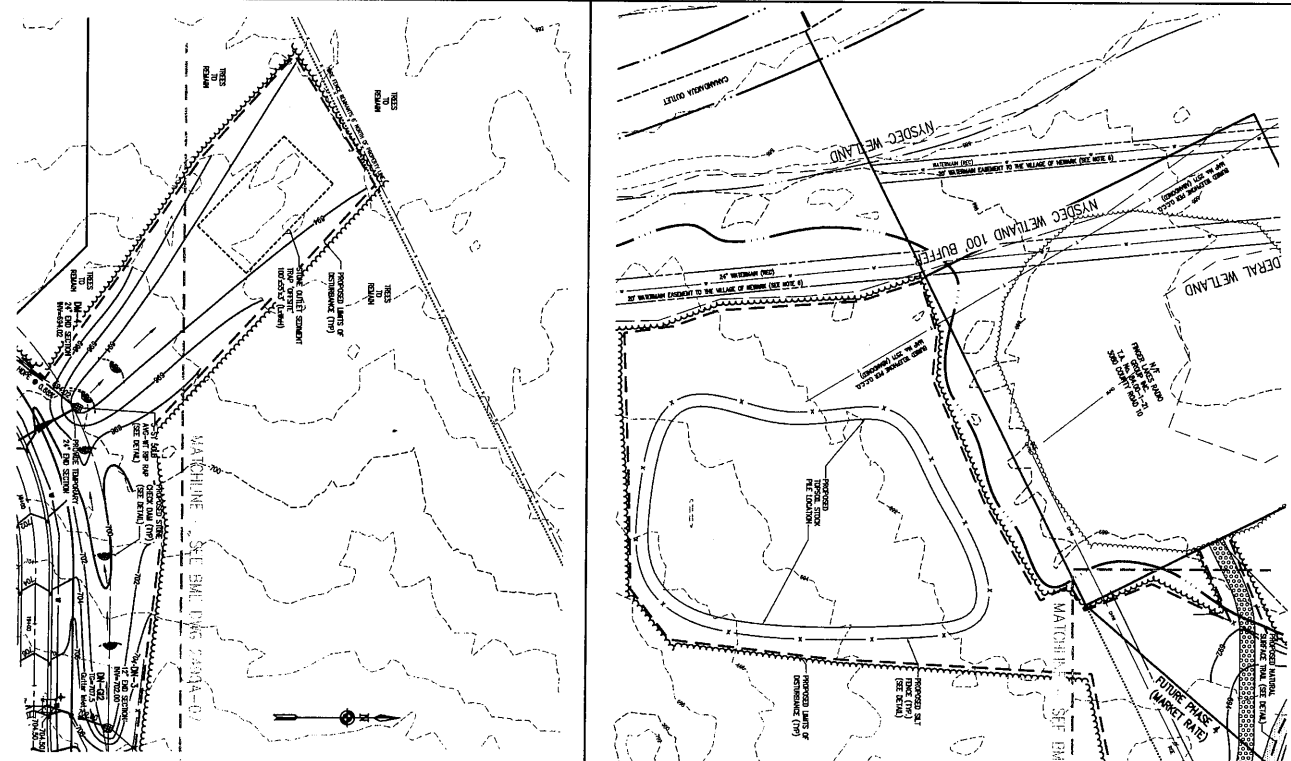
PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-19, 84.00-1-20.110, 84.00-1-20.120 & 84.00-1-43.1

PROJECT NO. 2490A DRAWING NO. 04	PROJECT MANAGER	CREEKVIEW APARTMENTS AT WOODLAND PARK	
	PROJECT NUMBER	CITY OF CAVANAUGH, ONTARIO COUNTY, NEW YORK STATE	
	DATE	THE DAWGDOG GROUP	
	PROJECT DESCRIPTION	1500 BROUGHTON HENDRICKS TOWN LINE ROAD	
	DATE REVISION	HOUSTON, NEW YORK 14823	
2. SHEET	CLIENT	PHASE 1 / FINAL	
SCALE	DRAWING TITLE	UTILITY PLAN	
DATE ISSUED			
JUL 2017			

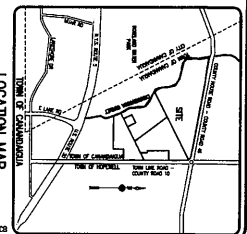
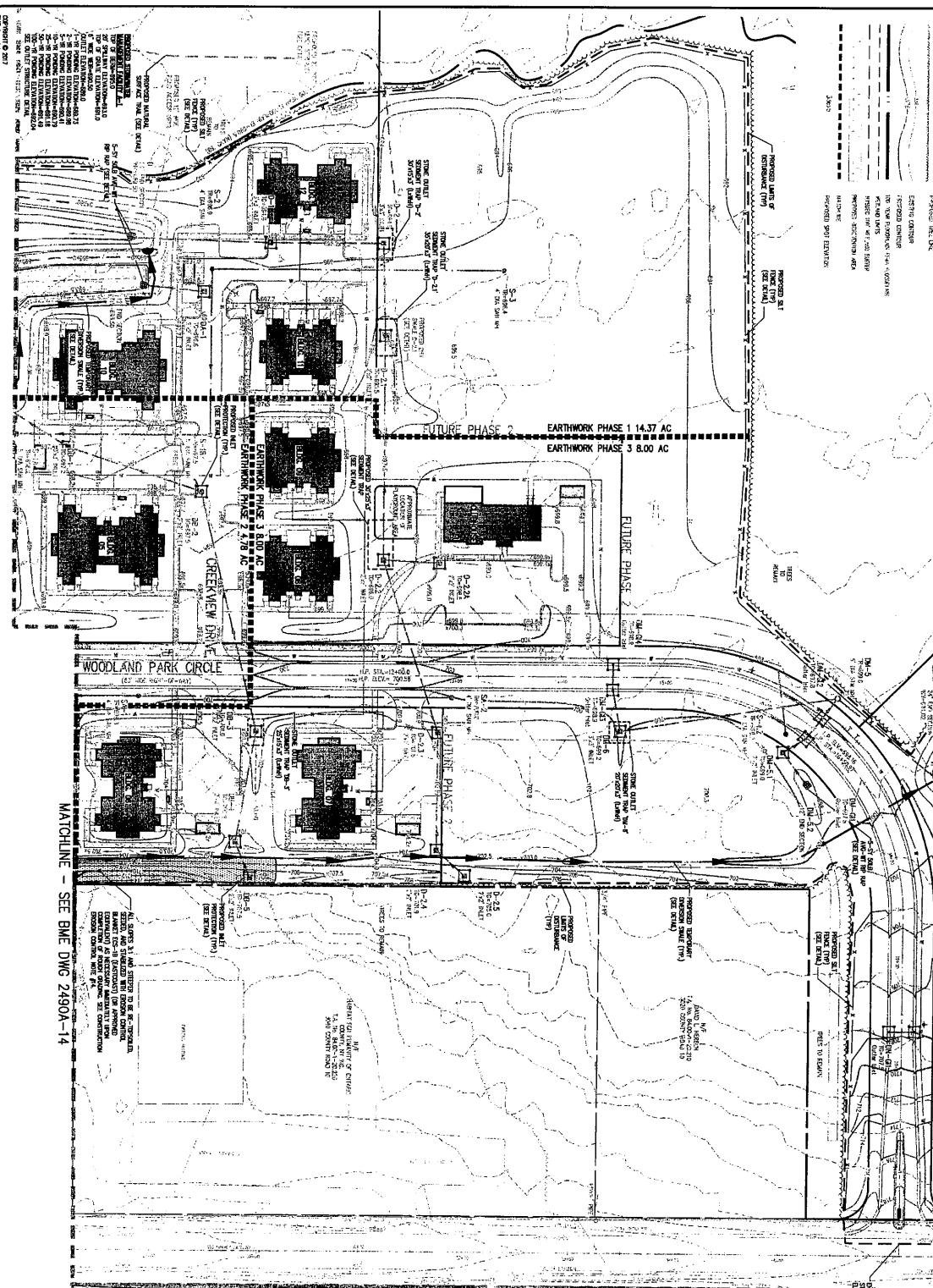
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7109



1. PROPOSED LOT LINES
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SEE NOTE SHEET BME DWG. NO.
 2490A-16 FOR CONSTRUCTION
 EROSION CONTROL NOTES AND
 SEQUENCE OF CONSTRUCTION
 NOTES

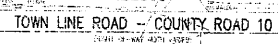
TOWN OF CANNONDAigua PLANNING BOARD COMMISSION
 DATE: 1/1/18
 FOR CONSTRUCTION

PROJECT NAME	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	TOWN OF CANNONDAigua, ONTARIO COUNTY, NEW YORK STATE
CLIENT	THE OWNERS GROUP 1550 BRIGHTON AVENUE, SUITE 100 ROCHESTER, NEW YORK 14623
DRAWING TITLE	CONSTRUCTION EROSION CONTROL PLAN
PROJECT NO.	2490A
DATE	1/1/18
SCALE	AS SHOWN
DRAWING NO.	09



B. M. ASSOCIATES
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7	REVISED PER DCPW COMMENTS	3/8/18	WCB
6	REVISED PER DCPW COMMENTS	1/18/18	DPC
5	REVISED PER DCPW COMMENTS	1/18/18	WCB
4	REVISED PER DCPW COMMENTS	1/18/18	DPC
3	REVISED PER DCPW COMMENTS	1/18/18	WCB
2	REVISED PER DCPW COMMENTS	1/18/18	DPC
1	REVISED PER TOWN ENGINEER COMMENTS	1/18/18	DPC
REVISIONS		DATE	BY



7	R
6	R
5	R
4	R
3	R
2	R
1	R

to the "darker" side of the human mind.



B&W
ENGINE



PROJECT
LOCATION
CLIENT
DRAWING

2490A
DRAWING NO.

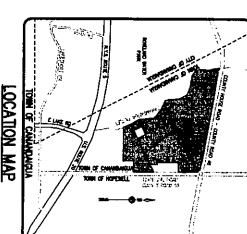
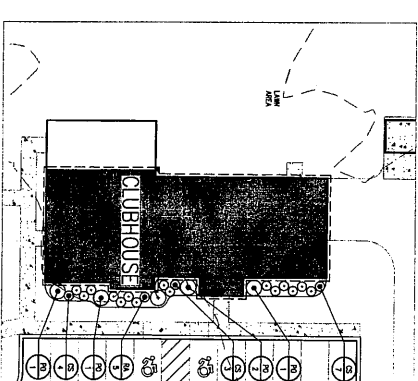
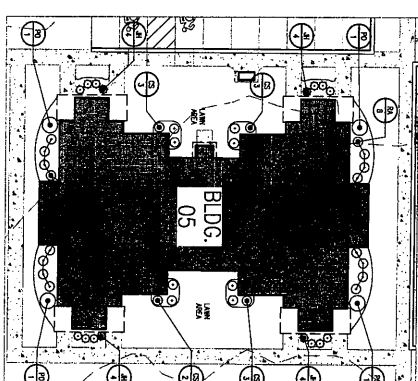
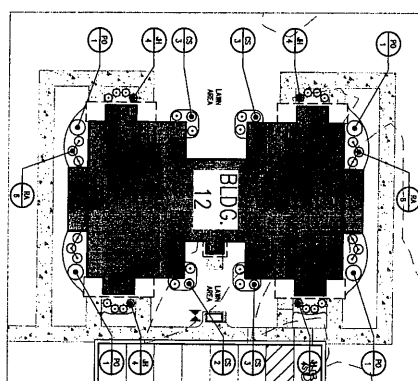
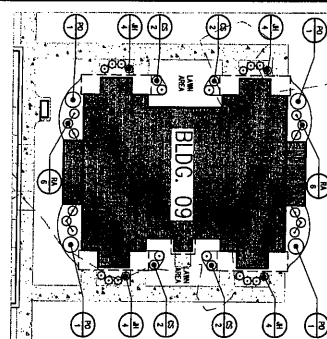
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(Sheet 2 of 2)

EROSION CONTROL NOTES AND
SEQUENCE OF CONSTRUCTION

FOR CONSTRUCTION

PHILIP

PROJECT NUMBER P. 14585 PROJECT OWNER CREEKVIEW APARTMENTS 1500 BROADWAY NEW YORK, NY 10014 DATE JAN 2017 DRAWING NO. 2490A SHEET NO. 11 (SEEET 1 OF 3)	PROJECT CREEKVIEW APARTMENTS AT WOODLAND PARK LOCATION TOWN OF CARMANAGLIA, ONTARIO COUNTY, NEW YORK STATE CLIENT THE OWNERS GROUP 1500 BROADWAY NEW YORK, NY 10014 DRAWING TITLE PHASE 1 FINAL LANDSCAPE PLAN		 <p>ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS</p> <p>14117 BRIDGE LANE EAST FAIRPORT, NEW YORK 14450 WWW.BMEPCOM</p> <p>PHONE 516-377-7346 FAX 516-377-7309</p>
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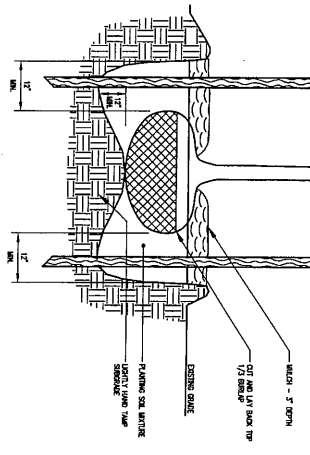
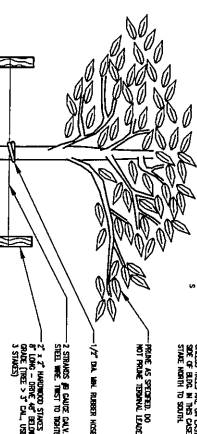
ACCOMMODATION HOUSING UNITS
SCALE: 1"=20'

SEE BME DRAWING #2490-12 FOR
PHASE 1 FOUNDATION PLANT
MATERIAL SPECIES LIST

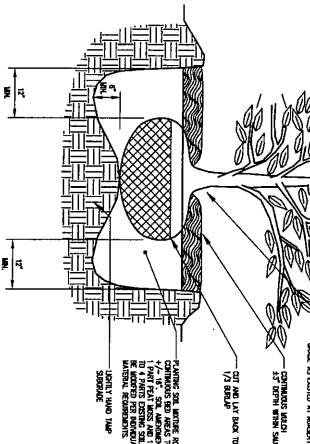
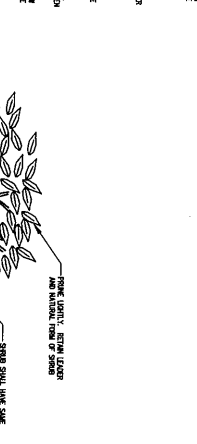
SEE BME DRAWING #2490-11 FOR
PHOSPHORUS NOTES

SEE BME DRAWING #2490-11 FOR
LANDSCAPE NOTES

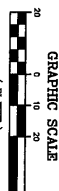
SCAPE DETAIL



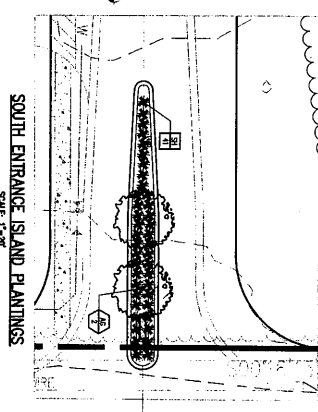
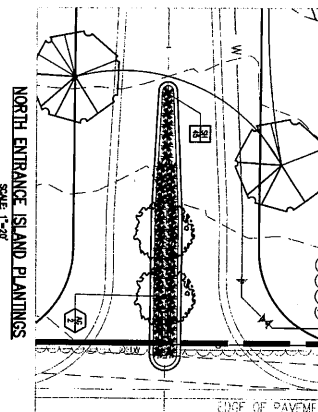
TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



GRAPHIC SCALE



SEE BME DRAWING #2490-12 FOR
ISLAND PLANT MATERIAL SPECIES
LIST

APPROVALS

TOWN ENGINEER
DATE: 4-26-14
TOWN OF CANAWANDA TOWN ENGINEER
DATE: 4/26/14
TOWN OF CANAWANDA TOWN ENGINEER
DATE: 4/26/14

FOR CONSTRUCTION

PHILIPS & CORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-19, 84.00-1-20, 84.00-1-21, 84.00-1-22 & 84.00-1-43

CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANAWANDA, ONTARIO COUNTY, NEW YORK STATE
1950 BRIDGE LANE EAST
ROCHESTER, NEW YORK 14623

DETAILS / FOUNDATION AND ISI AND LANDSCAPE PLAN

PROJECT NO. 2490A
DATE: 4/26/14
SCALE: 1"=20'



BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

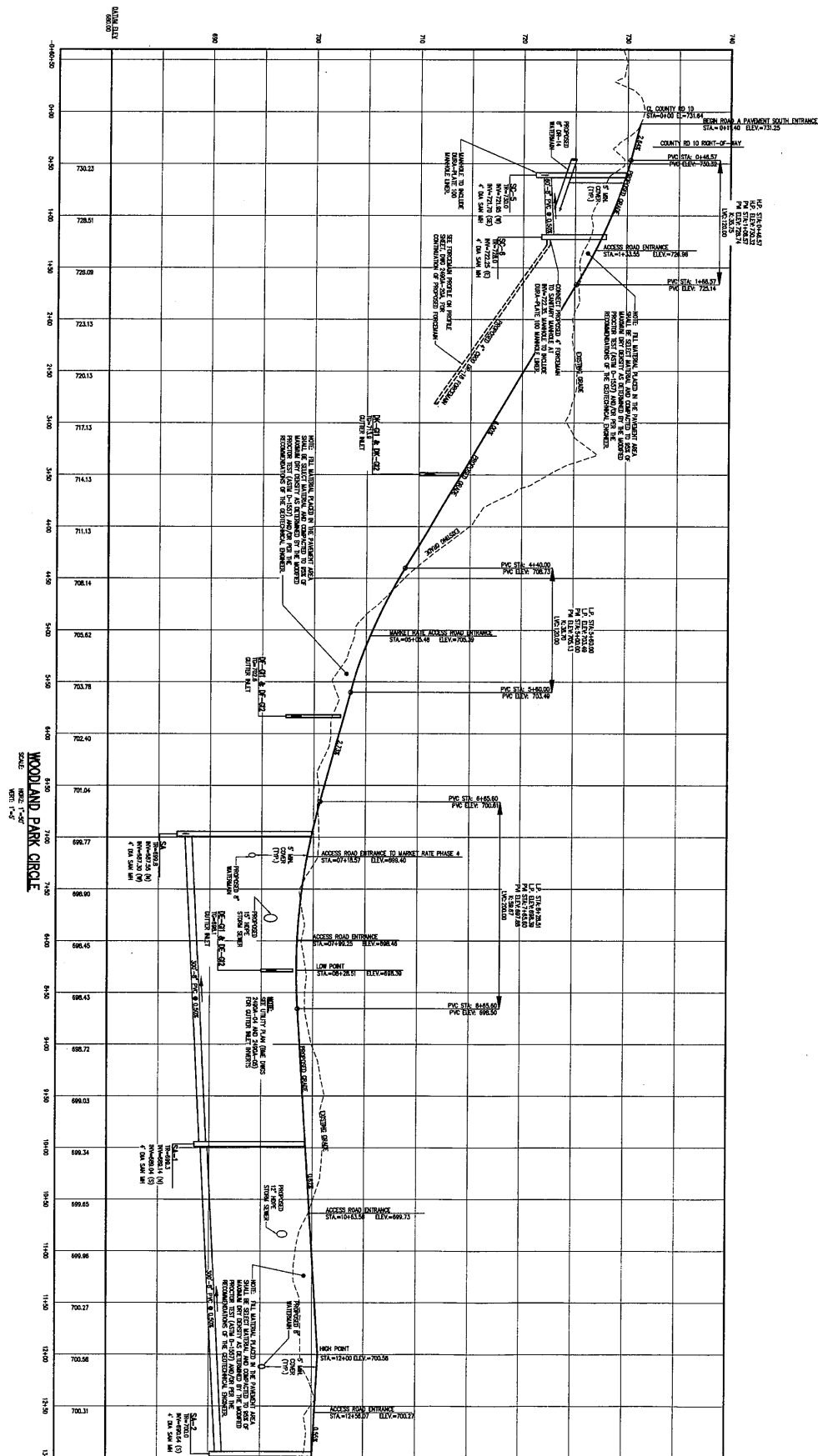
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCON.COM

PHONE: 585-377-7300
FAX: 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4	REVISED PER CCWP COMMENTS	1/16/13	ZPC
3	REVISED PER CCWP COMMENTS	1/16/13	ZPC
2	REVISED PER TOWN ENGINEER AND GENERAL COMMENTS	8/22/11	ZPC
1	REVISED PER TOWN ENGINEER COMMENTS	8/11/11	LRT

Notes:
1. All work shall be in accordance with the latest edition of the Uniform Standards of Professional Practice for Engineers and Surveyors, published by the American Society of Professional Engineers (ASCE) and the American Society of Professional Surveyors (ASPS).
2. All work shall be in accordance with the latest edition of the Uniform Standards of Professional Practice for Landscape Architects, published by the American Society of Professional Landscape Architects (ASPLA).
3. All work shall be in accordance with the latest edition of the Uniform Standards of Professional Practice for Engineers, Surveyors, and Landscape Architects, published by the American Society of Professional Engineers (ASCE), the American Society of Professional Surveyors (ASPS), and the American Society of Professional Landscape Architects (ASPLA).
4. All work shall be in accordance with the latest edition of the Uniform Standards of Professional Practice for Engineers, Surveyors, and Landscape Architects, published by the American Society of Professional Engineers (ASCE), the American Society of Professional Surveyors (ASPS), and the American Society of Professional Landscape Architects (ASPLA).

