

File: Z:\Engineering\Job Files\0674-15\Drawings\0674-15 Plans.dwg, Last saved: 3/3/2016, Plot Date: 4/7/2016, By: PGORMAN, Plot Style: MARATHON STANDARD.CTB

## PROJECT STATISTICS

- GENERAL:**
  - PROPERTY ADDRESS:** 4727 COUNTY ROAD 16  
CANANDAIGUA, NY 14424  
14011-1-30  
23,139 SQ. FT. (531 AC)
  - TAX ACCOUNT:**
  - PARCEL AREA:**
- OWNER INFORMATION:**
  - PROPERTY OWNER:** EDWARD & PATRICIA BREWER
  - MAILING ADDRESS:** 78 TREVOR COURT ROAD  
ROCHESTER, NY 14610

- ZONING REGULATIONS:**
  - ZONING DISTRICT:** RLD (RESIDENTIAL LAKE)
  - ZONING REQUIREMENTS:**

SETBACK/ZONING REQUIREMENTS			
ITEM	REQUIRED	EXISTING	PROPOSED
PRINCIPAL BUILDING	MIN FRONT SETBACK (FT)	60	81±
	MIN REAR (LAKE) SETBACK (FT)	60	40.6
	MIN SIDE SETBACK (FT)	12	26±
	MAX BUILDING HEIGHT (FT)	25	23
MAX BLDG LOT COVERAGE PERCENTAGE (%)			
MAX LOT COVERAGE PERCENTAGE (%)			
25			
34			
29.9*			

\*VARIANCES ARE BEING REQUESTED

ITEM:	REQUIRED	EXISTING	PROPOSED (RELIEF)
A. MAX BUILDING HEIGHT -	25'	23'	27' (2')
B. MIN REAR (LAKE) SETBACK -	60'	40.6'	41' (19')
C. MAX BUILDING LOT COVERAGE -	15%	14%	17.2% (2.2%)
D. MAX LOT COVERAGE -	25%	34%	29.9% (4.9%)

## REFERENCES:

- BOUNDARY SURVEY:** BOUNDARY INFORMATION WAS TAKEN FROM PLAN OF THE LAND OF EDWARD N. & PATRICIA R. BREWER 4727 COUNTY ROAD 16 TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK PREPARED BY DAVID M. PARRINELLO DATED 09/24/2010 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
  - ARCHITECTURAL DRAWINGS:** THE ARCHITECTURAL PLANS WERE PROVIDED ON 02/18/2016, BY ARCHITECTURAL INNOVATIONS, P.C. DISCREPANCIES WITH BUILDINGS, CONTROL POINTS, AND/OR TIE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- \* EXISTING 100 YR FLOODPLAIN ELEVATION WAS PLOTTED BASED ON THE FEMA 100 YEAR FLOODPLAIN ELEVATION FOR CANANDAIGUA LAKE (692.00). THE MAJORITY OF THE PROJECT SITE IS LOCATED WITHIN "ZONE X: AREA OUTSIDE OF THE 500 YEAR FLOOD PLAIN". REFER TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 30098 0025 C, MAP DATED MARCH 3, 1997.

## LEGEND:

EXISTING	PROPOSED	DESCRIPTION
		SIGN
		LIGHT POLE
		POWER POLE
		GAS MAIN & VALVE
		ELECTRIC CONDUIT & STRUCTURE
		TELEPHONE CONDUIT & STRUCTURE
		CENTERLINE AND STATIONING
		RIGHT-OF-WAY OR PROPERTY LINE
		CURB
		FENCE (DESCRIPTION)
		SANITARY SEWER WITH MANHOLE
		STORM SEWER, MANHOLE & FIELD/DROP INLET
		WATER MAIN WITH HYDRANT & GATE VALVE
		CENTERLINE OF SWALE
		CONTOUR
		DRAINAGE FLOW ARROW
		SPOT ELEVATION
		TREE LINE
		TREE PROTECTION
		100 YR FLOODPLAIN BOUNDARY*
		SEPTIC PERCOLATION TEST LOCATION

