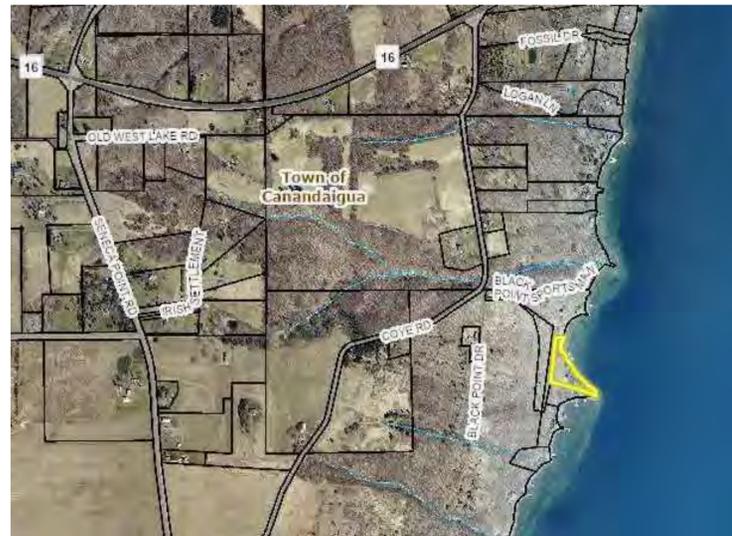


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET FOR

SINGLE FAMILY HOME CONSTRUCTION 5285 BLACK POINT DRIVE TOWN OF CANANDAIGUA ONTARIO COUNTY -- STATE OF NEW YORK

SHEET INDEX:

C-0	COVER SHEET
EX-1	EXISTING CONDITIONS PLAN
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AERIAL LOCUS
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL
HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE
PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

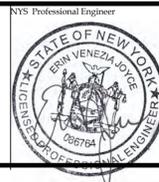
VENEZIA
PROFESSIONAL LAND SURVEYORS

VENEZIA AND ASSOCIATES
5120 LAURA LANE, CANANDAIGUA NY
rocco@veneziasurvey.com
585.396.3267

JCG
JOYCE CONSULTING GROUP
PROFESSIONAL ENGINEERS

JOYCE CONSULTING GROUP, PC
100 WYMAN ROAD, BRAINTREE MA
www.joycecg.com
781.817.6120

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Revisions			
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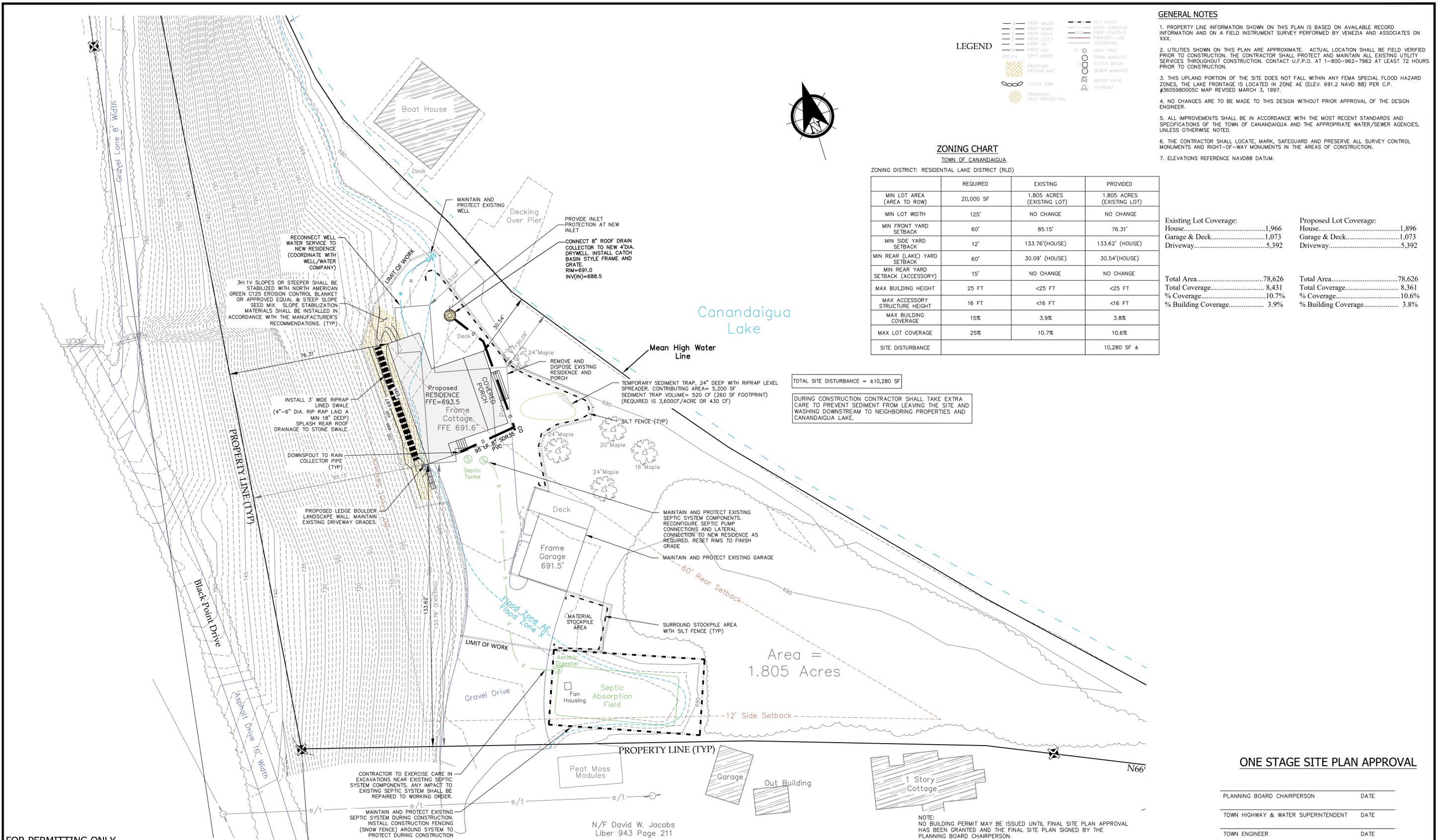
NYS Land Surveyor

