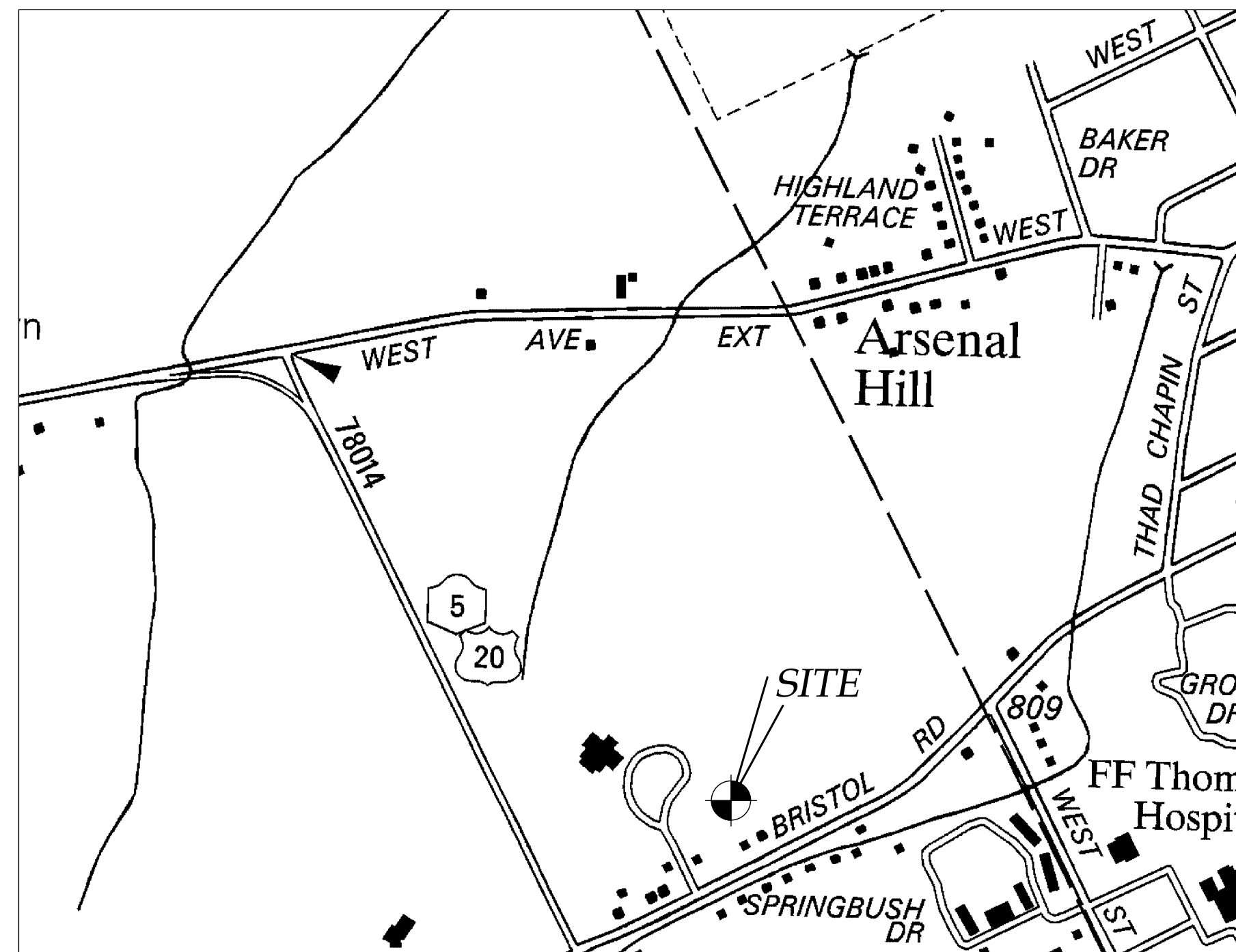


PRELIMINARY SUBDIVISION & SITE PLANS FOR:
WILLIAM METROSE, LTD
10 -LOT RESIDENTIAL CONSERVATION SUBDIVISION
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

SEPTEMBER 9, 2020

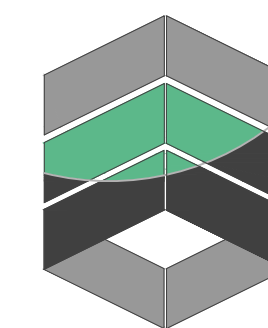


LOCATION MAP
NTS



NOT FOR CONSTRUCTION

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MarksEngineering

MARKS ENGINEERING, P.C.
42 BEEMAN STREET
CANANDAIGUA, NY 14424
(585)905-0360
WWW.MARKSENGINEERING.COM

PROPERTY OWNER:
WILLIAM E. METROSE
425 GARNSEY ROAD
FAIRPORT, NEW YORK 14450

PREPARED FOR:
WILLIAM METROSE, LTD

REVISIONS:
9/18/2020 TOWN PRC
9/21/20 TOWN PRC

WILLIAM METROSE, LTD
BRISTOL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
NEW YORK
JOB #19-094
09/09/2020

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
- ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
- SAFTEY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK

GRADING NOTES:

- CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
- CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS
- SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
- TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

- CONSTRUCTION SEQUENCE:
- INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OTHER TEMPORARY CONTROLS.
- STRIP AND STOCKPILE TOPSOIL
- EXCAVATE FOUNDATION AND ROUGH GRADE SITE.
- BUILD FOUNDATION AND STRUCTURES
- INSTALL UTILITIES
- BACKFILL FOUNDATION
- RESPREAD TOPSOIL AROUND HOUSE, FINAL GRADE SEE AND MULCH
- REMOVE TEMPORARY CONTROLS AFTER SITE STABILIZED WITH VEGETATION.

STANDARD NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
- ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
- A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
- THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
- THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
- CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE -CONSTRUCTION MEETING.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
- ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
- NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
- SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
- CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
- SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN STALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
- INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
- THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- CONCRETE TRUCK SHALL BE WASHED OUT INTO A SEALED CONTAINER OR DIKED AREA TO PREVENT CONTAMINANTS FROM DISCHARGING TO SURFACE WATERS.

GENERAL NOTES:

- THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
- THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
- PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
- CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
- ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.

DRIVEWAY, AND GRADING NOTES:

- DRIVEWAY SHALL NOT EXCEED 10% TRAVERSING SLOPE AND 2% CROSS SLOPE.
- DRIVEWAY SHALL BE MINIMUM 12 FEET IN WIDTH (RESIDENTIAL) OR 20' IN WIDTH (COMMERCIAL).
- DRAINAGE SWALES SHALL HAVE A MINIMUM DEPTH OF 12" AND MINIMUM WIDTH OF 4'. SWALES SHALL HAVE A LINEAR SLOPE OF MINIMUM 2% (1' RISE PER 50' RUN) AND MAXIMUM SIDE SLOPE OF 1' RISE PER 3' RUN.
- ALL WORK WITHIN RIGHT-OF-WAY SHALL BE PERMITTED BY HIGHWAY SUPERINTENDENT AND COORDINATE W/ INSPECTOR.

LANDSCAPING PLAN NOTES:

- ONE YEAR GUARANTEE TO BE PROVIDED BY THE CONTRACTOR ON ALL PLANT MATERIAL FROM DATE OF FINAL ACCEPTANCE.
- ALL EXISTING PAVEMENT, BASE STONE AND UNSUITABLE SUBGRADE MATERIAL IN NEW PLANTING BEDS TO BE REMOVED TO PROVIDE DEPTH FOR SUITABLE PLANTING BACKFILL MATERIAL AS DIRECTED AND APPROVED BY THE ENGINEER.
- ALL PLANTS SHALL MEET OR EXCEED THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
- PLANTING BACKFILL MIXTURE TO CONSIST OF 4 PARTS TOPSOIL AND 1 PART PEAT MOSS. PROVIDE 10 LBS. OF 5-10-5 FERTILIZER PER 1 CUBIC YARD OF PLANTING BACKFILL TO A MINIMUM DEPTH OF 2'-0".
- LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FOR ALL LANDSCAPING WORK IF REQUIRED BY THE TOWN OF CANANDAIGUA.
- LANDSCAPING CONTRACTOR WILL INFORM THE ENGINEER/LANDSCAPE ARCHITECT ABOUT ENCOUNTERING ANY UNDERGROUND UTILITIES OR STRUCTURES NOT PREVIOUSLY IDENTIFIED OR FIELD LOCATED.
- ALL SHRUB PLANTING BEDS TO RECEIVE 2" LAYER OF CLEAN, WASHED PEA GRAVEL MULCH ON PERMEABLE WEED BARRIER.
- ALL PERMANENT LAWN AREAS ARE TO RECEIVE 6" OF TOPSOIL AND THE FOLLOWING LAWN SEED MIX:
65% KENTUCKY BLUEGRASS AT 2.5 LBS PER 1,000 S.F.
20% PERENNIAL RYEGRASS AT 1.0 LBS PER 1,000 S.F.
15% FINE FESCUE AT 0.6 LBS PER 1,000 S.F.

SITE NOTES:

- THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
- THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA.
- WATER SUPPLY: PUBLIC WATER
- NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES, DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
- ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.
- ELEVATION DATUM: NAVD 88 GEOID 12B

PHOSPHOROUS NOTES:

- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

STORM SEWER NOTES

- CATCH BASIN AND MANHOLE DIAMETERS SHALL BE AS FOLLOWS:

LARGEST PIPE SIZE IN STRUCTURE	INSIDE DIAMETER OF STRUCTURE
UP TO 24"	4'
27" TO 42"	5'
LARGER THAN 42"	SPECIAL STRUCTURE

- STORM SEWER PIPING TO BE CORRUGATED SMOOTH BORE POLYETHYLENE PIPE IN ACCORDANCE WITH N.Y.S.D.O.T. ITEM 18903.97 AND AASHTO-M252 & M294.

- LINING MATERIALS AND SPECIAL BACKFILL TO BE R.O.B. OR R.O.C. MATERIAL (N.Y.S.D.O.T. SECTION 304-2.02 TYPE 4), MEETING THE FOLLOWING GRADATIONS:

SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1/4"	30-50
#40	5-40
#200	0-10

- GRANULAR FILTER MATERIAL TO BE N.Y.S.D.O.T. SECTION 605-2.02 TYPE 1, MEETING THE FOLLOWING GRADATIONS:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
1/2"	30-100
1/4"	0-30
#10	0-10
#20	0-5

- RIP-RAP SHALL BE UNIFORMLY HARD, DURABLE, AND ANGULAR FIELD OR QUARRED LIMESTONE WITH A MINIMUM DENSITY OF 150 LB/CF. THE RATIO OF THE MINIMUM DIMENSION TO THE MAXIMUM DIMENSION OF EACH PIECE TO BE AT LEAST 0.6. RIP-RAP SHALL BE COMPOSED OF A WELL GRADED MIXTURE OF PRIMARILY LARGER STONE SIZES WITH A SUFFICIENT MIXTURE OF SMALLER SIZES TO FILL THE VOIDS. UNLESS OTHERWISE NOTED IN THESE PLANS, SUPPLEMENTAL SPECIFICATIONS, OR UNLESS OTHERWISE DIRECTED, RIP-RAP SIZES SHALL BE AS FOLLOWS:

MAX. DIMENSION OF STONE	% OF MIX BY WEIGHT
18"-24"	20
12"-18"	50
8"-12"	20
4"-8"	10

STANDARD NOTES (CONTINUED)

- ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
- ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:

A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.

B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

- THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER.
- FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).
- NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
- THE FOLLOWING SEED MIX SHALL BE USED:

SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER		
CEREAL RYE	100	2.5

- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

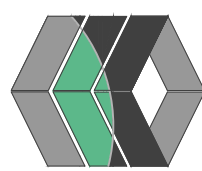
LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8
TALL FESCUE	20
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5

- SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYRDO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFPO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

STANDARD NOTES (CONTINUED)

- THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION & SEDIMENT CONTROL MEASURES, DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
- ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
- SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
- ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.



REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	9/17/26	TOWN OF CANANDAIGUA PRC	JPS
2	9/21/26	TOWN OF CANANDAIGUA PRC	KRB

PRELIMINARY

SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11-Lot Residential Conservation Subdivision

SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE: NOTES

DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

LEGEND

○ Iron pin or pipe found

⊕ Benchmark

○ Utility pole

● Hydrant

● Light pole

PERC TEST

EXISTING

OR

PROPOSED

E/T

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

CO - CLEAN OUT

EX - EXISTING

CPP - CORRUGATED POLYETHYLENE PIPE

O.C. - ON CENTER

SI - SMOOTH INTERIOR CORRUGATED

P - POLYETHYLENE PIPE

UC - UNDERGROUND

CONC - CONCRETE

R - RADIUS

BC - BOTTOM OF CURB

TC - TOP OF CURB

TW - TOP OF WALL

BW - BOTTOM OF WALL

BS - BOTTOM OF STAIRS

MIN - MINIMUM

MAX - MAXIMUM

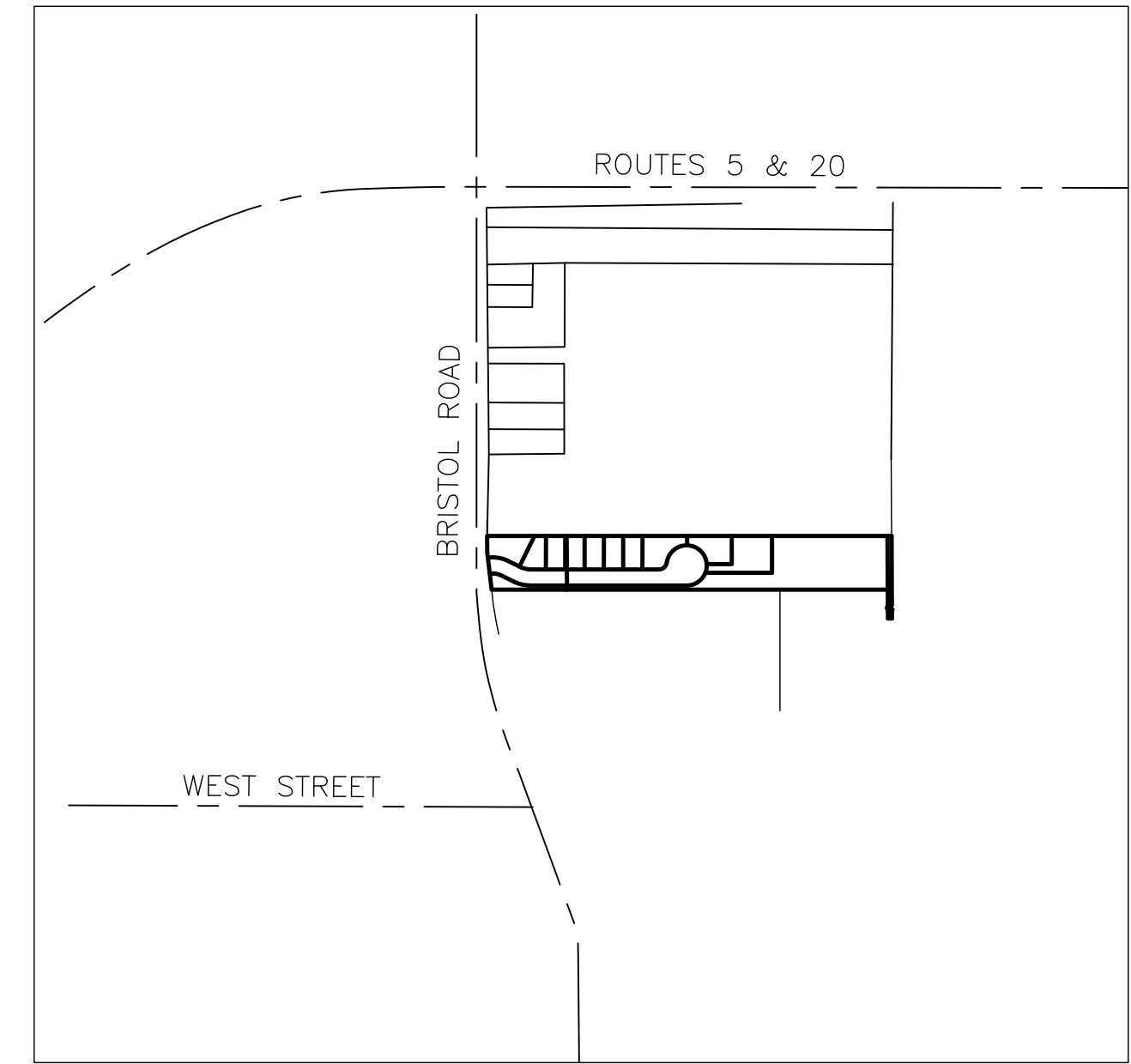
INV - INVERT

CB - CATCH BASIN

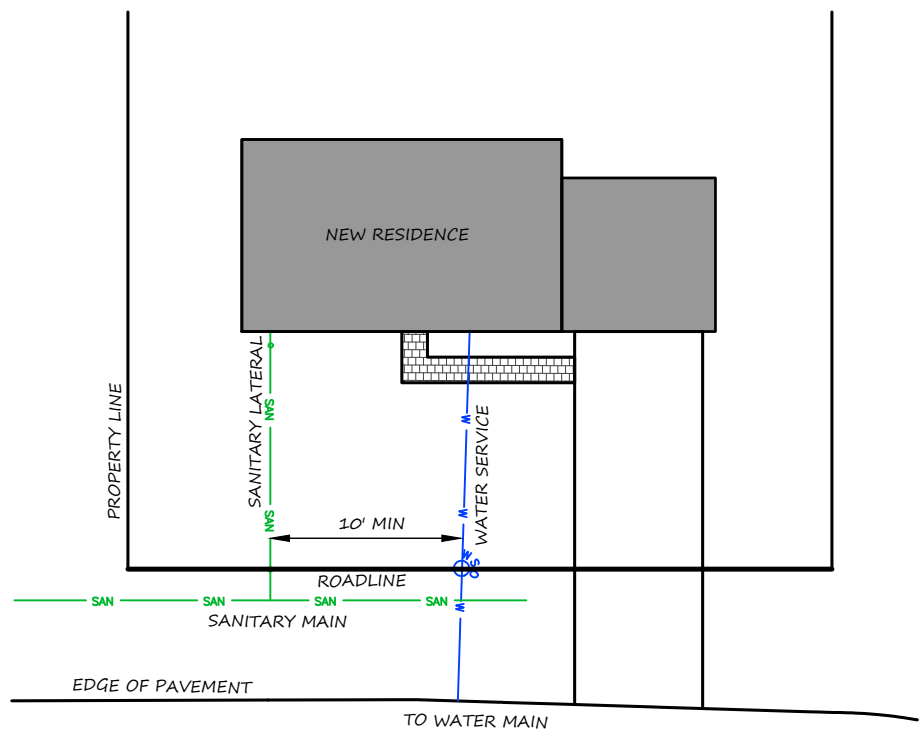
MH - MANHOLE

DI - DRAINAGE INLET

PERF - PERFORATED



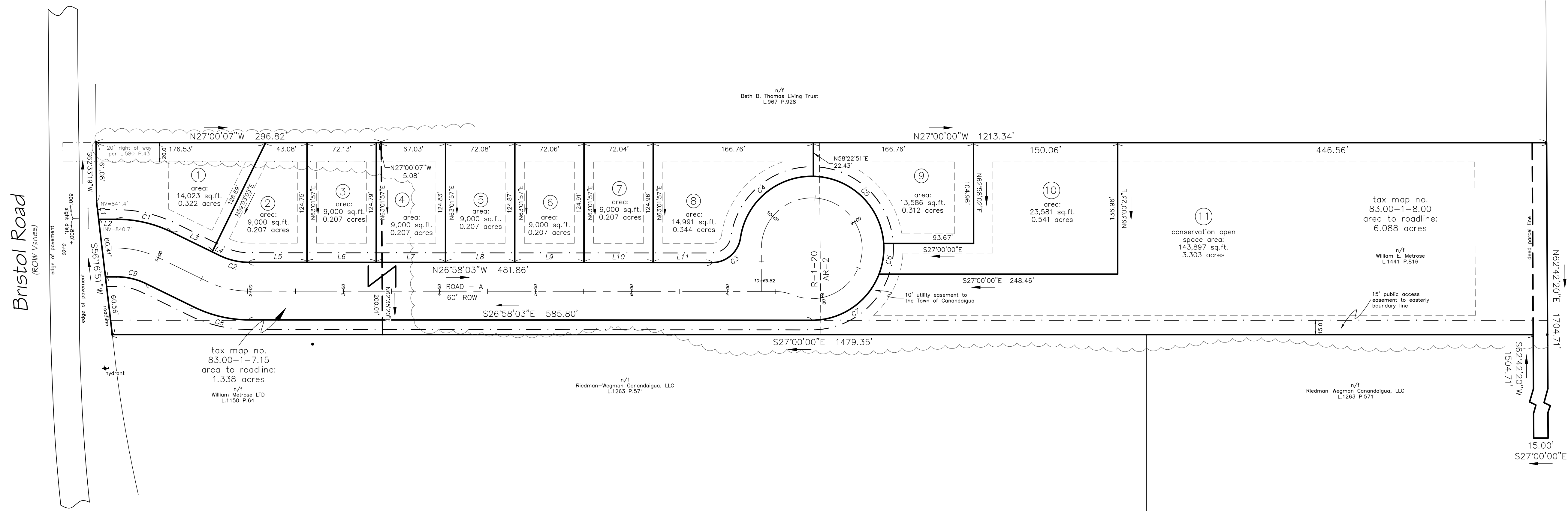
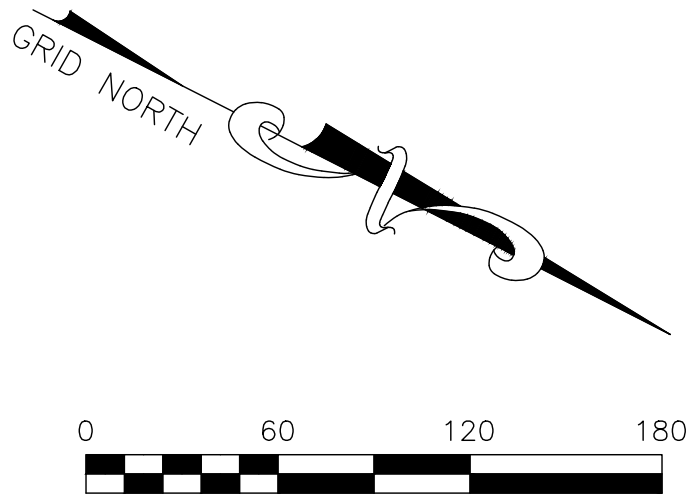
Location Map



2 TYPICAL LOT LATERAL DETAIL
NTS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	130.00'	59.11'	58.60'	S13°58'29"E	26°03'07.46"
C2	70.00'	31.78'	31.51'	N13°57'15"W	26°00'39.86"
C3	30.00'	42.82'	39.28'	S67°51'39"E	81°47'12.40"
C4	75.00'	108.68'	99.42'	S67°14'26"E	83°01'38.88"
C5	75.00'	111.04'	101.18'	S16°41'21"W	84°49'54.76"
C6	75.00'	32.62'	32.36'	S71°33'51"W	24°55'03.93"
C7	75.00'	90.33'	84.97'	N61°28'20"W	69°00'34.86"
C8	130.00'	59.02'	58.51'	N13°57'15"W	26°00'39.86"
C9	70.00'	31.83'	31.56'	S13°58'29"E	26°03'07.46"

LINE	BEARING	DISTANCE
L1	S56°16'51"W	18.89'
L2	S27°00'02"E	16.65'
L3	S00°56'55"E	47.22'
L4	S00°56'55"E	8.62'
L5	S26°58'03"E	60.21'
L6	S26°58'03"E	72.13'
L7	S26°58'03"E	72.11'
L8	S26°58'03"E	72.08'
L9	S26°58'03"E	72.06'
L10	S26°58'03"E	72.04'
L11	S26°58'03"E	161.23'



1 PRELIMINARY SUBDIVISION PLAT
1"=60'

ZONING:
R-1-20 Residential
Single-family dwelling
minimum lot size - 20,000 square feet
minimum lot width - 100 feet
setbacks principal building:
front - 60 feet
rear - 40 feet (principal)
rear - 15 feet (accessory)
side - 25 feet (principal)
rear - 15 feet (accessory)
building height - 35 feet
Maximum building coverage - 20%

Owners:

Tax map no. 83.00-1-7.150
William Metrose, LTD
55 Sullys Trail
Pittsford, New York 14534

Tax map no. 83.00-1-8.00
William E. Metrose
425 Garnsey Road
Fairport, New York 14450

I certify that this plan was prepared September 1, 2020 from notes of an instrument survey completed August 18, 2020 and from materials referenced hereon.