## NOTES

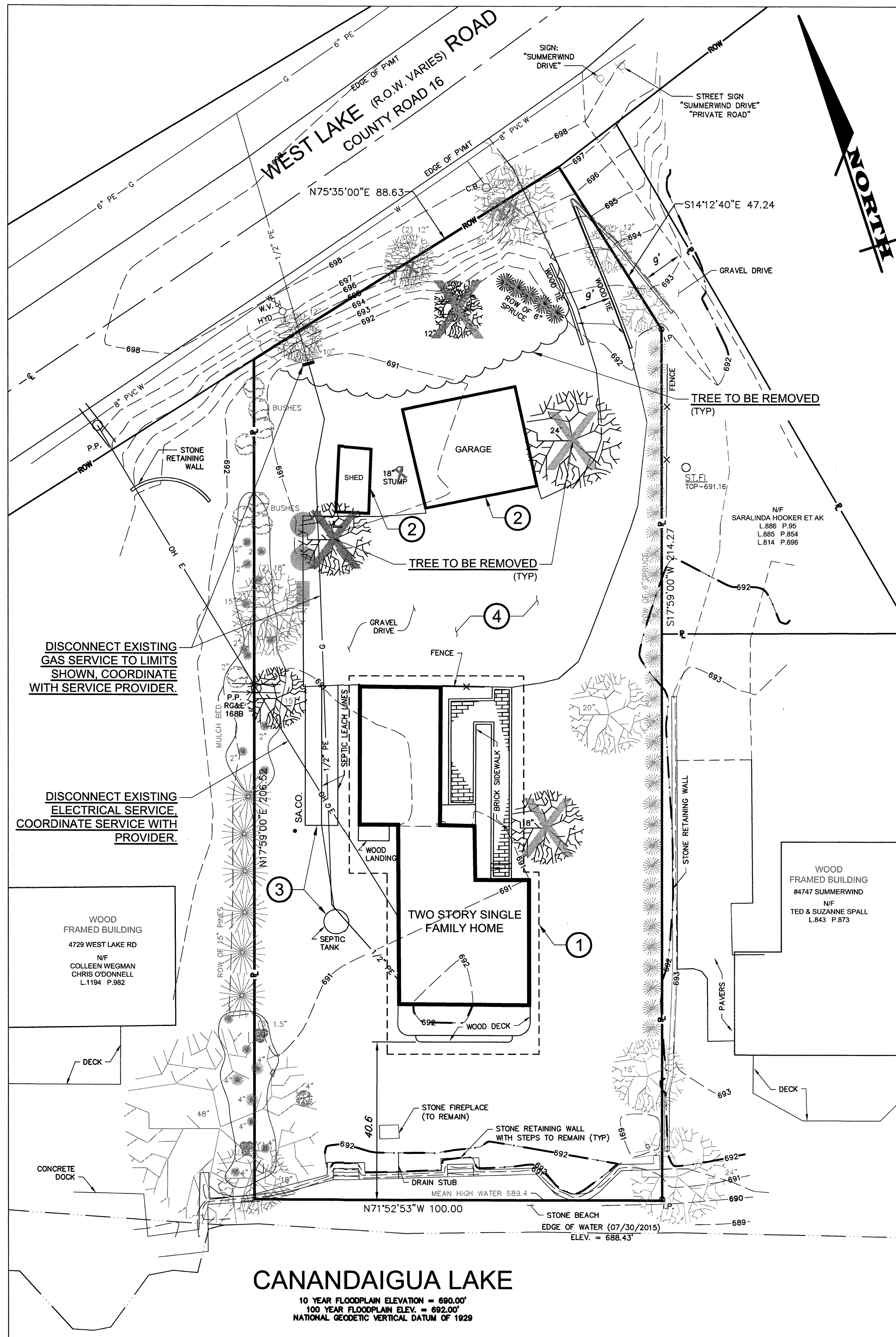
- MAPPING:** THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- STAKEOUT:** THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- DATUM:** THE VERTICAL DATUM WAS SET USING CANANDAIGUA LAKE WATER ELEVATION PROVIDED BY CANANDAIGUA WATER TREATMENT PLANT ON 07/30/2015 AND AS RECORDED BY MARATHON ENGINEERING ON 07/30/2015 AND IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- PROPERTY PROTECTION:** THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS:** THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY:** PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSAA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS:** ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE:** PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE:** STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S):** PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- ROOF LEADERS:** ALL ROOF LEADERS AND SPLASH BLOCK OUTFALLS SHALL BE DIRECTED AND ROUTED AROUND LEACH FIELD AREAS.
- TREES:** THE VEGETATION WITHIN THE LIMITS OF DISTURBANCE SHALL BE SELECTIVELY REMOVED AS REQUIRED FOR CONSTRUCTION. VEGETATION TO REMAIN SHALL BE PROTECTED TO THE DRIP EDGE OF THE TREE. COORDINATE REMOVAL OF VEGETATION WITH OWNER AND CONTRACTOR.
- LIMITS OF DISTURBANCE:** THE LIMITS OF DISTURBANCE FOR THE PROJECT SHALL BE CONSIDERED TO BE THE PROPERTY LINES OF THE PROJECT PARCEL.

