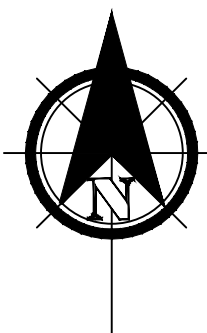


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR

SINGLE FAMILY HOME CONSTRUCTION
5285 BLACK POINT DRIVE
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK

SHEET INDEX:

C-0	COVER SHEET
EX-1	EXISTING CONDITIONS PLAN
C-1	SITE PLAN
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AERIAL LOCUS
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL
HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE
PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



VENEZIA
PROFESSIONAL LAND SURVEYORS

JOYCE CONSULTING GROUP
CIVIL ENGINEERS

JOYCE CONSULTING GROUP, PC
100 WYMAN ROAD, BRAINTREE MA
www.joyccg.com
781.817.6120

VENEZIA AND ASSOCIATES
5120 LAURA LANE, CANANDAIGUA NY
rocco@veneziasurvey.com
585.396.3267

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK
STATE EDUCATION LAW IT IS A VIOLATION FOR ANY
PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL
OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE
SEAL OF AN ENGINEER IS ALTERED, THE ALTERING
ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR
SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A
SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By
1	11/30/2022	TOWN ENGINEER COMMENTS	EVJ

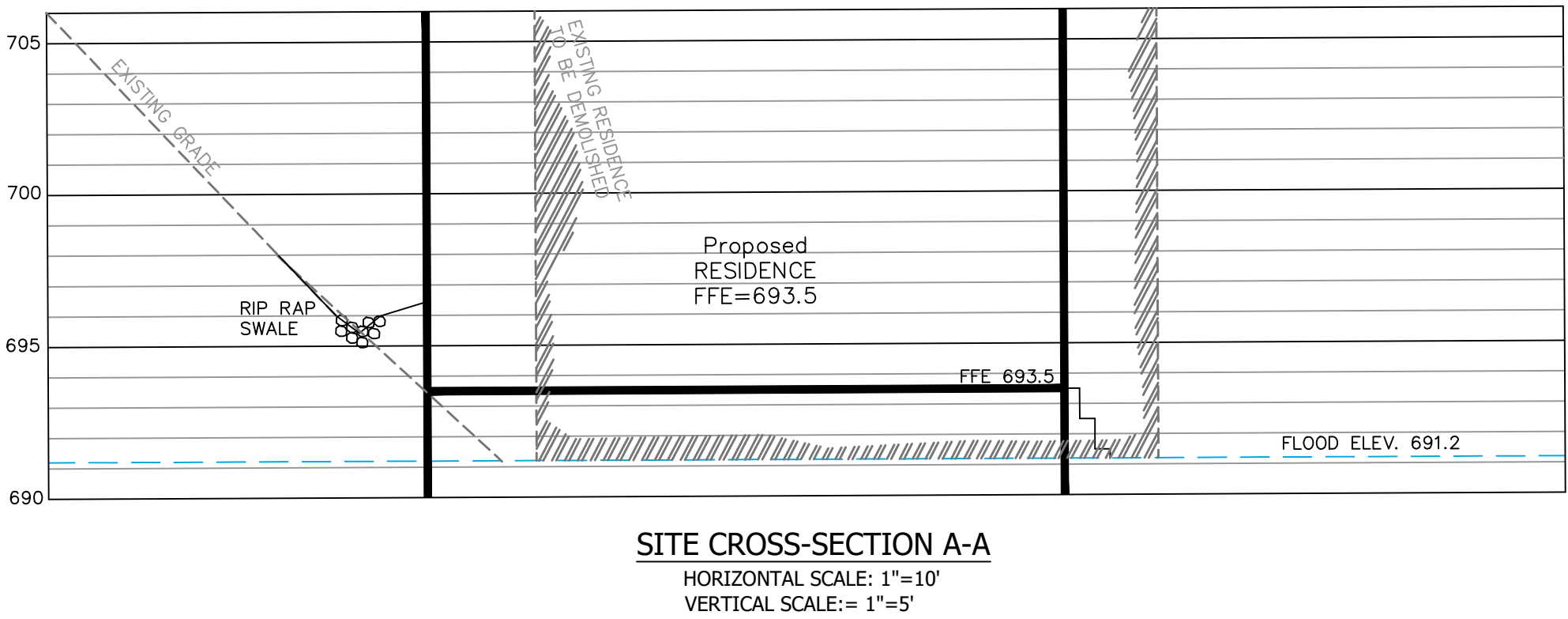
NYS Land Surveyor

Rocco A. Venezia, P.L.S.
LICENSE # 18676A

Site Plan Drawings Prepared For:

Marie W. McNabb & Ernest C. Whitbeck IV
Town of Canandaigua 5285 Black Point Drive State of New York
County of Ontario

File# 17016
Scale AS NOTED
T.m. # 154.04-1-7.0
Date: 10/03/2022
Sheet:
C-0



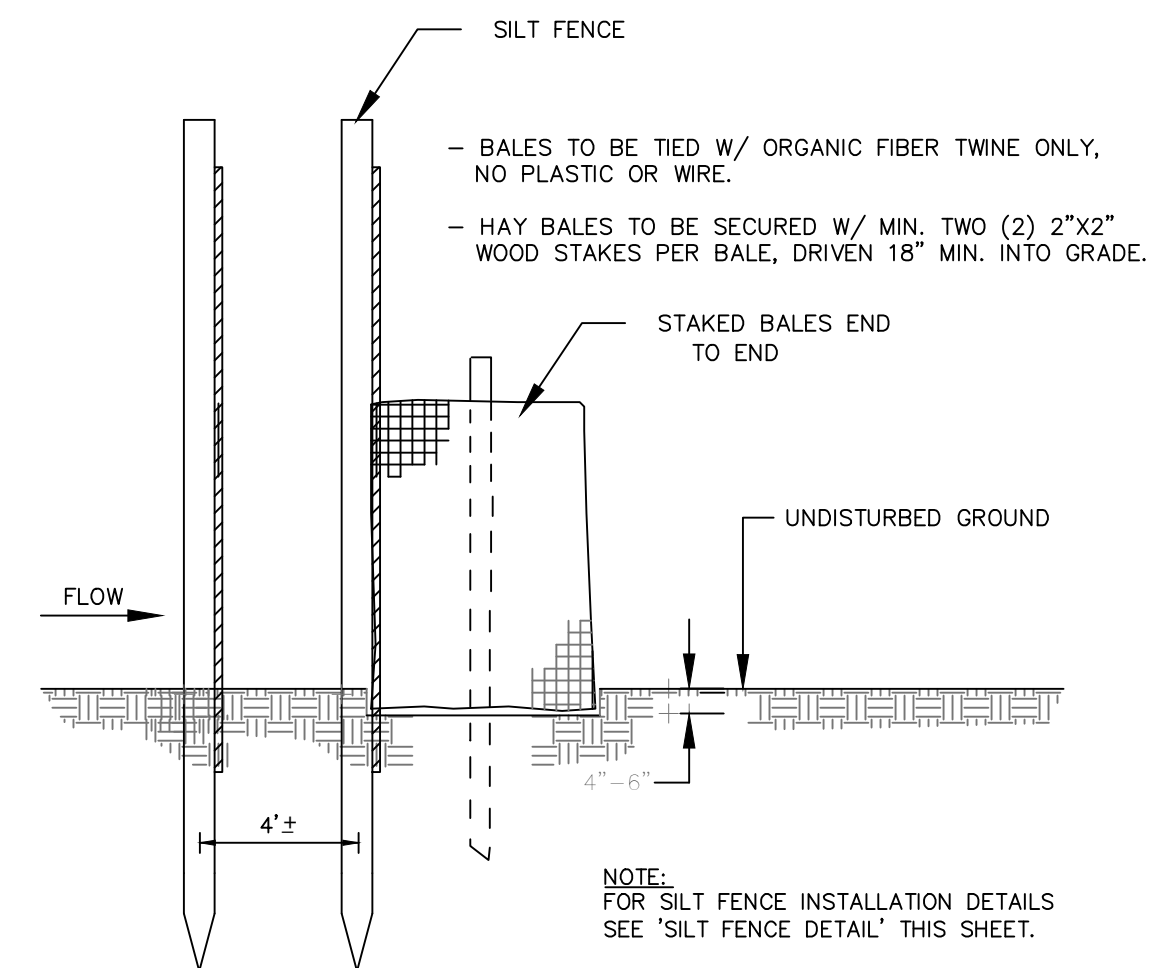
TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	1,805 ACRES (EXISTING LOT)	1,805 ACRES (EXISTING LOT)
MIN LOT WIDTH	125'	NO CHANGE	NO CHANGE
MIN FRONT YARD SETBACK	60'	85.15'	76.31'
MIN SIDE YARD SETBACK	12'	133.76'(HOUSE)	133.62' (HOUSE)
MIN REAR (LAKE) YARD SETBACK	60'	30.09' (HOUSE)	30.54'(HOUSE)
MIN REAR YARD SETBACK (ACCESSORY)	15'	NO CHANGE	NO CHANGE
MAX BUILDING HEIGHT	25 FT	<25 FT	<25 FT
MAX ACCESSORY STRUCTURE HEIGHT	16 FT	<16 FT	<16 FT
MAX BUILDING COVERAGE	15%	3.9%	3.8%
MAX LOT COVERAGE	25%	10.7%	10.6%
SITE DISTURBANCE			10,280 SF ±

