

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

Established 1789

ZONING LAW DETERMINATION (Rev. #2)

PROPERTY OWNER: Edward N. & Patricia R. Brewer
PROPERTY ADDRESS: 4727 County Road 16
TAX MAP NUMBER: 140.11-1-30.000
ZONING DISTRICT: RLD

DETERMINATION REFERENCE:

- Plans entitled "Preliminary/Final Site Plans – Edward & Patricia Brewer – 4727 West Lake Road" by Marathon Engineering, dated 12/09/2015. Revised on 12/15/15 and 02/22/16. Issued on 4/7/16. Received for review by Town on 4/8/16.

PROJECT DESCRIPTION:

- Removal of existing single family dwelling (approx. 1,920sq.ft. footprint), 716sq.ft. detached garage, and 128sq.ft. accessory structure.
- Construction of a new single family dwelling, attached garage, decks/balconies, porch, and detached garage.

ISSUE:

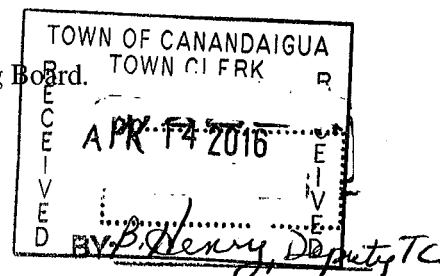
- The height of the proposed home is 27' when the maximum principal use building height permitted is 25'.
- The proposed dwelling setback from the mean high water mark (rear setback) is 41', when 60' is required.
- The proposed building lot coverage is 17.2%, when the maximum permitted coverage is 15%.
- The proposed lot coverage is 29.9%, when the maximum permitted coverage is 25%.

DETERMINATION:

- A single family dwelling with detached garage is a permitted principal use in the RLD zoning district.
- Prior to issuance of a building permit, permit application shall detail the amount of excavation and fill associated with the proposed project. (missing from new home application)
- Applicant shall apply for Flood Plain Development Permit prior to the issuance of a building permit.

REFERRAL TO ONTARIO COUNTY PLANNING BOARD FOR:

- This application is required to be reviewed by the Ontario County Planning Board.



REFERRAL TO ZBA FOR:

- A 2.0' principal building height area variance application shall be submitted to the ZBA.
- A 19.0' principal building rear setback area variance application shall be submitted to the ZBA.
- A 2.2% building lot coverage area variance application shall be submitted to the ZBA.
- A 4.9% lot coverage area variance application shall be submitted to the ZBA.

REFERRAL TO PLANNING BOARD FOR:

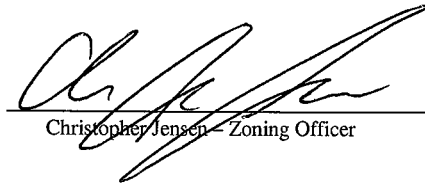
- An application requesting site plan approval shall be submitted to the Town's Planning Board.

CODE SECTION: Chapter §220, §220a Sch 1 Zoning Schedule, §220-21, §220-9, §220-64, §1-17

DATE: _____

4/14/2016

BY: _____



Christopher Jensen - Zoning Officer

CPN-114-15

NYS Town Law, Section 267-a(5)(b), an appeal may be made to the ZBA within 60 days of the date of this determination.

c: Binder
Property File
Property Owner
Town Clerk