David M. Parrinello NYSPLS 049724

Note: It is the policy of this state and the Town of Canandaigua to conserve, protect and encourage the development and improvement of agricultural land for the production of food and other products and also for its natural ecological value. This notice is to inform prospective residents that the property that they are about to acquire lies partially or wholly in or within 500 feet of either an agricultural district or land for which an individual commitment has been received pursuant to sections 305 or 306 of the Agriculture and Markets Law of the State of New York and that farming activities occur in such district or land. Such farming activities may include, but not limited to, activities that cause noise, dust, and odors.

Notes & References

- The intent of this plan is to annex tax map no. 83.00-1-7.15 onto tax map no. 83.00-1-8.00 and subdivide the combined lots into ten new residential building lots. Deeds: L.1150 P.64, L.1441 P.816
- Parcel is zoned R-1-20 Residential
- Maps: 1455, 15429, 32637, 33973
- This plan is subject to any easements or encumbrances that an updated search of title may reveal.
- Horizontal Datum: New York State Plane, NAD83, New York Central
- Vertical Datum: NAVD88, Geoid NGS2018

NEW YORK STATE DEPARTMENT OF HEALTH CONDITIONS OF APPROVAL:

- THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE COLLECTION AND/OR TREATMENT SHALL BE INSTALLED IN CONFORMITY WITH SAID PLANS.
- THAT NO LOT OR REMAINING LAND SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE NYSDOH GENEVA DISTRICT OFFICE.
- THAT PLAN APPROVAL IS LIMITED TO 5 YEARS FROM THE APPROVAL DATE. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE NYSDOH GENEVA DISTRICT OFFICE BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- THAT THE APPROVED PLANS MUST BE FILED WITH THE COUNTY CLERK PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE DATE OF PLAN APPROVAL.
- THAT ALL LOCAL AND STATE AGENCY RULES AND REGULATIONS SHALL BE COMPLIED WITH.

WATER/HIGHWAY SUPERINTENDENT DATE

PLANNING BOARD CHAIRMAN DATE

TOWN ENGINEER DATE

NYS HEALTH DEPT. APPROVAL -
ONSITE WASTEWATER TREATMENT SYSTEMS

SITE PLANS PREPARED FOR:

WILLIAM METROSE, LTD

11-LOT RESIDENTIAL CONSERVATION SUBDIVISION

SHOWING LAND IN:

5100 & 5150 BRISTOL ROAD

TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

STATE OF NEW YORK

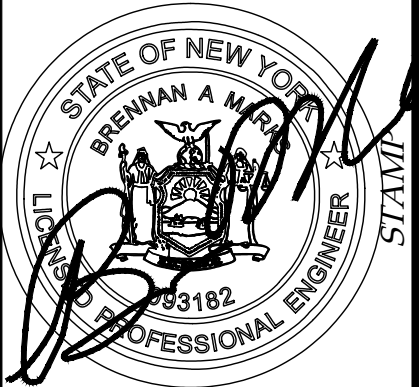
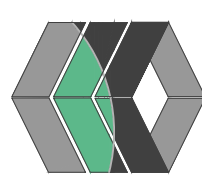
REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	9/17/20	TOWN OF CANANDAIGUA PRC	JPS
2	9/21/20	TOWN OF CANANDAIGUA PRC	KRB

PRELIMINARY

NOT FOR CONSTRUCTION

MarksEngineering



42 BEEMAN ST.
CANANDAIGUA, NY 14424
www.marksengineering.com marksengineering.com
Phone: 385-905-0960
Fax: 385-485-6205

STAMP

PLAT

- REFERENCES & NOTES
- DEEDS: L.1150 P.64, L.1441 P.816
 - PARCEL IS ZONED R-1-20 RESIDENTIAL
 - MAPS: 1455, 15429, 32637, 33973
 - HORIZONTAL DATUM: NEW YORK STATE PLANE, NAD83, NEW YORK CENTRAL
 - VERTICAL DATUM: NAVD83, GEOID NGS2018

LEGEND

○ Iron pin or pipe found

● Benchmark

○ Utility pole

● Hydrant

● Light pole

PERC TEST

DEEP HOLE

EXISTING

ONE

etc

SHLE

SHLE

X

X

q q

PROPOSED

E/T

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

ABBREVIATIONS:

EX-EXISTING

OPP-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SCOP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO -CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TO-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MH-MANHOLE

DI-DRAINAGE INLET

11-LOT RESIDENTIAL CONSERVATION SUBDIVISION

WILLIAM METROSE, LTD

SHOWING LAND IN:

5100 & 5150 BRISTOL ROAD

TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

STATE OF NEW YORK

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

EX100

PRELIMINARY

SITE PLANS PREPARED FOR:

WILLIAM METROSE, LTD

11-LOT RESIDENTIAL CONSERVATION SUBDIVISION

SHOWING LAND IN:

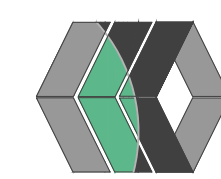
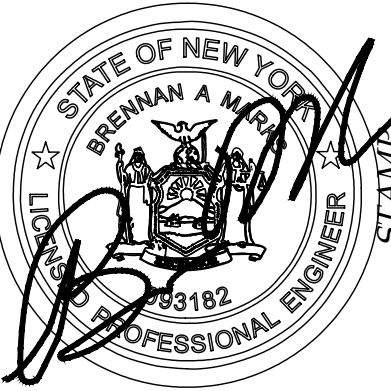
5100 & 5150 BRISTOL ROAD

TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

STATE OF NEW YORK

REVISIONS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	9/17/20	TOWN OF CANANDAIGUA REC	JPS
2	9/21/20	TOWN OF CANANDAIGUA REC	KRB

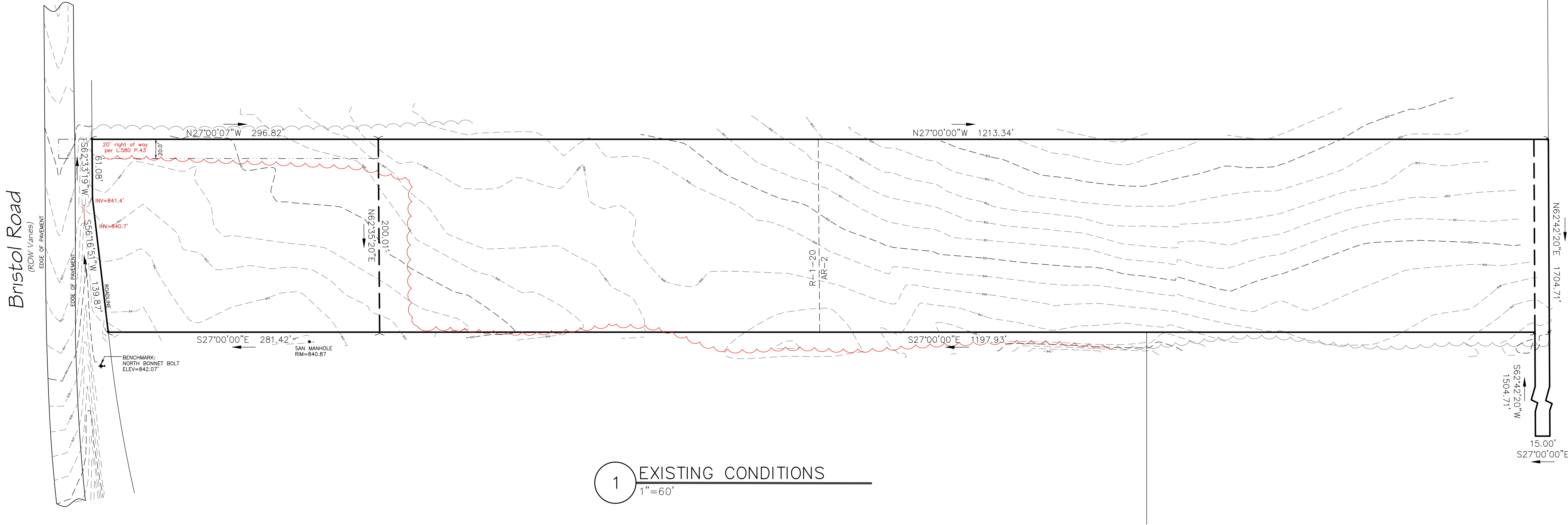
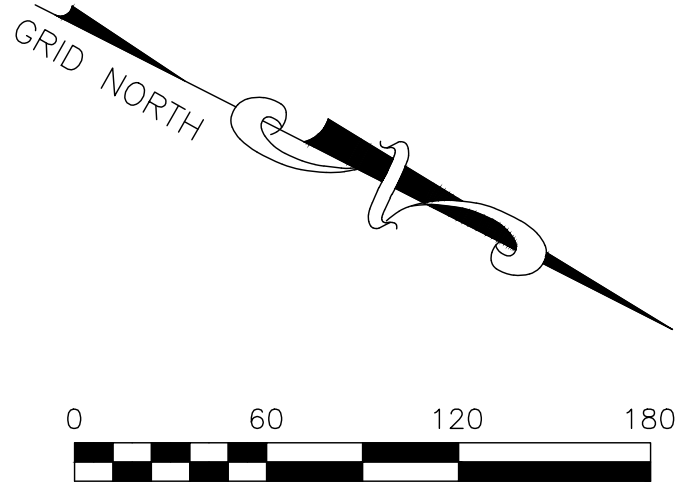


42 BEEMAN ST.
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www.marksengineering.com marksengineering.com

Phone: 585-905-0360
Fax: 585-483-6205
www.marksengineering.com marksengineering.com

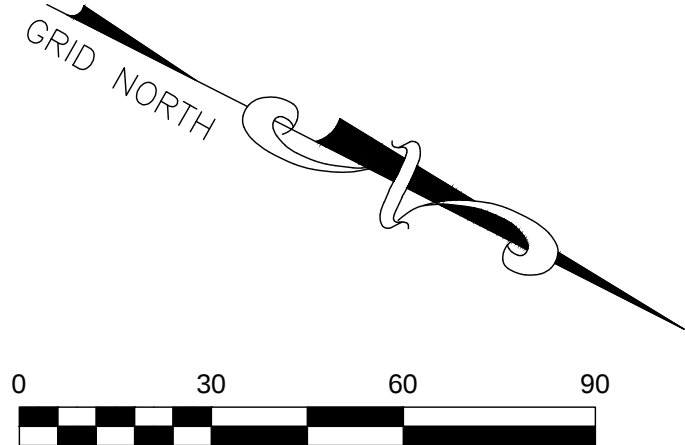
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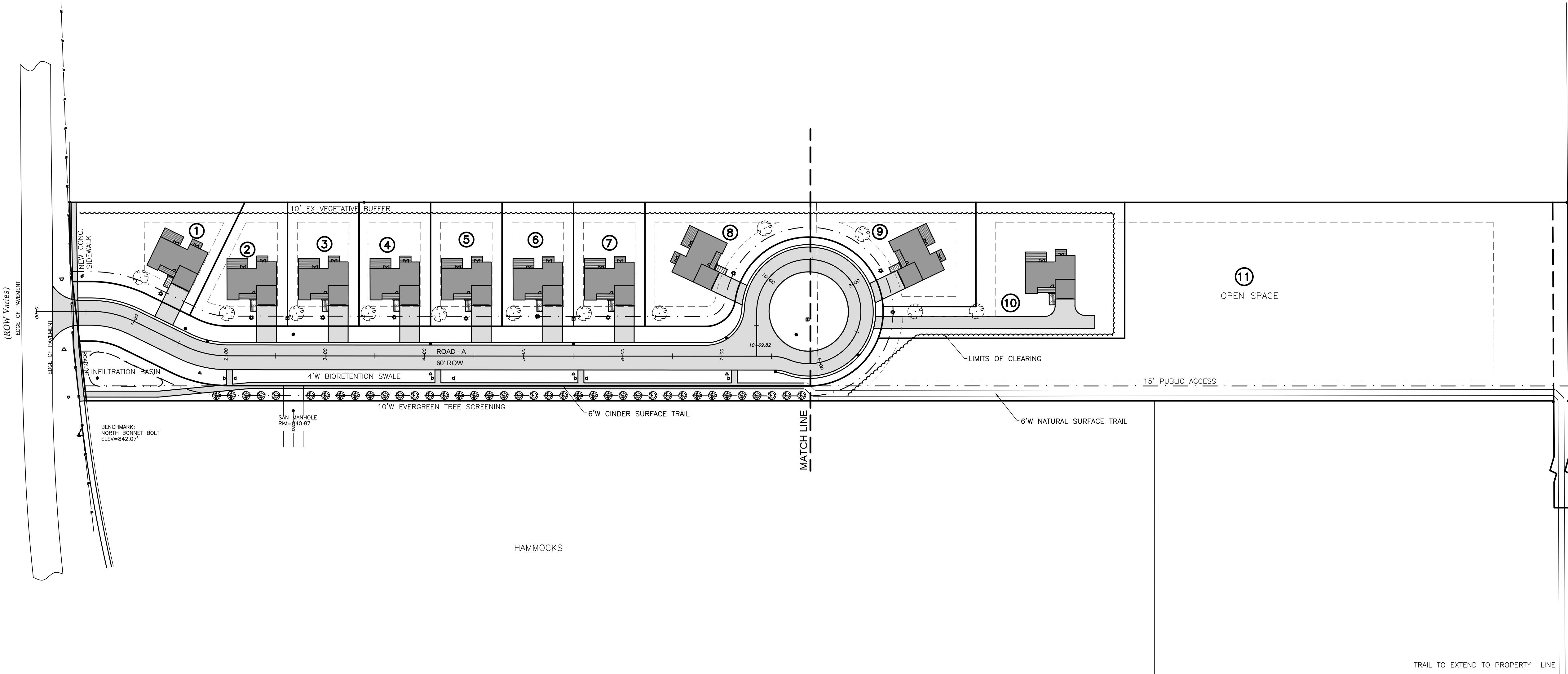


SITE DATA											
	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10
ZONING/USE - PRINCIPAL	CONSERVATION SUBDIVISION	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL	SINGLE RESIDENTIAL
ZONING/USE - ACCESSORY	NA	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE	ATTACHED GARAGE
FRONTAGE	72'	125.03'	91.99'	72.13'	72.11'	72.08'	72.06'	72.04'	212.73'	111.04'	122.95'
AREA	9,000 SF	14,023 SF	9,000 SF	9,000 SF	9,000 SF	9,000 SF	9,000 SF	9,000 SF	14,991 SF	13,586 SF	167,478 SF
FRONT SETBACK	60'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'
SIDE SETBACK	25'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
REAR SETBACK	40'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'
BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'	35'	35'
BUILDING COVERAGE	20.00%	18%	27.8%	27.8%	27.8%	27.8%	27.8%	27.8%	16.7%	18.4%	1.5%

CONSERVATION SUBDIVISION ANALYSIS			
ZONING	AREA	PERMITTED DESNITY	TOTAL UNITS
R-1-20	150,518 SF	20,000 SF/ UNIT	8 UNITS
AR-2	172,964 SF	2 ACRES/ UNIT	2 UNITS
TOTAL	323,482 SF		10 UNITS



Bristol Road
(ROW Varies)



1 OVERALL SUBDIVISION SITE PLAN
1"=60'

LEGEND

Iron pin or pipe found

Benchmark

Utility pole

Hydrant

Light pole

PERC TEST

DEEP HOLE

EXISTING

OC

elec

SMC

X

X

9-9

PROPOSED

E/T

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

ABBREVIATIONS:

EX-EXISTING

CPP-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SI-CPP-SMOOTH INTERIOR CORRUGATED

POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO -CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

SW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MH-MANHOLE

DI-DRAINAGE INLET

PRELIMINARY

NOT FOR CONSTRUCTION

SITE PLANS PREPARED FOR:

WILLIAM METROSE, LTD

11-LOT RESIDENTIAL CONSERVATION SUBDIVISION

SHOWING LAND IN:

5100 & 5150 BRISTOL ROAD

TOWN OF CANANDAIGUA

STATE OF NEW YORK

COUNTY OF ONTARIO

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	8/18/20	TOWN OF CANANDAIGUA PRC	JPB
2	8/21/20	TOWN OF CANANDAIGUA PRC	JPB

MarksEngineering

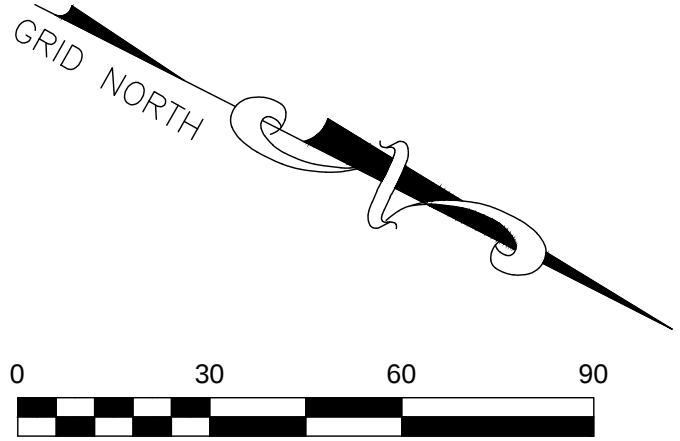
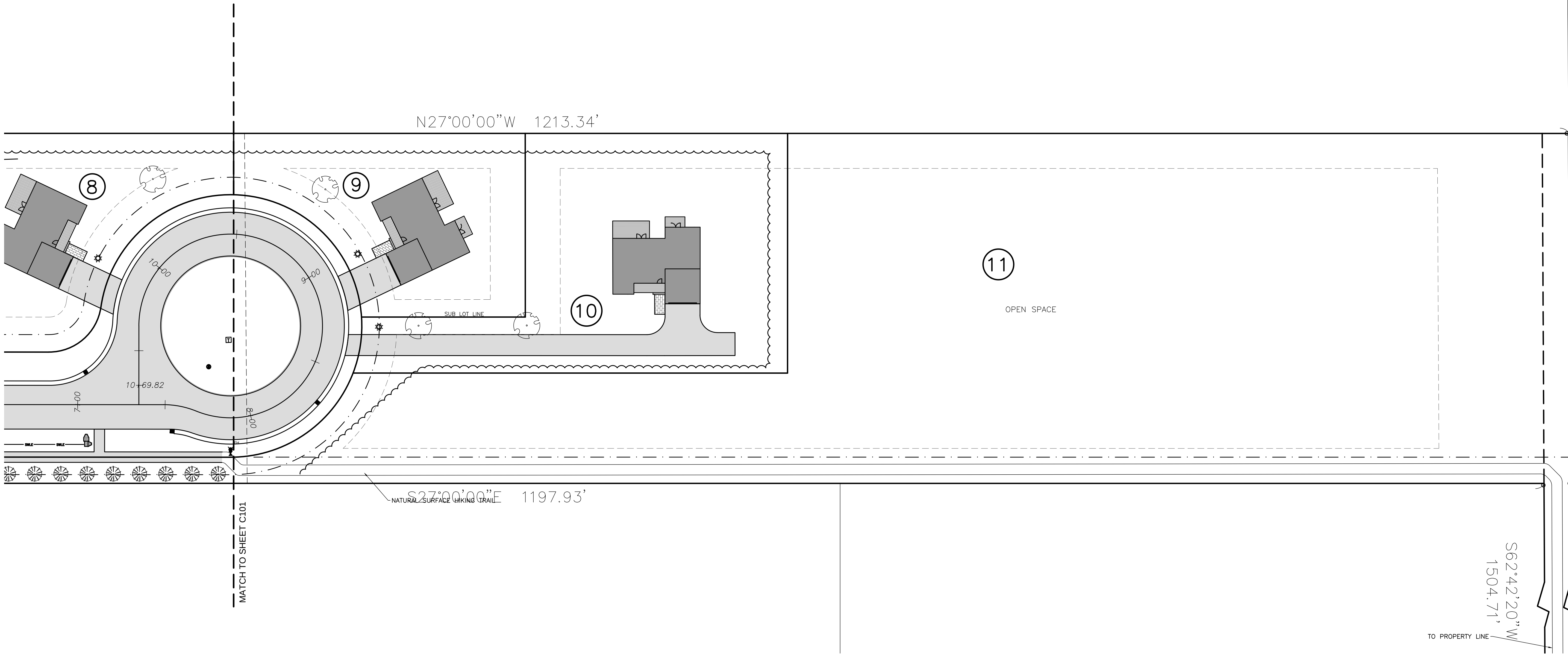
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CANANDAIGUA, NY 14424
www.marksengineering.com
Phone: 585-905-0360
Fax: 585-485-0205
bmarks@marksengineering.com

STAMP

DRAWING TITLE:	
SITE PLAN	
DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

C100

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1 SITE LAYOUT PLAN
1"=30'

LEGEND

○ Iron pin or pipe found	EXISTING — O/C —	PROPOSED — E/T —	Utility Lines
⊕ Benchmark	— elec —	— E/T —	R.O.W. line
○ Utility pole	—	—	Property line
⊕ Hydrant	—	—	Easement line
⊕ Light pole	— SML —	— SML —	Centerline
PERC TEST	— X —	— X —	Drainage
DEEP HOLE	— X —	— X —	Fence Line
	— X —	— X —	Contour Line

ABBREVIATIONS:
EX-EXISTING
CPP-CORRUGATED POLYETHYLENE PIPE
O.C.-ON CENTER
SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE
UG-UNDERGROUND
CONC-CONCRETE