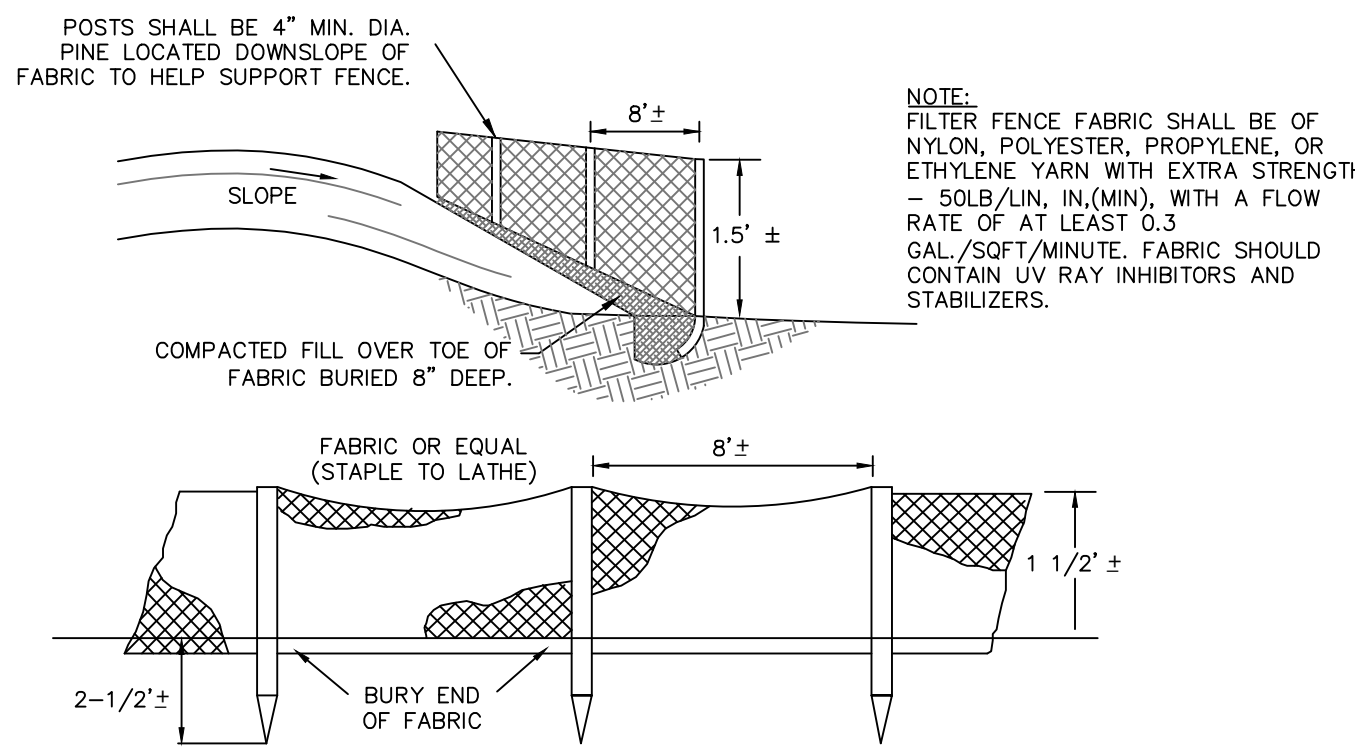
TOTAL SITE DISTURBANCE = ±10,280 SF

DURING CONSTRUCTION CONTRACTOR SHALL TAKE EXTRA CARE TO PREVENT SEDIMENT FROM LEAVING THE SITE AND WASHING DOWNSTREAM TO NEIGHBORING PROPERTIES AND CANANDAIGUA LAKE.



DOUBLE SILT FENCE WITH HAYBALE DETAIL

NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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T.m. # 154.04-1-7.C

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C-1



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SCALE: 1" = 20'