Site Plan Drawings Prepared For:

Marie W. McNabb & Ernest C. Whitbeck IV
Town of Canandaigua 5285 Black Point Drive State of New York
County of Ontario

File# 17016
Scale AS NOTED
T.m. # 154.04-1-7.0
Date: 10/03/2022
Sheet: C-0

Rocco A. Venezia, P.L.S.
License # 19676A



LEGEND

---	PROP. WATER	---	SILT FENCE
---	PROP. SEWER	---	EXIST. CONTOUR
---	PROP. DRAIN	---	PROP. CONTOUR
---	PROP. ELEC.	---	PROPERTY LINE
---	PROP. TEL.	---	CENTERLINE
---	PROP. GAS	---	LIGHT POLE
---	PROP. GRADE	---	DRAIN MANHOLE
---	PROP. 1.7	---	CATCH BASIN
---	PROPOSED EROSION MAT	---	SEWER MANHOLE
---	CHECK DAM	---	WATER VALVE
---	PROPOSED INLET PROTECTION	---	HYDRANT

- GENERAL NOTES**
- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES ON XXX.
 - UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
 - THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES. THE LAKE FRONTAGE IS LOCATED IN ZONE AE (ELEV. 691.2 NAVD 88) PER C.P. #3605980005C MAP REVISED MARCH 3, 1997.
 - NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - ELEVATIONS REFERENCE NAVD88 DATUM.

ZONING CHART
TOWN OF CANANDAIGUA
ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	1,805 ACRES (EXISTING LOT)	1,805 ACRES (EXISTING LOT)
MIN LOT WIDTH	125'	NO CHANGE	NO CHANGE
MIN FRONT YARD SETBACK	60'	85.15'	76.31'
MIN SIDE YARD SETBACK	12'	133.76'(HOUSE)	133.62'(HOUSE)
MIN REAR (LAKE) YARD SETBACK	60'	30.09'(HOUSE)	30.54'(HOUSE)
MIN REAR YARD SETBACK (ACCESSORY)	15'	NO CHANGE	NO CHANGE
MAX BUILDING HEIGHT	25 FT	<25 FT	<25 FT
MAX ACCESSORY STRUCTURE HEIGHT	16 FT	<16 FT	<16 FT
MAX BUILDING COVERAGE	15%	3.9%	3.8%
MAX LOT COVERAGE	25%	10.7%	10.6%
SITE DISTURBANCE			10,280 SF ±

Existing Lot Coverage:		Proposed Lot Coverage:	
House.....	1,966	House.....	1,896
Garage & Deck.....	1,073	Garage & Deck.....	1,073
Driveway.....	5,392	Driveway.....	5,392
Total Area.....	78,626	Total Area.....	78,626
Total Coverage.....	8,431	Total Coverage.....	8,361
% Coverage.....	10.7%	% Coverage.....	10.6%
% Building Coverage.....	3.9%	% Building Coverage.....	3.8%