CO -CLEAN OUT
TYP-TYPICAL
R-RADIUS
BC-BOTTOM OF CURB
TC-TOP OF CURB
TW-TOP OF WALL
BW-BOTTOM OF WALL
BS-BOTTOM OF STAIRS

PERF-PERFORATED
MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

WATER/HIGHWAY SUPERINTENDENT

PLANNING BOARD CHAIRMAN

TOWN ENGINEER

NOT FOR CONSTRUCTION

N62°42'20"E 1704.71'

PRELIMINARY

S62°42'20"W
1504.71'

TO PROPERTY LINE

MarksEngineering

42 BEEHIVE ST.
CANANDAIGUA, NY 14424
www.marksengineering.com

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Fax: 585-485-0205
bmarks@marksengineering.com

STATE OF NEW YORK
BRENNAN A. MARKS
Professional Engineer
No. 193182

STAMP

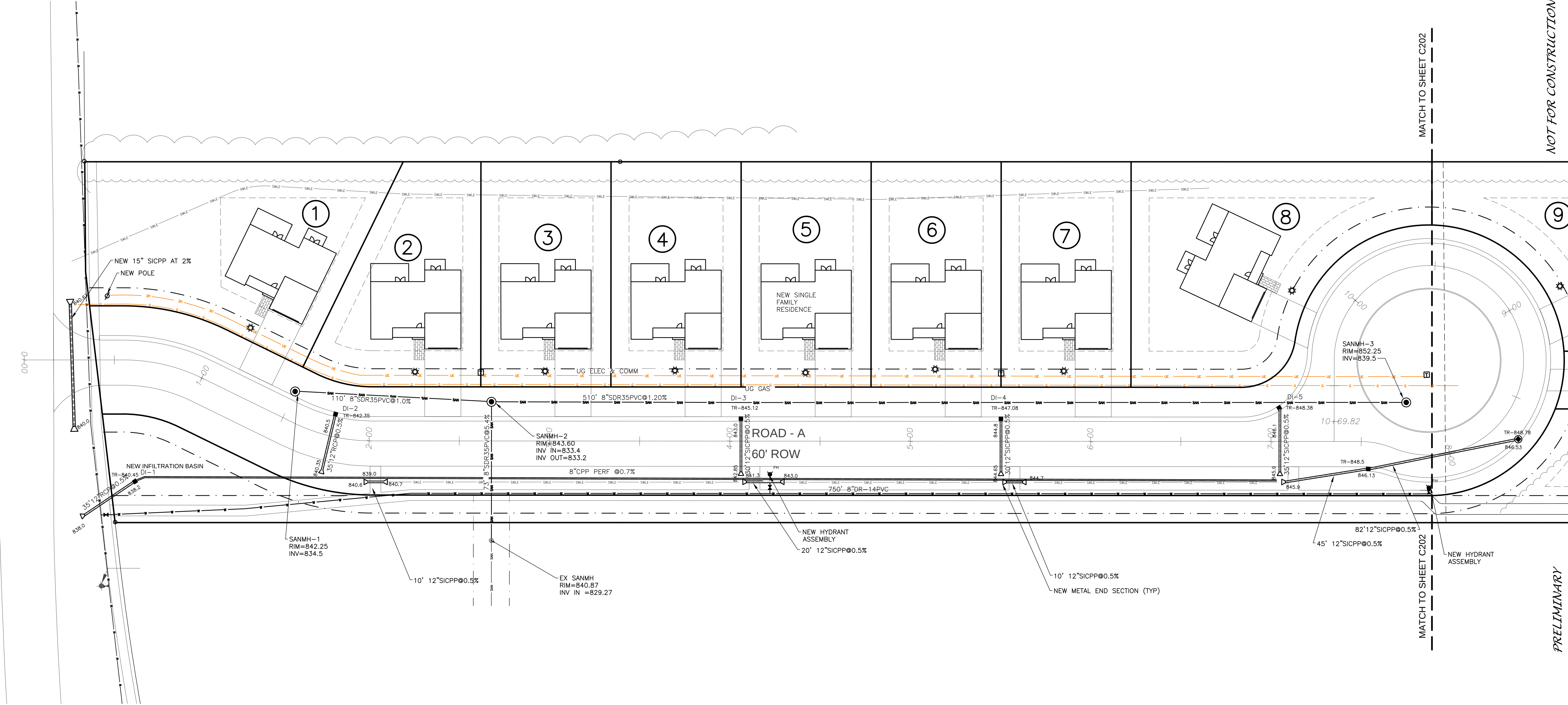
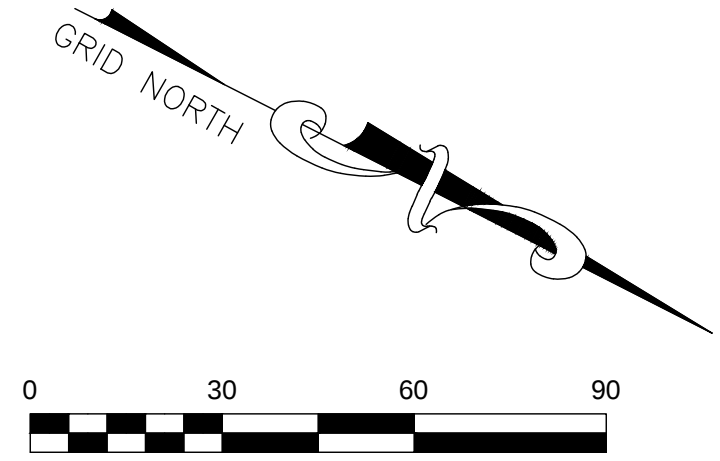
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	8/19/24	TOWN OF CANANDAIGUA PRC	JPB
2	8/21/24	TOWN OF CANANDAIGUA PRC	JPB

SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11-LOT RESIDENTIAL CONSERVATION SUBDIVISION
SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
STATE OF NEW YORK
COUNTY OF ONTARIO

DRAWING TITLE: SITE PLAN	
DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

C102

Bristol Road
(ROW Varies)



PRELIMINARY

NOT FOR CONSTRUCTION

SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11 LOT RESIDENTIAL CONSERVATION SUBDIVISION

SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA

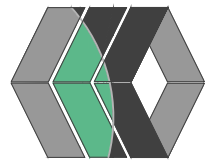
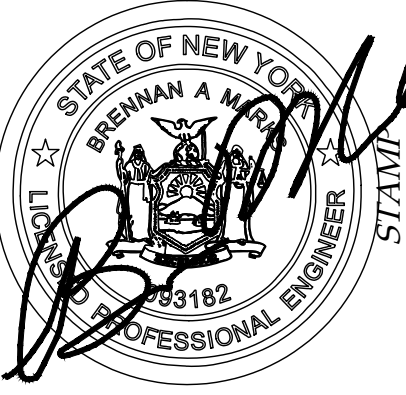
COUNTY OF ONTARIO

STATE OF NEW YORK

REVISIONS AND APPROVALS

REVIEWS AND APPROVALS			BY
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	
1	9/17/20	TOWN OF CANANDAGUA PRC	JFS
2	9/21/20	TOWN OF CANANDAGUA PRC	KRB

STAMP



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CANANDAIGUA, NY 14424
www.marksengineering.com
Phone: 585-905-0360
Fax: 585-485-6205
bmarks@marksengineering.com

C201

DRAWING TITLE:
UTILITY PLAN

DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-08
DATE:	09/09/20
TAX MAP#:	

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○ Iron pipe or pipe found	EXISTING	PROPOSED	
—	ONE	ELEC	Utility Lines
⊗ Benchmark	—	—	R.O.W. line
○ Utility pole	—	—	Property line
● Hydrant	—	—	Easement line
● Light pole	—	—	Centerline
	—	—	Drainage
	—	—	Fence Line
	—	—	Contour Line

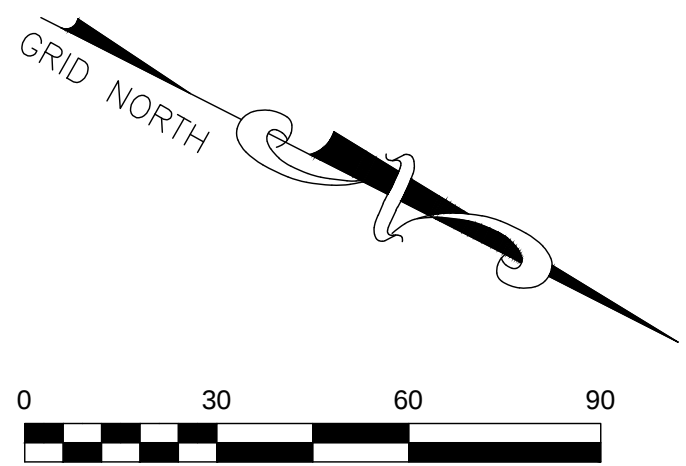
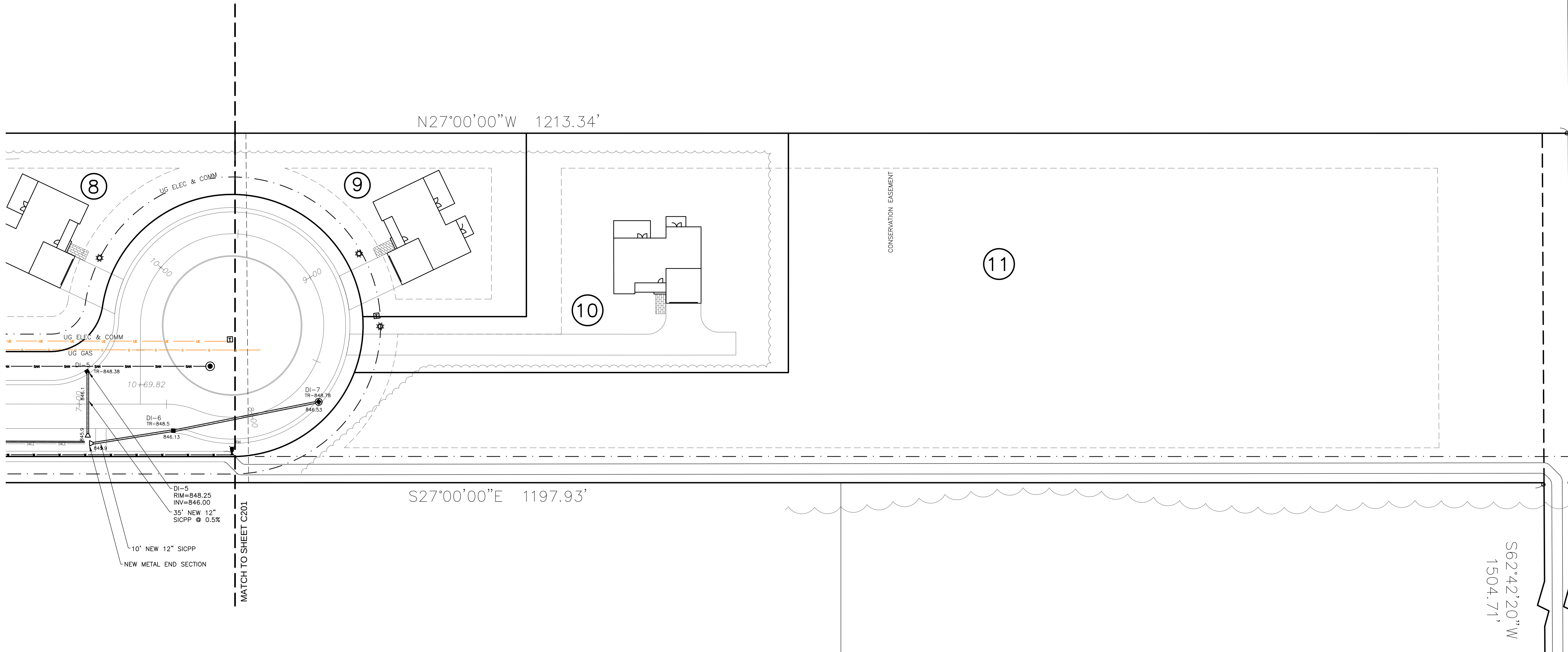
PERC TEST	DEEP HOLE	CO -CLEAN OUT	PERT -PERFORATED MIN-MAXIMUM
		TY -TYPICAL	MAX-MAXIMUM
		R-RADIUS	CB-BOTTOM OF CURB
		SC-SLOPE OF CURB	TC-TO TOP OF CURB
		SI-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE	BN-INVERT
		US-UNDERGROUND	CB-CATCH BASIN
		CON-CONCRETE	BM-MANHOLE
			SW-BOTTOM OF WALL
			BTW-TOP OF WALL
			SW-BOTTOM OF STAIRS

1 SITE UTILITY PLAN
1"=30'

WATER/HIGHWAY SUPERINTENDENT	DATE
------------------------------	------

PLANNING BOARD CHAIRMAN	DATE
-------------------------	------

TOWN ENGINEER _____ DATE _____



LEGEND

○ Iron pin or pipe found	EXISTING — O/E —	PROPOSED — E/T —	Utility Lines
⊙ Benchmark	— elec —	— E/T —	R.O.W. line
○ Utility pole	—	—	Property line
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PERC TEST	—	—	Drainage
⊙ DEEP HOLE	—	—	Fence Line
	—	—	Contour Line

ABBREVIATIONS:
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MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

1 SITE UTILITY PLAN
1"=30'

WATER/HIGHWAY SUPERINTENDENT	DATE
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

PRELIMINARY
N62°42'20"E 1704.71'
S62°42'20"W 1504.71'
NOT FOR CONSTRUCTION

MarksEngineering

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CANANDAIGUA, NY 1424
www.marksengineering.com

Phone: 585-905-0360
Fax: 585-485-0205
bmarks@marksengineering.com

STATE OF NEW YORK
BRENNAN A. MARKS
193182
PROFESSIONAL ENGINEER

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	8/17/22	TOWN OF CANANDAIGUA PRC	IPF
2	8/21/22	TOWN OF CANANDAIGUA PRC	KRB

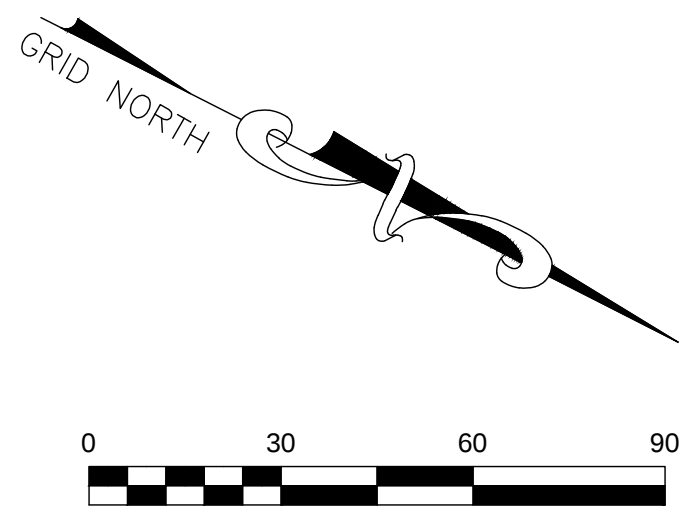
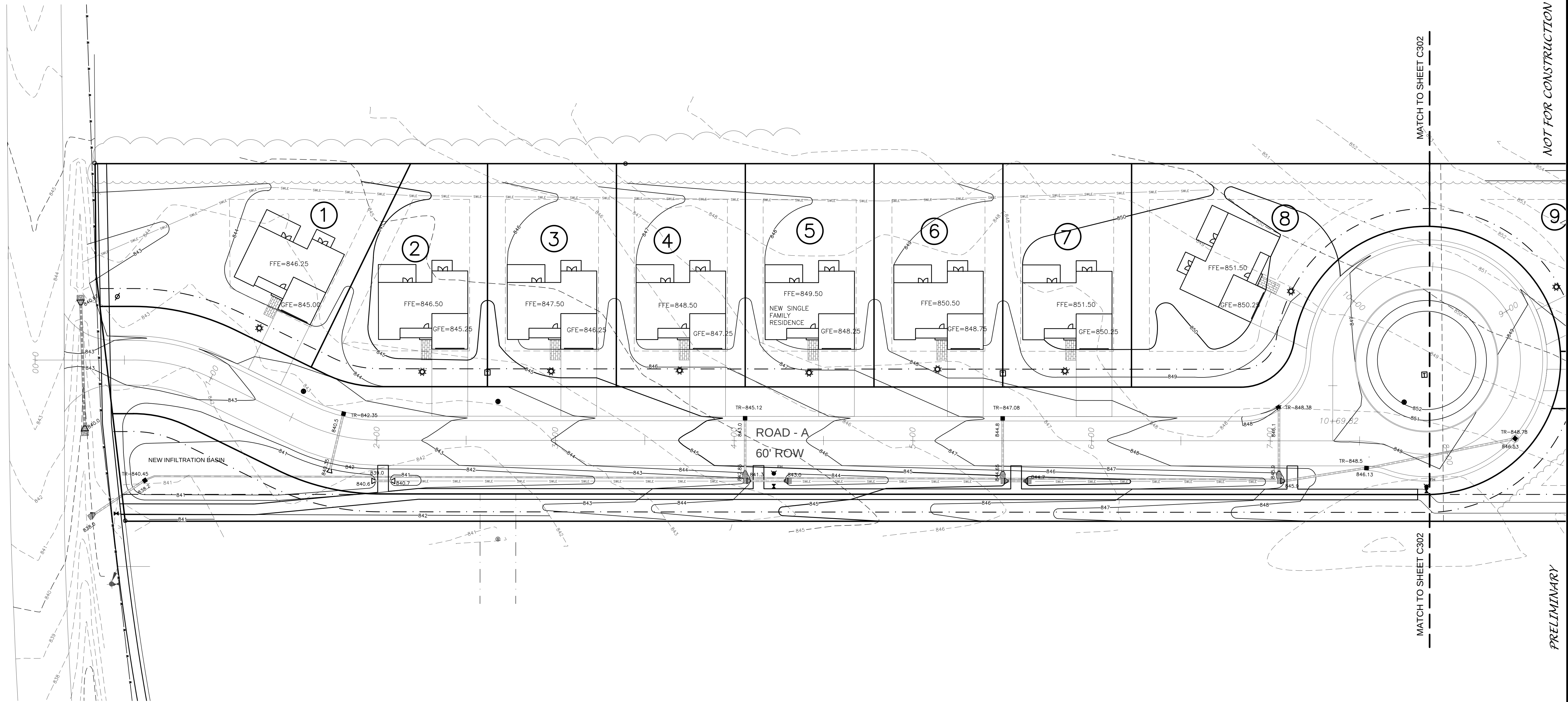
SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11 LOT RESIDENTIAL CONSERVATION SUBDIVISION
SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

DRAWING TITLE:
UTILITY PLAN

DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

C202

Bristol Road
(ROW Varies)



LEGEND

○ Iron pin or pipe found	EXISTING — DNE —	PROPOSED — E/T —	Utility Lines
⊕ Benchmark	— elec —	— E/T —	R.O.W. line
○ Utility pole	—	—	Property line
⊕ Hydrant	—	—	Easement line
⊕ Light pole	—	—	Centerline
PERC TEST	—	—	Drainage
DEEP HOLE	—	—	Fence Line
	—	—	Contour Line

ABBREVIATIONS:
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BS-BOTTOM OF STAIRS
PERF-PERFORATED
MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

1 SITE GRADING PLAN
1" = 30'

WATER/HIGHWAY SUPERINTENDENT	DATE
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

PRELIMINARY

REVISIONS AND APPROVALS		
NO	DATE	DESCRIPTION OF REVISION OR APPROVAL
1	8/17/20	TOWN OF CANANDAIGUA PRC
2	8/21/20	TOWN OF CANANDAIGUA PRC

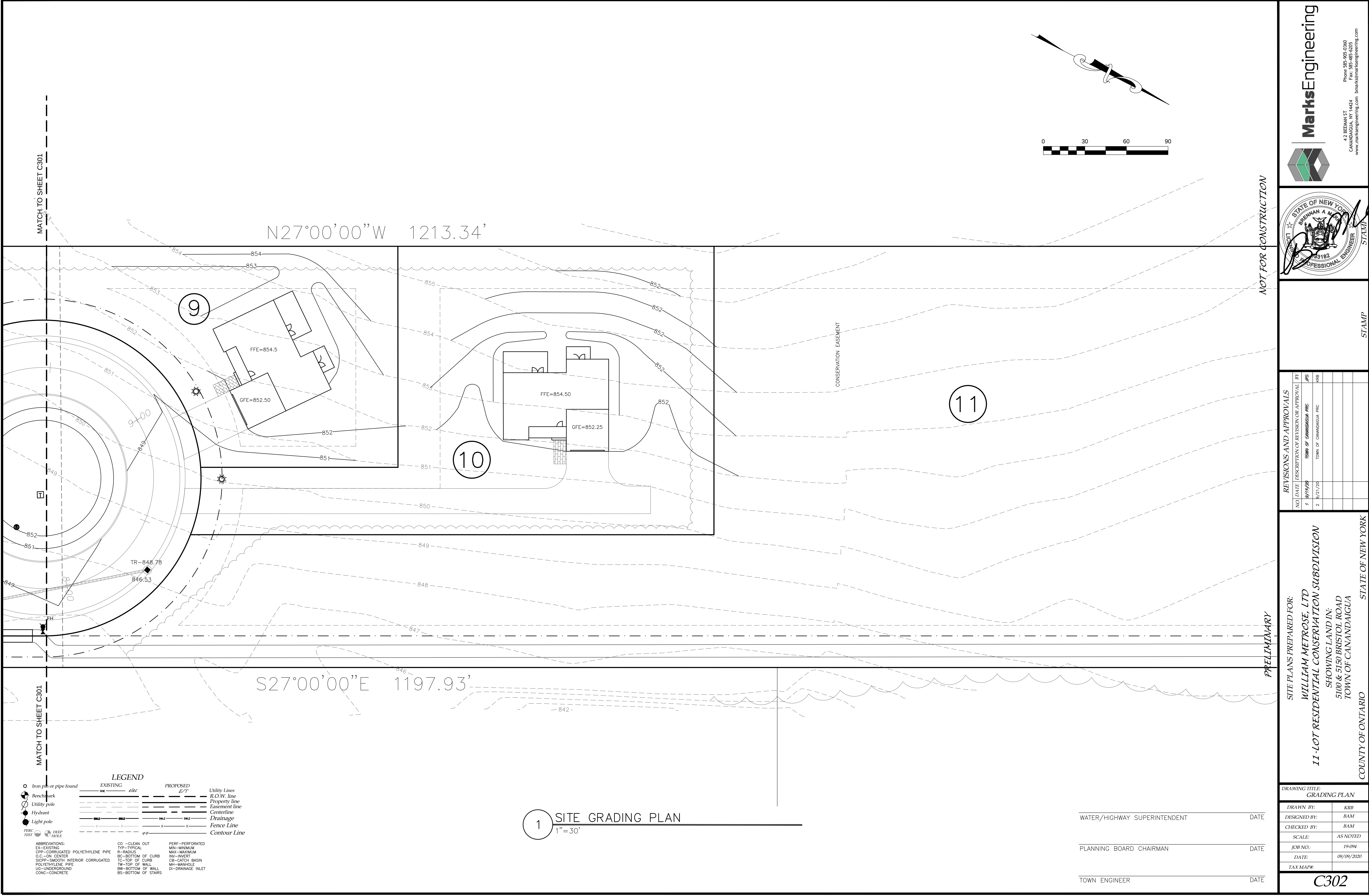
SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11 LOT RESIDENTIAL CONSERVATION SUBDIVISION
SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
STATE OF NEW YORK