DATE: 10/1/2017
DRAWN BY: J. B. BROWN



MATCHLINE - SEE BME DWG 2490-18

FOR CONSTRUCTION

APPROVALS
 BY: J. B. BROWN DATE: 10/1/2017
 FOR: CREEKVIEW APARTMENTS AT WOODLAND PARK
 TOWN OF CANADAMOGA, NEW YORK
 DATE: 10/1/2017

PROJECT NUMBER: 2490A
 PROJECT LOCATION: CREEKVIEW APARTMENTS AT WOODLAND PARK
 PROJECT CLIENT: TOWN OF CANADAMOGA, NEW YORK
 PROJECT DATE: 10/1/2017

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
 LOCATION: TOWN OF CANADAMOGA, NEW YORK
 CLIENT: TOWN OF CANADAMOGA, NEW YORK
 DRAWING TITLE: PROFILE SHEET



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 101 WEST BRIDGE LANE, SUITE 200
 FAIRPORT, NEW YORK 14450
 WWW.BMADP.COM
 PHONE: 585-377-7700
 FAX: 585-377-7700

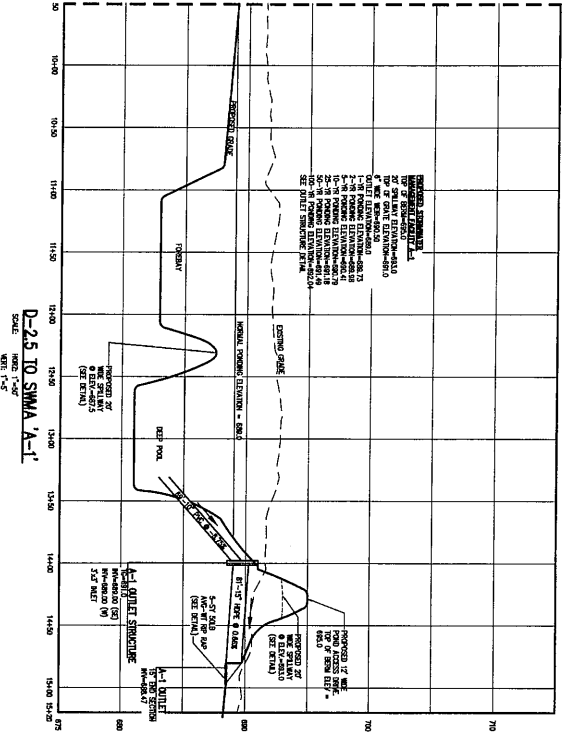
REVISIONS	DATE	BY
7. REVISED FOR SANITARY PER OCPW COMMENTS	4/2/18	MCI
6. REVISED FOR OCPW COMMENTS	3/8/18	MCI
5. REVISED FOR OCPW COMMENTS	1/8/18	ZPC
4. REVISED FOR OCPW COMMENTS	11/9/17	MCI
3. REVISED FOR OCPW COMMENTS	10/24/17	ZPC
2. REVISED FOR OCPW COMMENTS	10/12/17	ZPC
1. REVISED FOR TOWN ENGINEER COMMENTS	8/11/17	ZPC

DATE: 8/11/17



APPROVALS

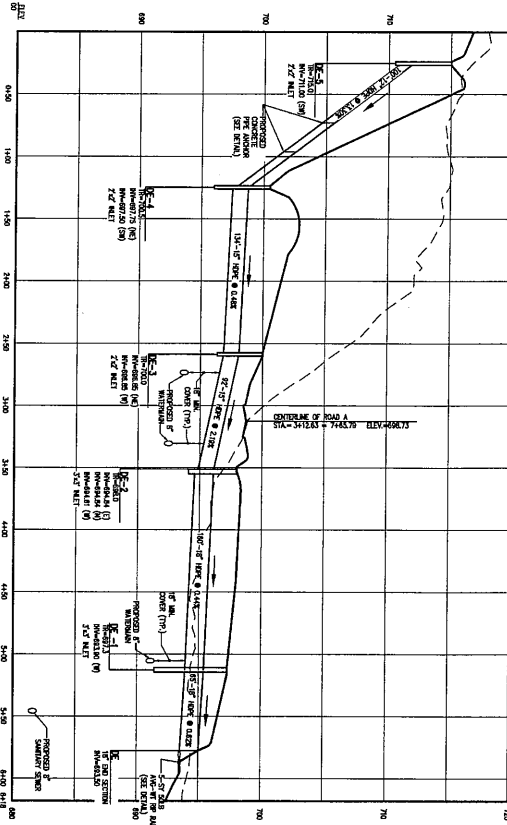
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D-25 TO SWMA 'A-1'

SCALE: HORIZ. 1"=40'

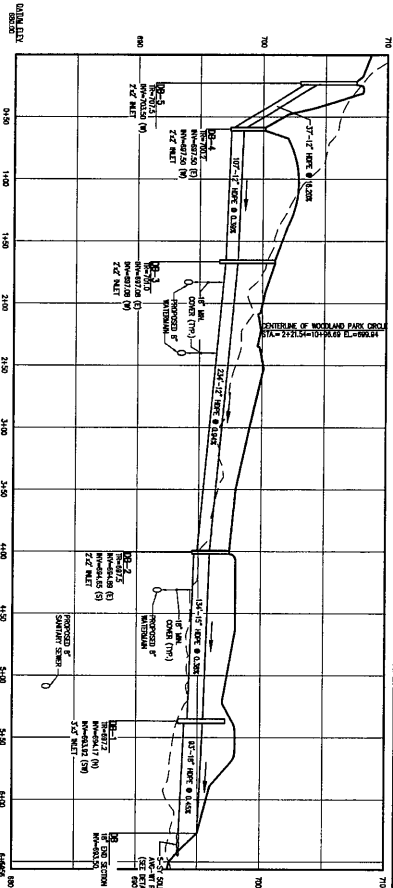
VERT. 1"=5'



D-5 TO DE

SCALE: HORIZ. 1"=40'

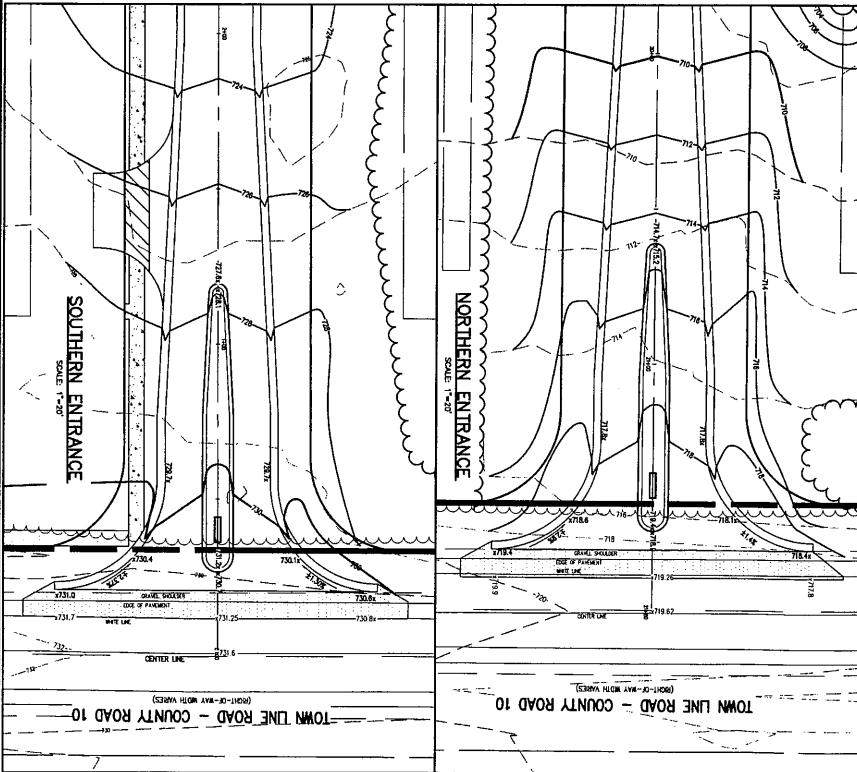
VERT. 1"=5'



D-5 TO D9

SCALE: HORIZ. 1"=40'

VERT. 1"=5'



FOR CONSTRUCTION

SOUTHERN ENTRANCE

NORTHERN ENTRANCE

TOWN LINE ROAD - COUNTY ROAD 10

TOWN LINE ROAD - COUNTY ROAD 10

DATE: 4/26/18

DATE: 4/26/18

DATE: 4/26/18

DATE: 4/26/18

DATE: 4/26/18

CREEKVIEW APARTMENTS AT
WOODLAND PARK
TOWN OF CANNONDAUGA, ONTARIO COUNTY, NEW YORK STATE
1960 BROOKTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
PHASE 1 FINAL
PROFILE SHEET



BMT ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
15 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMT.COM
PHONE 585-377-7340
FAX 585-377-7349

NO.	REVISIONS	DATE	BY
1	REVISED PER TOWN ENGINEER COMMENTS	8/17/17	2PC
2	REVISED PER TOWN ENGINEER COMMENTS	10/11/17	2PC
3	REVISED PER TOWN ENGINEER COMMENTS	10/24/17	2PC
4	REVISED PER TOWN ENGINEER COMMENTS	11/21/17	2PC
5	REVISED PER TOWN ENGINEER COMMENTS	1/18/18	2PC

DATE: 4/26/18



FOR CONSTRUCTION

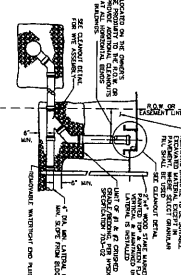
The "staggered delivery" of this law to any jurisdiction, whether it is a city, county or state, depends on the location of a business enterprise or a newspaper or news service. In the case of a newspaper or news service, the date of publication or news service is critical. The delivery enterprise is first, and the location of the law is the last, and the location is the "staggered" delivery of the law. The date of publication or news service is the "staggered" delivery of the law.

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10 LIPT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

PHONE 585-377-7160
FAX 585-377-7309

PROJECT NO. 2490A		PROJECT NAME CREEKVIEW APARTMENTS AT WOODLAND PARK	
DRAWING NO. 20A		LOCATION TOWN OF CANADAMARKET, ONTARIO COUNTY, NEW YORK STATE	
DATE ISSUED JUL 2007		CLIENT THE SHARPO GROUP 1900 BRIDGTON HARBORVIEW TOWN LINE ROAD ROCHESTER, NEW YORK 14623	
DATE REVISION N/A		PHASE 1 FINAL PROFILE SHEET	

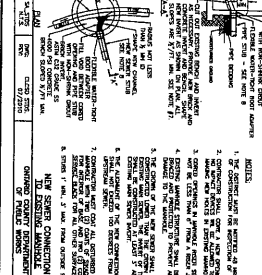


STORM SEWER MANHOLE DETAIL

1. MANHOLE FRAME SHALL BE CAST IN PLACE CONCRETE WITH REINFORCING BARS. THE FRAME SHALL BE 18" THICK AND 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

2. THE MANHOLE COVER SHALL BE 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

3. THE MANHOLE COVER SHALL BE 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

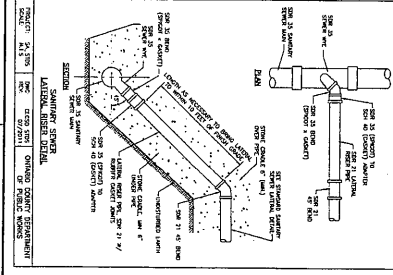


STORM SEWER MANHOLE DETAIL

1. THE MANHOLE SHALL BE 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

2. THE MANHOLE SHALL BE 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

3. THE MANHOLE SHALL BE 36" DIA. WITH A 12" DIA. OPENING FOR THE MANHOLE COVER.

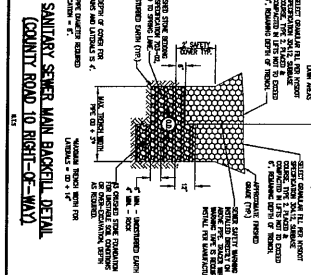


STORM SEWER MANHOLE DETAIL

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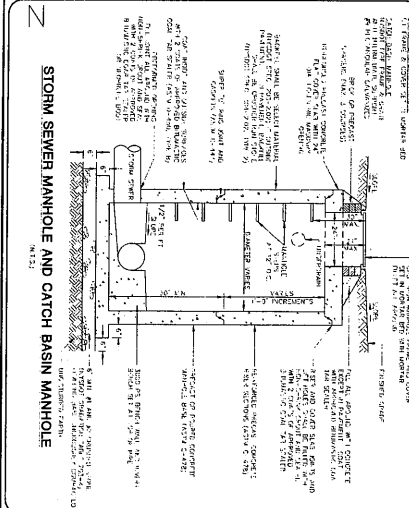


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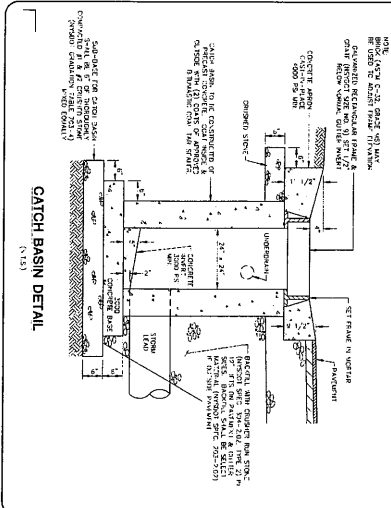


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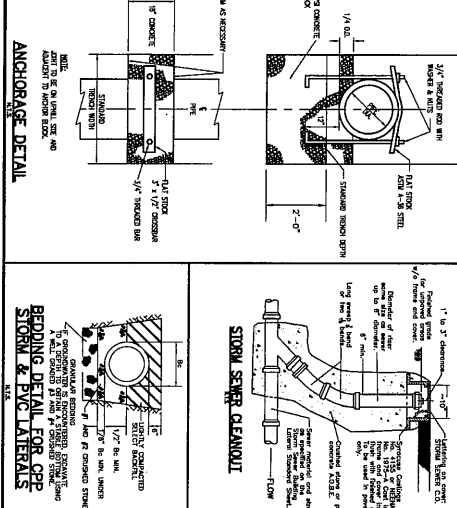


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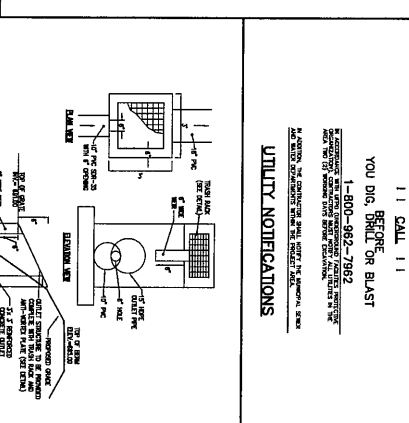


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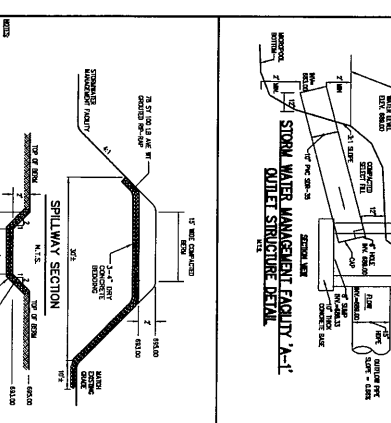


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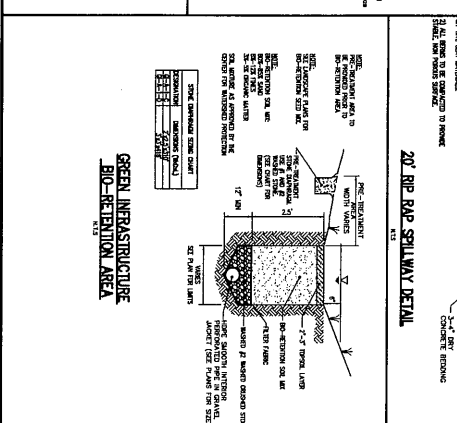


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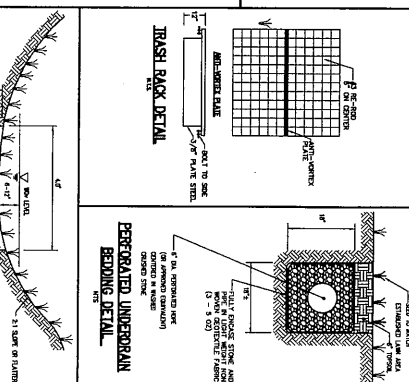