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NYS Professional Engineer

Revisions			
NO.	Date	Description	By
1	11/30/2022	TOWN ENGINEER COMMENTS	EVJ

NYS Land Surveyor

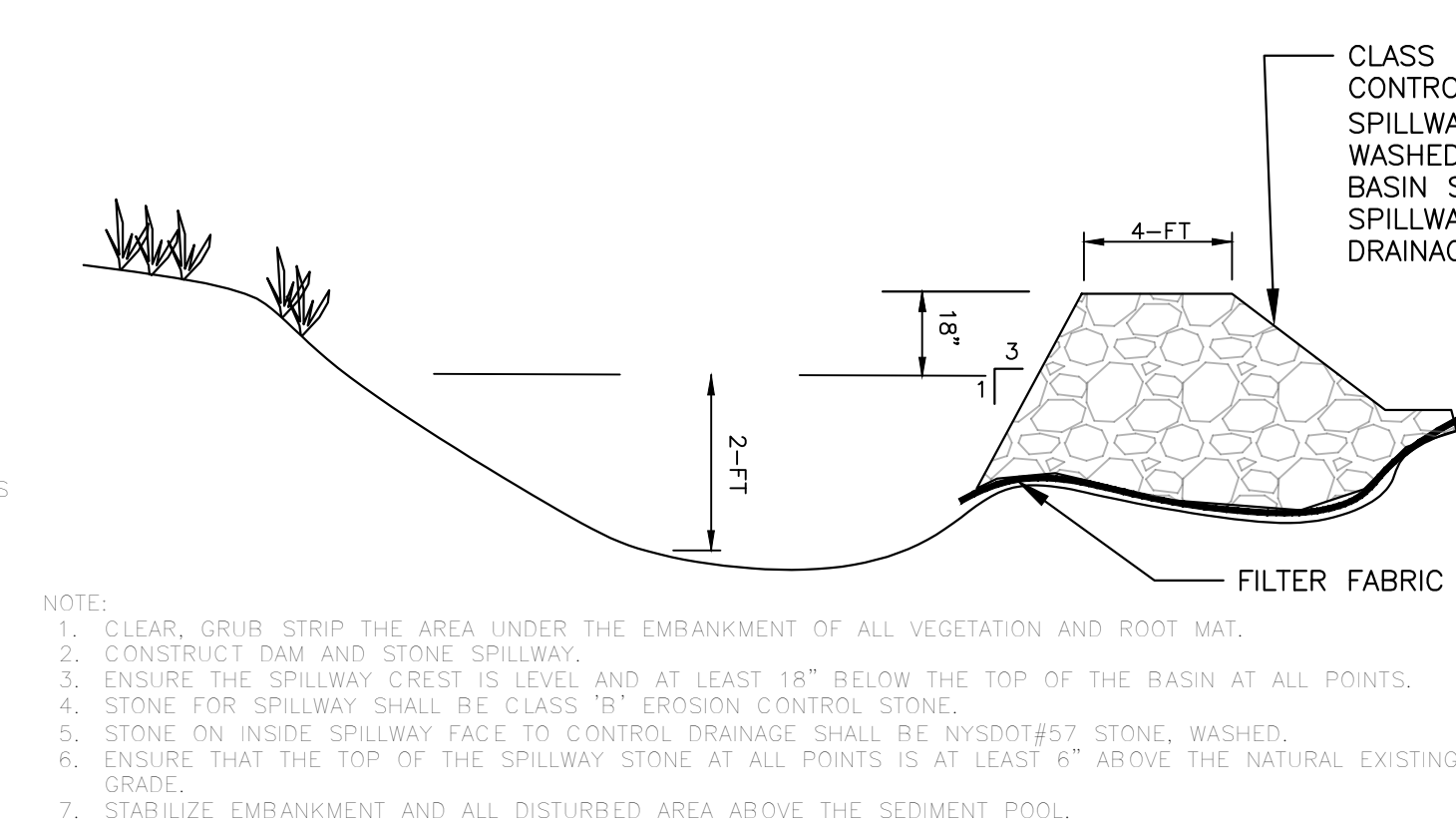