DRAWING TITLE: GRADING PLAN	
DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAXMAP#:	

MarksEngineering

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CANANDAIGUA, NY 1424
www.marksengineering.com
Phone: 585-905-0360
Fax: 585-485-0205
Email: dmars@marksengineering.com

STAMP



MATCH TO SHEET C301

MATCH TO SHEET C301

NOT FOR CONSTRUCTION

PRELIMINARY

LEGEND

○ Iron pin or pipe found	EXISTING — DNE — elec	PROPOSED — E/T —	Utility Lines
● Benchmark	— R.O.W. line	— R.O.W. line	Property line
○ Utility pole	— Easement line	— Easement line	Centerline
● Hydrant	— Drainage	— Drainage	Fence Line
● Light pole	— Contour Line	— Contour Line	
PERC TEST	— DEEP HOLE		

ABBREVIATIONS:
EX-EXISTING
O.C.-ON CENTER
SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE
UG-UNDERGROUND
CONC-CONCRETE

CO -CLEAN OUT
TYP-TYPICAL
R-RADIUS
BC-BOTTOM OF CURB
TC-TOP OF CURB
TW-TOP OF WALL
BW-BOTTOM OF WALL
BS-BOTTOM OF STAIRS

PERF-PERFORATED
MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

1 SITE GRADING PLAN
1" = 30'

WATER/HIGHWAY SUPERINTENDENT	DATE
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

REVISIONS AND APPROVALS	
NO.	DATE
1	8/19/20
2	8/21/20

SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
11-LOT RESIDENTIAL CONSERVATION SUBDIVISION
SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

DRAWING TITLE: GRADING PLAN	
DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

MarksEngineering

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Phone: 585-905-0360
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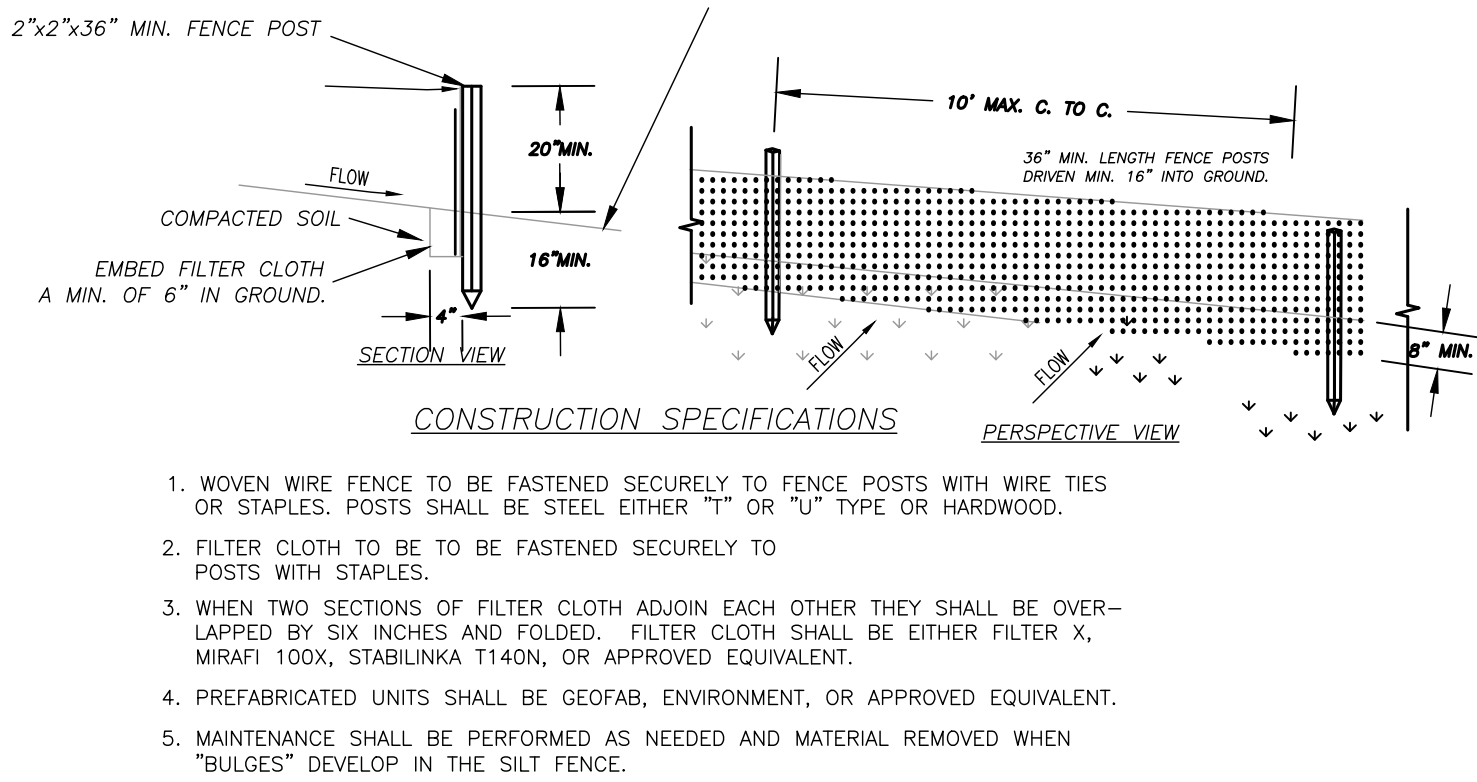
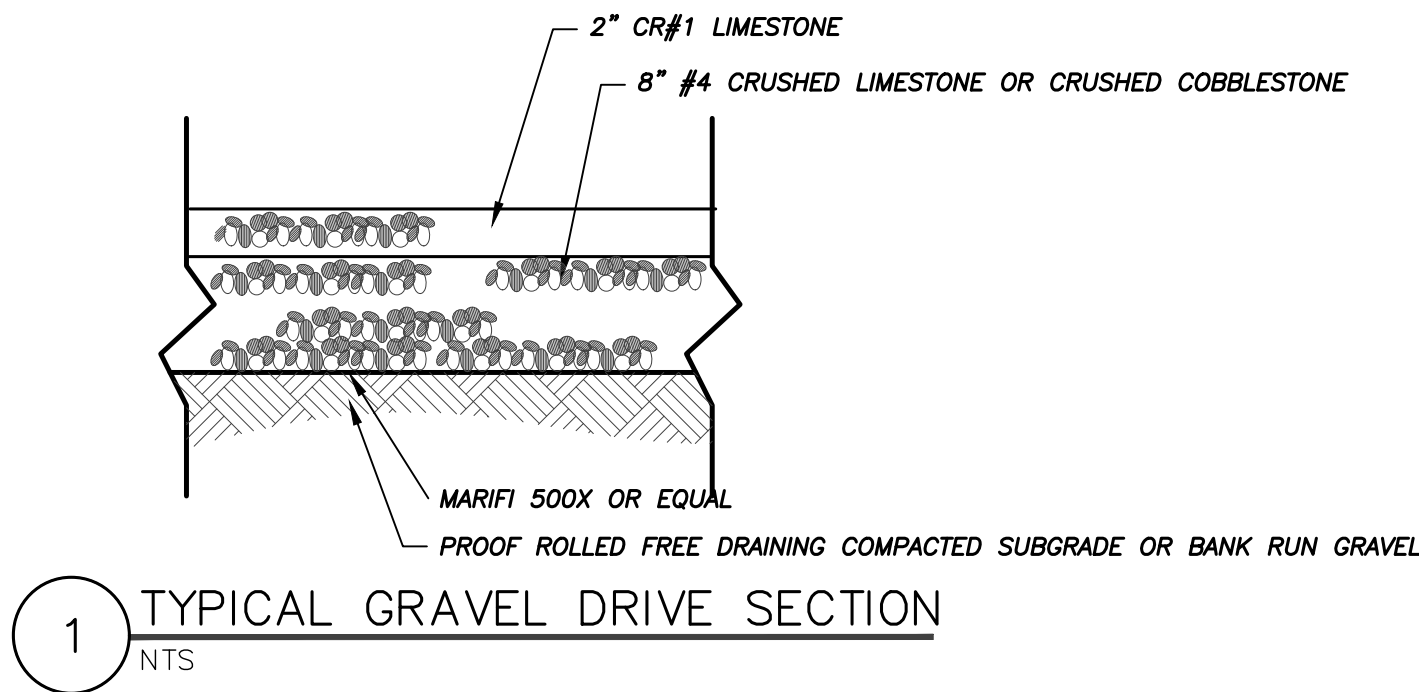
STATE OF NEW YORK
BRENNAN A. MARKS
Professional Engineer
No. 193182

1	8/19/20	TOWN OF CANANDAIGUA REC
2	8/21/20	TOWN OF CANANDAIGUA REC

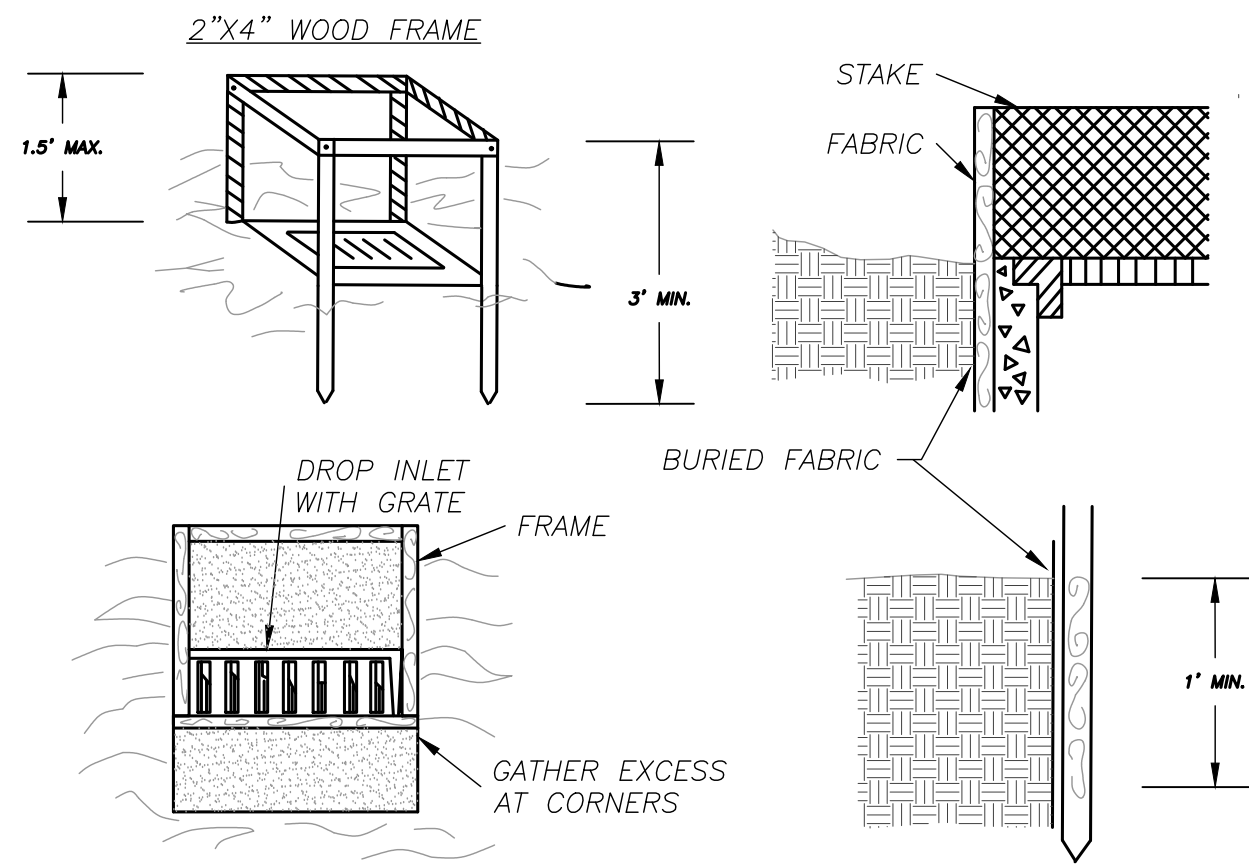
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C302

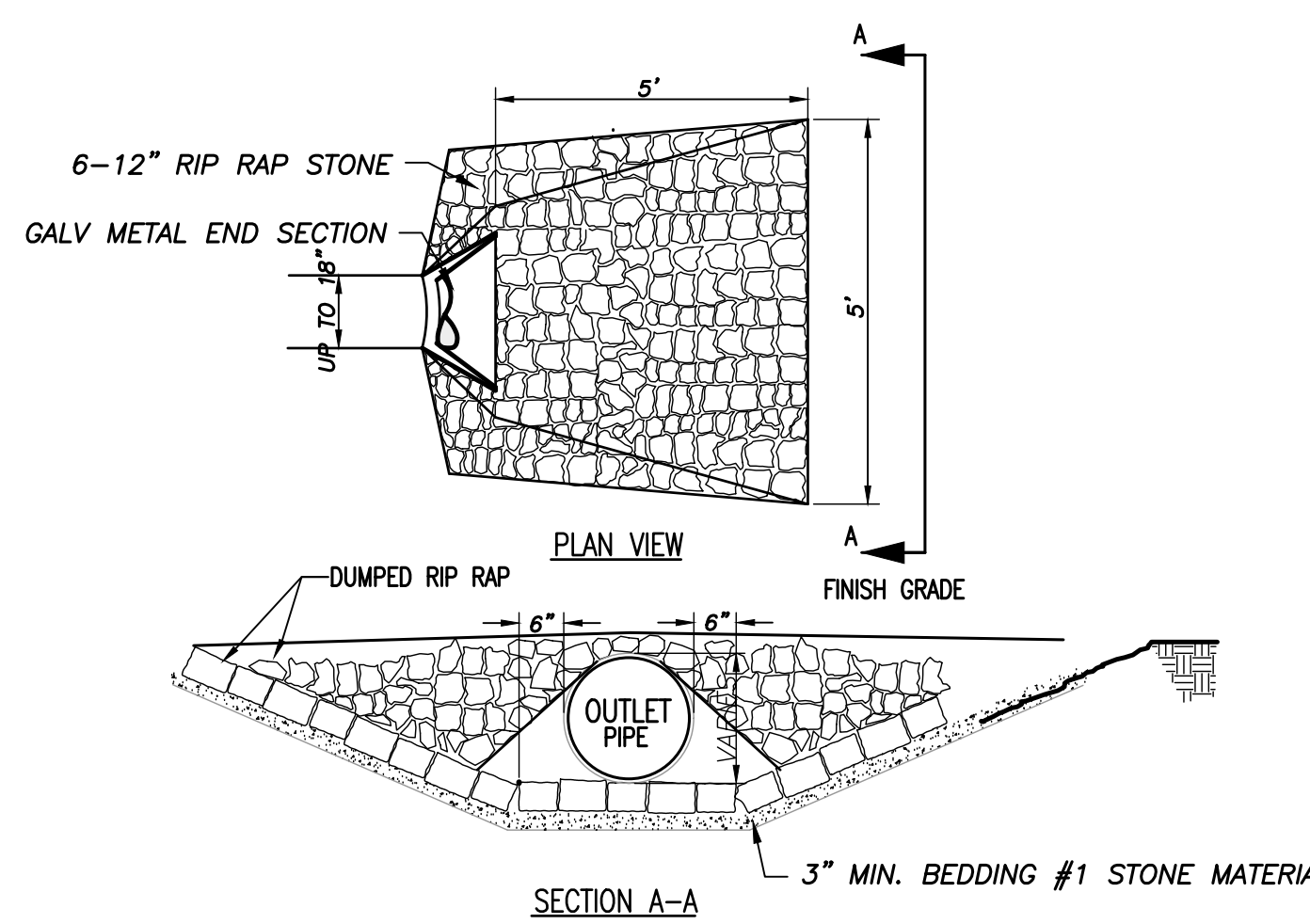


2 TYPICAL SILT FENCE DETAIL
NTS

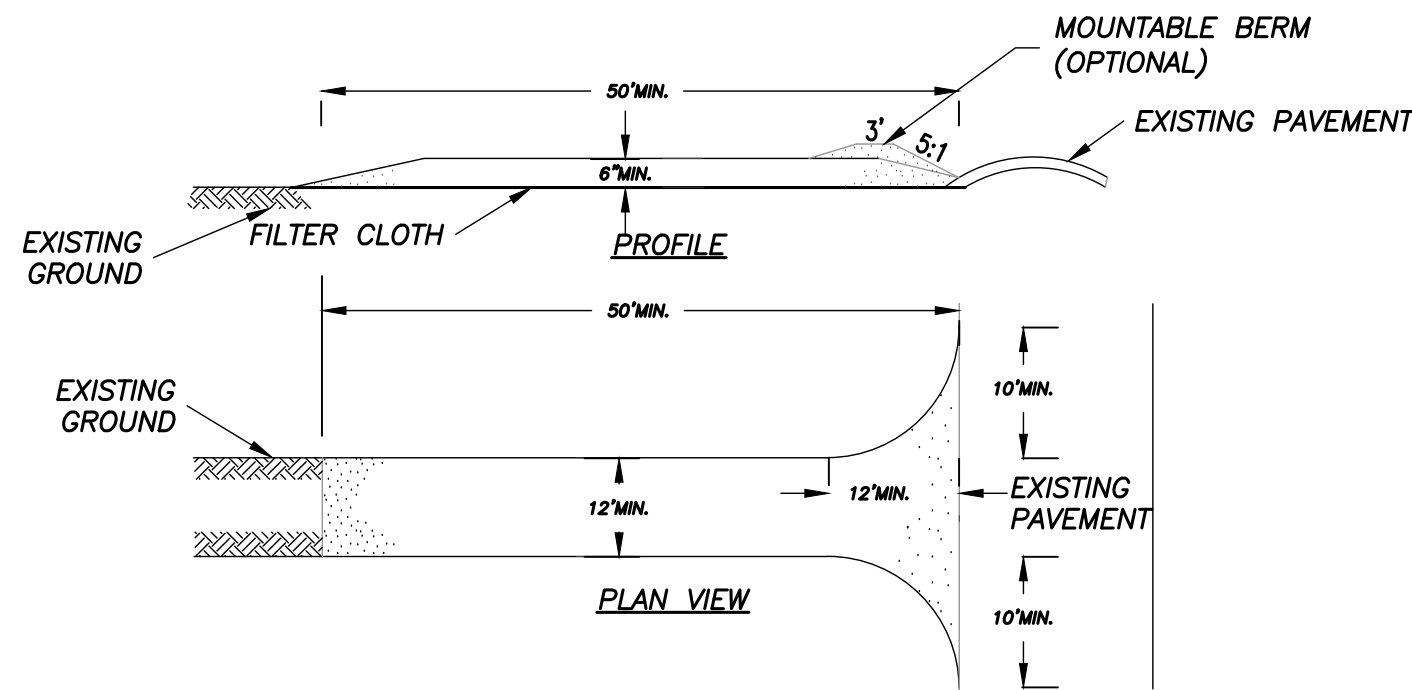


10 DETAIL: FILTER FABRIC INLET PROTECTION
NOT TO SCALE

- NOTES
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT-TERM APPLICATIONS.
 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 3. STAKE MATERIALS WILL BE STANDARD 2x4 WOOD OR EQUIV. MINIMUM LENGTH OF 3 FEET.
 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 6. A 2x4 WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.