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JCG JOYCE CONSULTING GROUP
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SCALE: 1" = 20'

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NYS Professional Engineer

Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Drawing Title: **SITE PLAN**

Site Plan Prepared For: **Marie W. McNabb & Ernest C. Whitbeck IV**

Town of Canandaigua 5285 Black Point Drive County of Ontario State of New York

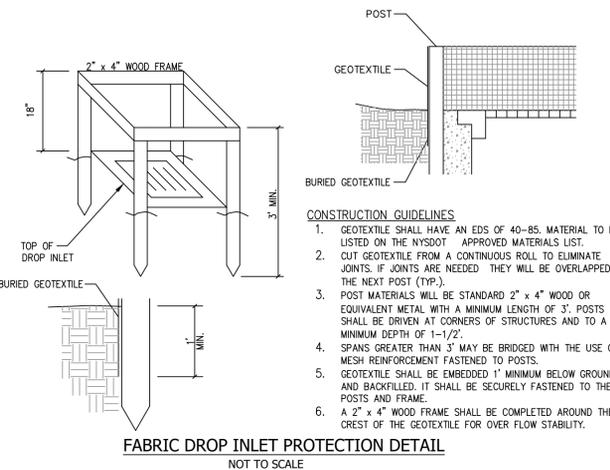
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Date: 10/03/2022
Sheet: **C-1**

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

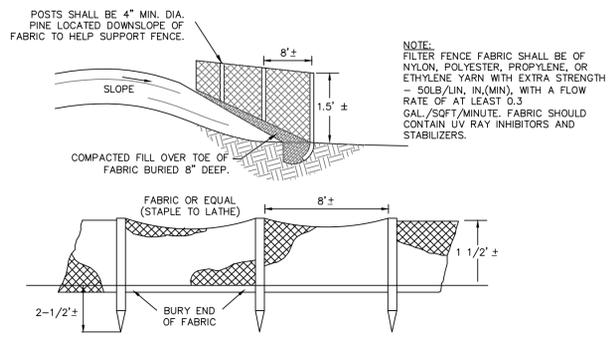
N/F David W. Jacobs
Liber 943 Page 211

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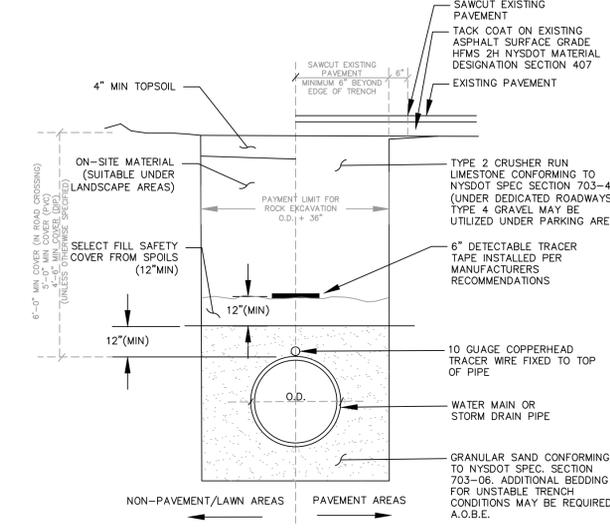


- CONSTRUCTION GUIDELINES**
1. GEOTEXTILE SHALL HAVE AN EDS OF 40-85. MATERIAL TO BE LISTED ON THE NYSDOT APPROVED MATERIALS LIST.
 2. CUT GEOTEXTILE FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT POST (TYP.).
 3. POST MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3'. POSTS SHALL BE DRIVEN AT CORNERS OF STRUCTURES AND TO A MINIMUM DEPTH OF 1'-1/2'.
 4. SPANS GREATER THAN 3' MAY BE BRIDGED WITH THE USE OF MESH REINFORCEMENT FASTENED TO POSTS.
 5. GEOTEXTILE SHALL BE EMBEDDED 1" MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE POSTS AND FRAME.
 6. A 2' x 4' WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE GEOTEXTILE FOR OVER FLOW STABILITY.