## DEMOLITION LEGEND

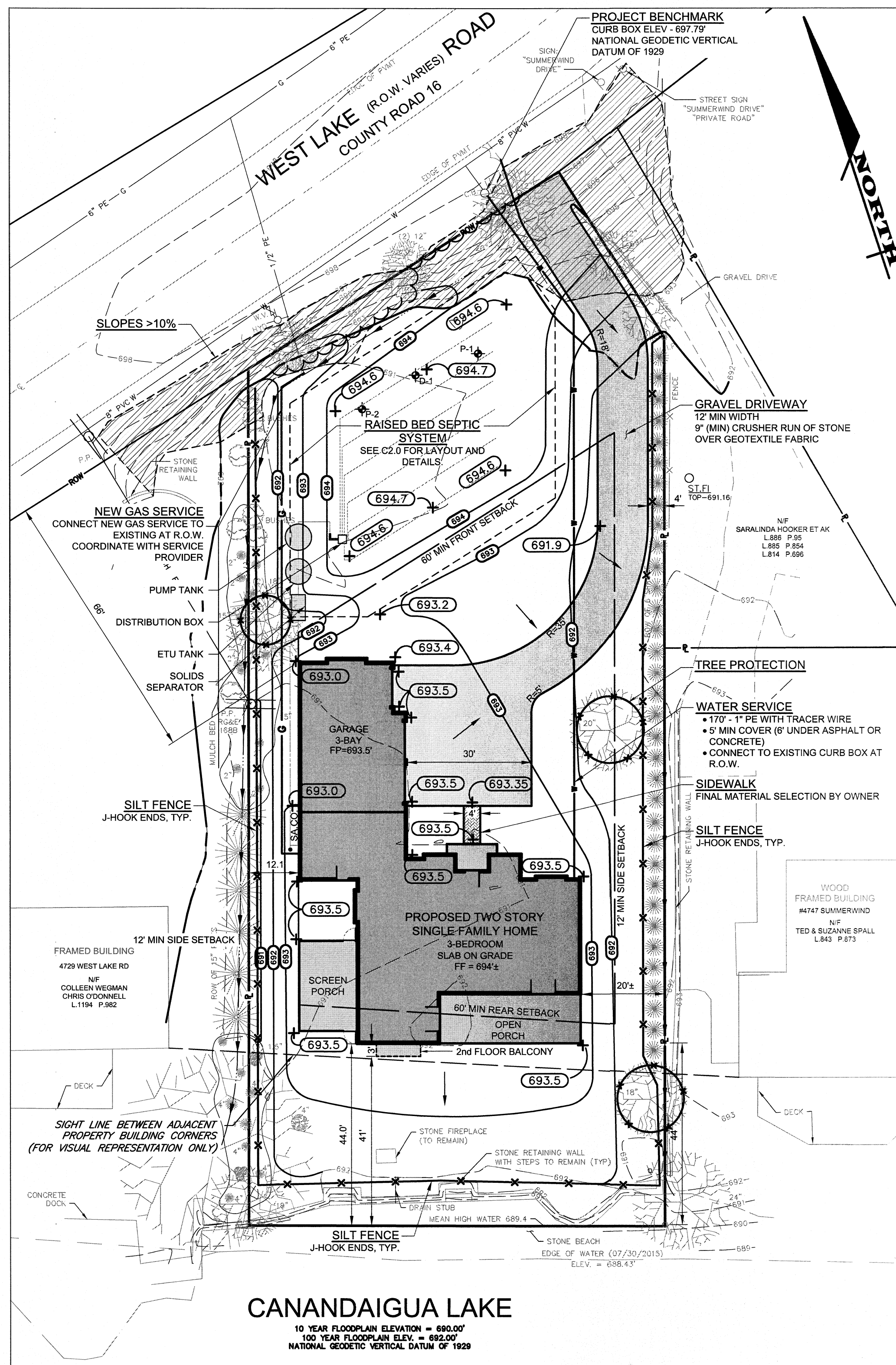
- DEMOLISH EXISTING HOME. BACKFILL EXCAVATION WITH SELECT FILL AS REQUIRED TO BRING TO REQUIRED GRADE FOR CONSTRUCTION OF NEW RESIDENCE. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR FOUNDATION DESIGN. REMOVE ALL EXISTING DECKS AND PORCHES. ALL CONNECTING WALKWAYS AND SIDEWALKS TO BE REMOVED. DISPOSE OF DEMOLISHED MATERIAL OFF SITE IN SAFE, LEGAL MANNER.
- DEMOLISH EXISTING STRUCTURE
- ABANDON/REMOVE EXISTING SEPTIC SYSTEM: PUMP OUT SEPTIC TANK, THEN REMOVE SEPTIC COVER. FOR TANK LOCATED UNDER PROPOSED HOME, REMOVE ENTIRELY. FOR TANK LOCATED WITHIN LAWN AREA, INSERT HOLES INTO TANK BOTTOM, AND FILL TO GRADE WITH SAND. REMOVE DISTRIBUTION BOXES AND PLUG ALL LINES WITH CONCRETE. REMOVE ALL LEACH LINES UNDER PROPOSED HOME-- ALL OTHER LEACH LINES MAY BE ABANDONED IN PLACE.
- REMOVE EXISTING DRIVEWAY AS REQUIRED FOR CONSTRUCTION OF NEW DRIVEWAY.

## CONSTRUCTION SEQUENCE

- OBTAIN ALL NECESSARY APPROVALS AND PERMITS
- FLAG WORK LIMITS AND EXISTING SEPTIC LEACH FIELD
- LOCATE ALL UNDERGROUND UTILITIES (CONTACT DIG SAFE NY)
- INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING AND CHECK DAMS
- PROTECT VEGETATION TO REMAIN
- COMPLETE DRIVEWAY STABILIZATION
- DEMOLISH EXISTING HOUSE, SHED AND GARAGE
- COMPLETE CLEARING AND GRUBBING OPERATION
- PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL
- PERFORM ROUGH GRADING
- CONSTRUCT NEW HOUSE AND SEPTIC SYSTEM
- MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK, UNDERGROUND UTILITIES AND STRUCTURES ARE CONSTRUCTED
- FINALIZE ROUGH GRADING AND FINE GRADING
- RESTORE DISTURBED AREAS WITH TOPSOIL, SEED AND MUCH
- REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER

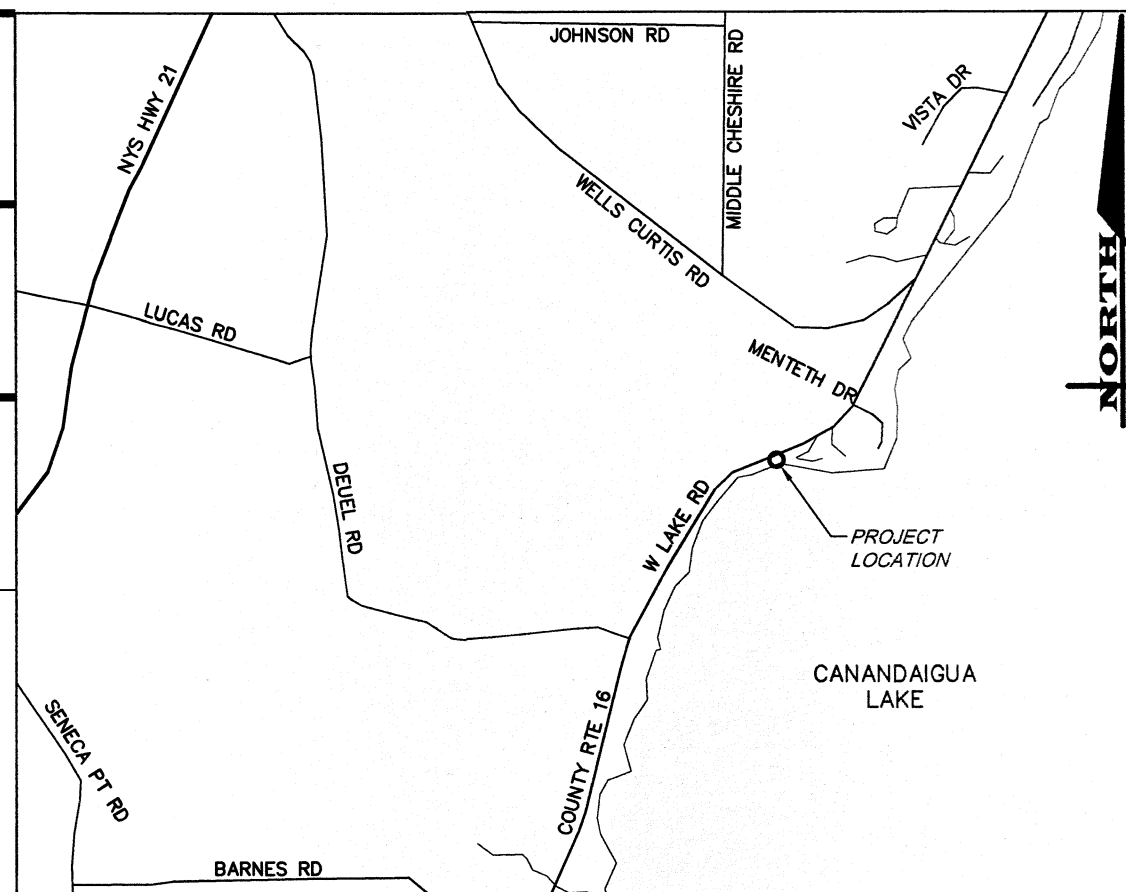


1 EXISTING CONDITIONS & DEMOLITION PLAN  
SCALE: 1"=20"



2 LAYOUT, UTILITY, GRADING AND EROSION CONTROL PLAN  
SCALE: 1"=20"

APPROVED BY:
PLANNING BOARD CHAIRPERSON
DATE:
APPROVED BY:
TOWN ENGINEER
DATE:
APPROVED BY:
HIGHWAY & WATER SUPERINTENDENT
DATE:



LOCATION MAP  
N.T.S.