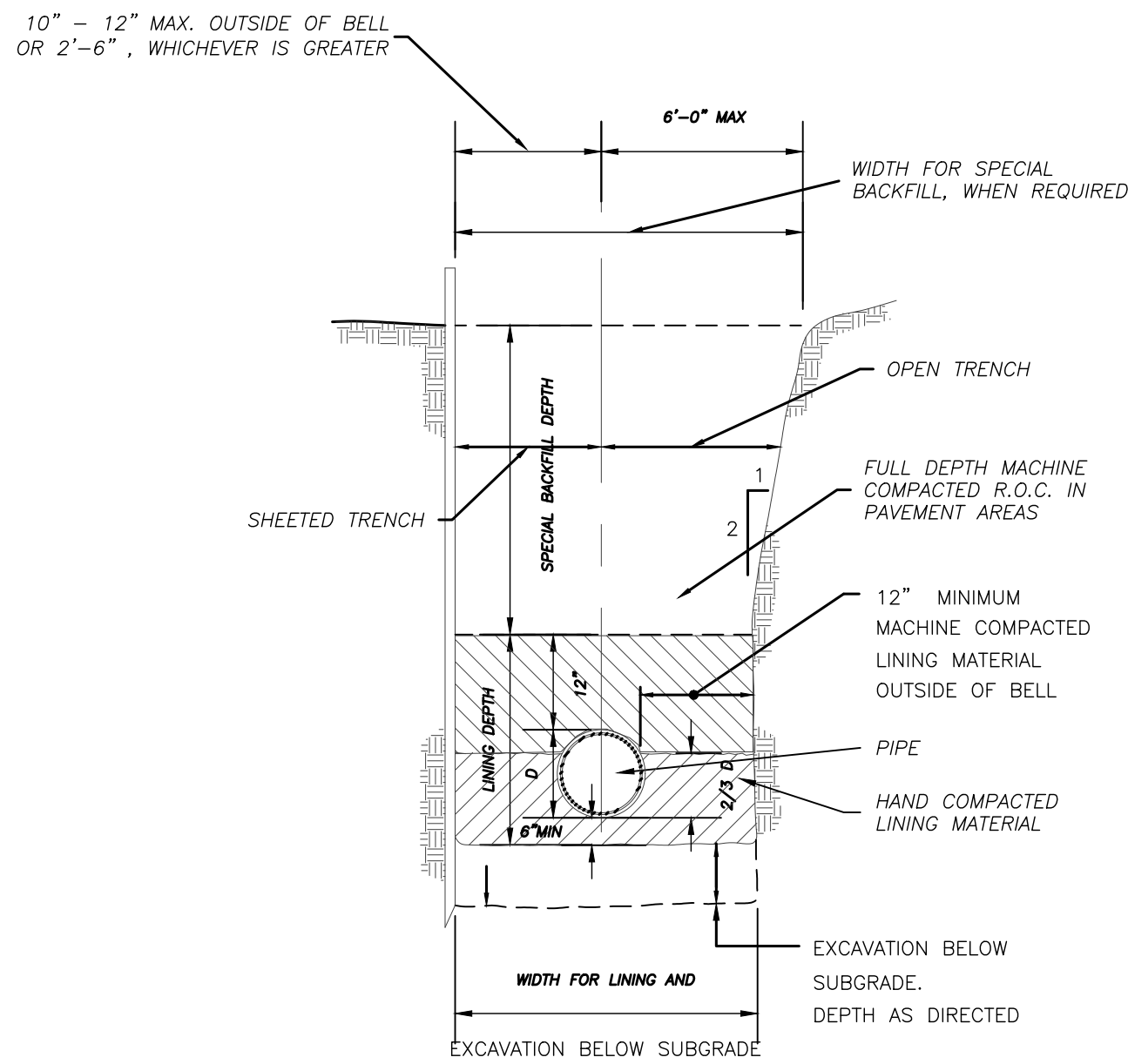
3 RIP-RAP OUTLET PROTECTION
NTS



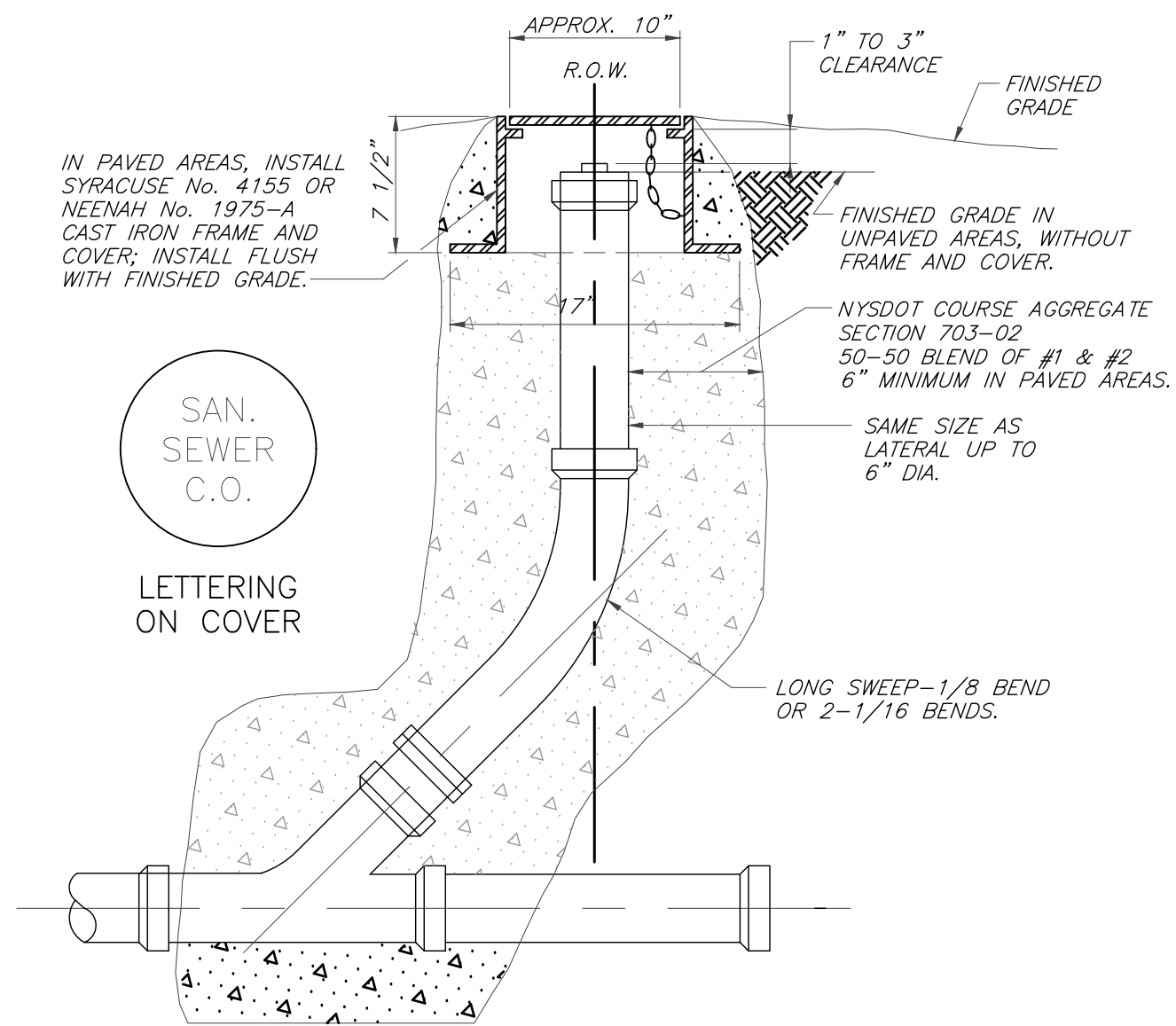
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

6 STABILIZED CONSTRUCTION ENTRANCE
NTS



4 UTILITY TRENCH DETAIL
NTS



9 DETAIL: TYPICAL CLEAN-OUT
NTS

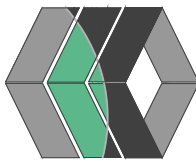
NOT FOR CONSTRUCTION

PRELIMINARY

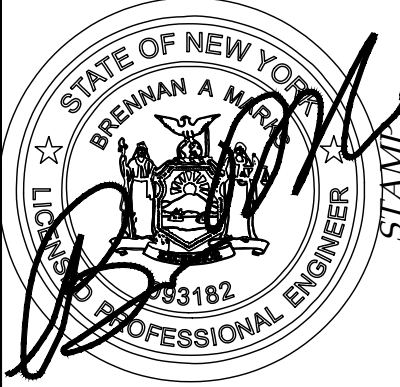
SITE PLANS PREPARED FOR:
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11-Lot Residential Conservation Subdivision
SHOWING LAND IN:
5100 & 5150 BRISTOL ROAD
TOWN OF CANANDAIGUA
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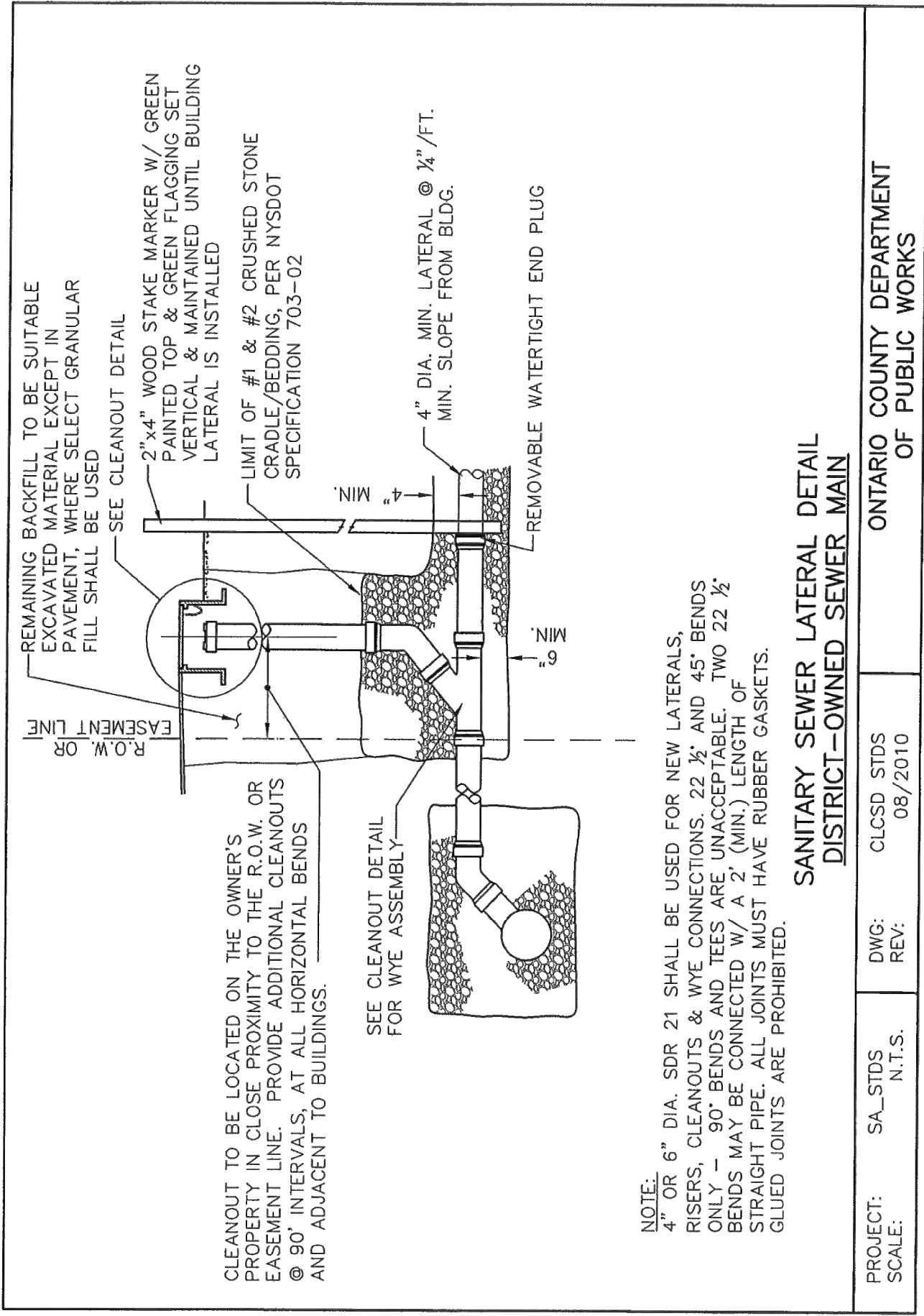
MarksEngineering



ALL PROJECTS

1. All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of *Recommended Standards For Wastewater Facilities* and any other agencies having jurisdiction.
2. No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
3. District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
4. The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
5. Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to beginning work.
6. Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
7. Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the watermain joints.
8. The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
9. The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
10. The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
11. Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer Use Law. Foundation and footer drains shall be constructed in a manner that prohibits groundwater from draining into the sanitary sewer pipe cradle.

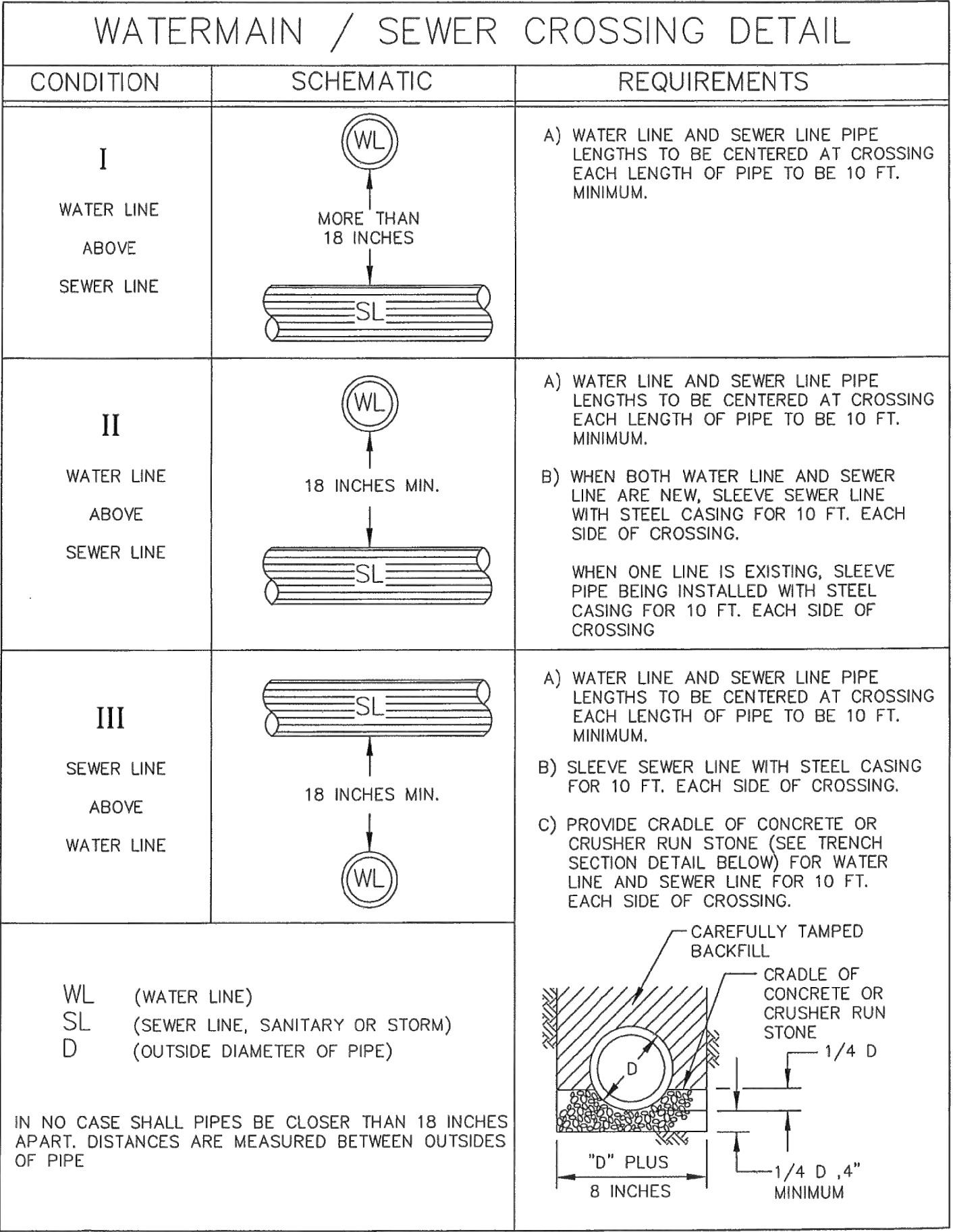
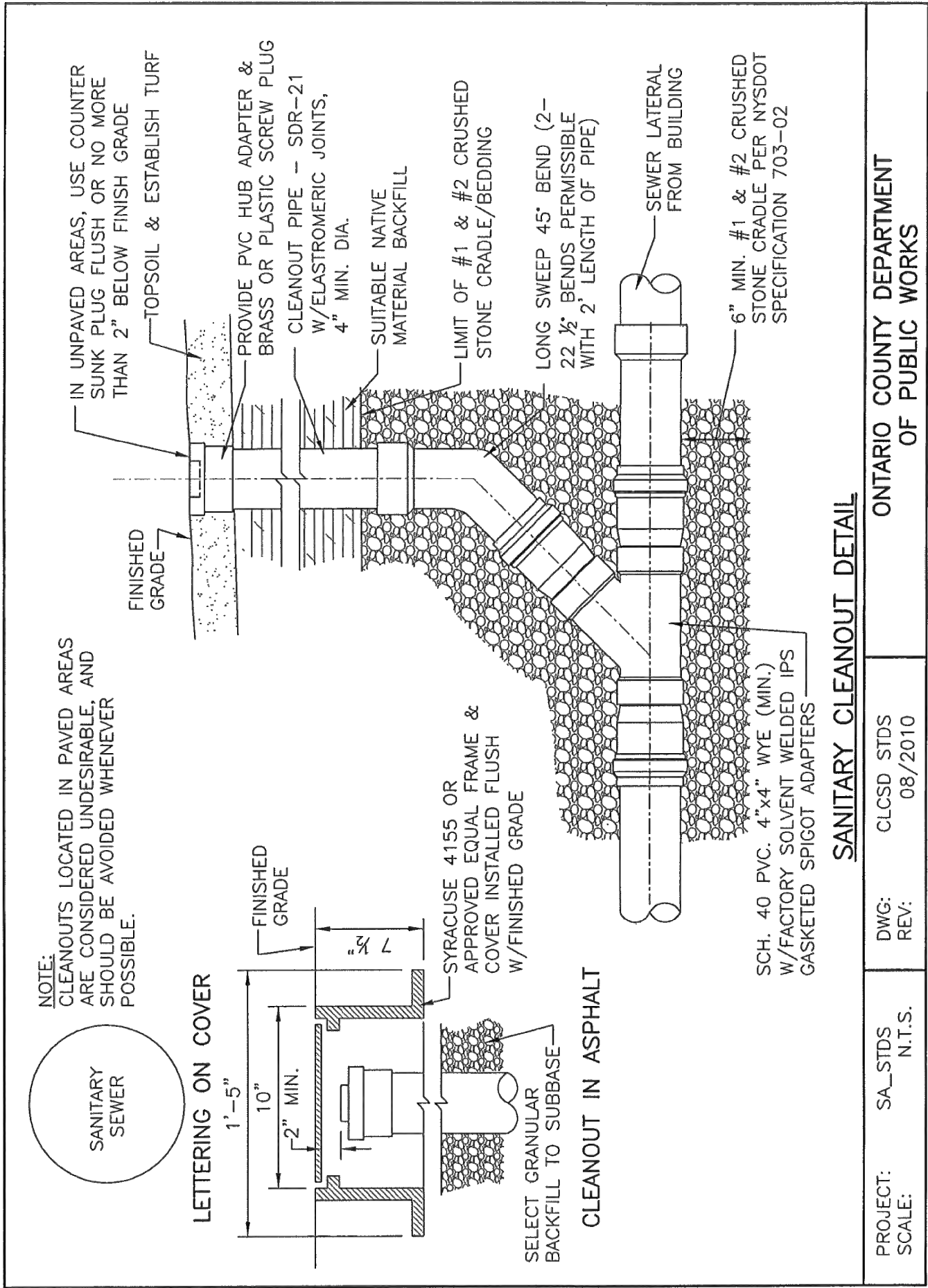
SANITARY LATERAL NOTES



12. Lateral connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.
13. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted for safety and protection of the public.
14. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.

RENOVATION PROJECTS ONLY

15. Existing laterals to be disconnected must be permanently plugged or capped at the easement or right of way line under the direction of Canandaigua Lake County Sewer District personnel. The location of the plug or cap shall be recorded for as-built drawing purposes.
16. Prior to demolishing an existing building, the contractor shall excavate, disconnect and abandon the lateral from the building to the point of disconnection (approximately 30' from the existing building) per District standards. A temporary plug shall be installed in the remaining portion of the existing sanitary lateral until it is tested and televised.
17. In order to determine whether an existing sanitary lateral is acceptable for connection to a new building, the lateral shall be televised in the presence of District personnel at the owner's expense.
18. If an existing lateral is found to be acceptable and meet the minimum District requirements, it shall be temporarily re-plugged and backfilled with a witness stake in place, until connection to the new building can take place.
19. If a new sanitary sewer lateral is required, the existing lateral must be excavated, removed and capped at the easement or right of way line in accordance with District requirements.
20. If a new sanitary sewer lateral is required, the connection to the existing sanitary main shall be made per District standards.