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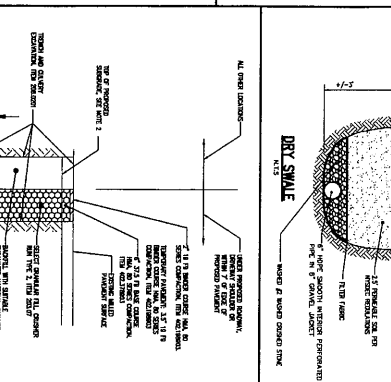


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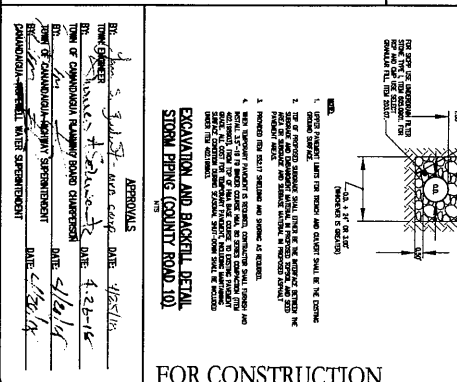


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REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION FOR TOWN ENGINEER COMMENTS	6/11/17
2	REVISION FOR VALUITY PUMP COMMENTS	6/11/17
3	REVISION FOR COPE COMMENTS	6/11/17
4	REVISION FOR COPE COMMENTS	6/11/17
5	REVISION FOR COPE COMMENTS	6/11/17
6	REVISION FOR COPE COMMENTS	6/11/17

B&T ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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FAIRPORT NEW YORK 14450
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FAX 516-377-7109
WWW.B&T-CA.COM



CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CAYUGA, CAYUGA COUNTY, NEW YORK STATE
1500 WOODBURN AVENUE
PHASE 1 FINAL
DETAIL SHEET

PROJECT CHARGED
DATE: 5/18/17
SCALE: 1"=10'-0"
DATE: 5/18/17
2490A
122
(SHEET 1 OF 5)

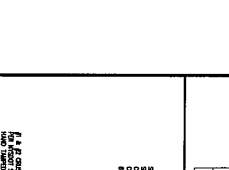
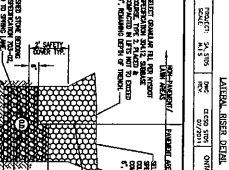
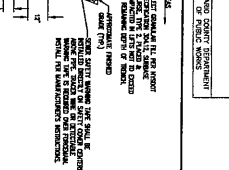
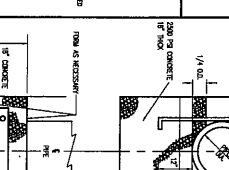
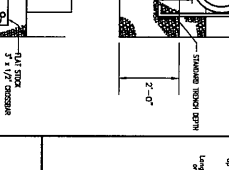
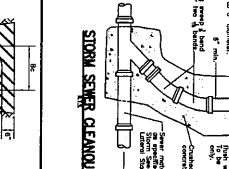
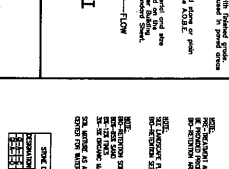
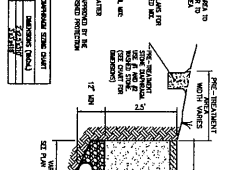
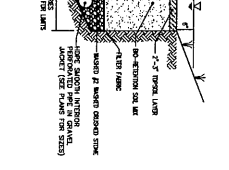
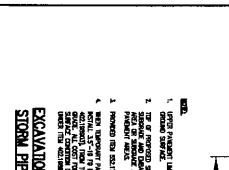
FOR CONSTRUCTION

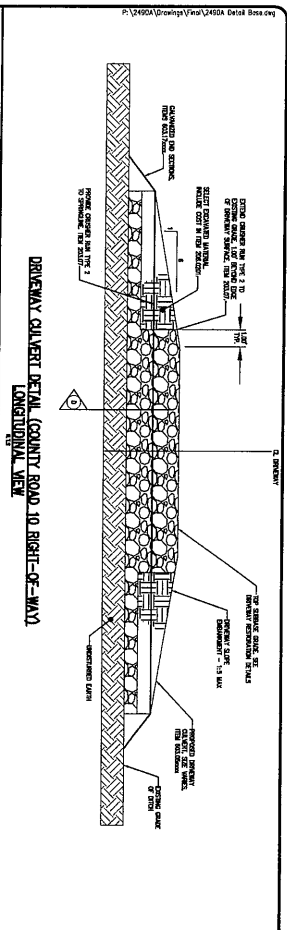
EXCAVATION AND BACKFILL DETAIL
STORM PILING (COUNT ROAD 10)

1. EXCAVATION SHALL BE 18" DEEP AND 18" WIDE.

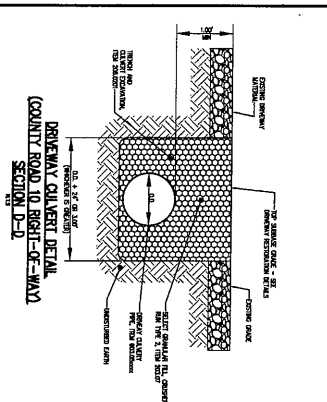
2. EXCAVATION SHALL BE 18" DEEP AND 18" WIDE.

3. EXCAVATION SHALL BE 18" DEEP AND 18" WIDE.

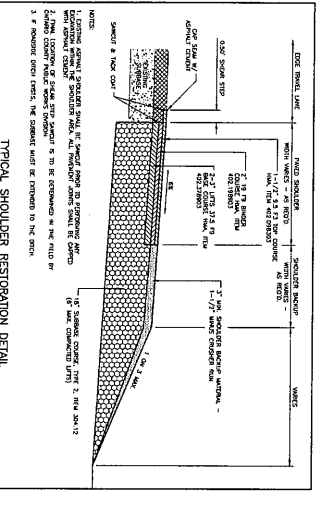




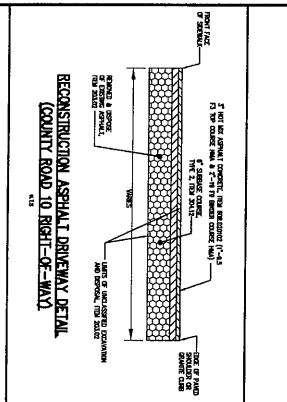
DRIVEWAY CULVERT DETAIL (COUNTY ROAD 10 RIGHT-OF-WAY)
LONGITUDINAL VIEW



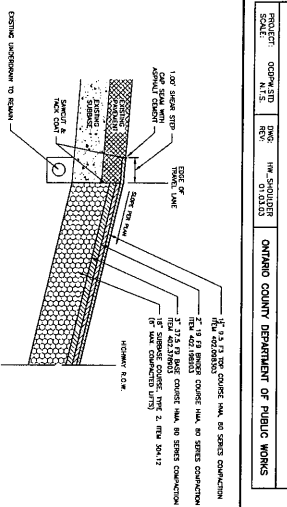
DRIVEWAY CULVERT DETAIL (COUNTY ROAD 10 RIGHT-OF-WAY)
SECTION D-D



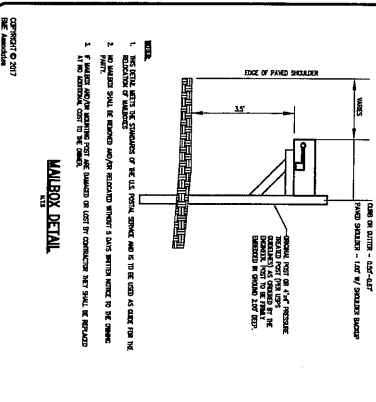
TYPICAL SHOULDER RESTORATION DETAIL
ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS



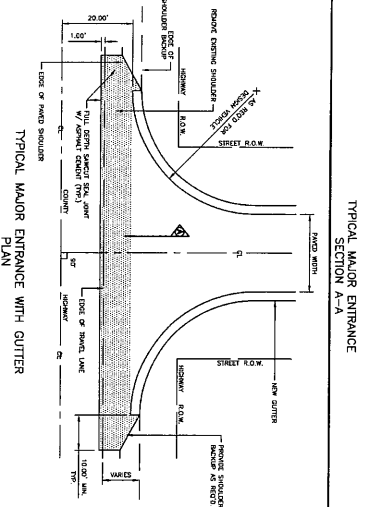
RECONSTRUCTION ASPHALT DRIVEWAY DETAIL (COUNTY ROAD 10 RIGHT-OF-WAY)



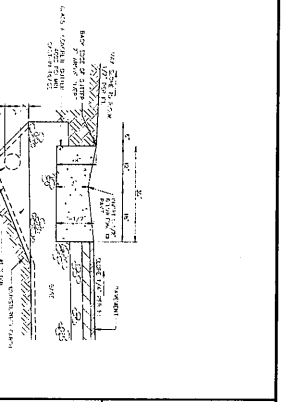
TYPICAL MAJOR ENTRANCE SECTION A-A



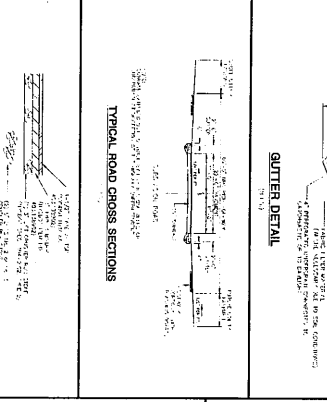
VALUBOX DETAIL



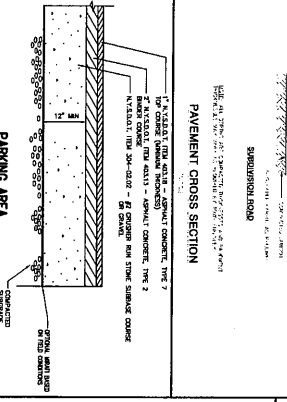
TYPICAL MAJOR ENTRANCE WITH GUTTER



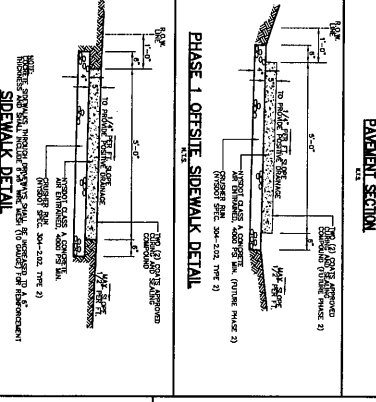
GUTTER DETAIL



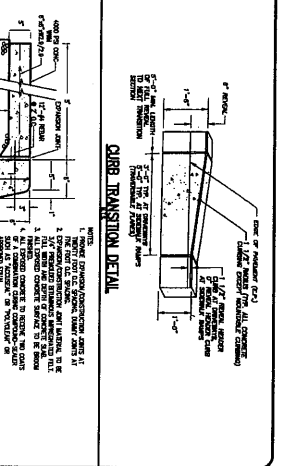
TYPICAL ROAD CROSS SECTIONS



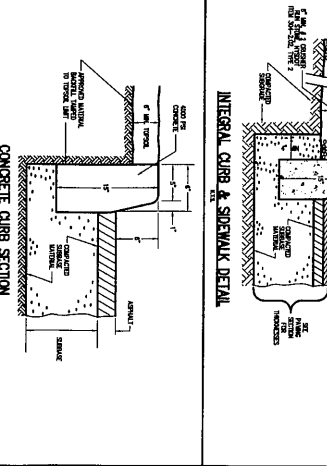
PAVEMENT CROSS SECTION



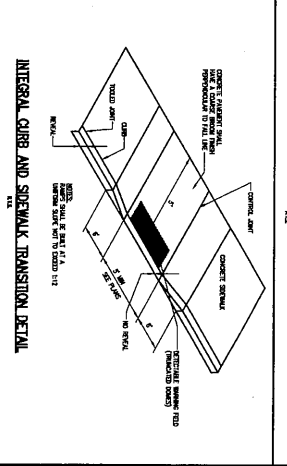
PHASE 1 OFFSITE SIDEWALK DETAIL



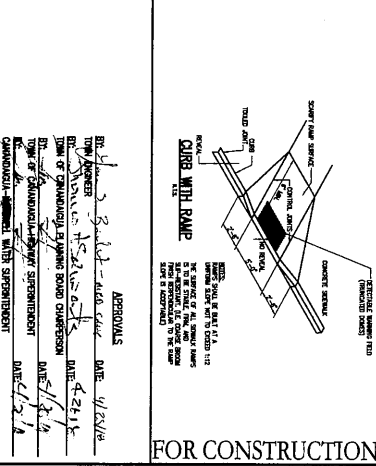
CURB TRANSITION DETAIL



INTEGRAL CURB & SIDEWALK TRANSITION DETAIL



INTEGRAL CURB AND SIDEWALK TRANSITION DETAIL



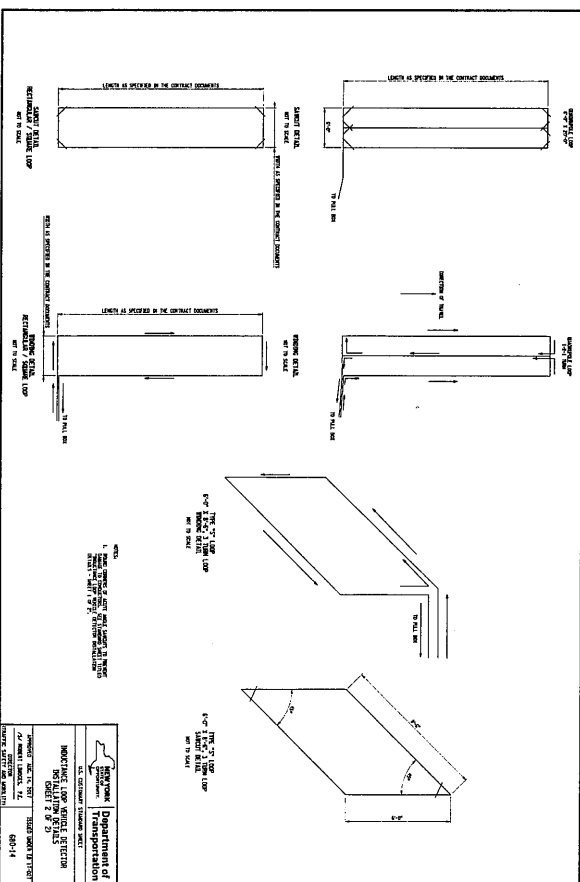
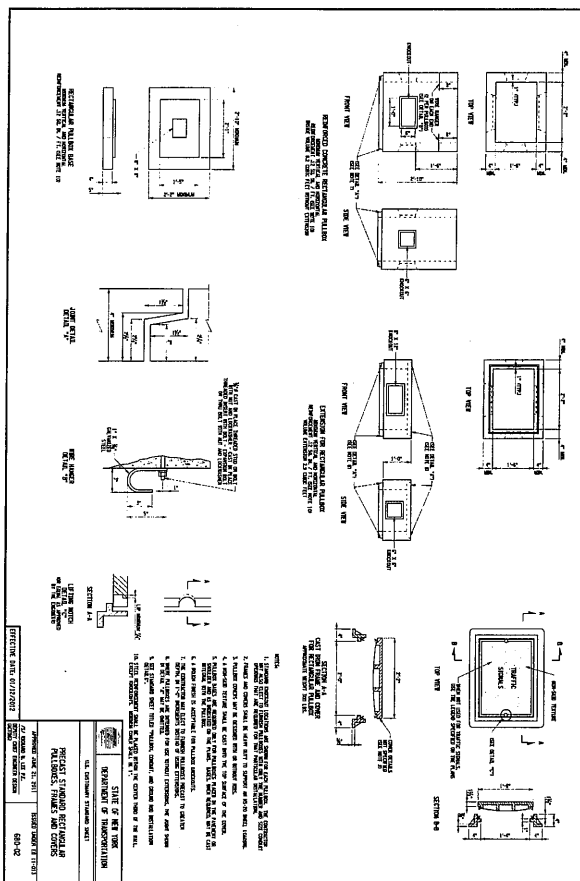
CURB WITH RAMP

PROJECT	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	1000 WOODLAND PARK DRIVE, NEW YORK STATE
CLIENT	THE CREEKVIEW APARTMENTS
DRAWING TITLE	DETAIL SHEET
DATE	12/1/17
BY	2490A
CHECKED BY	23

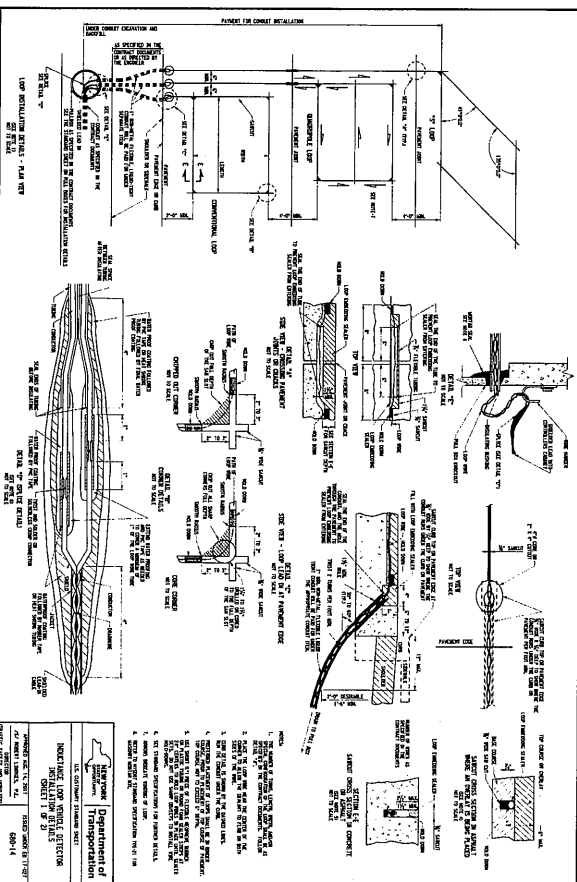
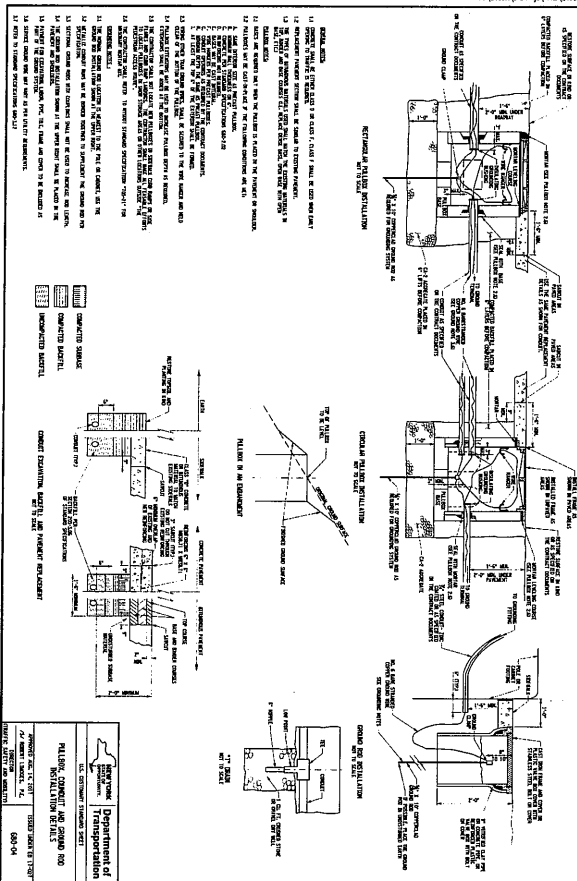


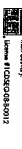
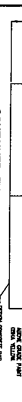
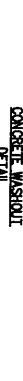
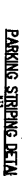
B&M ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LUTHER LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 565-377-7740
FAX 565-377-7729

1	REVIEWED FOR TOWN ENGINEER COMMENTS	12/1/17	250
2	REVIEWED FOR CDD COMMENTS	12/1/17	250
3	REVIEWED FOR CDD COMMENTS	12/1/17	250
4	REVIEWED FOR CDD COMMENTS	12/1/17	250
5	REVIEWED FOR CDD COMMENTS	12/1/17	250
6	REVIEWED FOR CDD COMMENTS	12/1/17	250



FOR CONSTRUCTION



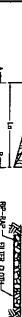


QTY OF MATCH COMPONENTS	1	2	3	4
MATCH COMPONENTS REQUIRED	10, 12	10	10, 12	10, 12



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NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOLID & WASTE CONSTRUCTION COMMITTEE

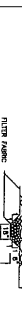
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Q751E	41.8 Ac.	15,181 CF.	107,655	18,500 CF.