**MARATHON**  
ENGINEERING  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
PHONE 585-458-7770  
www.marathoneng.com

PRELIMINARY/FINAL SITE PLANS  
**EDWARD & PATRICIA BREWER**  
4727 WEST LAKE ROAD  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
NEW YORK

JOB NO: 0674-15  
SCALE: AS SHOWN  
DRAWN: PBG  
DESIGNED: RPB  
DATE: 12/09/2015

## REVISIONS

DATE	BY	REVISION
12/15/15	DAM	DRC COMMENTS
02/22/16	PBG	2016 LAYOUT

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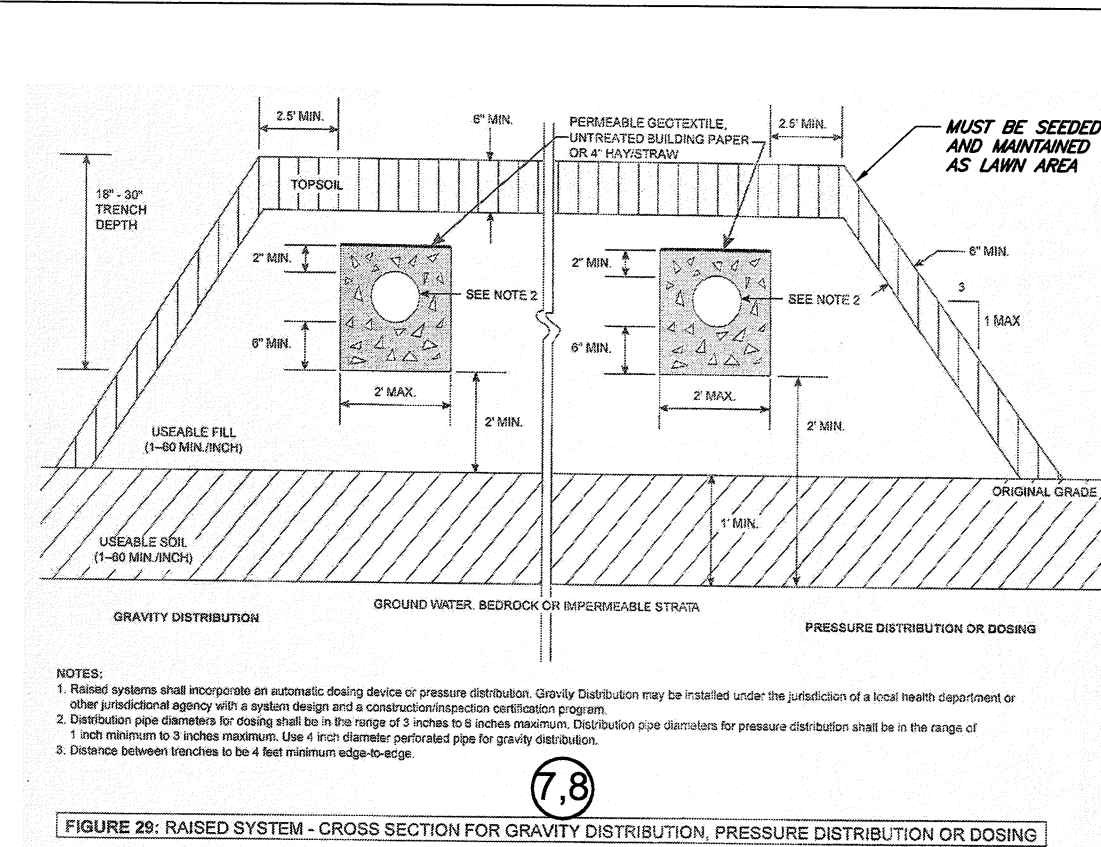