PRELIMINARY

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STATE OF NEW YORK

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C501

REVISIONS AND APPROVALS	
NO.	DATE
1	9/17/20
2	9/21/20

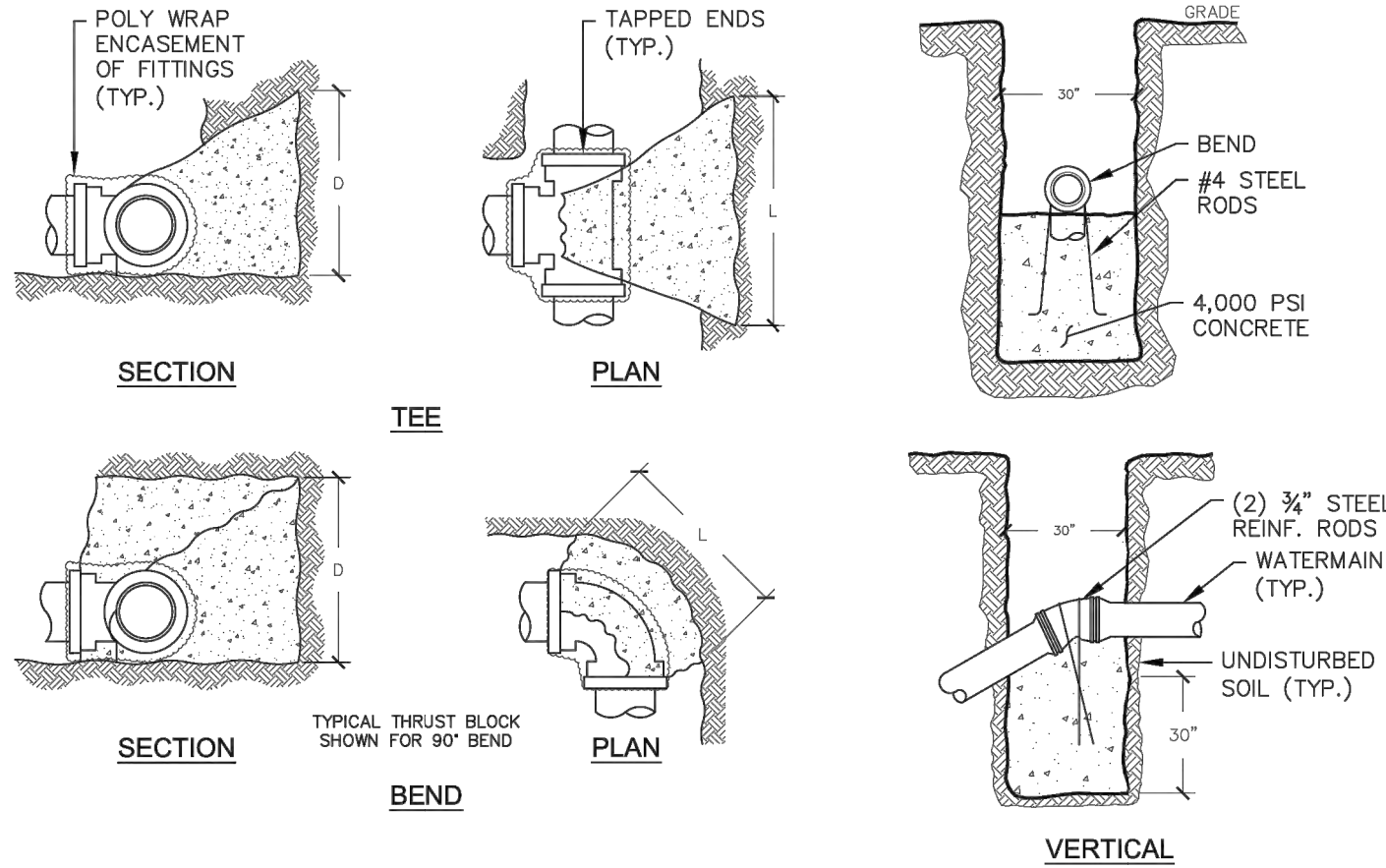


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STAMP

ALL PLANS ARE PART OF AN AGREEMENT THAT IS SUBJECT TO TERMS AND CONDITIONS PUBLISHED ON WWW.MARKSENGINEERING.COM

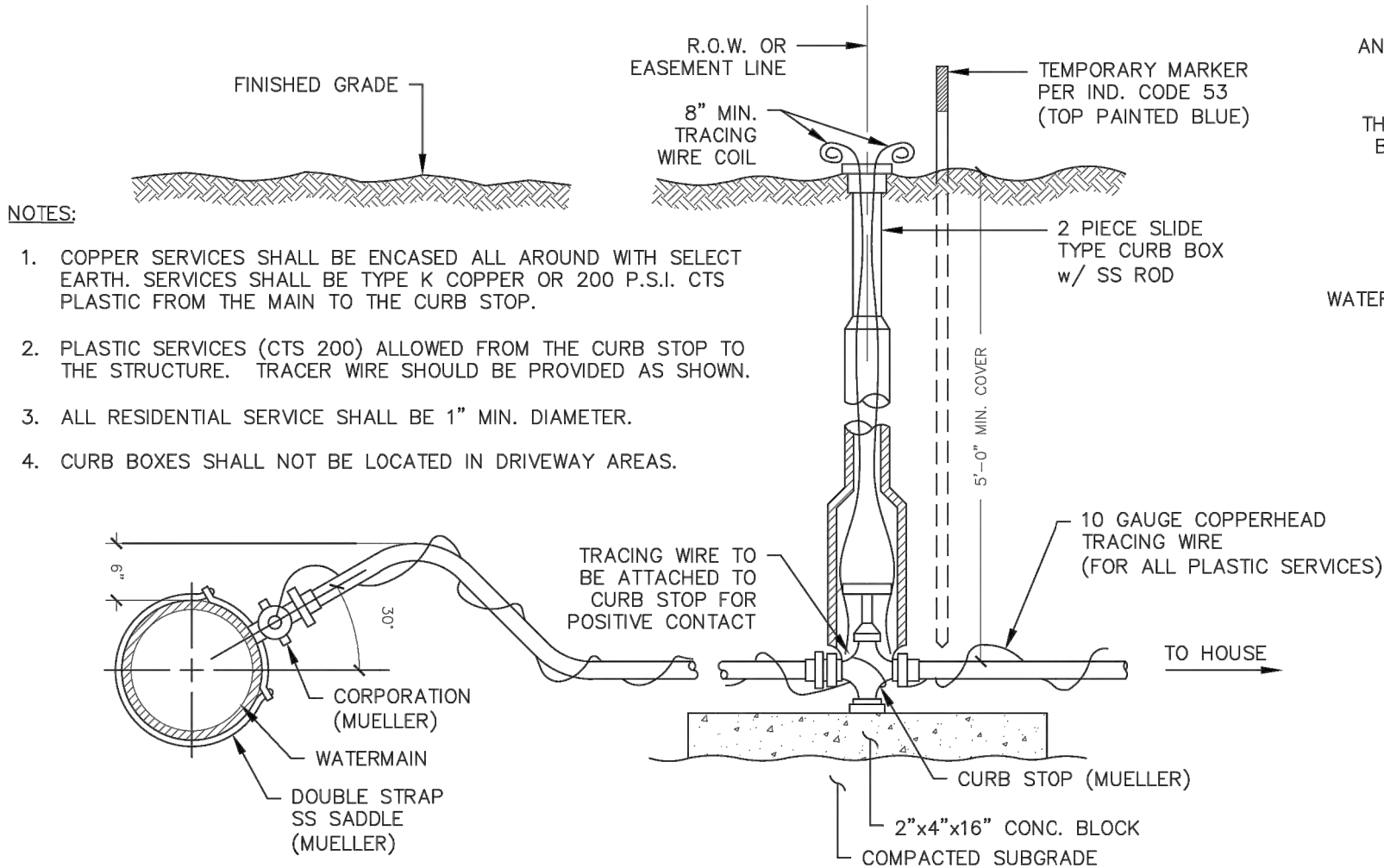


THRUST BLOCK DETAIL

PIPE SIZE (INCHES)	WORKING PRESSURE (PSIG)	TEE OF PLUG L x D	90° BEND L x D	45° BEND L x D	22-1/2° BEND L x D
4	200	2.00 1.00	2.25 1.25	2.00 0.75	1.25 0.75
	300	2.50 1.25	2.75 1.50	2.25 1.00	1.50 1.00
6	200	3.00 1.25	3.25 1.75	2.50 1.25	2.00 0.75
	300	3.50 1.50	4.00 2.00	3.25 1.50	2.25 1.00
8	200	3.25 2.00	4.25 2.25	3.75 1.75	2.25 1.25
	300	4.00 2.50	5.25 2.75	4.00 2.25	3.00 1.50
10	200	4.25 2.25	5.25 2.50	4.00 2.00	3.00 1.25
	300	5.50 2.50	6.50 3.00	5.00 2.50	4.00 1.50
12	200	5.25 2.50	6.00 3.25	4.50 2.25	3.25 1.75
	300	6.25 3.25	7.50 4.00	5.50 2.75	4.25 2.00
14	200	5.50 3.25	7.25 3.50	5.25 2.50	3.25 2.00
	300	10.25 5.00	9.00 4.25	6.50 3.00	5.00 2.25
16	200	6.5 3.50	8.25 4.00	5.50 3.25	4.50 2.25
	300	8.25 4.25	10.00 5.00	7.25 3.75	5.25 3.00

- NOTES:**
- ALL DIMENSIONS ARE IN FEET.
 - BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
 - HEIGHT OF THRUST BLOCK SHOULD BE EQUAL TO OR LESS THAN 1/2 THE DEPTH FROM THE GROUND SURFACE TO THE BASE OF THE BLOCK.
 - ALL THRUST BLOCKS SHALL CURE A MINIMUM OF SEVEN (7) DAYS BEFORE ANY PRESSURE TESTS ARE CONDUCTED.
 - CONCRETE SHALL BE MINIMUM 3000 PSI.
 - RESTRAINING RODS MAY BE USED IN LIEU OF THRUST BLOCKS. METHOD TO USED SHALL BE APPROVED BY ENGINEER PRIOR TO PLACEMENT.

WATERMAIN THRUST BLOCK SCHEDULE



TYPICAL WATER SERVICE

		TEST PRESSURE (P.S.I.)				
		200	225	250	275	300
D.I.P. PER 1,000 LF. OF LINE	PIPE DIA. (INCHES)	ALLOWABLE LEAKAGE (gal/hour)				
	6	0.64	0.68	0.71	0.75	0.78
	8	0.85	0.90	0.95	1.00	1.04
	10	1.06	1.13	1.19	1.24	1.30
P.V.C. PER 1,000 LF. OF LINE	12	1.28	1.35	1.42	1.49	1.56
	6	0.57	0.61	0.64	0.67	0.70
	8	0.76	0.81	0.85	0.90	0.94
	10	0.96	1.02	1.07	1.12	1.17
	12	1.15	1.22	1.28	1.34	1.40

- NOTES:**
- TEST PRESSURE TO BE 200 P.S.I. OR 1.5 x WORKING PRESSURE, WHICHEVER IS GREATER.
 - PRESSURE TESTS SHALL BE CONDUCTED SO THE PIPE SECTIONS ARE WITHIN 10 PSI OF THE TEST PRESSURE LOCATION.
 - PRESSURE TESTS SHALL BE CONDUCTED FOR A MINIMUM OF 2 HOURS.
 - LEAKAGE TESTS AT LINE PRESSURE SHALL BE CONDUCTED OVER A 24 HOUR PERIOD.

WATERMAIN PRESSURE TEST

PIPE BEDDING DETAILS FOR WATERMAIN

TYPE OF UTILITY: WATERMAIN
PIPE MATERIAL: PVC PRESSURE PIPE
APPLICABLE PIPE SIZE: 4" TO 24"
TRENCH WIDTH: MAX. O.D. + 24"

TRENCH CONDITIONS: ROCK OR HARD PAN

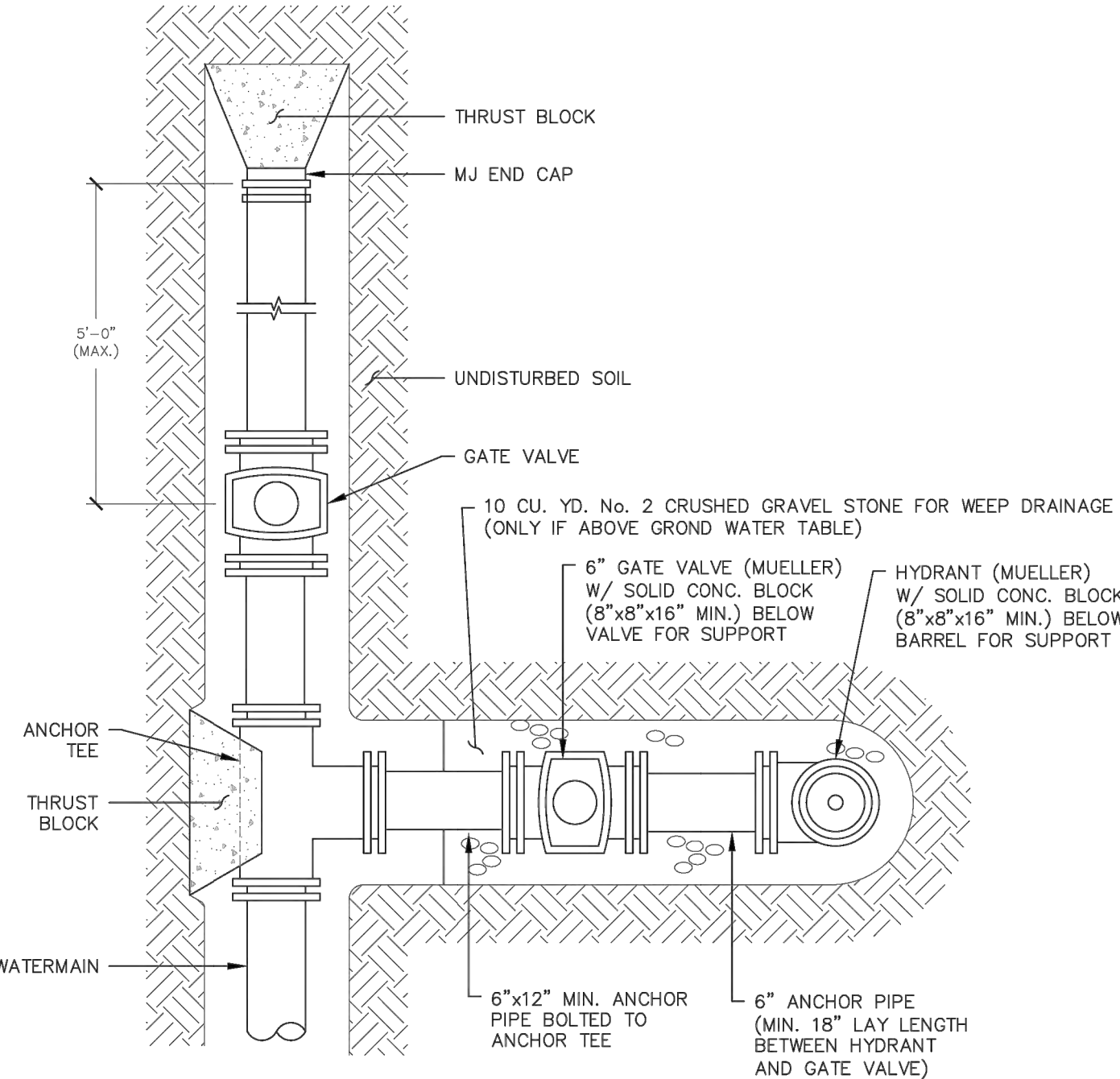
BEDDING SPECIFICATION: SEE INSTRUCTIONS FOR DUCTILE IRON PIPE, BEDDING IN ROCK OR HARD PAN

BACKFILL SPECIFICATION: SEE INSTRUCTIONS FOR DUCTILE IRON PIPE, BACKFILL IN ROCK OR HARD PAN

TRENCH CONDITIONS: WET EARTH (3)

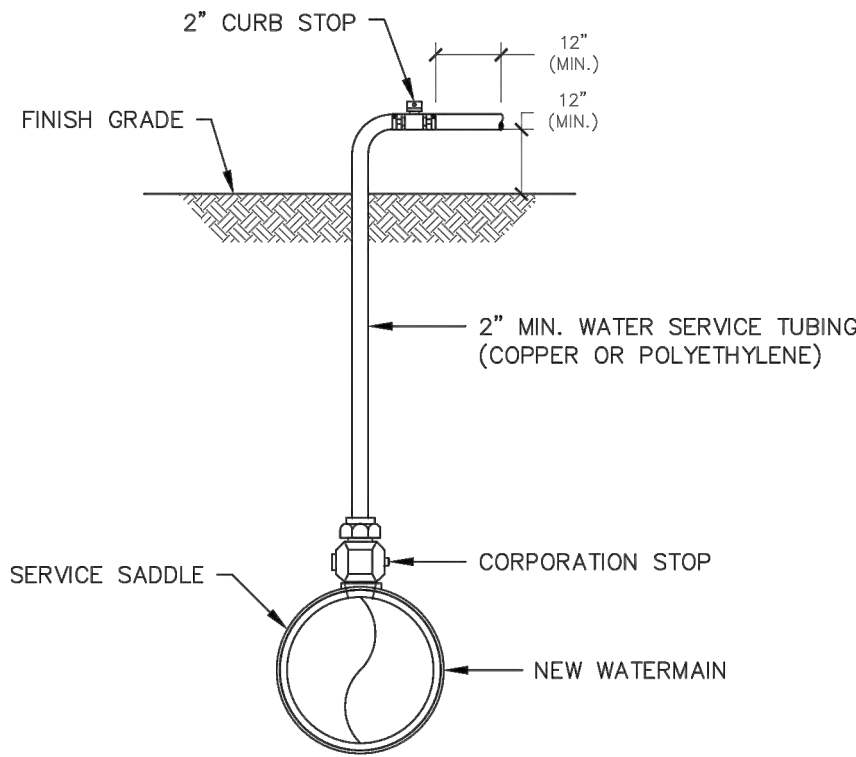
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BACKFILL SPECIFICATION: SEE INSTRUCTIONS FOR DUCTILE IRON PIPE, BACKFILL IN WET EARTH



- NOTES:**
- IF GROUND WATER IS ENCOUNTERED, THE WEEP HOLES MUST BE PLUGGED AND THE HYDRANT MARKED.
 - HYDRANTS SHALL BE PAINTED RED.

END OF MAIN HYDRANT UNIT



- NOTES:**
- UPON NOTIFICATION FROM THE HEALTH DEPARTMENT THAT A SATISFACTORY WATER SAMPLE HAS BEEN OBTAINED, SHUT DOWN CORPORATION STOP AND REMOVE THE SERVICE TUBING.
 - IMMEDIATELY PRIOR TO PLACING THE WATER MAIN IN SERVICE THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
 - FOR DISINFECTION/SAMPLING TAPS THAT ARE NOT NEEDED TO BLOW-OFF, 1" DISINFECTION/SAMPLING TAPS ARE ACCEPTABLE.
 - 1000 LF MAXIMUM DISTANCE BETWEEN SAMPLE TAPS UNLESS OTHERWISE SPECIFIED BY ENGINEER.

TEMPORARY DISINFECTION / SAMPLING TAP / BLOW-OFF

PIPE BEDDING DETAILS FOR WATERMAIN

TYPE OF UTILITY: WATERMAIN
PIPE MATERIAL: PVC PRESSURE PIPE
APPLICABLE PIPE SIZE: 4" TO 24"
TRENCH WIDTH: MAX. O.D. + 24"

TRENCH CONDITIONS: SELECT EARTH

BEDDING SPECIFICATION: THE TRENCH BOTTOM SHALL BE TRUE, EVEN, AND FREE FROM STONES, LARGE DIRT CLODS, OR ANY FROZEN MATERIAL WITH ANY DIMENSION GREATER THAN 1/2". PIPE TO BE BEDDED FROM BOTTOM OF TRENCH UP TO 12" ABOVE TOP OF PIPE WITH GRANULAR SAND MEETING THE STANDARDS OF NYSDOT SPEC. 703.03. DEPRESSIONS SHALL BE PROVIDED IN THE TRENCH BOTTOM FOR PIPE BELLS AT EACH JOINT AND TO ALLOW FOR WITHDRAWAL OF PIPE SLINGS. THIS IS TO ASSURE THAT THE PIPE BARREL LIES FLAT ON THE TRENCH BOTTOM.

BACKFILL SPECIFICATION: ALL BACKFILL MATERIAL SHALL BE FREE FROM CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATERIAL, BOULDERS, ROCKS OR STONES, OR FROZEN MATERIAL AND ANYTHING HAVING A DIMENSION GREATER THEN 1/2" OR ANY OTHER MATERIAL THAT IN THE OPINION OF THE OWNER IS UNSUITABLE. SAFETY COVER MEASURING 12" DEEP SHALL BE PROVIDED ON TOP OF THE BEDDING MATERIAL AND SHALL MEET THE STANDARDS OF GRADATION FOR SELECT GRANULAR FILL (NYSDOT SPEC. 203.2.06. EXCAVATED MATERIAL MAY BE USED FOR BACKFILL PROVIDED THAT SUCH MATERIAL CONSISTS OF LOAM, CLAY, SAND, GRAVEL, OR OTHER MATERIALS THAT IN THE OPINION OF THE OWNER ARE SUITABLE FOR BACKFILLING EXCEPT WITHIN THE LIMITS OF DEDICATED ROADWAYS.

BACKFILL BENEATH DEDICATED ROADWAYS TO BE FULL DEPTH TYPE 2 CRUSHER RUN STONE MEETING THE STANDARDS OF NYSDOT SPEC. 304.12.

THE BALANCE OF THE BACKFILL NEED NOT BE AS CAREFULLY SELECTED AS THE INITIAL MATERIAL. IT SHALL BE PLACED IN UNIFORM LAYERS IN SUCH A MANNER AS TO PROVIDE A UNIFORMLY DENSE BACKFILL LOAD ON THE PIPE AND AVOID UNFILLED SPACES IN THE BACKFILL. ROLLING EQUIPMENT SHALL NOT BE USED UNTIL A MINIMUM OF 18" OF BACKFILL MATERIAL COVER THE TOP OF THE PIPE.

****REFER TO APPROPRIATE AGENCY FOR SANITARY SEWER BEDDING REQUIREMENTS****

PIPE SIZE (INCHES)	90° BEND	45° BEND	22.5° BEND	11.25° BEND	SIZE ON TEE	DEAD END
4	13 FT.	8 FT.	4 FT.	3 FT.	BR.	29 FT.
6	17 FT.	8 FT.	4 FT.	3 FT.	BR.	36 FT.
8	22 FT.	10 FT.	5 FT.	3 FT.	3 FT.	48 FT.
12	33 FT.	14 FT.	7 FT.	4 FT.	23 FT.	76 FT.
14	38 FT.	16 FT.	7 FT.	4 FT.	32 FT.	97 FT.
16	44 FT.	18 FT.	9 FT.	4 FT.	46 FT.	110 FT.

- NOTES:**
- RECOMMENDED RESTRAINED LENGTHS FOR STRAIGHT TEES ASSUME A MINIMUM 10' LENGTH OF PIPE ATTACHED TO EACH SIDE OF THE RUN.
 - BR. ONLY INDICATES RESTRAINT AT TEE BRANCH ONLY.
 - ALL BENDS (DEGREE CHANGES) ARE CALCULATED AS HORIZONTAL.
 - DEAD-END SERVICE CONSTITUTES CAPS, PLUGS, VALVES AND HYDRANTS.

HORIZONTAL BEND RESTRAINT

PIPE SIZE (INCHES)	90° BEND	45° BEND	22.5° BEND	11.25° BEND
6	35/10	14/6	7/3	4/2
8	45/13	22/10	11/5	5/2
12	65/19	31/14	16/7	7/3
14		40/16	19/8	10/4
16		45/18	22/9	11/4

- NOTES:**
- ALL BENDS (DEGREE CHANGES) ARE CALCULATED AS VERTICAL. THE FIRST RESTRAINED LENGTH (FEET) IS FOR THE HIGH-SIDE BENDS (L_{HS}) AND THE SECOND RESTRAINED LENGTH (FEET) INDICATES THE LOW-SIDE BENDS (L_{LS}). LENGTHS WERE CALCULATED USING A CONSISTENT 5 FOOT DEPTH OF COVER FOR THE WATERMAIN.

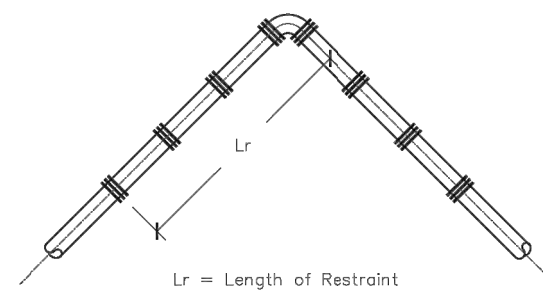
VERTICAL BEND RESTRAINT

PIPE SIZE (INCHES)	TEE (REDUC.)	STRAIGHT REDUCER
8 X 4	BR.	55/29
8 X 6	BR.	22/17
12 X 6	BR.	81/42
12 X 8	BR.	54/26
12 X 10	BR.	20/17
16X 10	BR.	48/30
16 X 12	BR.	29/32

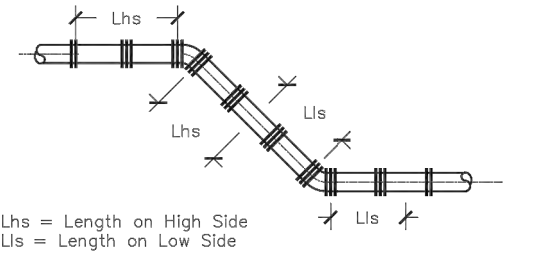
RESTRAINED LENGTHS FOR REDUCING FITTINGS

RESTRAINED LENGTHS FOR VALVES

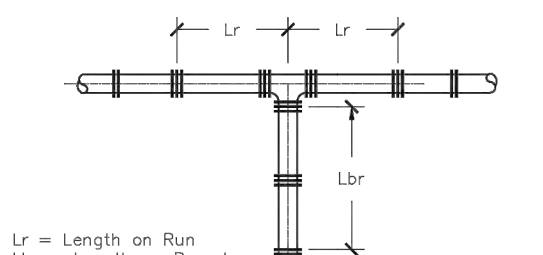
- NOTES:**
- RECOMMENDED RESTRAINED LENGTHS FOR STRAIGHT TEES ASSUME A MINIMUM 10' LENGTH OF PIPE ATTACHED TO EACH SIDE OF THE RUN.
 - BR. ONLY INDICATES RESTRAINT AT TEE BRANCH ONLY.
 - STRAIGHT REDUCER UNRESTRICTED RESTRAINED LENGTHS OFFER THE OPTION OF RESTRAINING RECOMMENDED DISTANCES ON THE SMALL-END SIDE (FIRST RESTRAINED LENGTH PROVIDED) OR THE LARGE-END SIDE (SECOND RESTRAINED LENGTH PROVIDED).