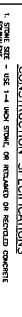
10	12	14	16	18	20
22	24	26	28	30	32



NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

NEW YORK STATE SOL. & WATER CONSERVATION COMMITTEE

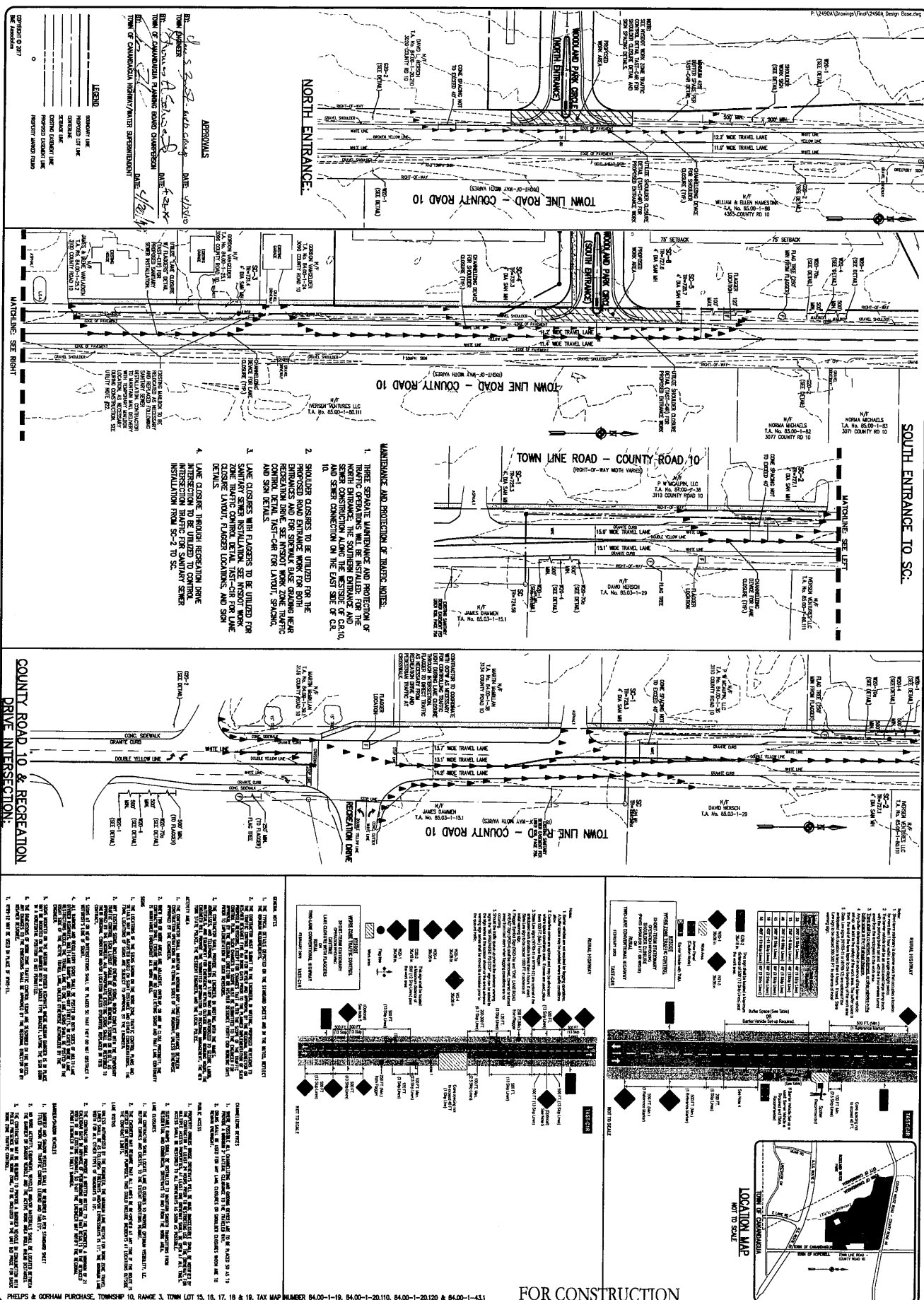
NEW YORK STATE SOL. & WATER CONSERVATION COMMITTEE	
--	--



STABILIZED
CONSTRUCTION
ACCESS



NEW YORK STATE SOLA & SUFFRAN CORPORATION COMMITTEE	
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PHILIPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 17, 18 & 19, TAX MAP NUMBER 84-00-1-19, 84-00-1-20-10, 84-00-1-20-12 & 84-00-1-43-1

FOR CONSTRUCTION

2490A

CREEKVIEW APARTMENTS AT WOODLAND PARK

TOWN OF CHAMPAIGN, ILLINOIS

1000 SOUTH CHAMPAIGN AVENUE

PHASE 1 FINAL

MAINTENANCE AND PROTECTION OF TRAFFIC PLAN

BMT ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LEFT BRIDGE EAST

FAIRMONT, NEW YORK 14450

WWW.BMT-CA.COM

PHONE 585-277-7300

FAX 585-277-7309

2490A

24A

ATTACHMENT 18

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

**STORMWATER CONTROL FACILITIES
MAINTENANCE AGREEMENT**

WHEREAS, the Town of Canandaigua, having an address of 5440 Routes 5 & 20 West, Canandaigua, New York 14424 ("Municipality") and CREEKVIEW APARTMENTS HOUSING DEVELOPMENT FUND CORP. ("Facility Owner"), having an address of 1950 Brighton Henrietta Townline Road, Rochester, NY 14623 want to enter into an agreement (this "Agreement") to provide for the long term maintenance and continuation of permanent stormwater control measures approved by the Municipality ("Control Measures") for the below named project as more particularly set forth below, and

WHEREAS, the Municipality and the Facility Owner desire that the Control Measures, as detailed on the approved project plans entitled "Creekview Apartments at Woodland Park Phase 1 Final Plans", having drawing number(s) 2490A-01 to 2490A-24A, prepared by BME Associates and last revised April 3, 2018, (the "Plans"), be built in accordance with the Plans and thereafter be maintained, cleaned, repaired, replaced, and continued in perpetuity in order to ensure optimum performance of the components in accordance with this Agreement. Reduced size versions of the Plans are attached hereto as Exhibit A.

Therefore, the Municipality and the Facility Owner agree as follows:

1. This Agreement binds the Municipality and the Facility Owner, its successors and assigns, to maintain the Control Measures depicted in the Plans (as same may be amended with written consent of both the Municipality and Facility Owner).
2. The Facility Owner shall maintain, clean, repair, replace and continue the Control Measures depicted on the Plans as necessary to ensure the facilities are and remain in proper working condition in accordance with design standards, rules and regulations and applicable laws.
3. If identified on the Plans, the Control Measures shall include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices, and retention ponds all of which shall be within the definition of Control Measures.
4. The Facility Owner shall be responsible for all expenses related to the preventive maintenance of the Control Measures in accordance with the Plan.
5. The Facility Owner shall provide for the periodic inspection of the Control Measures, not less than once in every five (5) year period, to determine the condition and integrity of the Control Measures. The Facility Owner's obligations to inspect the Control Measures under this Section 5 shall commence upon the issuance of the first Certificate of Occupancy for the project depicted on the Plans. Each inspection shall be performed by a Professional Engineer, at the Facility Owner's choosing, so long as such Professional Engineer is licensed by the State of New York (the "Inspecting Engineer"). The Inspecting Engineer shall prepare and submit to the Municipality within 30 days of each inspection, a written report of the findings of his/her inspection including any recommendations necessary for the continued maintenance or repair of the Control Measures in accordance with the Plan.

6. The Facility Owner shall grant right of entry to duly authorized representatives of the Town. Upon presentation of proper credentials, duly authorized representatives of the Town may enter at reasonable times and in a reasonable manner upon the premises described in the Plan ("Premises") to inspect the implementation, condition or operation and maintenance of the Control Measures. Persons working on behalf of the Town shall have the right to temporarily locate, on any stormwater facility or Control Measure in the Town, such devices as are necessary to conduct monitoring and/or sampling of the discharges from such Control Measures provided such acts do not unreasonably interfere with Facility Owner's use of the Premises.

7. Except in an emergency situation, or as permitted by Section 8 below, The Facility Owner shall not authorize, undertake, or permit any material alteration, abandonment, modification, or discontinuation of the Control Measures except in accordance with written approval of the Municipality.

8. The Facility Owner shall undertake all necessary repairs, maintenance, or replacement of the Control Measures in accordance with the recommendations of the Inspecting Engineer but only to the extent to comply with the terms and conditions of this Agreement, except to the extent such repairs, maintenance, or replacement are made necessary by the acts or omissions of the Municipality, including without limitation offsite grading. Such repair, maintenance, or replacement shall not require the approval of the Municipality. Repairs, maintenance, or replacements made necessary by the acts or omissions of the Municipality shall be undertaken by the Municipality as its cost and expense.

9. This Agreement shall be recorded in the Office of the County Clerk, County of Ontario by the Municipality.

10. If ever the Municipality reasonably determines that the Facility Owner has failed to maintain, clean, repair, replace, and continue the Control Measures in accordance with the Plans or has failed to undertake necessary corrective action in accordance with Section 8 above, the Municipality shall give the Facility Owner written notice of such a default. In the event the Facility Owner fails to cure such default within thirty (30) days from its receipt of such notice, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation, or maintenance of the Control Measures in accordance with the Plan and to charge the Facility Owner for the reasonable expenses of such steps related thereto; provided however that if the nature of the default is such that it cannot reasonably be cured within such thirty (30) day period, then so long as the Facility Owner commences to cure such default within such thirty (30) day period, and, thereafter, diligently, in good faith and expeditiously proceeds to cure such default before the Municipality may take action under this Section 10. This provision shall not be construed to allow the Municipality to erect any structure of a permanent nature on the Premises of the Facility Owner without first obtaining written approval of the Facility Owner.

11. The parties agree and acknowledge that this Agreement shall cover not only the Control Measures set forth on the Plans, but it also shall cover any alterations or modifications to the Plans that may be approved by the Municipality and Facility Owner after the execution of this Agreement.

12. This Agreement shall be binding upon, and inure to the benefit of, the respective successors and permitted assigns of the parties. This Agreement shall not be assignable by the Municipality but may be assigned or transferred by the Facility Owner. Any assignment or transfer of the Premises by the Facility Owner and relieve the transferor from any further liability or obligations hereunder.

13. All notices required or permitted hereunder shall be in writing and shall be sent to the parties at the following addresses:

If to the Municipality: **Stormwater Program Manager**
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424

If to the Facility Owner: CREEKVIEW APARTMENTS HOUSING
DEVELOPMENT FUND CORP.
1950 Brighton Henrietta Townline Road
Rochester, NY 14623

With copies to: The DiMarco Group, LLC
 1950 Brighton Henrietta Townline Road
 Rochester, NY 14623

Any such notices may be sent by: (a) certified mail, return receipt requested, or
(b) a nationally recognized overnight courier

The above addresses may be changed by written notice to the other party. Any such notices shall be deemed effective upon receipts.

14. This Agreement sets forth all of the agreements, conditions, and understandings between the Municipality and the Facility Owner concerning the maintenance of the Control Measures and supersedes any and all prior agreements and understandings between the parties with respect thereto.

15. This Agreement shall be governed exclusively by the laws of the State of New York, without giving effect to choice of laws or choice of laws rules or principles.

16. Issuance of the first Certificate of Occupancy or Certificate of Compliance for the project depicted on the Plans shall be deemed an acknowledgement by the Municipality that the Control Measures have been constructed in accordance with the Plans.

17. This Agreement may be executed in several counterparts, including by facsimile, each of which shall be an original and all of which shall constitute but one and the same instrument.

18. This Agreement may not be amended, changed, modified, altered, or terminated, except by an instrument in writing, signed by the parties hereto.

19. This Agreement is effective upon full execution by both parties.

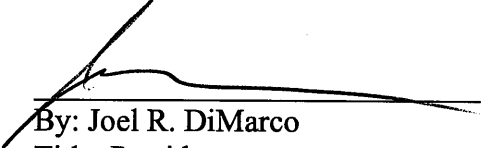
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The parties have entered into this Agreement on this _____ day of _____, 2020.

MUNICIPALITY
TOWN OF CANANDAIGUA, NY

By:
Title:
Date:

FACILITY OWNER
CREEKVIEW APARTMENTS HOUSING
DEVELOPMENT FUND CORP.


By: Joel R. DiMarco
Title: President
Date: 10-8-2020

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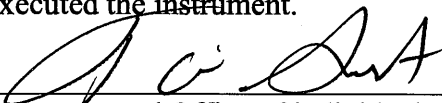
State of New York)
County of Ontario) ss.:

On the ____ day of _____ in the year ____ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledge to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Signature and Office of individual taking acknowledgment

State of New York)
County of ~~Ontario~~ Monroe) ss.:

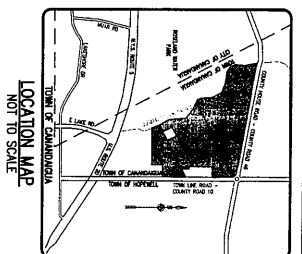
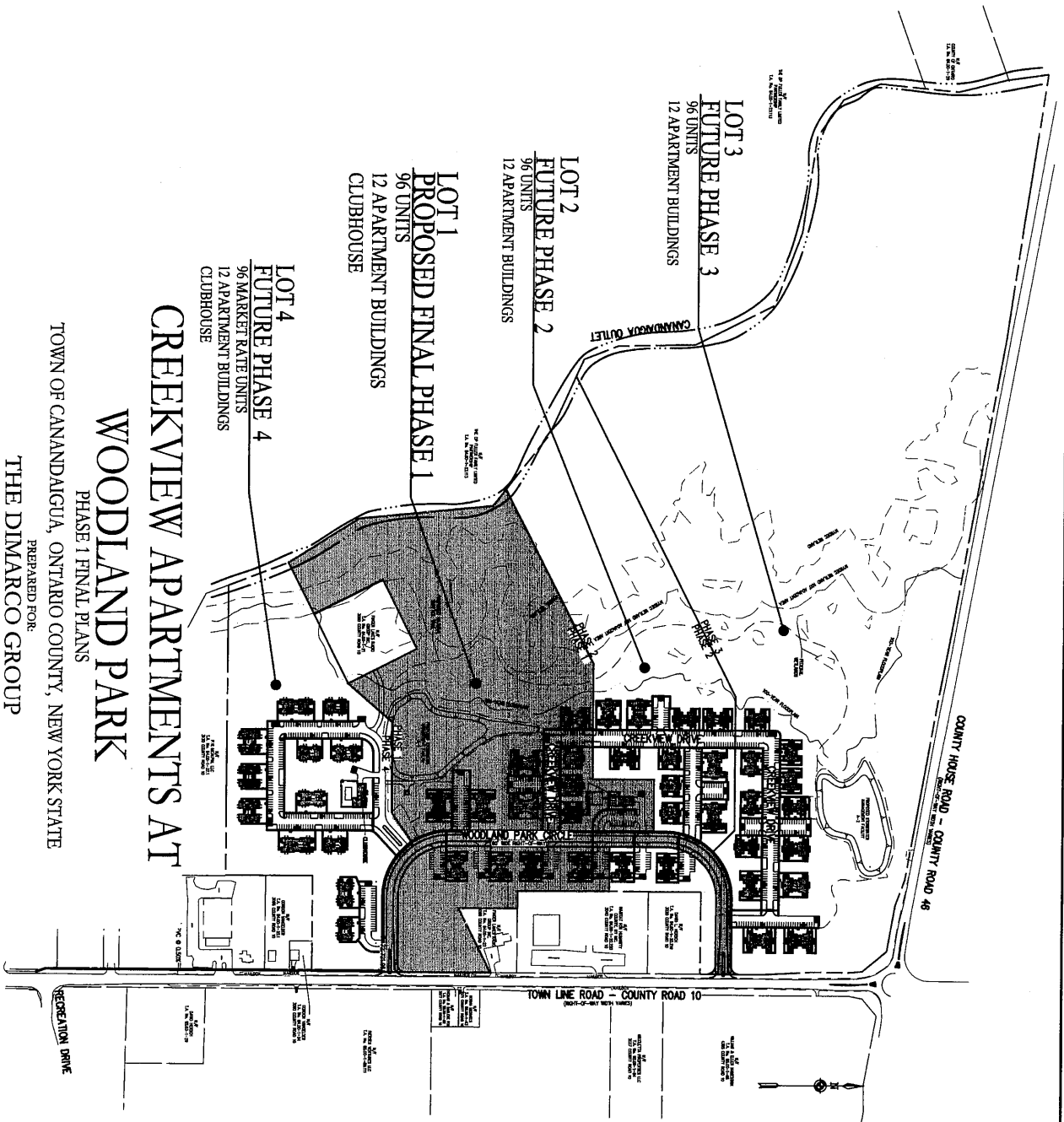
On the 8th day of October in the year 2020 before me, the undersigned, personally appeared Joel R. DiMarco, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledge to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



Signature and Office of individual taking acknowledgment

TANIA GERHART
Notary Public, State of New York
No. 01GE6239174
Qualified in Monroe County
Commission Expires April 18, 2023