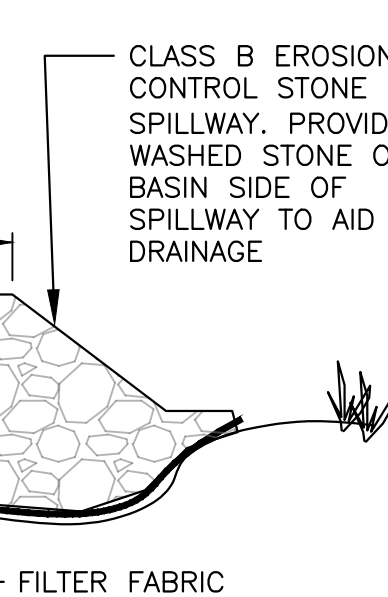
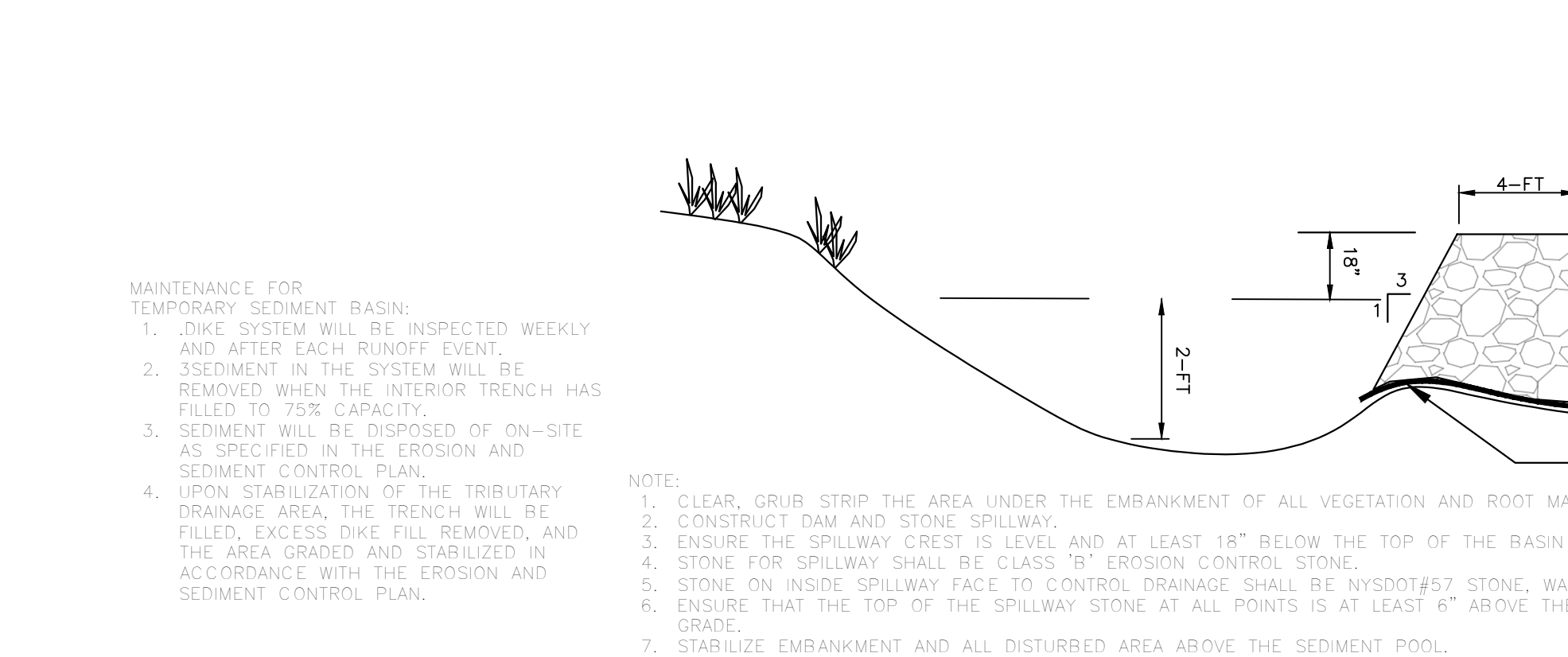