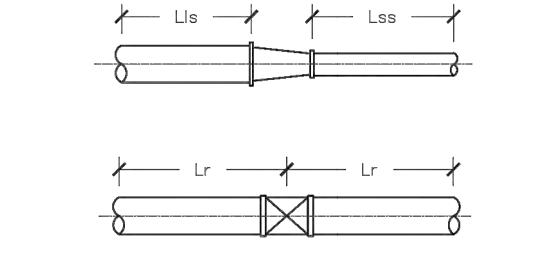
HORIZONTAL BEND



VERTICAL DOWN BEND AND OFFSET



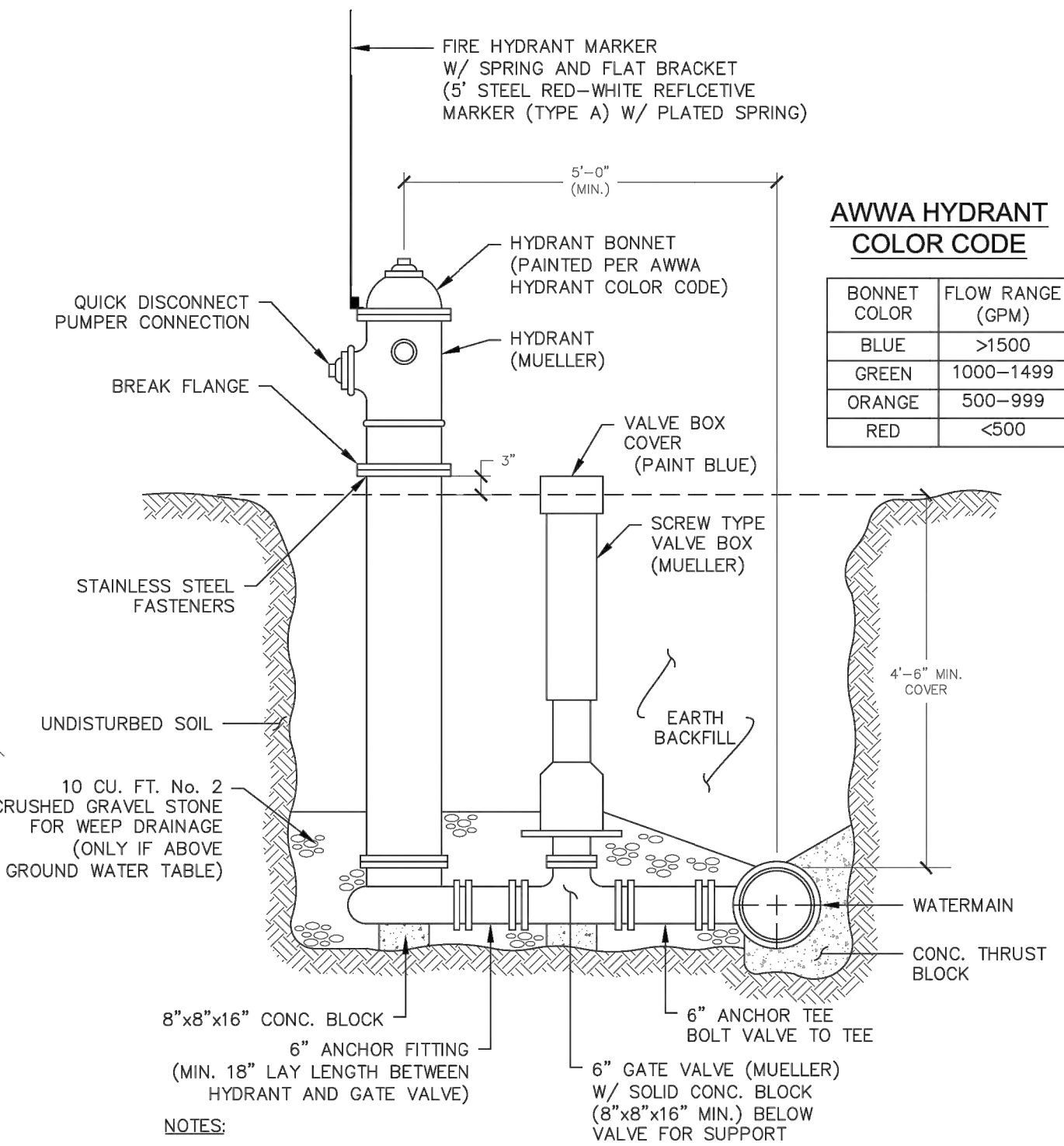
TEE



MECHANICAL JOINT PIPE RESTRAINTS

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. D) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.
NOTES WL (WATER LINE) SL (SEWER LINE) D (OUTSIDE DIAMETER OF PIPE) IN NO CASE SHALL PIPES BE CLOSER THAN 18" APART. DISTANCES ARE MEASURED BETWEEN OUTSIDES OF PIPE.		

WATERMAIN/SEWER CROSSING DETAIL



AWWA HYDRANT COLOR CODE

BONNET COLOR	FLOW RANGE (GPM)
BLUE	>1500
GREEN	1000-1499
ORANGE	500-999
RED	<500

- NOTES:**
- IF GROUND WATER IS ENCOUNTERED, THE WEEP HOLES MUST BE PLUGGED AND THE HYDRANT MARKED.
 - HYDRANTS SHALL BE PAINTED RED.

HYDRANT UNIT

PRELIMINARY

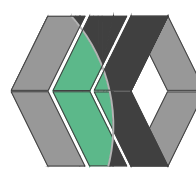
SITE PLANS PREPARED FOR:
WILLIAM METROSE, LTD
 11-Lot Residential Conservation Subdivision
 SHOWING LAND IN:
 5100 & 5150 BRISTOL ROAD
 TOWN OF CANANDAIGUA
 COUNTY OF ONTARIO

DRAWING TITLE:
DETAILS

DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	19-094
DATE:	09/09/2020
TAX MAP#:	

C502

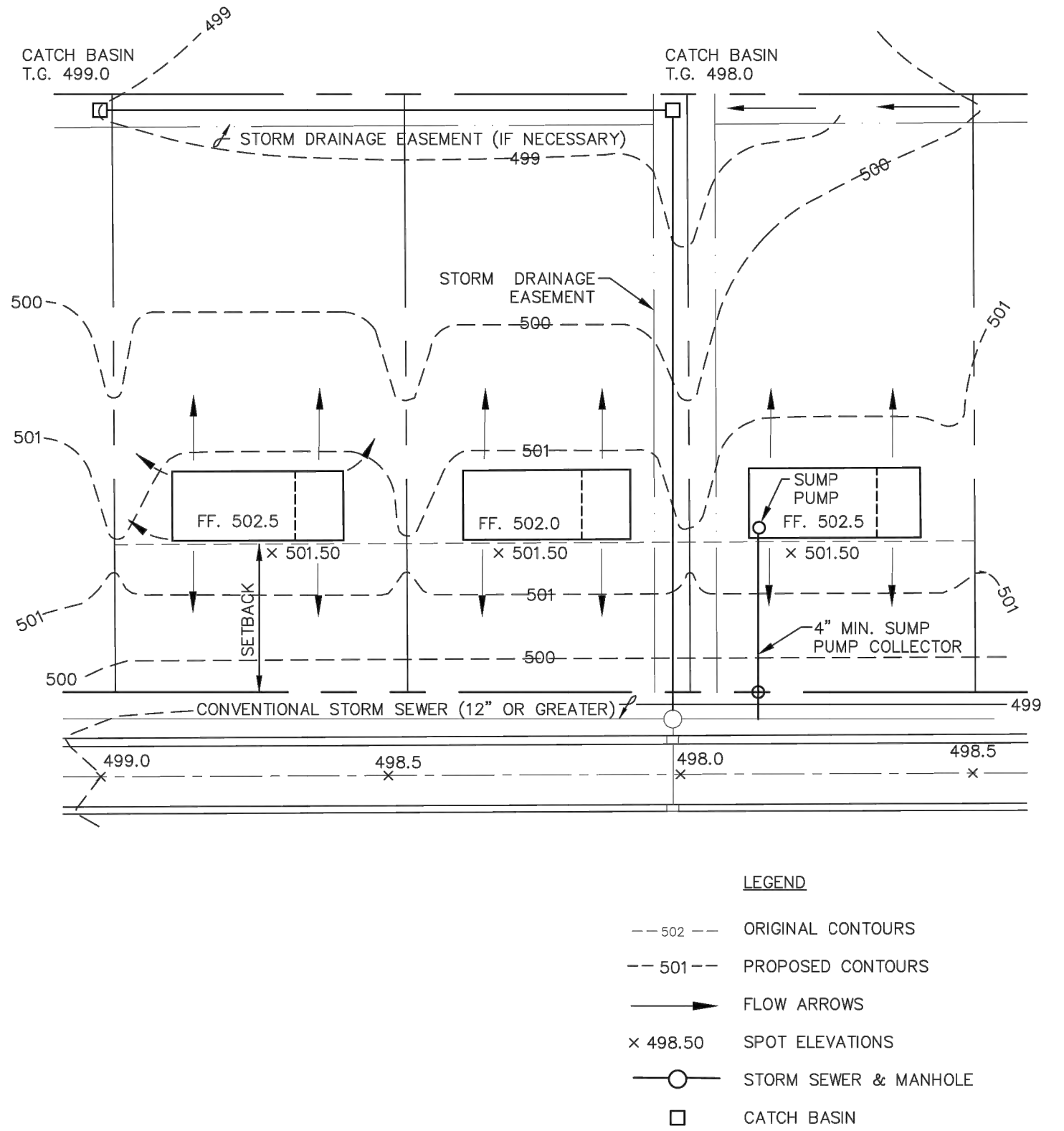
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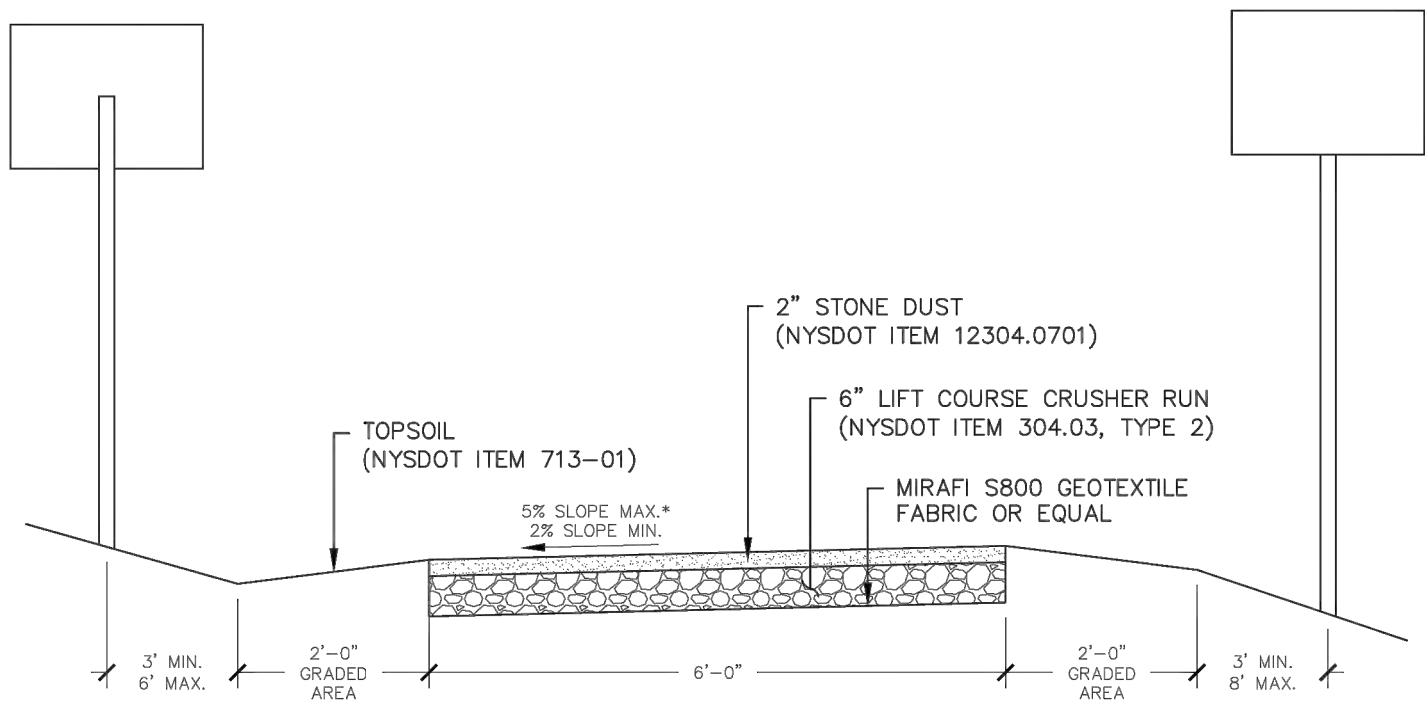
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REVISIONS AND APPROVALS

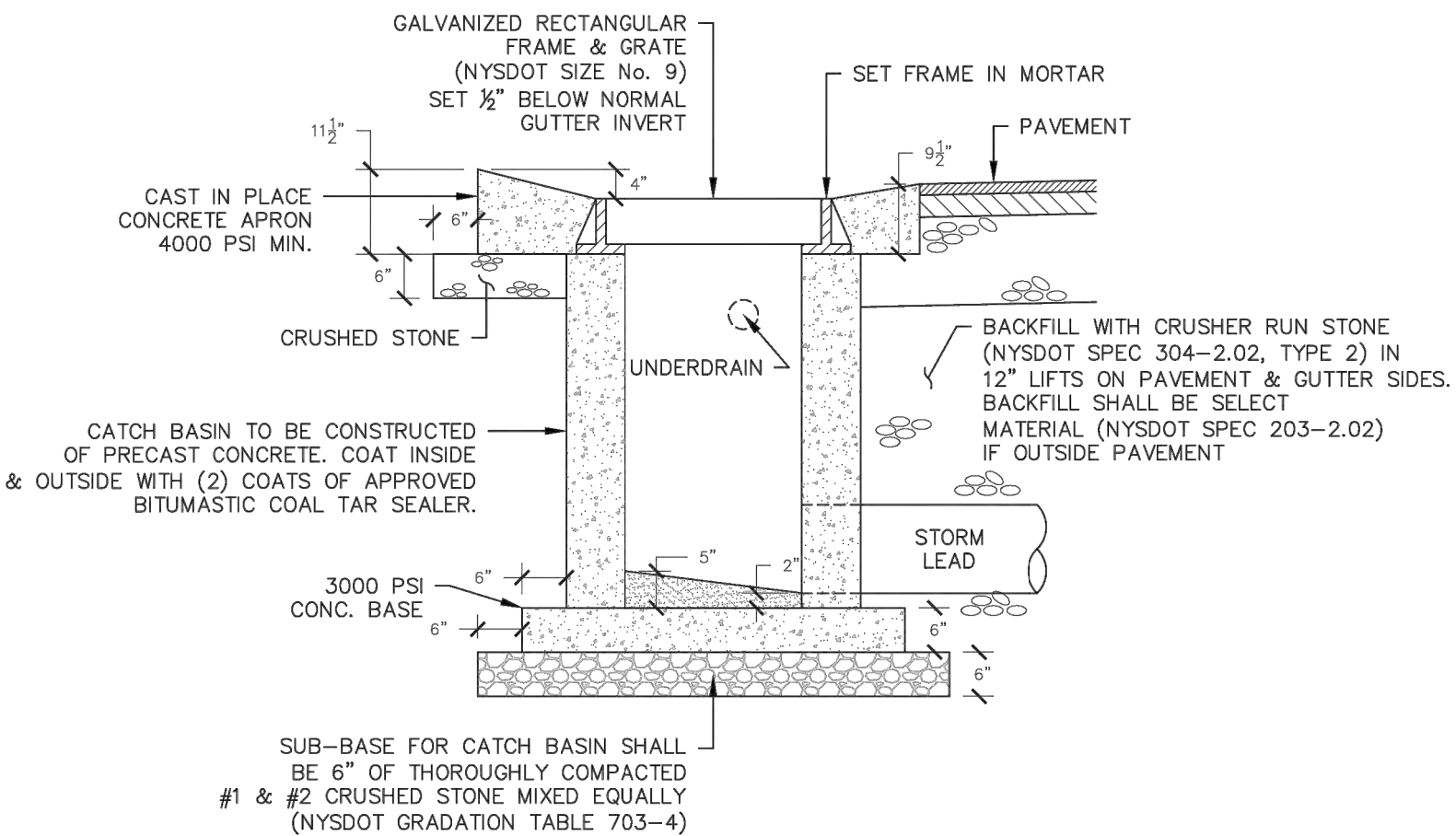
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	9/17/20	TOWN OF CANANDAIGUA PRC	JPS
2	9/21/20	TOWN OF CANANDAIGUA PRC	KRB



TYPICAL GRADING PLAN



STONE DUST WALKING TRAIL



CATCH BASIN DETAIL

PIPE BEDDING DETAILS FOR STORM LINES

TYPE OF UTILITY: STORM SEWER
PIPE MATERIAL: PVC
APPLICABLE PIPE SIZE: 4" TO 15"
TRENCH WIDTH: MAX. O.D. + 24"

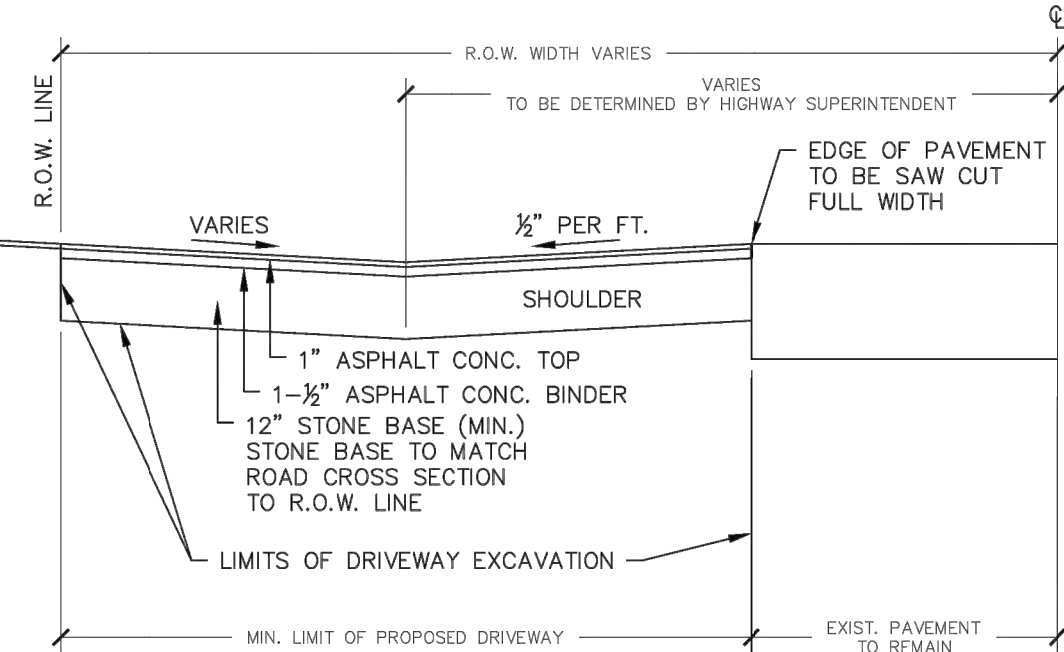
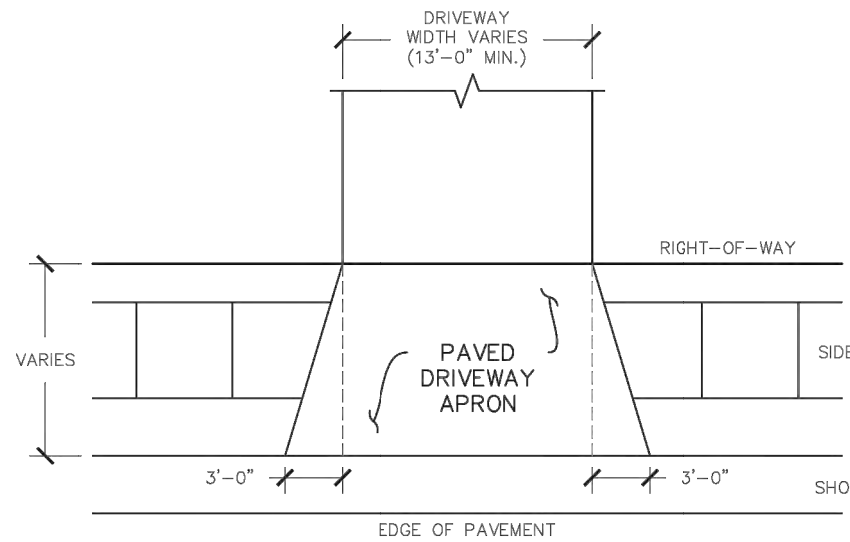
TRENCH CONDITIONS: SELECT EARTH

BEDDING SPECIFICATION: THE TRENCH BOTTOM SHALL BE TRUE, EVEN, AND FREE OF LARGE STONES, LARGE DIRT CLODS, AND ANY OTHER FROZEN MATERIAL AS APPROVED BY THE ENGINEER. A MINIMUM OF THREE (3) INCHES OF NO. 1 AND NO. 1A CRUSHED STONE MIXED EQUALLY (NYSOT GRADATION TABLE 703-4) SHALL BE INSTALLED AND TAMPED TO PROVIDE SATISFACTORY BEDDING FOR THE PIPE WHICH IS FIRM AND GIVES CONTINUOUS SUPPORT OF THE PIPE BARREL. DEPRESSIONS SHALL BE FOLLOWED IN THE TRENCH BOTTOM FOR PIPE BELLS AT ALL JOINTS IN THIS GRANULAR LIFT.

BACKFILL SPECIFICATION: INITIAL BACKFILL FROM THE TOP OF THE PIPE BEDDING MATERIAL TO THE SPRING LINE OF THE PIPE SHALL CONSIST OF NO. 1 AND NO. 1A CRUSHED STONE (NYSOT GRADATION TABLE 703-4) MIXED EQUALLY.

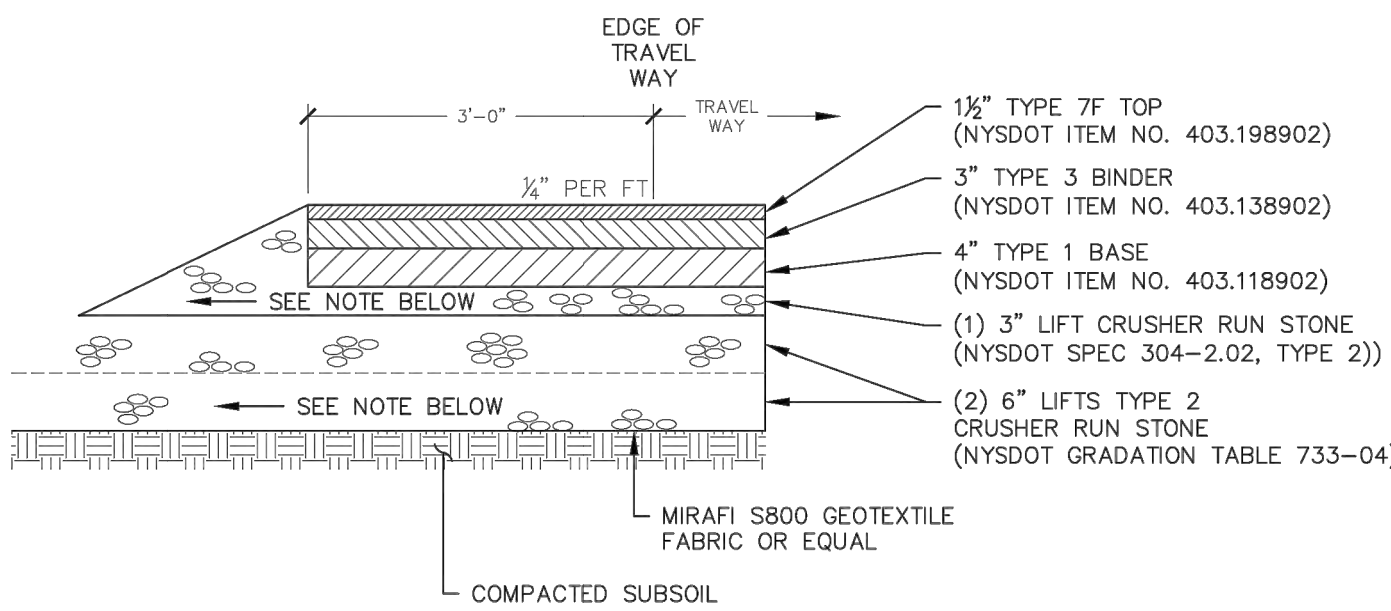
FROM THE SPRING LINE OF THE PIPE TO 12" ABOVE THE TOP OF THE PIPE APPROVED SELECT BACKFILL MATERIAL, FREE OF LARGE STONES, DIRT CLODS, OR FROZEN MATERIAL WITH ANY DIMENSION GREATER THAN 1-1/2" SHALL BE INSTALLED.