EXHIBIT A



PHASE 1 FINAL PLANS CREEKVIEW APARTMENTS AT WOODLAND PARK

DATE	TITLE
2/20/01	COVER SHEET
2/20/01	SITE PLAN SHEET 1 OF 2
2/20/01	UTILITY PLAN SHEET 1 OF 2
2/20/01	GRADING PLAN SHEET 1 OF 2
2/20/01	CONSTRUCTION EROSION CONTROL PLAN SHEET 1 OF 2
2/20/01	LANDSCAPING PLAN SHEET 1 OF 2
2/20/01	LANDSCAPING PLAN SHEET 2 OF 2
2/20/01	LANDSCAPING PLAN SHEET 3 OF 2
2/20/01	LANDSCAPING PLAN SHEET 4 OF 2
2/20/01	LANDSCAPING PLAN SHEET 5 OF 2
2/20/01	LANDSCAPING PLAN SHEET 6 OF 2
2/20/01	LANDSCAPING PLAN SHEET 7 OF 2
2/20/01	LANDSCAPING PLAN SHEET 8 OF 2
2/20/01	LANDSCAPING PLAN SHEET 9 OF 2
2/20/01	LANDSCAPING PLAN SHEET 10 OF 2
2/20/01	LANDSCAPING PLAN SHEET 11 OF 2
2/20/01	LANDSCAPING PLAN SHEET 12 OF 2
2/20/01	LANDSCAPING PLAN SHEET 13 OF 2
2/20/01	LANDSCAPING PLAN SHEET 14 OF 2
2/20/01	LANDSCAPING PLAN SHEET 15 OF 2
2/20/01	LANDSCAPING PLAN SHEET 16 OF 2
2/20/01	LANDSCAPING PLAN SHEET 17 OF 2
2/20/01	LANDSCAPING PLAN SHEET 18 OF 2
2/20/01	LANDSCAPING PLAN SHEET 19 OF 2
2/20/01	LANDSCAPING PLAN SHEET 20 OF 2
2/20/01	LANDSCAPING PLAN SHEET 21 OF 2
2/20/01	LANDSCAPING PLAN SHEET 22 OF 2
2/20/01	LANDSCAPING PLAN SHEET 23 OF 2
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2/20/01	LANDSCAPING PLAN SHEET 56 OF 2
2/20/01	LANDSCAPING PLAN SHEET 57 OF 2
2/20/01	LANDSCAPING PLAN SHEET 58 OF 2
2/20/01	LANDSCAPING PLAN SHEET 59 OF 2
2/20/01	LANDSCAPING PLAN SHEET 60 OF 2
2/20/01	LANDSCAPING PLAN SHEET 61 OF 2
2/20/01	LANDSCAPING PLAN SHEET 62 OF 2
2/20/01	LANDSCAPING PLAN SHEET 63 OF 2
2/20/01	LANDSCAPING PLAN SHEET 64 OF 2
2/20/01	LANDSCAPING PLAN SHEET 65 OF 2
2/20/01	LANDSCAPING PLAN SHEET 66 OF 2
2/20/01	LANDSCAPING PLAN SHEET 67 OF 2
2/20/01	LANDSCAPING PLAN SHEET 68 OF 2
2/20/01	LANDSCAPING PLAN SHEET 69 OF 2
2/20/01	LANDSCAPING PLAN SHEET 70 OF 2
2/20/01	LANDSCAPING PLAN SHEET 71 OF 2
2/20/01	LANDSCAPING PLAN SHEET 72 OF 2
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2/20/01	LANDSCAPING PLAN SHEET 74 OF 2
2/20/01	LANDSCAPING PLAN SHEET 75 OF 2
2/20/01	LANDSCAPING PLAN SHEET 76 OF 2
2/20/01	LANDSCAPING PLAN SHEET 77 OF 2
2/20/01	LANDSCAPING PLAN SHEET 78 OF 2
2/20/01	LANDSCAPING PLAN SHEET 79 OF 2
2/20/01	LANDSCAPING PLAN SHEET 80 OF 2
2/20/01	LANDSCAPING PLAN SHEET 81 OF 2
2/20/01	LANDSCAPING PLAN SHEET 82 OF 2
2/20/01	LANDSCAPING PLAN SHEET 83 OF 2
2/20/01	LANDSCAPING PLAN SHEET 84 OF 2
2/20/01	LANDSCAPING PLAN SHEET 85 OF 2
2/20/01	LANDSCAPING PLAN SHEET 86 OF 2
2/20/01	LANDSCAPING PLAN SHEET 87 OF 2
2/20/01	LANDSCAPING PLAN SHEET 88 OF 2
2/20/01	LANDSCAPING PLAN SHEET 89 OF 2
2/20/01	LANDSCAPING PLAN SHEET 90 OF 2
2/20/01	LANDSCAPING PLAN SHEET 91 OF 2
2/20/01	LANDSCAPING PLAN SHEET 92 OF 2
2/20/01	LANDSCAPING PLAN SHEET 93 OF 2
2/20/01	LANDSCAPING PLAN SHEET 94 OF 2
2/20/01	LANDSCAPING PLAN SHEET 95 OF 2
2/20/01	LANDSCAPING PLAN SHEET 96 OF 2
2/20/01	LANDSCAPING PLAN SHEET 97 OF 2
2/20/01	LANDSCAPING PLAN SHEET 98 OF 2
2/20/01	LANDSCAPING PLAN SHEET 99 OF 2
2/20/01	LANDSCAPING PLAN SHEET 100 OF 2

FOR CONSTRUCTION

PREPARED FOR:
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

SCALE: 1"=200'
DRAWING NUMBER: 2450A-01
DATE: 2/20/01
LAST REVISED: APRIL 1, 2018
BMT ASSOCIATES
ENGINEERS & ARCHITECTS
1141 BRIGHTON AVENUE
ROCHESTER, NEW YORK 14623
PHONE: 585-277-7200
FAX: 585-277-7201
WWW.BMT-ASSOCIATES.COM

REQUIRED DISTANCES:		REQUIRED STOPPING DISTANCES:	
REQUIRED STOPPING DISTANCE:	STOP	REQUIRED STOPPING DISTANCE:	STOP
UNOCCUPIED DISTANCES: COUNTY ROAD 102	(NORTH)	(SOUTH)	
START DISTANCE (A) PROPOSED ENTRANCE DRIVE:	616'	>1000'	
STOPPING DISTANCE (B) PROPOSED ENTRANCE DRIVE:	616'	>1000'	
*NO STOPPING REQUIREMENT			

[illegible]

FOR CONSTRUCTION

8 REVISED PER OOPW COMMENTS 1/18/18 ZPC

7	REVISED PER OGDPM COMMENTS	11/9/17	MOB
6	REVISED PER OGDPM COMMENTS	10/24/17	ZPG
5	REVISED PER GENERAL COMMENTS	8/28/17	ZPG
4	REVISED PER TOWN ENGINEER AND GENERAL COMMENTS	8/22/17	ZPG
3	REVISED PER HOR COMMENTS	8/21/17	ZPG
2	REVISED PER TOWN ENGINEER COMMENTS	8/11/17	ZPG
1	REVISED PER OGDPM AND CLIENT COMMENTS	7/21/17	ZPG
	REVISIONS	DATE	BY

Disrupt Alternates

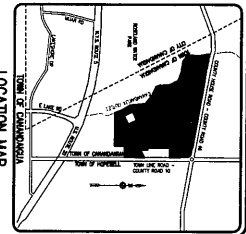
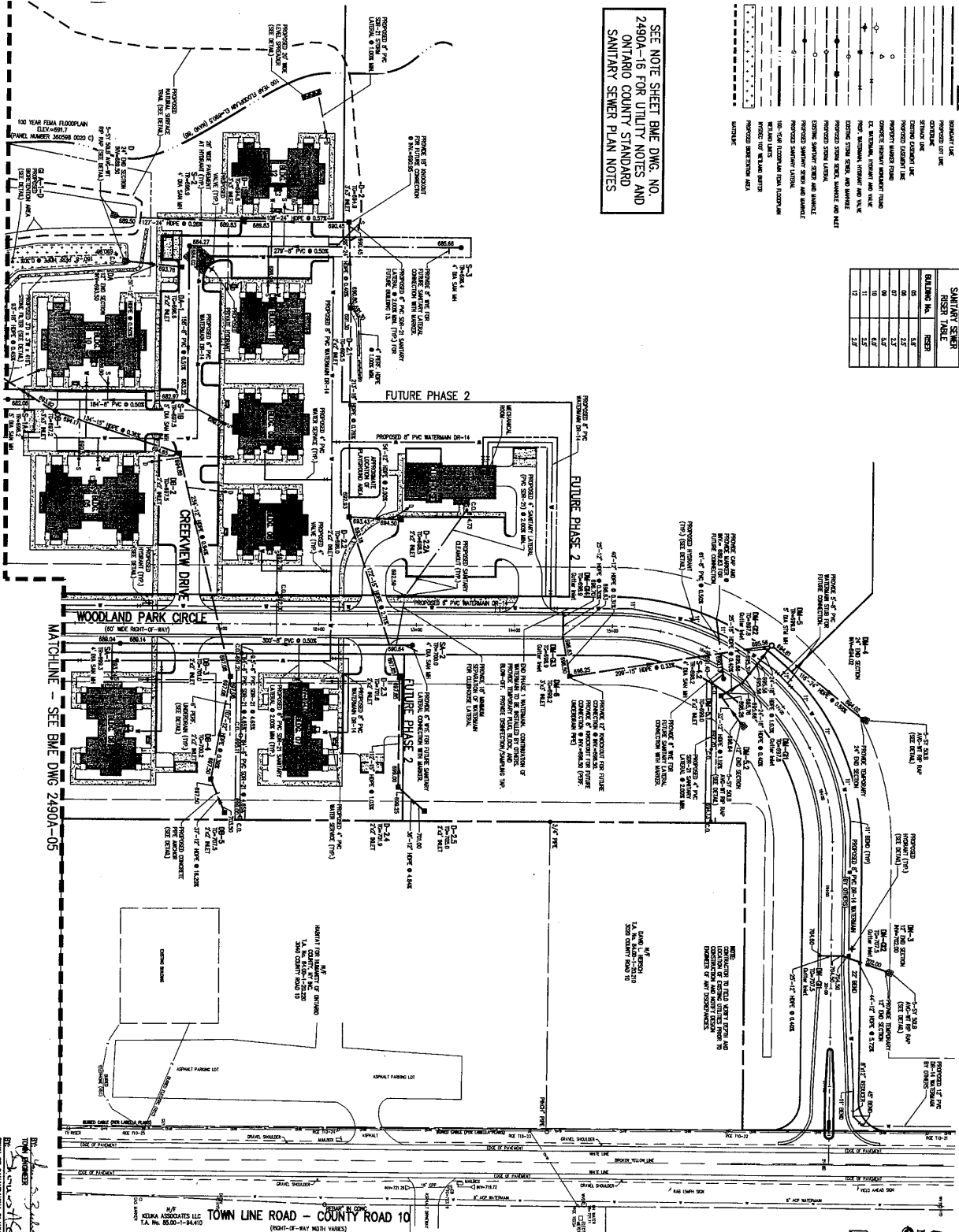
The bleeding is an example, says Joe M. Smith, 33, executive vice president of Smith Electric, Inc., 1450 Madison, 77261 and applies to the growing number of firms.

"It is a condition that has hit my firm, and I believe it is hitting under the direction of a learned professional engineer or lead engineer to alter my firm to say yes to the customer and not to the engineer or lead engineer," he says. "I don't know if this is a trend, but I think it is." Smith says that the firm has lost several customers "because of the attitude 'served by' believed by the engineer and the idea of such things, and a quality, ownership of the direction."

[illegible]

SANITARY SEWER RISER TABLE	
BUILDING NO.	RISER
05	5.8'
06	2.5'
07	2.5'
09	5.0'
10	6.0'
11	2.5'
12	2.0'

SEE NOTE SHEET BME DWG. NO.
2490A-16 FOR UTILITY NOTES AND
ONTARIO COUNTY STANDARD
SANITARY SEWER PLAN NOTES



12	REVISED W/ PHASE I LIMIT NOTE	4/2/18	MCB
11	REVISED PER OCPW COMMENTS	3/28/18	MCB
10	REVISED W/ PER TOWN COMMENTS & SAN PER OCPW COMMENTS	3/21/18	MAS
9	REVISED PER OCPW COMMENTS	3/08/18	MCB
8	REVISED PER OCPW COMMENTS	1/18/18	ZPG

7	REVISED PER OCPW COMMENTS
6	REVISED PER OCPW COMMENTS
5	REVISED PER NYSDOH COMMENTS
4	REVISED PER NYSDOH COMMENTS
3	REVISED PER TOWN ENGINEER AND GEN
2	REVISED PER TOWN ENGINEER COMMENTS
1	REVISED PER OCPW AND CLIENT COMME

	11/9/17	MOB
	10/24/17	ZPG
	9/9/17	ZPG
	9/14/17	MOB
	8/22/17	ZPG
	8/11/17	ZPG
	7/26/17	ZPG
	DATE	BY

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BAE Associates

APPROVALS

BY: James J. Sublett DATE: 4/26/15
TITLE: PROPOSED

BY: James J. Sublett DATE: 4-26-15
TITLE: CONSTRUCTION PLANNING BOARD CHAIRPERSON

BY: John J. Sublett DATE: 4/26/15
TITLE: CHAIRPERSON

BY: John J. Sublett DATE: 4/26/15
TITLE: CHAIRPERSON

FOR CONSTRUCTION

PHELPS & CORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-19, 84.00-1-20.110, 84.00-1-20.120 & 84.00-1-43.1

**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANADAMUS, ONTARIO COUNTY, NEW YORK STATE
THE DIMARCO GROUP
1950 BRIGHTON HERRICKTOWN LINE ROAD
ROCHESTER, NEW YORK 14623
**PHASE 1 FINAL
UTILITY PLAN**

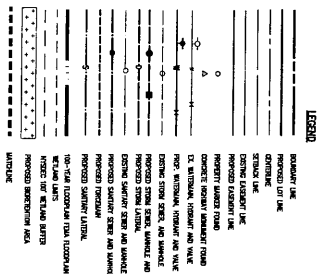


BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIPP BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

PHONE 565-377-7360
FAX 565-377-7309

04



SEE NOTE SHEET BME DWG. NO.
2490A-16 FOR UTILITY NOTES AND
ONTARIO COUNTY STANDARD
SANITARY SEWER PLAN NOTES

SANITARY SEWER RISER TABLE	
BUILDING No.	RISER
01	8.0'
02	4.0'
03	4.2'
04	3.0'

MATCHLINE - SEE BME DWG 2490A-06

MATCHLINE - SEE BME DWG 2490A-04

TOWN LINE ROAD - COUNTY ROAD 10
(RIGHT-OF-WAY WIDTH VARIES)

NOT TO SCALE

11 REVISED PER OOPW COMMENTS 3/28/18 WC
10 REVISED WM PER TOWN COMMENTS & SAN PER OOPW COMMENTS 3/21/18 MA
9 REVISED PER OOPW COMMENTS 3/8/18 WC
8 REVISED PER OOPW COMMENTS 11/9/17 WC

7	REVISED PER OCPW COMMENTS
8	REVISED PER NYSDOH COMMENTS
9	REVISED PER NYSDOH COMMENTS
4	REVISED PER NYSDEC COMMENTS
3	REVISED PER TOWN ENGINEER AND GENERAL C
2	REVISED PER TOWN ENGINEER COMMENTS
1	REVISED PER OCPW AND CLIENT COMMENTS

The following is a summary of the information received from the New York State Department of Environmental Conservation (DEC) regarding the proposed construction of a new power plant in the Town of Tarrytown, New York. The DEC is currently reviewing the application for a permit to construct the plant, and is expected to issue a decision within the next 60 days. The proposed plant is located on the site of the former Tarrytown Power Plant, which was closed in 1982. The new plant is expected to be a combined cycle gas turbine (CCGT) plant, which would have a capacity of approximately 100 megawatts. The plant would be owned and operated by the Tarrytown Electric Utility, Inc. (TEU). The DEC is concerned about the potential impacts of the plant on the surrounding environment, particularly the Tarrytown Creek and the Hudson River. The DEC is currently conducting an environmental impact study (EIS) to assess the potential impacts of the plant. The EIS is expected to be completed by the end of the year. The DEC is also conducting a public consultation process, which includes holding public hearings and providing information to the public. The DEC is expected to issue a final decision on the permit to construct the plant by the end of the year. If the permit is issued, the plant is expected to be constructed and operational by the end of 2001.

FOR CONSTRUCTION

APPROVALS	
BY: <i>James B. Scott</i>	DATE: <i>4/25/12</i>
TOWN CLERK	
BY: <i>James H. Gilmont</i>	DATE: <i>4-26-12</i>
TOWN OF CANNADAGUA PLANNING BOARD CHAIRPERSON	
BY: <i>John Hall</i>	DATE: <i>4/26/12</i>
TOWN OF CANNADAGUA TOWNMAN/MAINTENANCE SUPERINTENDENT	

2490A

NOT APPROVED

PROJECT	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
AGENT	THE DIMARCO GROUP 1950 BRIGHTON HENRIETTA TOWN LINE ROAD ROCHESTER, NEW YORK 14633
DRAWING TITLE	PHASE 1 FINAL UTILITY PLAN



BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LAKE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

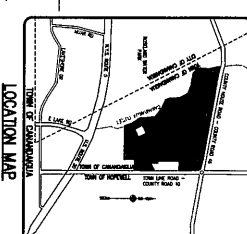
PHONE 585-377-7360
FAX 585-377-7109



MATCHLINE - SEE BME DWG 2490A-07

SEE GRADING PLAN (SHEET 1
OF 2) BME DWG. NO. 2490A-07
FOR GRADING NOTES AND MASS
GRADING NOTES

APPROVALS	
DR. <i>James Goodlet</i> - <i>Acting</i> <i>Sec. Gen.</i>	DATE: <i>4/18/10</i>
TOWN ENGINEER	
DR. <i>James Goodlet</i>	DATE: <i>4-27-10</i>
TOWN OF CHAMPAIGN PLANNING BOARD CHAIRPERSON	
DR. <i>James Goodlet</i>	DATE: <i>4/18/10</i>
TOWN OF CHAMPAIGN HIGHWAY/MAINT. SUPERINTENDENT	
DR. <i>James Goodlet</i>	DATE: <i>4/18/10</i>

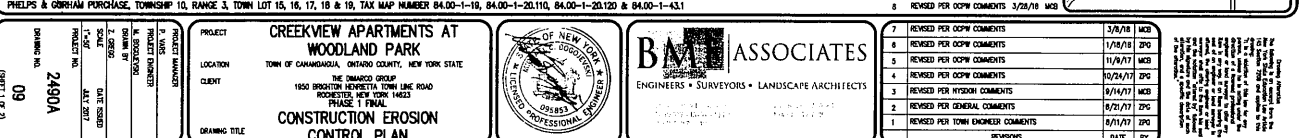


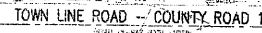
7	REVISED PER OCPW COMMENTS	3/28/18	MOB
6	REVISED PER OCPW COMMENTS	3/8/18	MOB
5	REVISED PER OCPW COMMENTS	1/18/18	ZPC
4	REVISED PER OCPW COMMENTS	11/9/17	MOB
3	REVISED PER OCPW COMMENTS	10/24/17	ZPC
2	REVISED PER HYSDON COMMENTS	9/4/17	MOB
1	REVISED PER TOWN ENGINEER COMMENTS	8/11/17	ZPC

Drinking Altruism
The following is an example from the New York State Education Law Article 14C, Section 720b and applies to all districts:

It is the intention of this law for every person, whom it is acting under the direction of a licensed professional supervisor or that supervisor to offer a meal to any child or to have anything eat or to supervise or have anything eat, that the district supervisor or that supervisor shall offer a meal to any child or to have anything eat or to supervise or have anything eat if the supervisor sees the child or if the supervisor sees a "special education" or the supervisor.