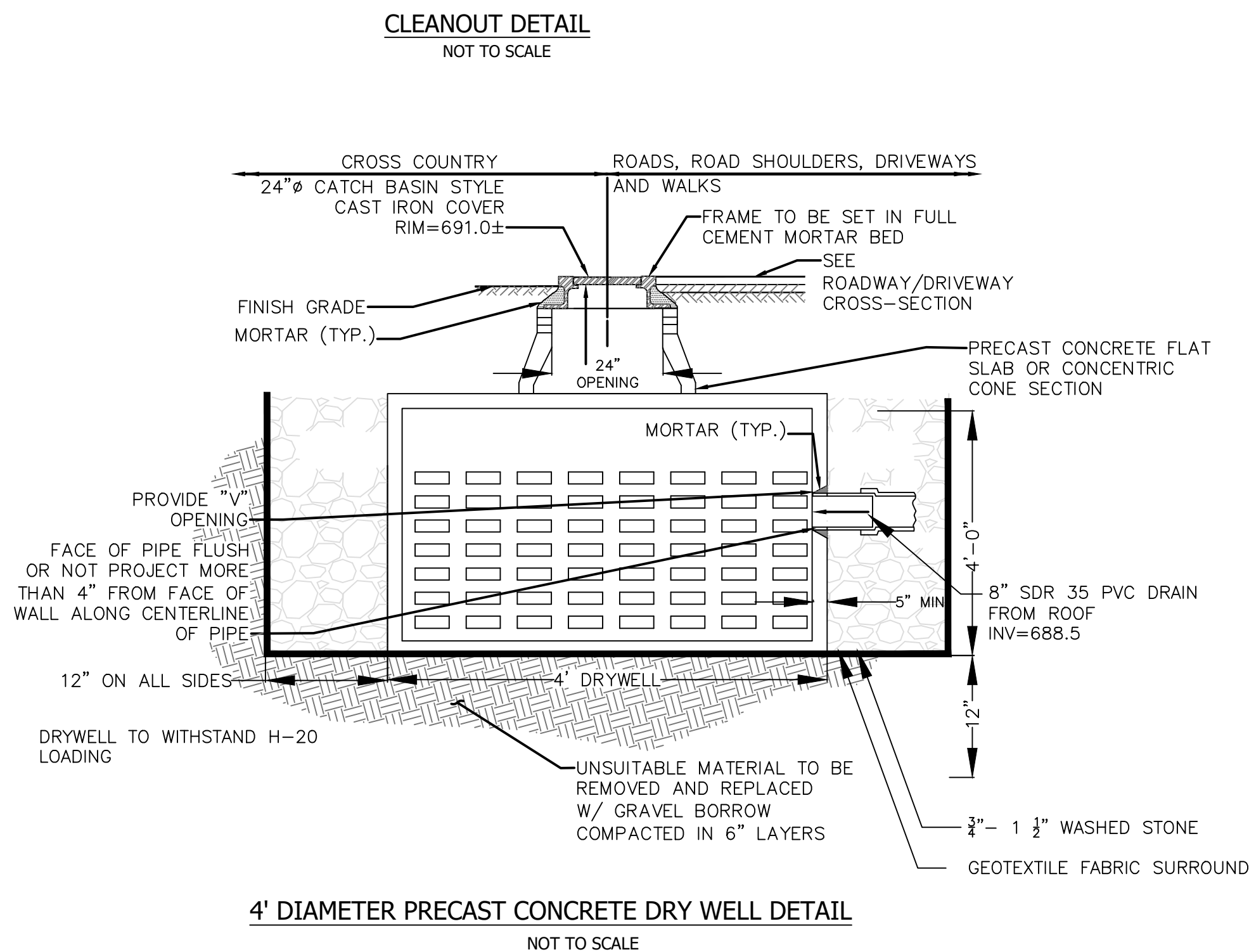
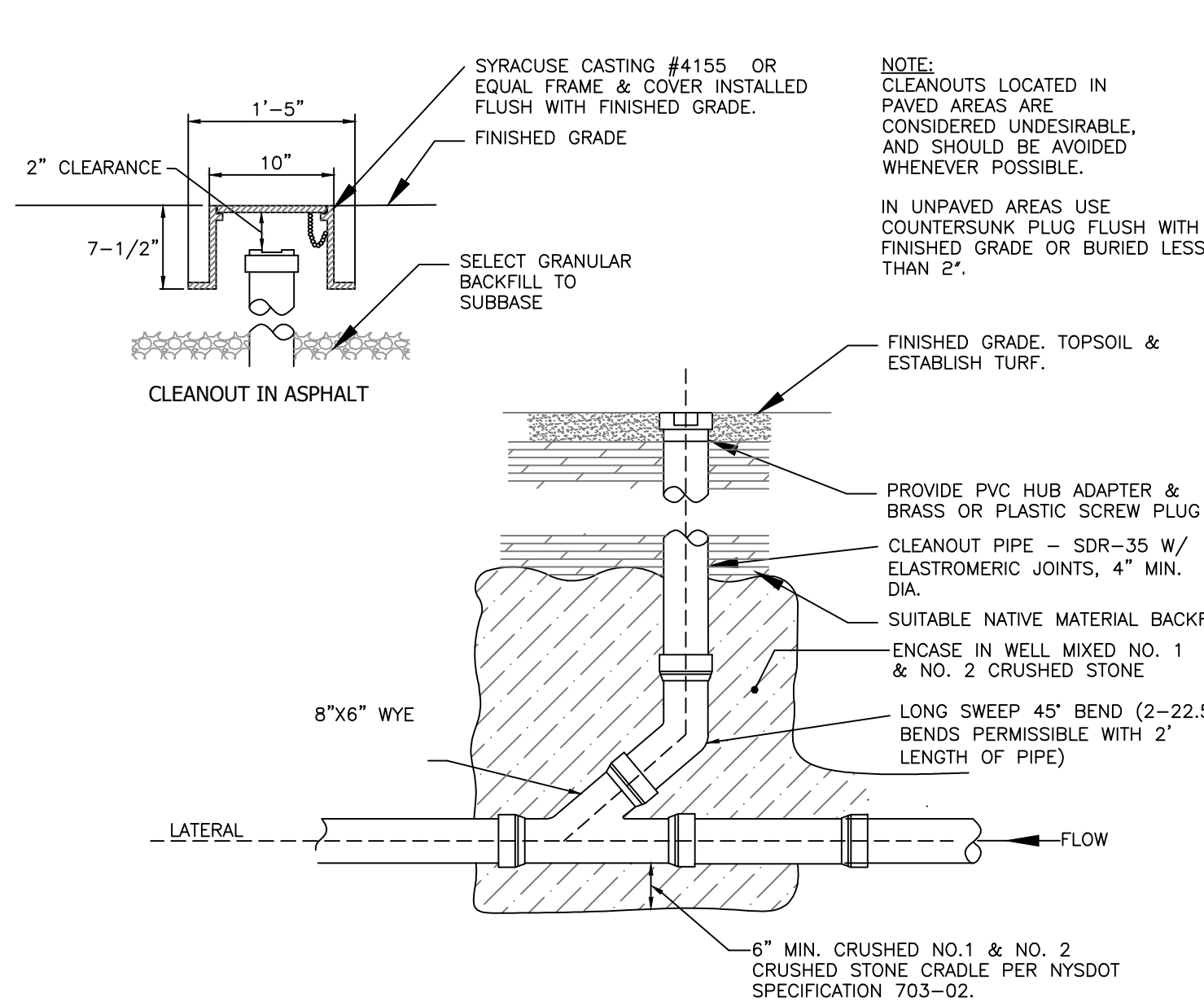
Drawing Title:

SITE PLAN

Site Plan Prepared For:

Marie W. McNabb & Ernest C. Whitbeck IV

Town of Canandaigua 5285 Black Point Drive State of New York
County of Ontario



TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
3. ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN ENGINEER AND THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION UNTIL EROSION IS STABILIZED BY THE TOWN OF CANANDAIGUA. IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWNS OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE. ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
11. DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
13. THE PROJECT LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE). WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
- A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION. WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
- B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
- 1. THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSEENED BY DISKING PAVING OR BACK-BLADING WITH A BULLDOZER
 - 2. FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
 - 3. NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - 4. IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - 5. THE FOLLOWING SEED MIX SHALL BE USED:
- | SPRING/SUMMER/EARLY FALL | LBS/ACRE | LBS/1,000 SQ. ACRE |
|--------------------------|----------|--------------------|
| ANNUAL RYE GRASS | 30 | 0.7 |
| PERENNIAL RYEGRASS | 30 | 0.7 |
| LATE FALL/EARLY WINTER | | |
| CEREAL RYE | 100 | 2.5 |
- * SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
- C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
- | | LBS/ACRE | LBS/1,000 SQ. ACRE |
|-----------------------------------------|----------|--------------------|
| BIRDFOOT TREFOIL OR COMMON WHITE CLOVER | 8 OR 8 | 0.20 OR 0.20 |
| TALL FESCUE | 20 | 0.45 |
| REDTOP OR RYEGRASS (PERENNIAL) | 2 OR 5 | 0.05 OR 0.10 |
- * SEEDING RATE: 6 LBS PER 1000 SQUARE FEET
- 1. MULCH: STRAW OR WOOL FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
 - 2. FOR FALL OR EARLY WINTER, MULCH USED CERTIFIED "AROSTOK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
 - 3. PERMANENT STABILIZATION OR SITE SLOPE DEFICIENCY SHALL INCLUDE AUTE MESH BLANKET AND CROWN WETCH SEED WITH PERENNIAL RYEGRASS.
 - 4. NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - 5. IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
18. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
19. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE DIG SAFE NEW YORK VFO HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN AND ELEVATION OF EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MARK EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
20. THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION AND SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
21. ANY ADDITIONAL OR EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
22. SEDIMENT CONTROL MEASURES SHALL BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM CROWN COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
23. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING, AND SUBSEQUENTLY REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS, AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
24. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
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Sheet: C-2