THE REMAINDER OF THE BACKFILL MATERIAL NEED NOT BE AS CAREFULLY SELECTED AS THE INITIAL BACKFILL. LARGE STONES SHALL BE AVOIDED THAT COULD DAMAGE THE INSTALLED PIPE WHEN DROPPED OR WHEN FORCE THROUGH THE SOIL CUSHION OF THE INITIAL BACKFILL.



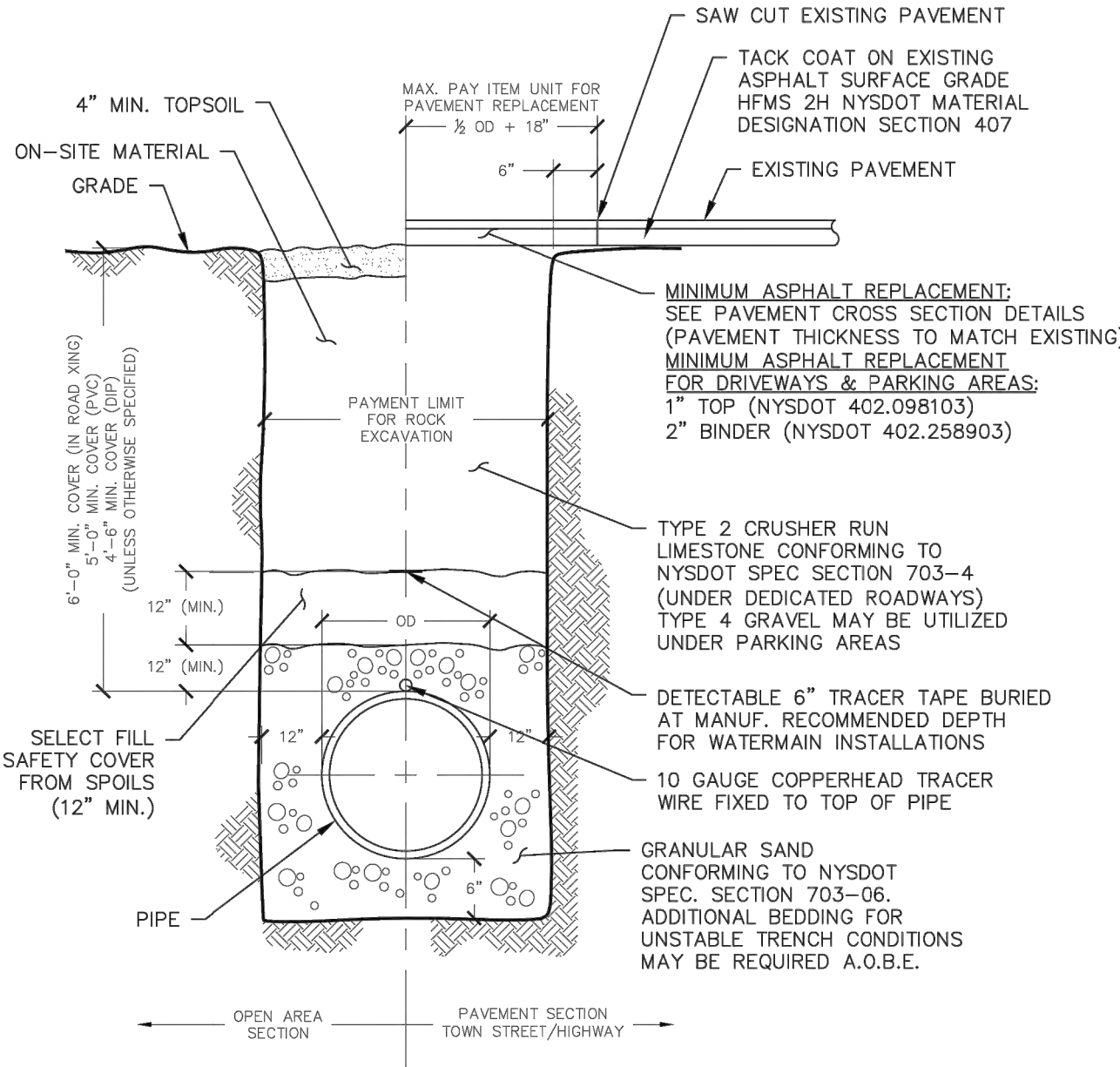
- NOTES:
- DRIVEWAYS FRONTING ON TOWN ROADS SHALL BE PAVED A MINIMUM OF 30 FEET EXTENDING FROM THE EDGE OF PAVEMENT TO R.O.W. UNLESS OTHERWISE INDICATED BY THE TOWN.
 - THE APPLICANT SHALL NOTIFY THE HIGHWAY SUPERINTENDENT AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK TO SCHEDULE A FIELD INSPECTION.
 - A MAXIMUM 3% LEVELING AREA TO BE PROVIDED FOR THE FIRST 30 FEET FROM THE EDGE OF PAVEMENT.

TYPICAL DRIVEWAY APRON DETAIL

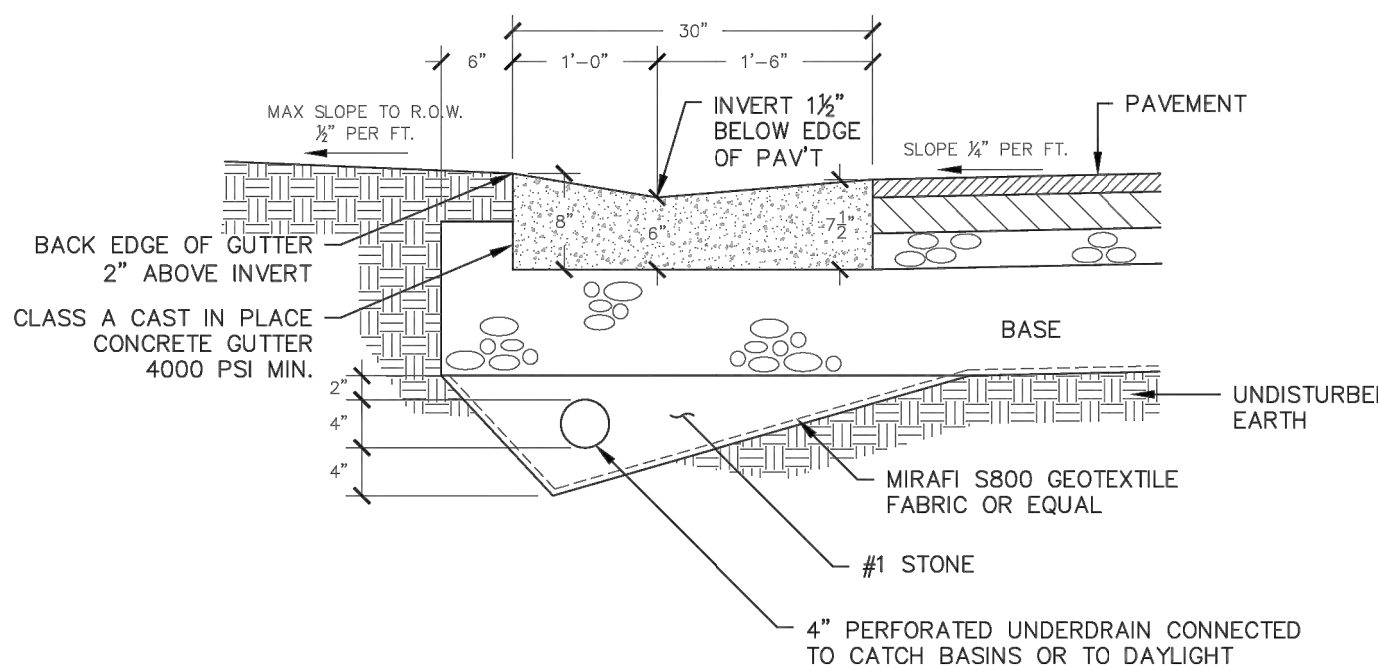


- NOTES:
- EXTEND SUBBASE TO SWALE PER APPENDICES H-2.0, H-2.1, H-2.2
 - PROVIDE 4" UNDERDRAIN IF SUBBASE CANNOT DAYLIGHT

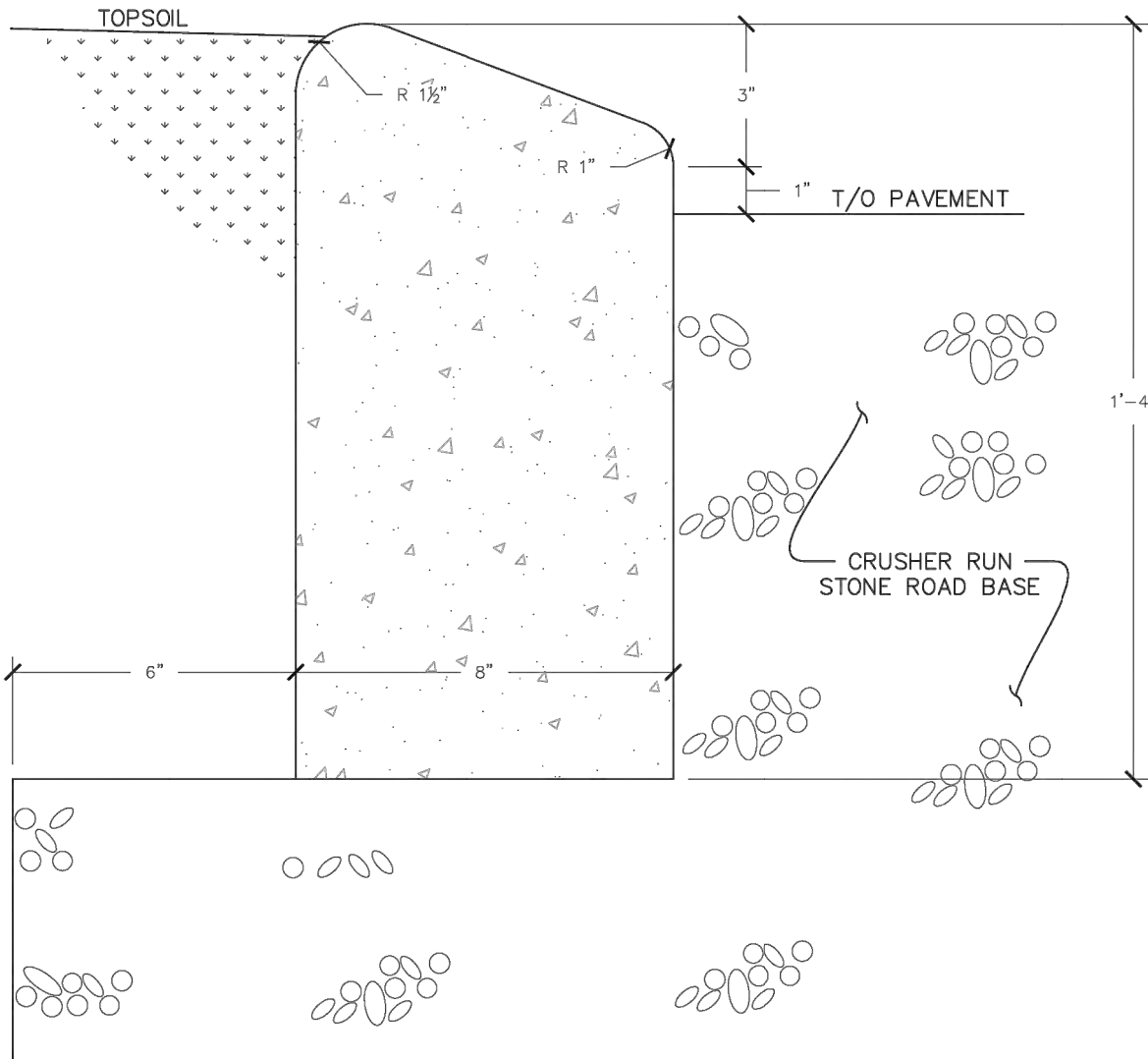
STABILIZED SHOULDER SECTION



PIPE BEDDING/ TRENCH DETAIL (OUTSIDE OF N.Y.S. HIGHWAYS)

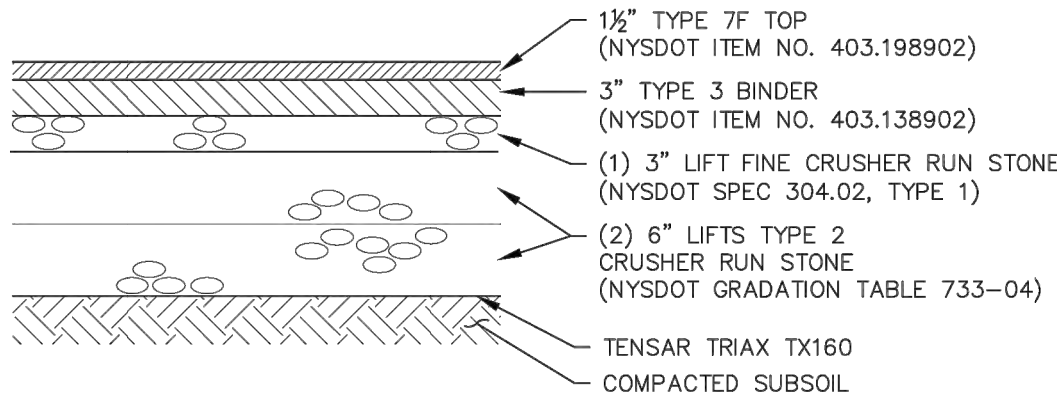


GUTTER DETAIL



GUTTER AND CATCH BASIN APRON DETAIL

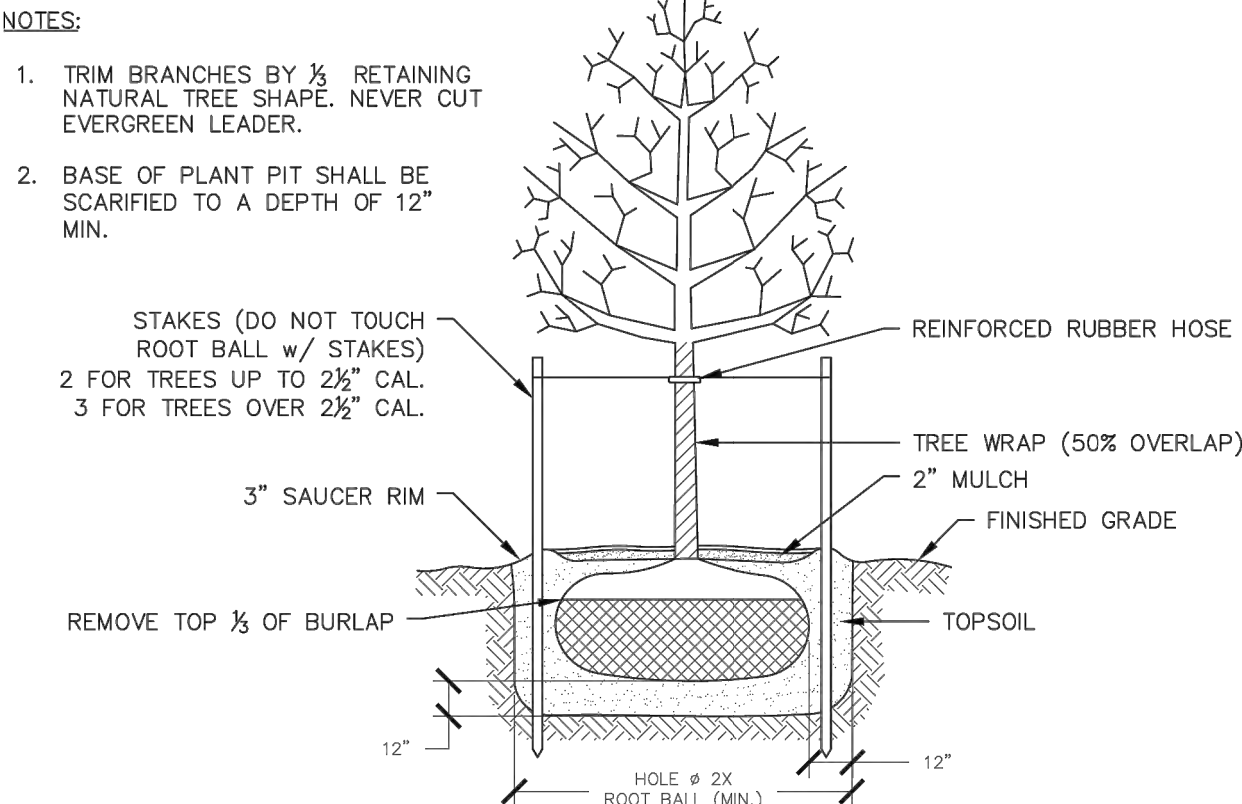
TOWN COLLECTOR ROAD



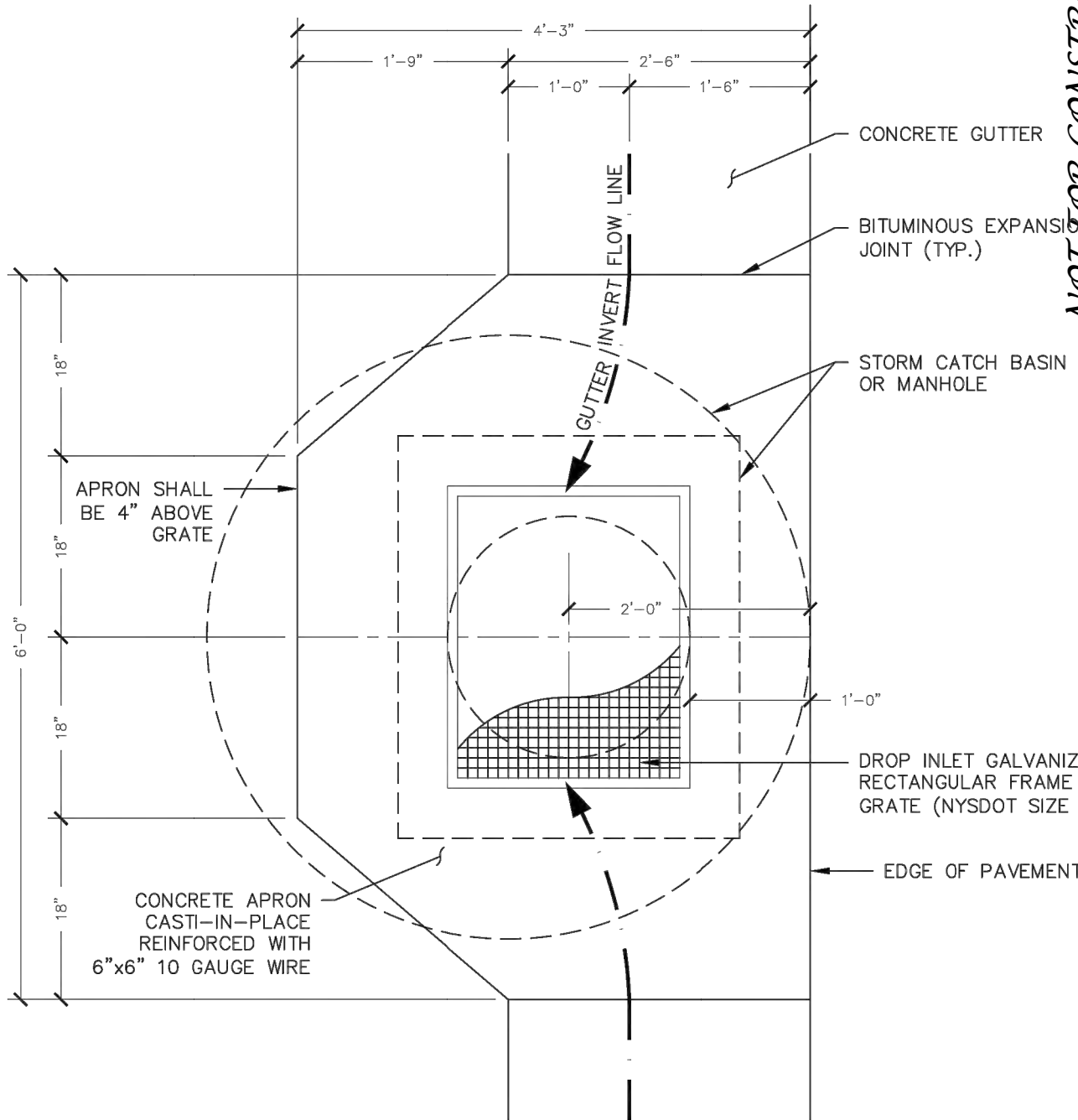
SUBDIVISION ROAD

- NOTES:
- ALL DEPTHS DIMENSIONS ARE COMPACTED THICKNESS.
 - PAVEMENT THICKNESS MAY VARY AS REQUIRED BY TOWN ENGINEER
 - UNDERDRAIN AS REQUIRED
 - IF THE SUBGRADE IS FOUND TO HAVE TOO HIGH A MOISTURE CONTENT OR PUMPING FINES, A LIGHTWEIGHT NON-WOVEN GEOTEXTILE IS TO BE USED DIRECTLY UNDER THE GEORID LAYER.

PAVEMENT CROSS SECTION



TYPICAL TREE PLANTING DETAIL



- NOTES:
- CATCH BASINS SHOULD NOT BE PLACED IN DRIVEWAY AREAS OR IN FRONT OF DRIVEWAY AREAS.
 - SPECIAL DESIGN MAY BE REQUIRED FOR STEEP GRADE SECTIONS.

PRELIMINARY

SITE PLANS PREPARED FOR:

WILLIAM METROSE, LTD

11 LOT RESIDENTIAL CONSERVATION SUBDIVISION

SHOWING LAND IN:

5100 & 5150 BRISTOL ROAD

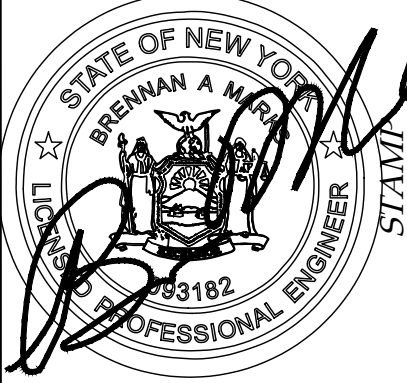
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

STATE OF NEW YORK

REVIEWS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	9/17/20	TOWN OF CANANDAIGUA PRC	JPS
2	9/21/20	TOWN OF CANANDAIGUA PRC	KRB



STAMP

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