PEPLIS & GORMAN PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-19, 84.00-1-20.10, 84.00-1-20.12 & 84.00-1-43.1		CREEKVIEW APARTMENTS AT WOODLAND PARK TOWN OF CARMEL/AMANDA, ONTARIO COUNTY, NEW YORK STATE			B.M.T. ASSOCIATES, INC. <small>AN OFFICE OF</small> ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PROJECT	PROJECT NUMBER	LOCATION	CLIENT		
10456	10456	1900 BROOKHURST TOWN LINE ROAD ROCHESTER, NEW YORK 14623	1900 BROOKHURST TOWN LINE ROAD ROCHESTER, NEW YORK 14623		
DATE	DATE	DATE	DATE		
08/27/94	08/27/94	08/27/94	08/27/94		
PHASE 1 FINAL GRADING PLAN		10 LIFT BRIDGE LAKE EAT FAIRPORT, NEW YORK 14450 WWW.BMT-ASSOCIATES.COM		PHONE 585-377-7560 FAX 585-377-3939	



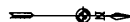


TOWN LINE ROAD -- COUNTY ROAD 1

SEE NOTE SHEET BME DWG. NO. 2490A-16 FOR CONSTRUCTION EROSION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION

FOR CONSTRUCTION

8 REVISED PER ODPW COMMENTS 3/28/18 MCR



It is a violation of this law for any person, whether he is acting under the direction of a licensed professional engineer or not, to engage in the following: (1) to act as an engineer or land surveyor in the State of California; (2) to direct, or to supervise or land surveyor in the State of California; (3) to direct, or to supervise or land surveyor and others in the State of California; (4) to be assisted, directed by, or supervised by a licensed engineer or land surveyor in the State of California; (5) to be assisted, directed by, or supervised by a licensed engineer or land surveyor in the State of California.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

7	REVISED PER OCPIR COMMENTS	1/18/18	ZPC
8	REVISED PER OCPIR COMMENTS	11/9/17	MCI
5	REVISED PER OCPIR COMMENTS	11/9/17	MCI
4	REVISED PER OCPIR COMMENTS	10/20/17	ZPC
3	REVISED PER HUDSON COMMENTS	9/14/17	MCI
2	REVISED PER TOWN ENGINEER AND GENERAL COMMENTS	8/22/17	ZPC
1	REVISED PER TOWN ENGINEER COMMENTS	8/11/17	LRI

REVISIONS

NOTES:

1. The applicant has provided a copy of the proposed plan set to the Town Engineer's Office.
2. The applicant has provided a copy of the proposed plan set to the Planning Board.
3. The applicant has provided a copy of the proposed plan set to the Zoning Board.
4. The applicant has provided a copy of the proposed plan set to the Board of Selectmen.
5. The applicant has provided a copy of the proposed plan set to the Board of Health.
6. The applicant has provided a copy of the proposed plan set to the Board of Education.
7. The applicant has provided a copy of the proposed plan set to the Board of Fire Commissioners.
8. The applicant has provided a copy of the proposed plan set to the Board of Police Commissioners.
9. The applicant has provided a copy of the proposed plan set to the Board of Public Works.
10. The applicant has provided a copy of the proposed plan set to the Board of Social Services.
11. The applicant has provided a copy of the proposed plan set to the Board of Veterans Affairs.
12. The applicant has provided a copy of the proposed plan set to the Board of Economic Development.
13. The applicant has provided a copy of the proposed plan set to the Board of Conservation.
14. The applicant has provided a copy of the proposed plan set to the Board of Environmental Protection.
15. The applicant has provided a copy of the proposed plan set to the Board of Cultural Affairs.
16. The applicant has provided a copy of the proposed plan set to the Board of Arts and Sciences.
17. The applicant has provided a copy of the proposed plan set to the Board of Historical Resources.
18. The applicant has provided a copy of the proposed plan set to the Board of Landmarks and Historic Preservation.
19. The applicant has provided a copy of the proposed plan set to the Board of Parks and Recreation.
20. The applicant has provided a copy of the proposed plan set to the Board of Open Space and Recreation.
21. The applicant has provided a copy of the proposed plan set to the Board of Natural Resources.
22. The applicant has provided a copy of the proposed plan set to the Board of Agriculture and Forestry.
23. The applicant has provided a copy of the proposed plan set to the Board of Fisheries and Wildlife.
24. The applicant has provided a copy of the proposed plan set to the Board of Marine Resources.
25. The applicant has provided a copy of the proposed plan set to the Board of Coastal Resources.
26. The applicant has provided a copy of the proposed plan set to the Board of Ocean Resources.
27. The applicant has provided a copy of the proposed plan set to the Board of Air Quality.
28. The applicant has provided a copy of the proposed plan set to the Board of Noise and Vibration.
29. The applicant has provided a copy of the proposed plan set to the Board of Light Pollution.
30. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference.
31. The applicant has provided a copy of the proposed plan set to the Board of Electromagnetic Interference.
32. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Spectrum Management.
33. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Mitigation.
34. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Avoidance.
35. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Reduction.
36. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Elimination.
37. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Prevention.
38. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Control.
39. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Monitoring.
40. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Assessment.
41. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Investigation.
42. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Detection.
43. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Identification.
44. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Characterization.
45. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Quantification.
46. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Qualification.
47. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Validation.
48. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Verification.
49. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Confirmation.
50. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Documentation.
51. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Reporting.
52. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Communication.
53. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Coordination.
54. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Cooperation.
55. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Collaboration.
56. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Partnership.
57. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Alliance.
58. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Consortium.
59. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Network.
60. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Community.
61. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Association.
62. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Organization.
63. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Institution.
64. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Foundation.
65. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Society.
66. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Club.
67. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Group.
68. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Team.
69. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Unit.
70. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Division.
71. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Department.
72. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Agency.
73. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Authority.
74. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Commission.
75. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Board.
76. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Council.
77. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Committee.
78. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Task Force.
79. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Working Group.
80. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Study Group.
81. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Advisory Panel.
82. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Expert Panel.
83. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Review Panel.
84. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Hearing Panel.
85. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Consultation Panel.
86. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Mediation Panel.
87. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Arbitration Panel.
88. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Dispute Resolution Panel.
89. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Conflict Resolution Panel.
90. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Problem Solving Panel.
91. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Solution Finding Panel.
92. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Issue Resolving Panel.
93. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Concern Addressing Panel.
94. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Question Answering Panel.
95. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Information Providing Panel.
96. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Guidance Offering Panel.
97. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Advice Giving Panel.
98. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Support Providing Panel.
99. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Assistance Providing Panel.
100. The applicant has provided a copy of the proposed plan set to the Board of Radio Frequency Interference Help Providing Panel.

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PROJECT	PROJECT MANAGER
LOCATION	P. WARD
CLIENT	PROJECT ENGINEER
	M. BODOLLOSKI
	DRAWN BY
	L. ROPOCICZKE
	SCALE
	DATE ISSUED
	MAY 2007
	PROJECT NO.
	24900A
	DRAWING NO.
	13

(SHEET 2 OF 3)

1. ALL LIGHTING INFORMATION AND SPECIFICATIONS PROVIDED BY MASTER AND LIGHTScape, LLC, THIS INCLUDES fixture selection, power plots, reproduction, lighting photographs and fixture locations.
2. LIGHT POLE AND FIXTURE LOCATION TO BE FIELD VERIFIED BY LIGHTING CONTRACTOR PRIOR TO INSTALLATION.

[illegible][illegible]

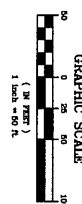
NOT APPROVED

DR	<i>James S. Gault - MENARD</i>	DATE	4/25/86
TOWN	PARKER		
DR	<i>WALTER F. Sullivan</i>	DATE	1-26-86
TOWN	CAYUGA/JULIA PLANNING BOARD CHAIRPERSON		
DR	<i>John J. Stuchlik</i>	DATE	5/22/87
TOWN	CAYUGA/JULIA HIGHWAY/WATER SUPERINTENDENT		

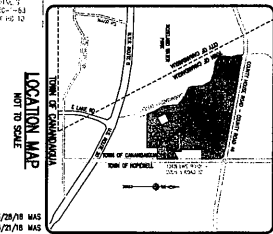
FOR CONSTRUCTION

SEE BME DRAWING #2490A-14 FOR LIGHTING NOTES

SEE BME DRAWING #2490A-14 FOR
LIGHTING DETAILS



TOWN LINE ROAD - COUNTY ROAD 10



9 REVISED PER OGDPIV COMMENTS 3/28/18 WAS
8 REVISED PER OGDPIV COMMENTS 3/21/18 WAS

7	REVISED PER OCPW COMMENTS	3/8/18	MO
6	REVISED PER OCPW COMMENTS	1/18/18	2P
5	REVISED PER OCPW COMMENTS	11/16/17	MO
4	REVISED PER OCPW COMMENTS	10/20/17	MO
3	REVISED PER HYSDON COMMENTS	9/14/17	MO
2	REVISED PER TOWN ENGINEER AND GENERAL COMMENTS	6/22/17	2P
1	REVISED PER TOWN ENGINEER COMMENTS	8/11/17	2P
	DEVELOPER	DATE	BY

The following is an excerpt from the book *Nonviolent Communication* by Marshall Rosenberg, published by P.O. Box 9702, Berkeley, CA 94709, 1-800-551-0933, ISBN 0-899-31331-5.

**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE DIMARCO GROUP
1050 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

PHASE 1 FINAL
LIGHTING PLAN



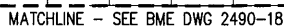
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

19 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7309

PROJECT MANAGER	P. WARE
PROJECT ENGINEER	M. BOGALYEV
DRAMA BY	L. RODICICATILE
SCALE	DATE ISSUED
1"-50'	JAY 2017
PROJECT NO.	2490A
DOINGING NO.	15

(SHEET 2 OF 2)

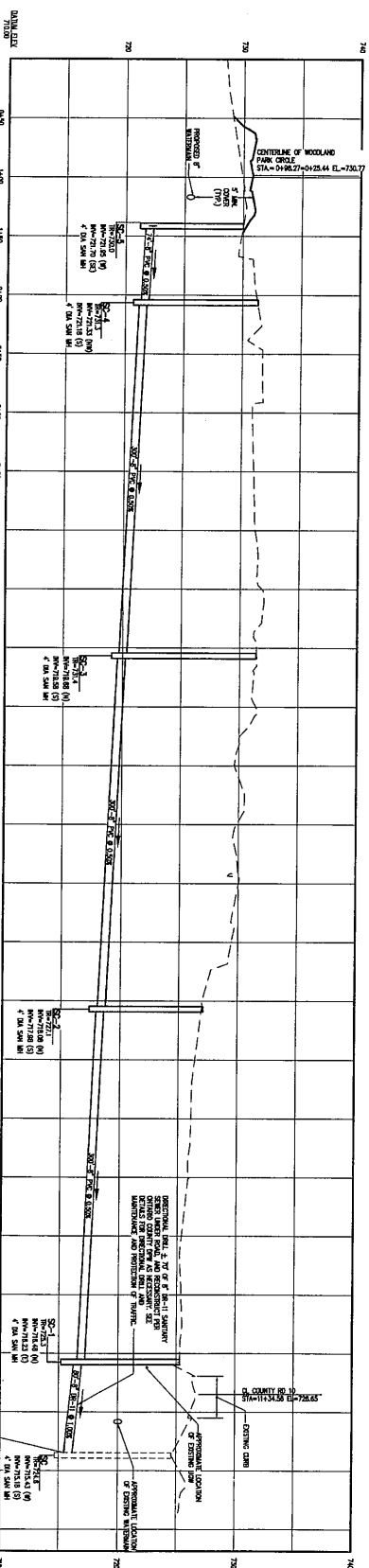
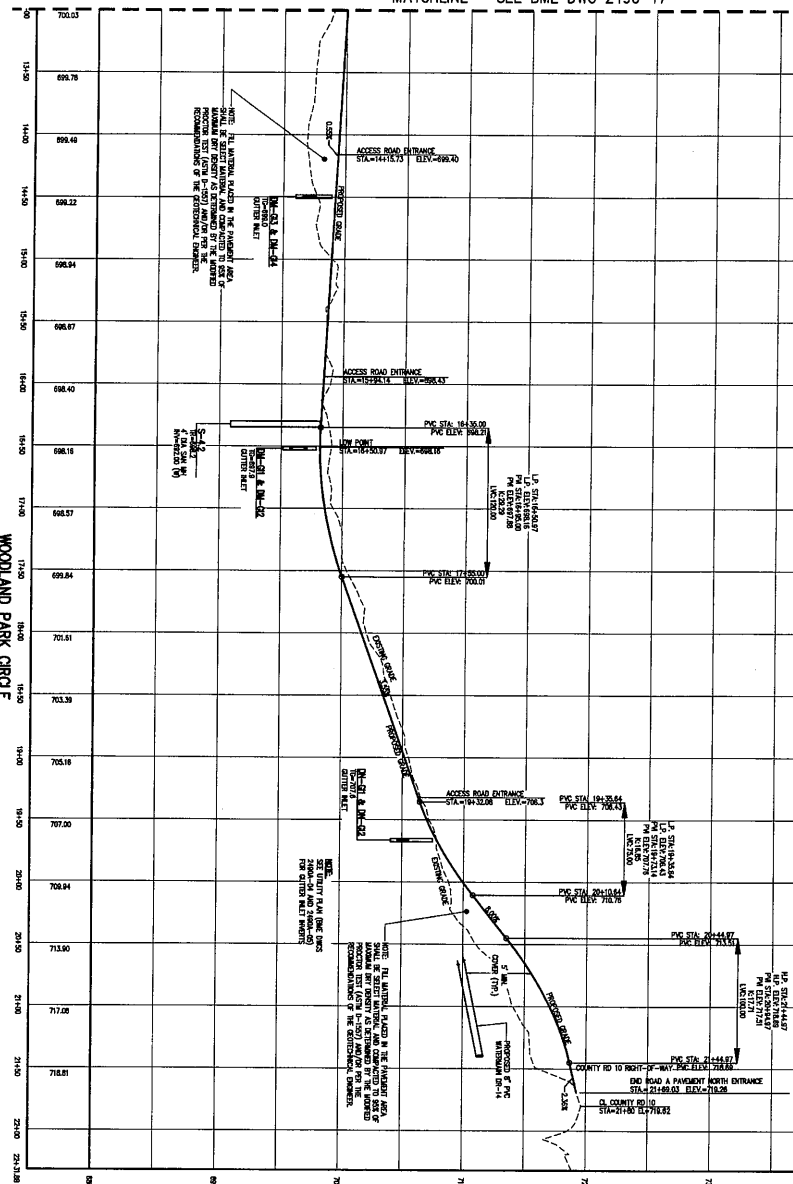


FOR CONSTRUCTION

The following is an excerpt from the new 54th Florida Bar Admissions Examination, dated July 14, 1993, at Tallahassee, Florida:

7. The addition of the bar to any profession is a process that is the direction of a licensed regulatory agency or bar association in their own name to say, "if we have nothing to say about an employee or third party or client, then the agency, employee or third party and the client, to the firm the employee and the relation, should be allowed to do as they please." The bar is not a regulatory body that sets the rules of each profession, but a "regulatory" association of the profession.

MATCHLINE - SEE BME DWG 2490-17



SC-5 TO SC (OFFSITE SANITARY SEWER)

SCALE: HORIZ 1"=40'

VERT 1"=4'

APPROVALS
 BY: *[Signature]* DATE: 4/16/14
 TITLE: *[Signature]* DATE: 4/16/14
 BY: *[Signature]* DATE: 4/16/14
 TITLE: *[Signature]* DATE: 4/16/14

FOR CONSTRUCTION

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
 LOCATION: TOWN OF CANNONVILLE, CANNONVILLE, NEW YORK STATE
 CLIENT: 1600 BRIDGEMAN ROAD, CANNONVILLE, NEW YORK 14823
 DRAWING TITLE: PROFILE SHEET

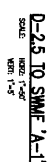


BAM ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 WWW.BAMPC.COM
 PHONE 565-377-7500
 FAX 565-377-7509

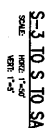
NO.	REVISION	DATE
1	REVISED WATERMAIN NEAR ENTRANCE	4/16/14
2	REVISED FOR CDDP COMMENTS	4/16/14
3	REVISED FOR CDDP COMMENTS	4/16/14
4	REVISED FOR CDDP COMMENTS	4/16/14
5	REVISED FOR CDDP COMMENTS	4/16/14
6	REVISED FOR CDDP COMMENTS	4/16/14
7	REVISED FOR CDDP COMMENTS	4/16/14

DATE: 4/16/14
 BY: *[Signature]*

DRAWING NO.: 2490A
 SCALE: 1"=40'
 SHEET: 18
 PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK

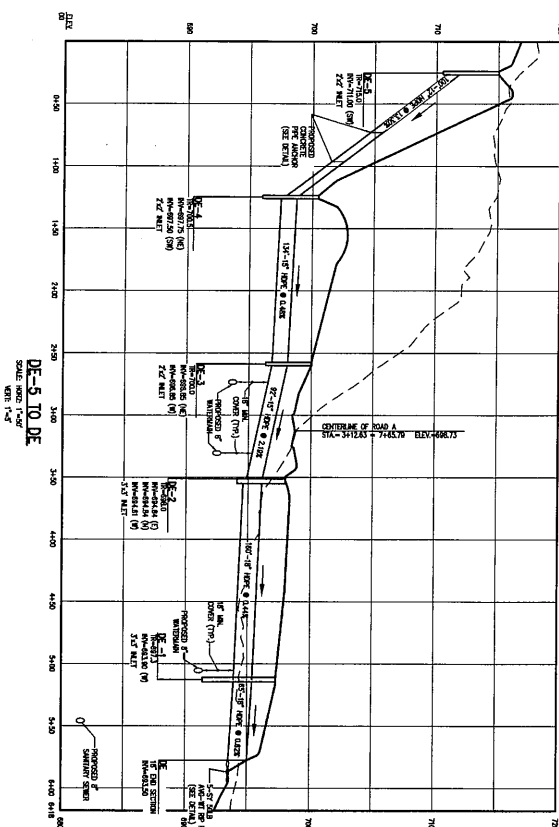
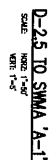


S-3 TO S TO SA
SCALE: HORIZ: 1"=50'
VERT: 1"=5'