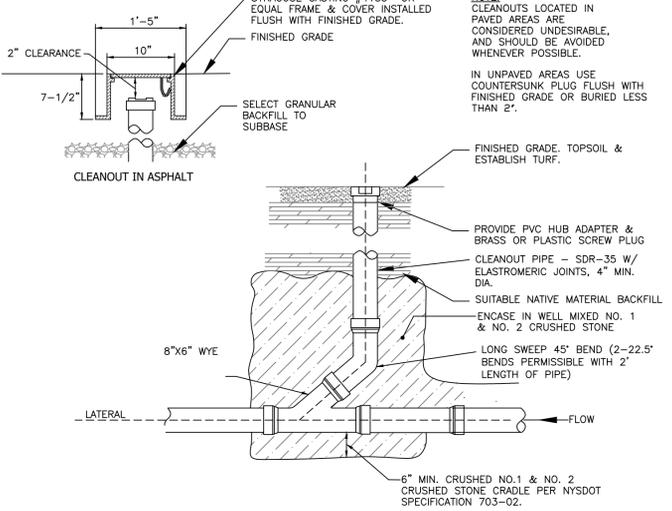
FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE



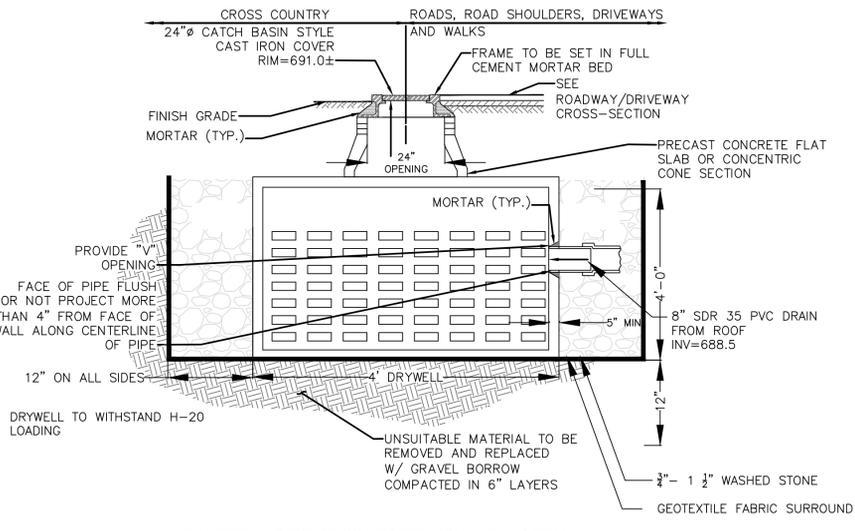
SILT FENCE DETAIL
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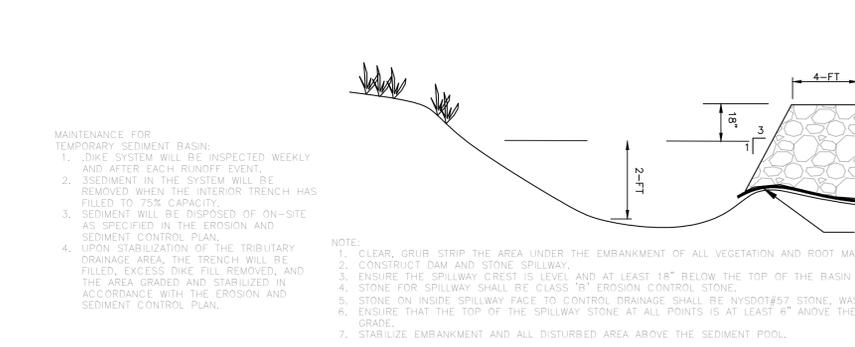
WATER MAIN & DRAIN BEDDING DETAIL
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE

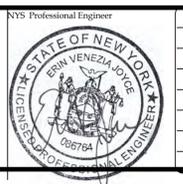


4' DIAMETER PRECAST CONCRETE DRY WELL DETAIL
NOT TO SCALE



TEMPORARY SEDIMENT BASIN DETAIL
NOT TO SCALE

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NYS Land Surveyor

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDOC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
3. ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDOC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
11. DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDOC.
13. ROOF LEADER SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDOC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE). WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
 - A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION. WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
 - B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
 - THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING RAKING OR BACK-BLADING WITH A BULLDOZER.
 - FERTILIZE WITH 200 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET.
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDOC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:

SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER		
CEREAL RYE	100	2.5

 - SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
 - C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFLOL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

 - SEEDING RATE 6 LBS PER 1000 SQUARE FEET
 - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
 - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
 - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDOC REGULATIONS.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
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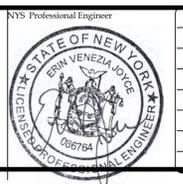


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Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Drawing Title: **SITE DETAILS**

Site Plan Prepared For: **Marie W. McNabb & Ernest C. Whitbeck IV**

Town of Canandaigua
5285 Black Point Drive
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