ROBERT P. BRINGLEY

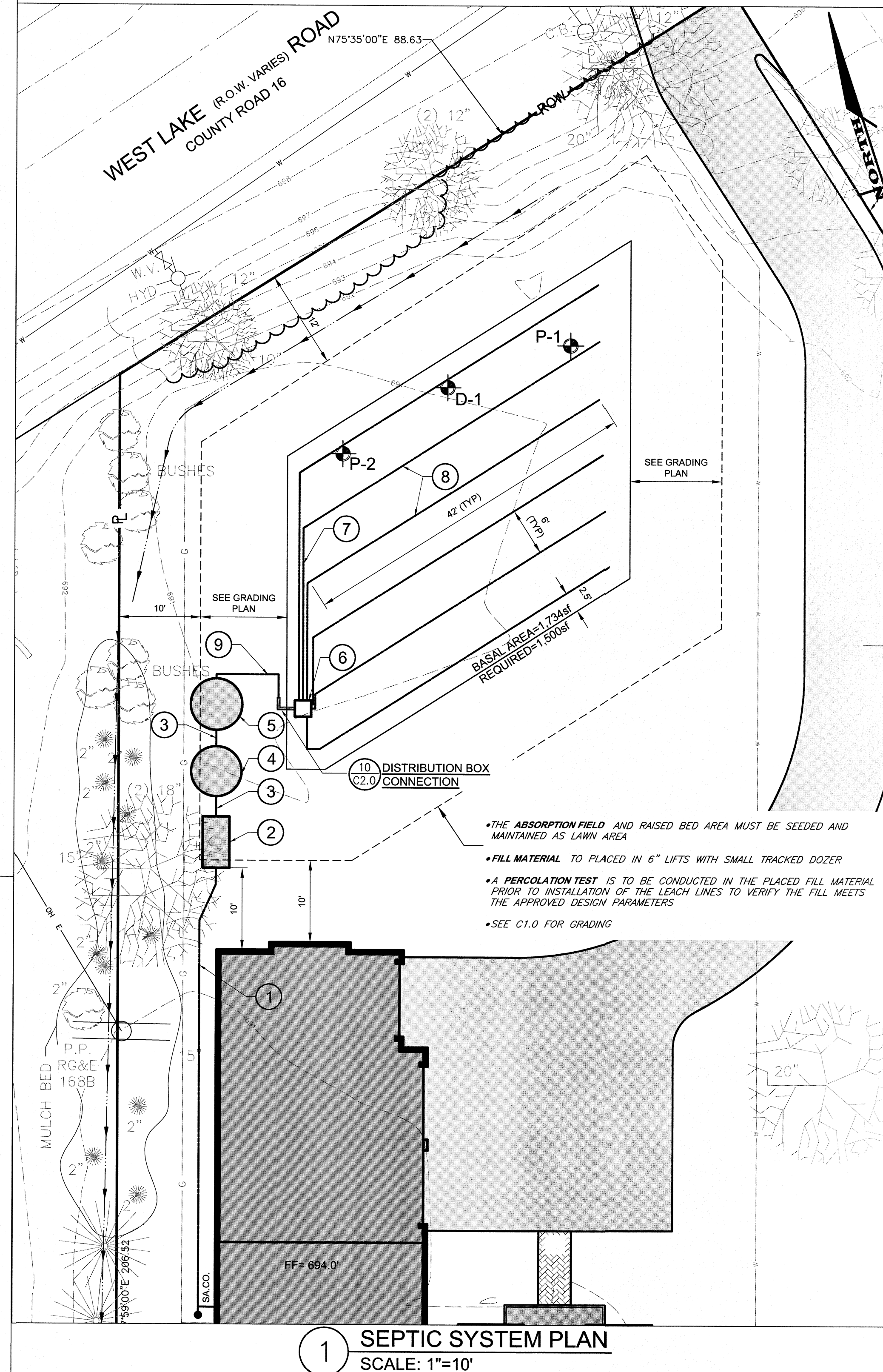
DRAWING TITLE:  
LAYOUT, UTILITY,  
GRADING & EROSION  
CONTROL PLANS

1 of 2  
SHEET No: C1.0  
0674-15  
JOB No: DRAWING No:





**FIGURE 28: RAISED SYSTEM - TOP VIEW**



2 of 2	C2.0
SHEET No:	
0674-15	DRAWING No:
JOB No:	