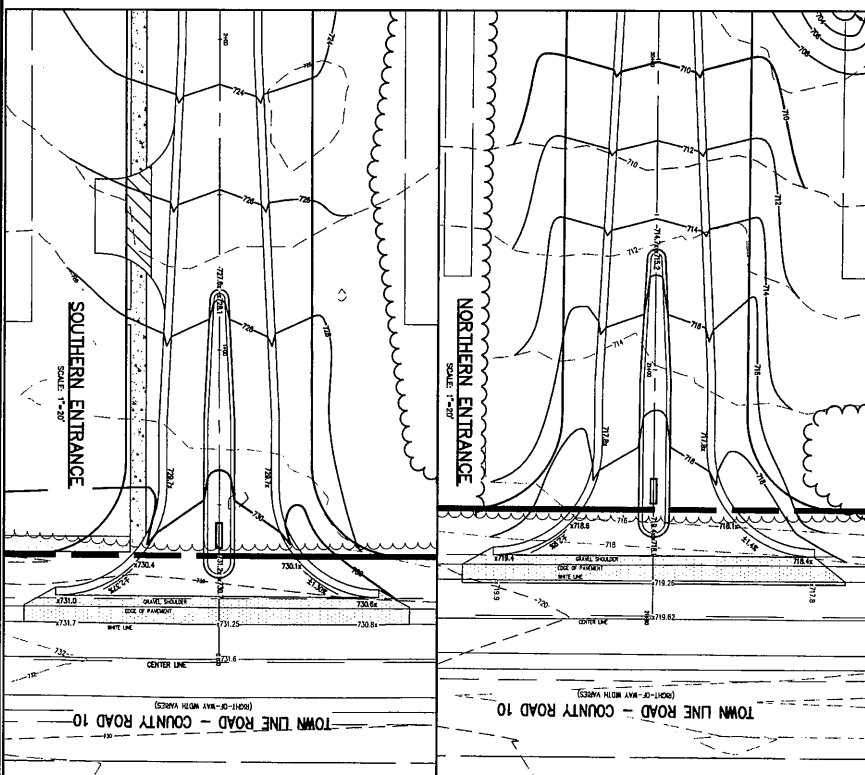
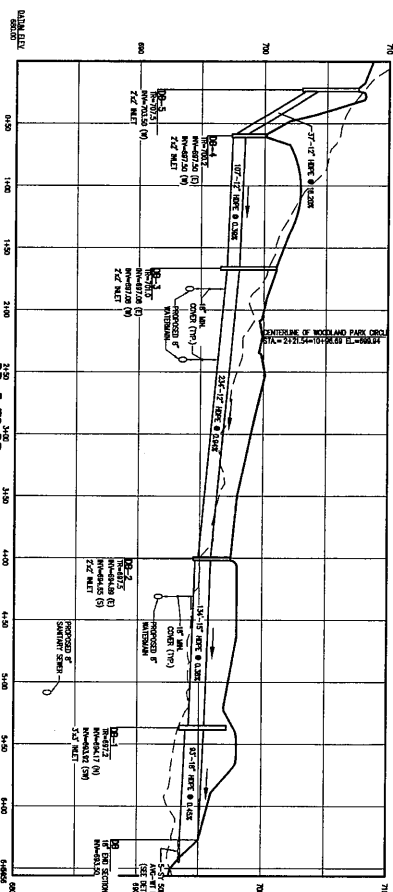
FOR CONSTRUCTION

[illegible]



APPROVALS

DATE:	4/26/18
TOWN ENGINEER:	Juan S. Lopez - MIRE Engineering
TOWN OF CHANDLER PLANNING BOARD CHAIRPERSON:	Brian H. Stelmach
TOWN OF CHANDLER PLANNING BOARD CHAIRPERSON:	[Signature]
DATE:	4/26/18
TOWN OF CHANDLER HEALTH INSURANCE/WATER SUPERINTENDENT:	[Signature]



FOR CONSTRUCTION

SHEET NUMBER 11. DRAWING PROJECT LOCATION PROJECT OWNER DRAWN BY DATE DATE ISSUED DATE REVISION DRAWING NO. 20 (SHEET 1 OF 3)	PROJECT CREEKVIEW APARTMENTS AT WOOLLAND PARK TOWN OF CANAMAUQUA, ONTARIO COUNTY, NEW YORK STATE LOCATION CLIENT THE UNDAUNED GROUP 1500 BRIDGTON HENRIETTA, TOWN LINE ROAD ROCKSTER, NEW YORK 14623 PHASE 1 FINAL DRAWING TITLE PROFILE SHEET
	PROJECT LOCATION TOWN OF CANAMAUQUA, ONTARIO COUNTY, NEW YORK STATE
	CLIENT THE UNDAUNED GROUP 1500 BRIDGTON HENRIETTA, TOWN LINE ROAD ROCKSTER, NEW YORK 14623
	PHASE 1 FINAL
	DRAWING TITLE PROFILE SHEET



BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

PHONE: 585-377-7360
FAX: 585-377-7209

7			
6			
5	REVISED PER OOPW COMMENTS	1/18/18	ZPG
4	REVISED PER OOPW COMMENTS	11/9/17	MGB
3	REVISED PER OOPW COMMENTS	10/24/17	ZPG
2	REVISED PER OOPW COMMENTS	10/11/17	ZPG
1	REVISED PER TOWN ENGINEER COMMENTS	8/11/17	ZPG
	REVISIONS	DATE	BY

The following are featured from the New York State Education for Adults 1980 State Yearbook and studies in the directory:

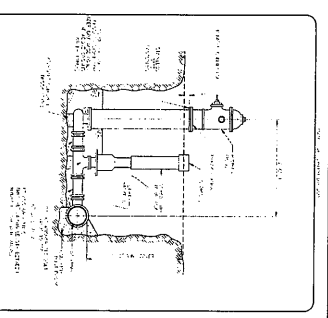
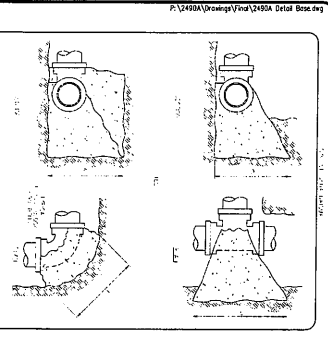
71. It is a collection of 300 new by very popular, authors who are writing under the direction of a licensed professional counselor or field counselor. It offers much to any type of or team learning by the student. The directory includes a variety of materials and offers in the form of a survey and the students "learned by" showed by the objectives and the title of each directory, and a "special description of the directory."



FOR CONSTRUCTION

PROJECT NUMBER	P. VARS
PROJECT DRAWING	M. BODLEY/290
DRAWN BY	Z. OREGO
DATE ISSUED	AS SHOWN
DATE ISSUED	JULY 2017
PROJECT NO.	2490A
DRAWING NO.	20A

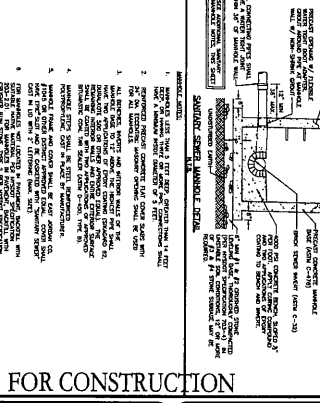
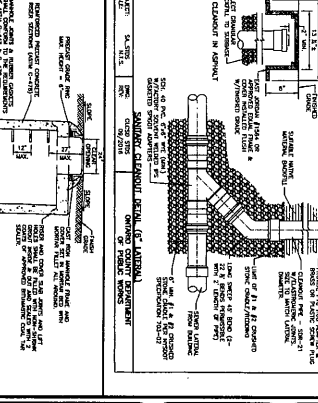
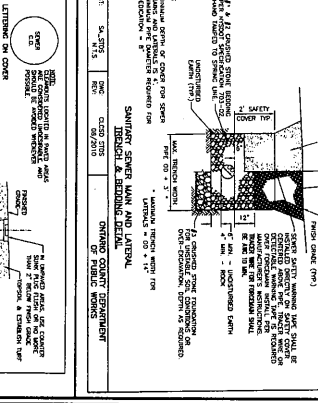
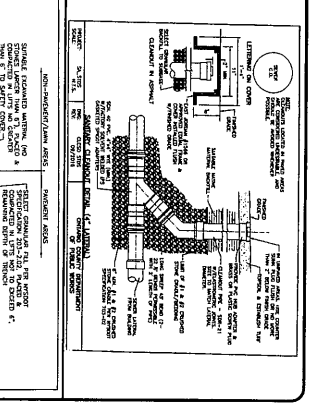
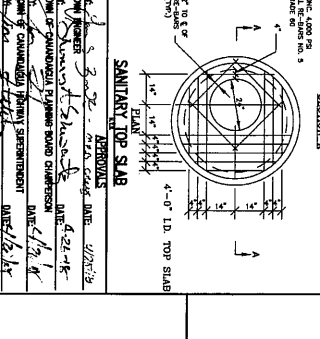
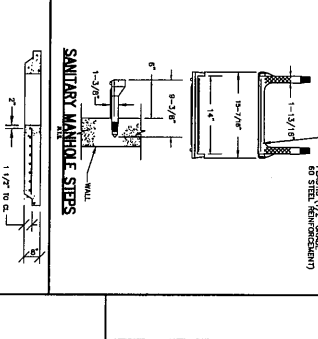
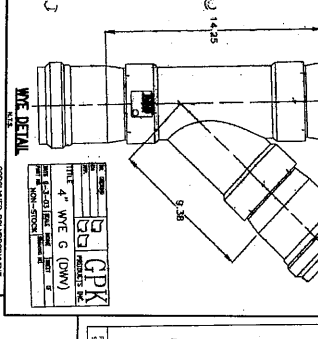
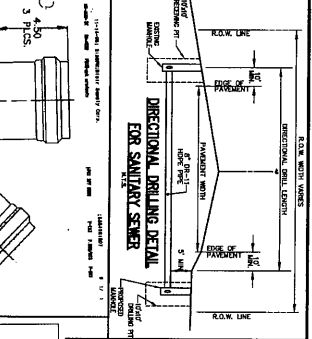
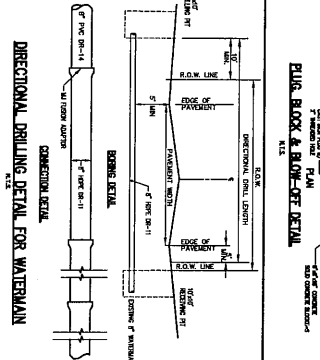
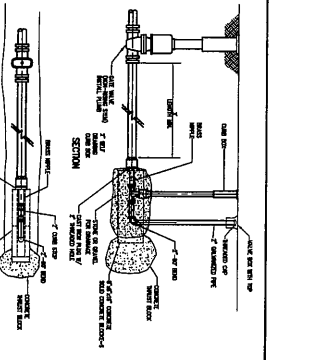
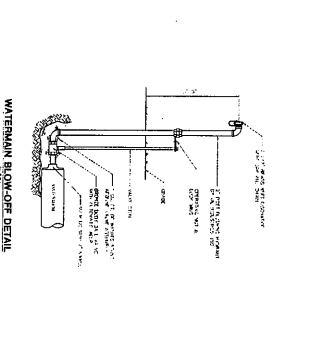
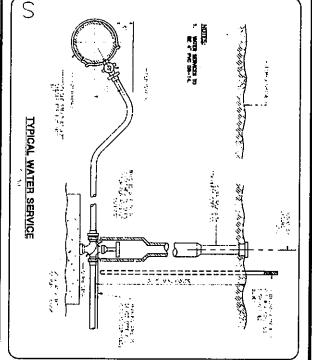
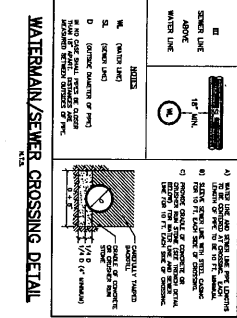
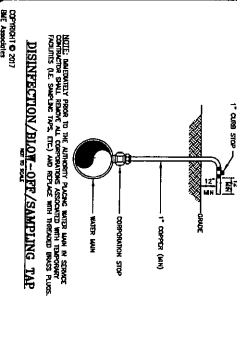
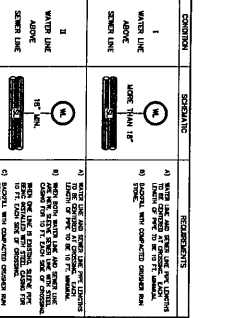
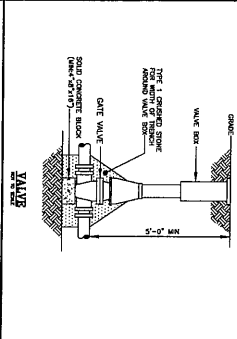
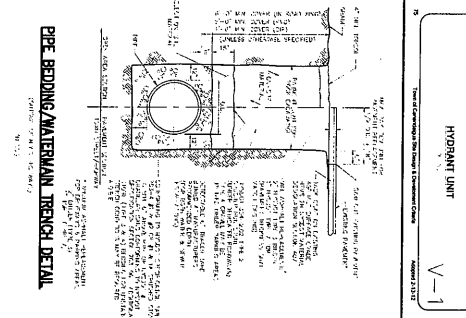
(SHEET 5 OF 5)



THRESH BLOCK DETAIL

TABLE 1: TYPICAL THRESH BLOCK DETAIL

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	THRESH BLOCK	1	EA	1.50	1.50
2	CONCRETE	1	CU YD	120.00	120.00
3	REINFORCING BARS	1	LB	1.00	1.00
4	PAVING	1	SQ YD	1.00	1.00
5	GRASS	1	SQ YD	1.00	1.00
6	LANDSCAPING	1	SQ YD	1.00	1.00
7	PAINT	1	GA	1.00	1.00
8	LABOR	1	HR	15.00	15.00
9	PERMITS	1	EA	10.00	10.00
10	INSURANCE	1	EA	5.00	5.00
11	TRAVEL	1	EA	5.00	5.00
12	TESTING	1	EA	10.00	10.00
13	MAINTENANCE	1	EA	5.00	5.00
14	DEMOLITION	1	EA	5.00	5.00
15	UTILITIES	1	EA	5.00	5.00
16	STREET CLOSURE	1	EA	5.00	5.00
17	TRAFFIC CONTROL	1	EA	5.00	5.00
18	SAFETY	1	EA	5.00	5.00
19	ENVIRONMENTAL	1	EA	5.00	5.00
20	ARCHITECTURAL	1	EA	5.00	5.00
21	ENGINEERING	1	EA	5.00	5.00
22	PERMITS	1	EA	5.00	5.00
23	INSURANCE	1	EA	5.00	5.00
24	TRAVEL	1	EA	5.00	5.00
25	TESTING	1	EA	5.00	5.00
26	MAINTENANCE	1	EA	5.00	5.00
27	DEMOLITION	1	EA	5.00	5.00
28	UTILITIES	1	EA	5.00	5.00
29	STREET CLOSURE	1	EA	5.00	5.00
30	TRAFFIC CONTROL	1	EA	5.00	5.00
31	SAFETY	1	EA	5.00	5.00
32	ENVIRONMENTAL	1	EA	5.00	5.00
33	ARCHITECTURAL	1	EA	5.00	5.00
34	ENGINEERING	1	EA	5.00	5.00
35	PERMITS	1	EA	5.00	5.00
36	INSURANCE	1	EA	5.00	5.00
37	TRAVEL	1	EA	5.00	5.00
38	TESTING	1	EA	5.00	5.00
39	MAINTENANCE	1	EA	5.00	5.00
40	DEMOLITION	1	EA	5.00	5.00
41	UTILITIES	1	EA	5.00	5.00
42	STREET CLOSURE	1	EA	5.00	5.00
43	TRAFFIC CONTROL	1	EA	5.00	5.00
44	SAFETY	1	EA	5.00	5.00
45	ENVIRONMENTAL	1	EA	5.00	5.00
46	ARCHITECTURAL	1	EA	5.00	5.00
47	ENGINEERING	1	EA	5.00	5.00
48	PERMITS	1	EA	5.00	5.00
49	INSURANCE	1	EA	5.00	5.00
50	TRAVEL	1	EA	5.00	5.00
51	TESTING	1	EA	5.00	5.00
52	MAINTENANCE	1	EA	5.00	5.00
53	DEMOLITION	1	EA	5.00	5.00
54	UTILITIES	1	EA	5.00	5.00
55	STREET CLOSURE	1	EA	5.00	5.00
56	TRAFFIC CONTROL	1	EA	5.00	5.00
57	SAFETY	1	EA	5.00	5.00
58	ENVIRONMENTAL	1	EA	5.00	5.00
59	ARCHITECTURAL	1	EA	5.00	5.00
60	ENGINEERING	1	EA	5.00	5.00
61	PERMITS	1	EA	5.00	5.00
62	INSURANCE	1	EA	5.00	5.00
63	TRAVEL	1	EA	5.00	5.00
64	TESTING	1	EA	5.00	5.00
65	MAINTENANCE	1	EA	5.00	5.00
66	DEMOLITION	1	EA	5.00	5.00
67	UTILITIES	1	EA	5.00	5.00
68	STREET CLOSURE	1	EA	5.00	5.00
69	TRAFFIC CONTROL	1	EA	5.00	5.00
70	SAFETY	1	EA	5.00	5.00
71	ENVIRONMENTAL	1	EA	5.00	5.00
72	ARCHITECTURAL	1	EA	5.00	5.00
73	ENGINEERING	1	EA	5.00	5.00
74	PERMITS	1	EA	5.00	5.00
75	INSURANCE	1	EA	5.00	5.00
76	TRAVEL	1	EA	5.00	5.00
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83	SAFETY	1	EA	5.00	5.00
84	ENVIRONMENTAL	1	EA	5.00	5.00
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86	ENGINEERING	1	EA	5.00	5.00
87	PERMITS	1	EA	5.00	5.00
88	INSURANCE	1	EA	5.00	5.00
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90	TESTING	1	EA	5.00	5.00
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92	DEMOLITION	1	EA	5.00	5.00
93	UTILITIES	1	EA	5.00	5.00
94	STREET CLOSURE	1	EA	5.00	5.00
95	TRAFFIC CONTROL	1	EA	5.00	5.00
96	SAFETY	1	EA	5.00	5.00
97	ENVIRONMENTAL	1	EA	5.00	5.00
98	ARCHITECTURAL	1	EA	5.00	5.00
99	ENGINEERING	1	EA	5.00	5.00
100	PERMITS	1	EA	5.00	5.00



FOR CONSTRUCTION

CREEKVIEW APARTMENTS AT WOODLAND PARK

TOWN OF CANNONDAUGUS, NEW YORK STATE

1500 BROADWAY, CANNONDAUGUS, NY 11731

PHASE 1 FINAL DETAIL SHEET

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK

LOCATION: 1500 BROADWAY, CANNONDAUGUS, NY 11731

CLIENT: THE MANACIO GROUP

DRAWING TITLE: PHASE 1 FINAL DETAIL SHEET

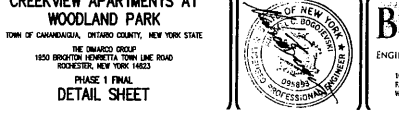
DATE: 12/1/11

SCALE: 1" = 1'-0"

PROJECT NO: 2490A

DRAWING NO: 21

DATE: 12/1/11



BMT ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

1500 BROADWAY, CANNONDAUGUS, NY 11731

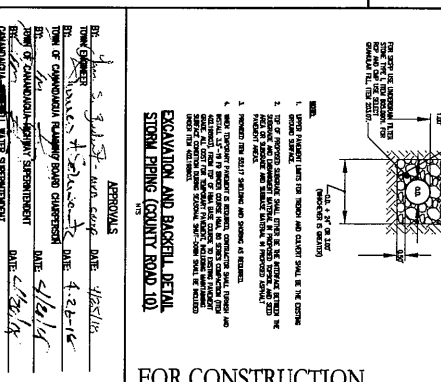
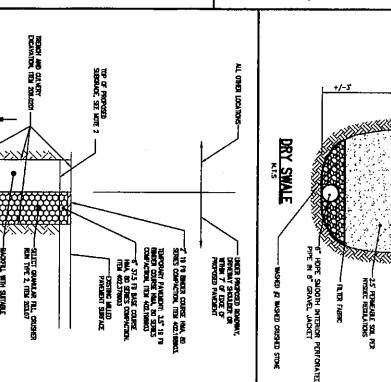
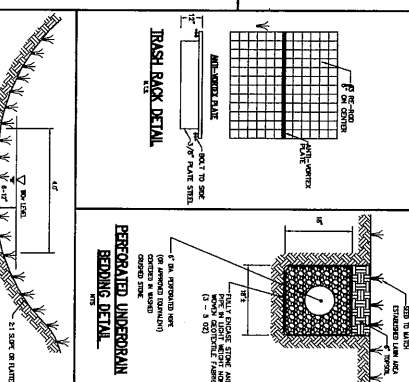
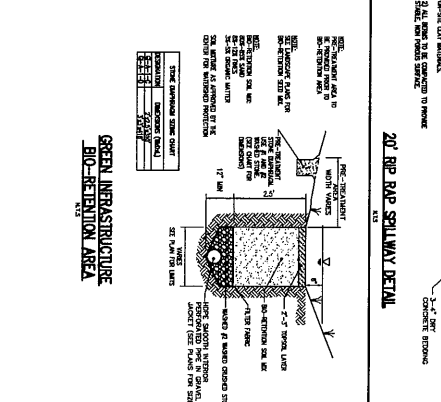
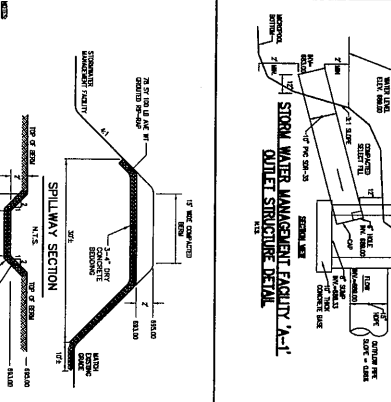
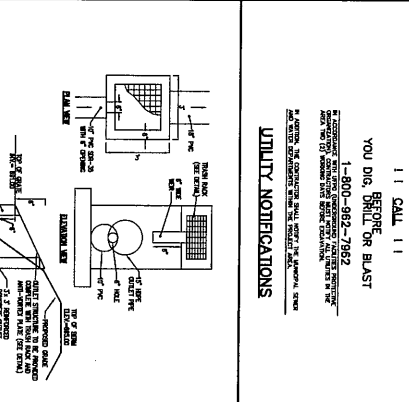
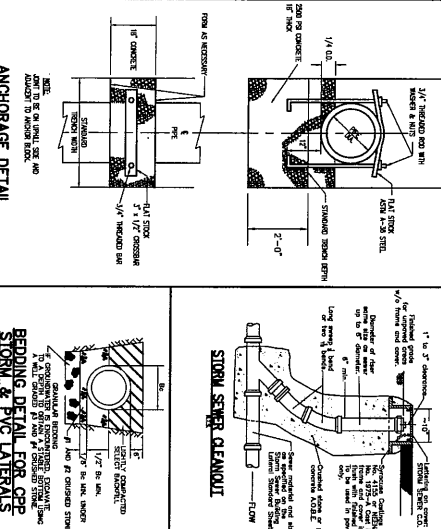
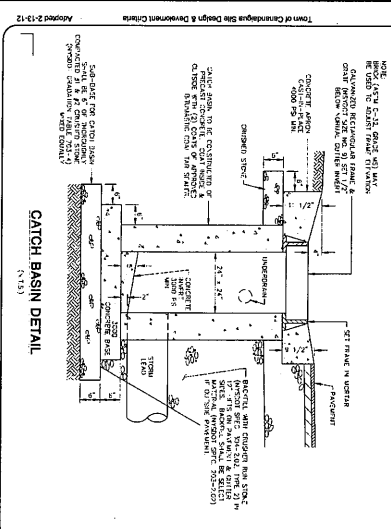
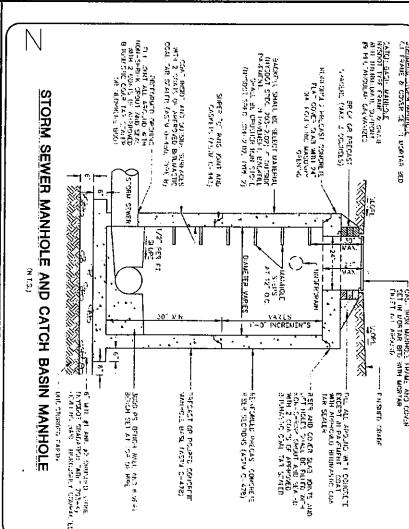
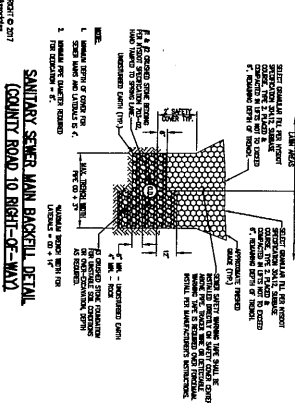
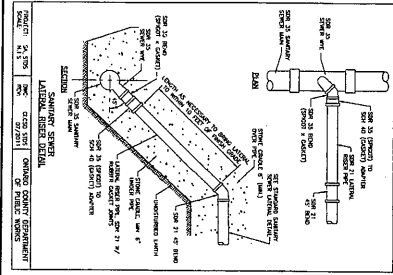
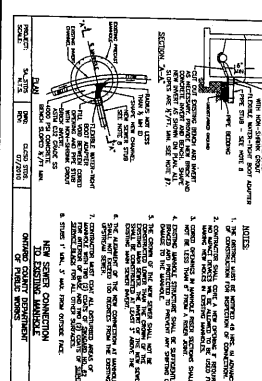
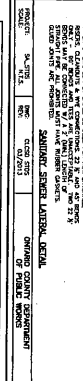
PHONE: 607-737-7300

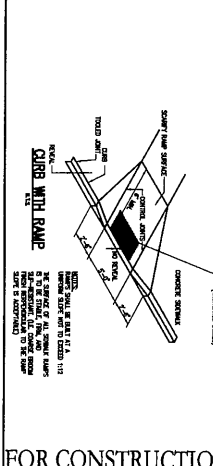
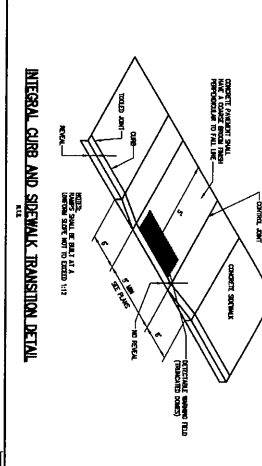
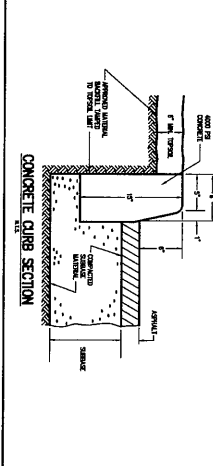
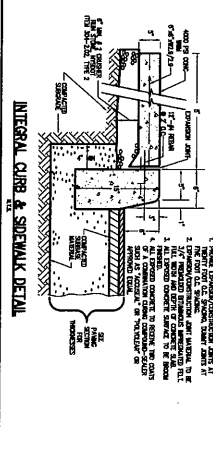
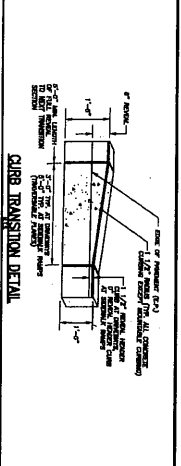
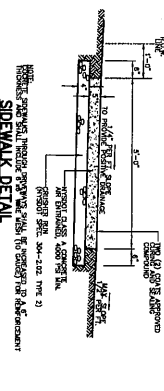
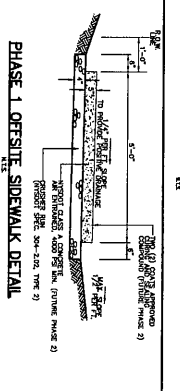
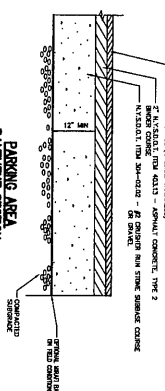
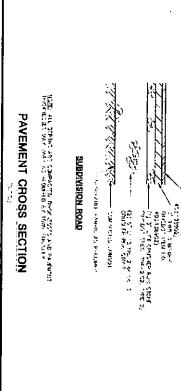
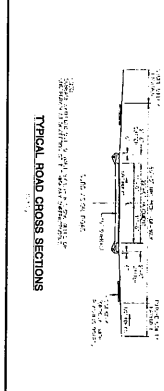
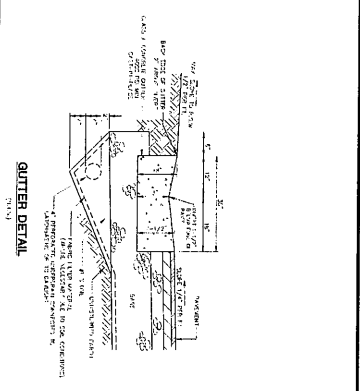
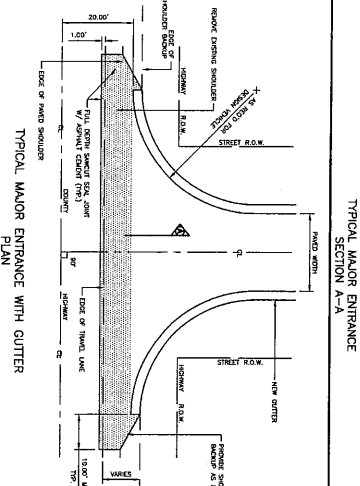
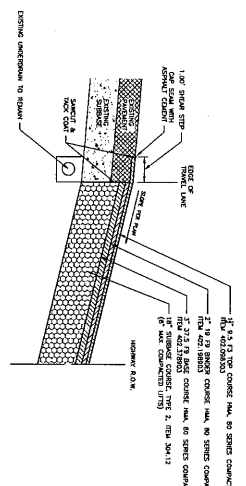
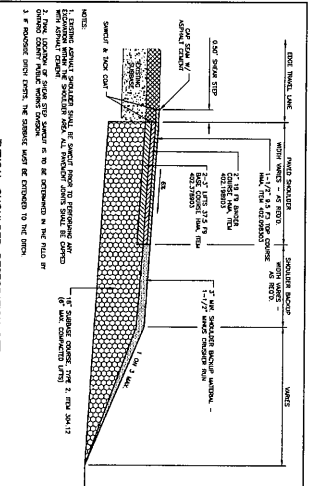
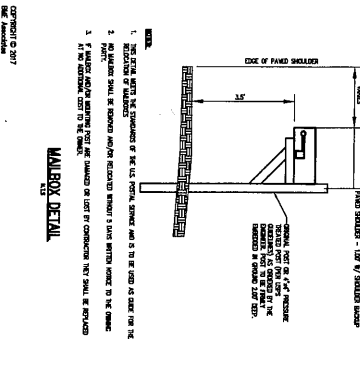
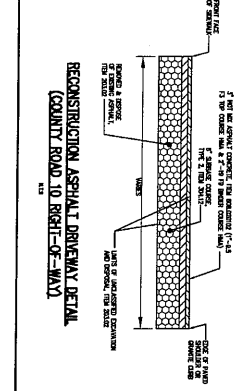
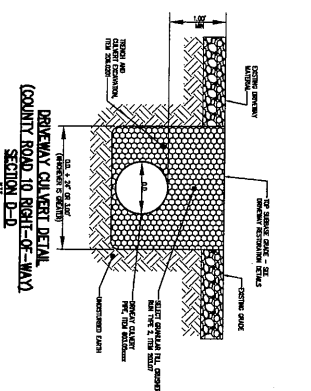
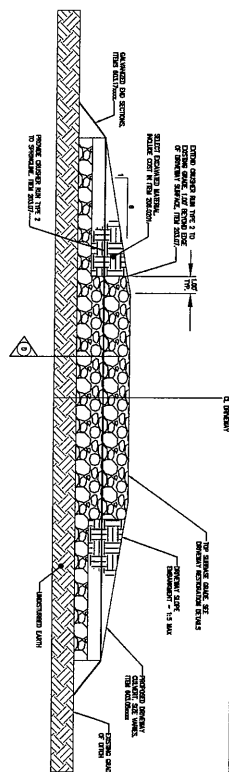
FAX: 607-737-7300

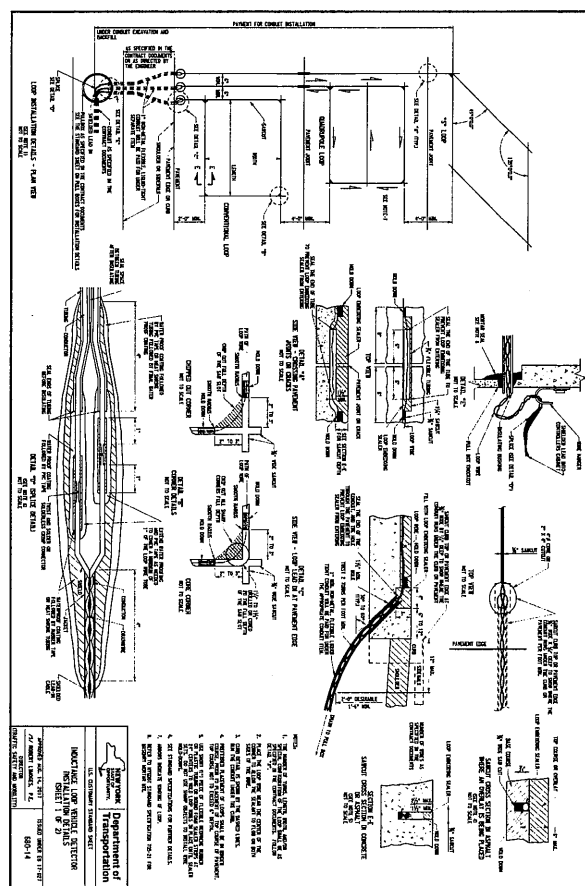
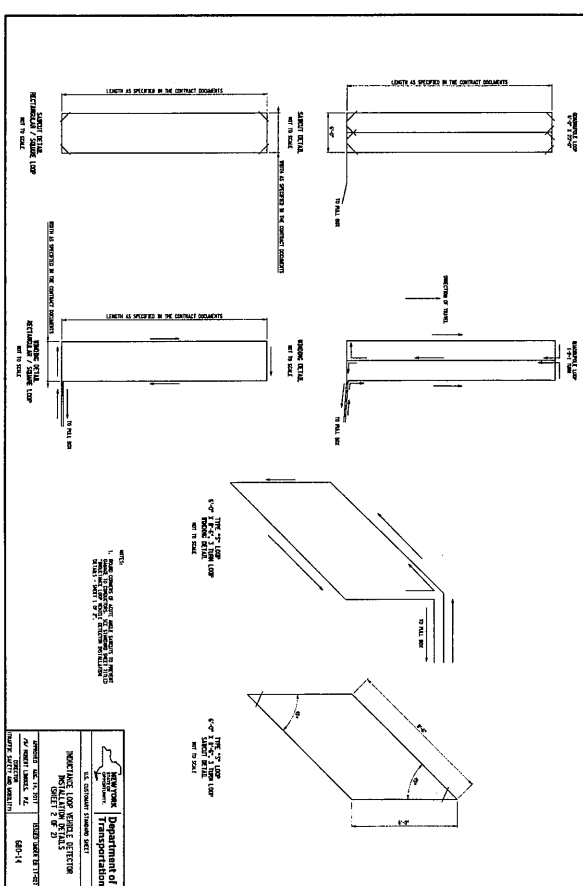
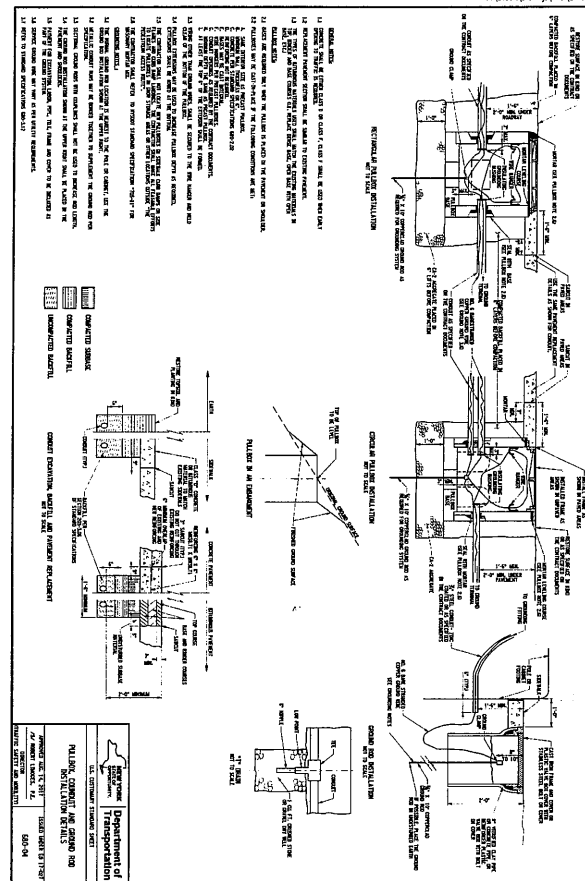
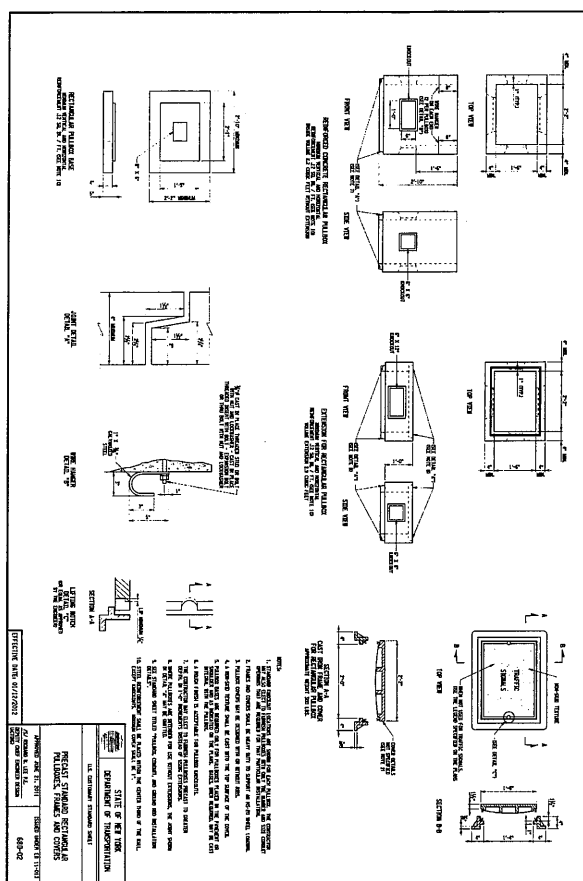
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REVISIONS

NO.	DATE	BY	REVISION
1	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
2	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
3	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
4	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
5	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
6	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
7	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
8	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
9	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS
10	12/1/11	DP	REVISED PER TOWN ENGINEER COMMENTS

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FOR CONSTRUCTION

