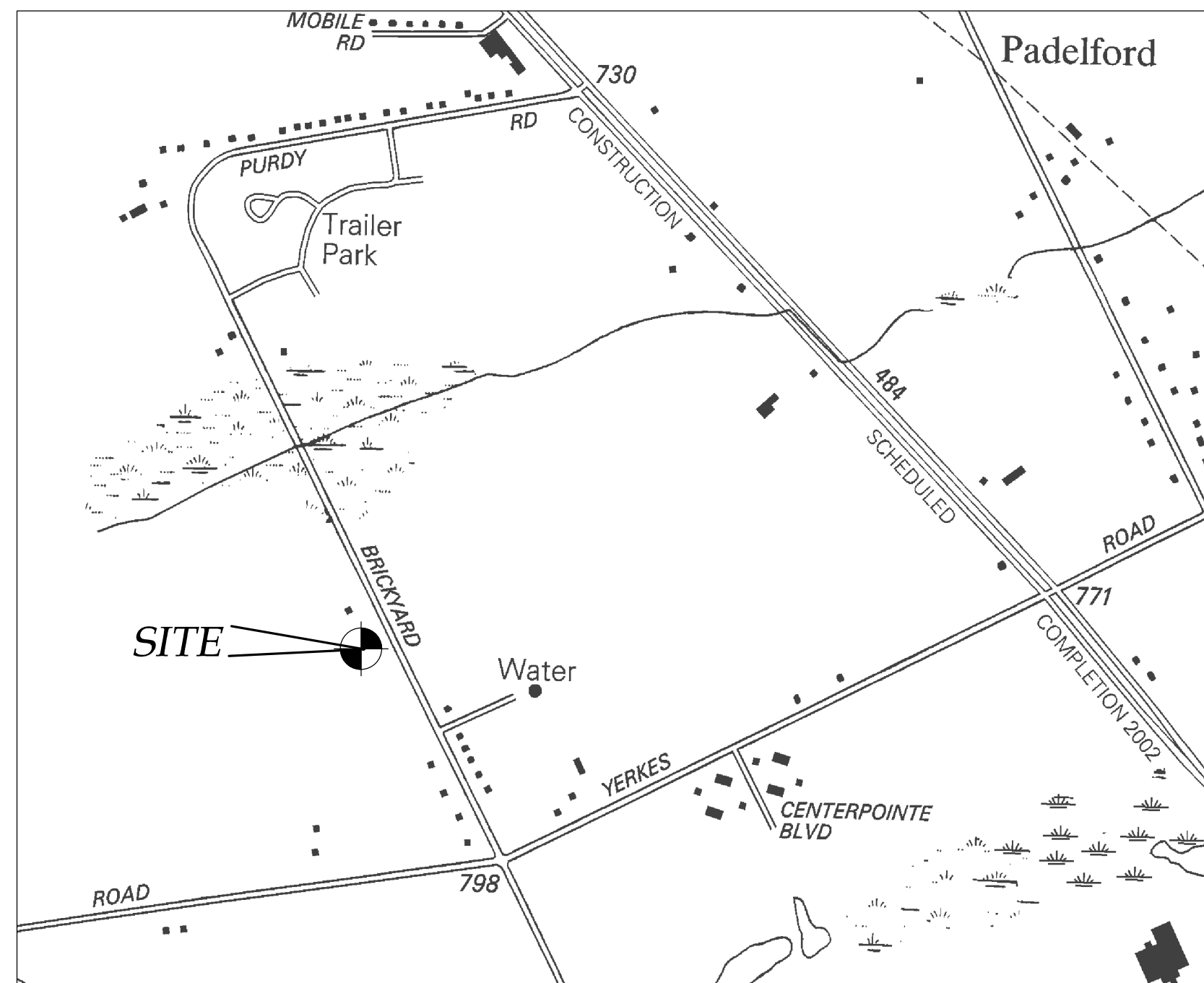


*NEW RESIDENCE SITE PLAN FOR:*  
***MARK VALERIO***  
*BRICKYARD RD*  
*TOWN OF CANANDAIGUA*  
*COUNTY OF ONTARIO*  
*STATE OF NEW YORK*  
*OCTOBER 28, 2022*



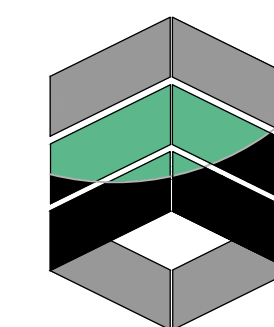
LOCATION MAP  
NTS



AERIAL PHOTO  
NTS



*INDEX-*  
*COVER*  
*EX100 - EXISTING CONDITIONS*  
*C000 - NOTES*  
*C100 - SITE PLAN*  
*C500 - GENERAL DETAILS*  
*C501- DETAILS*



**MarksEngineering**

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*PREPARED FOR:*  
*MARK VALERIO*

*PROPERTY OWNER:*  
*MARK VALERIO*  
*5542 THOMAS RD*  
*CANANDAIGUA NY*

*REVISED*

*MARK VALERIO*  
*BRICKYARD RD*  
*TOWN OF CANANDAIGUA*  
*COUNTY OF ONTARIO*  
*NEW YORK*

*JOB #22-180*  
*10/28/2022*



MAP REFERENCE

1. MAP NOS. 27363, 35143, 30499
2. ELEVATION DATUM: NAVD 88 GEOID 18NGS
3. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
4. LIBER 1471, PAGE 908 OF DEEDS
5. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
6. ALL UTILITIES SHOWN ARE BASED ON VISIBLE SURFACE LOCATION ONLY. NO UNDERGROUND UTILITIES SHOWN. UDIG NY SHALL BE CONTACTED BY THE SITE CONTRACTOR PRIOR TO ANY EXCAVATION.

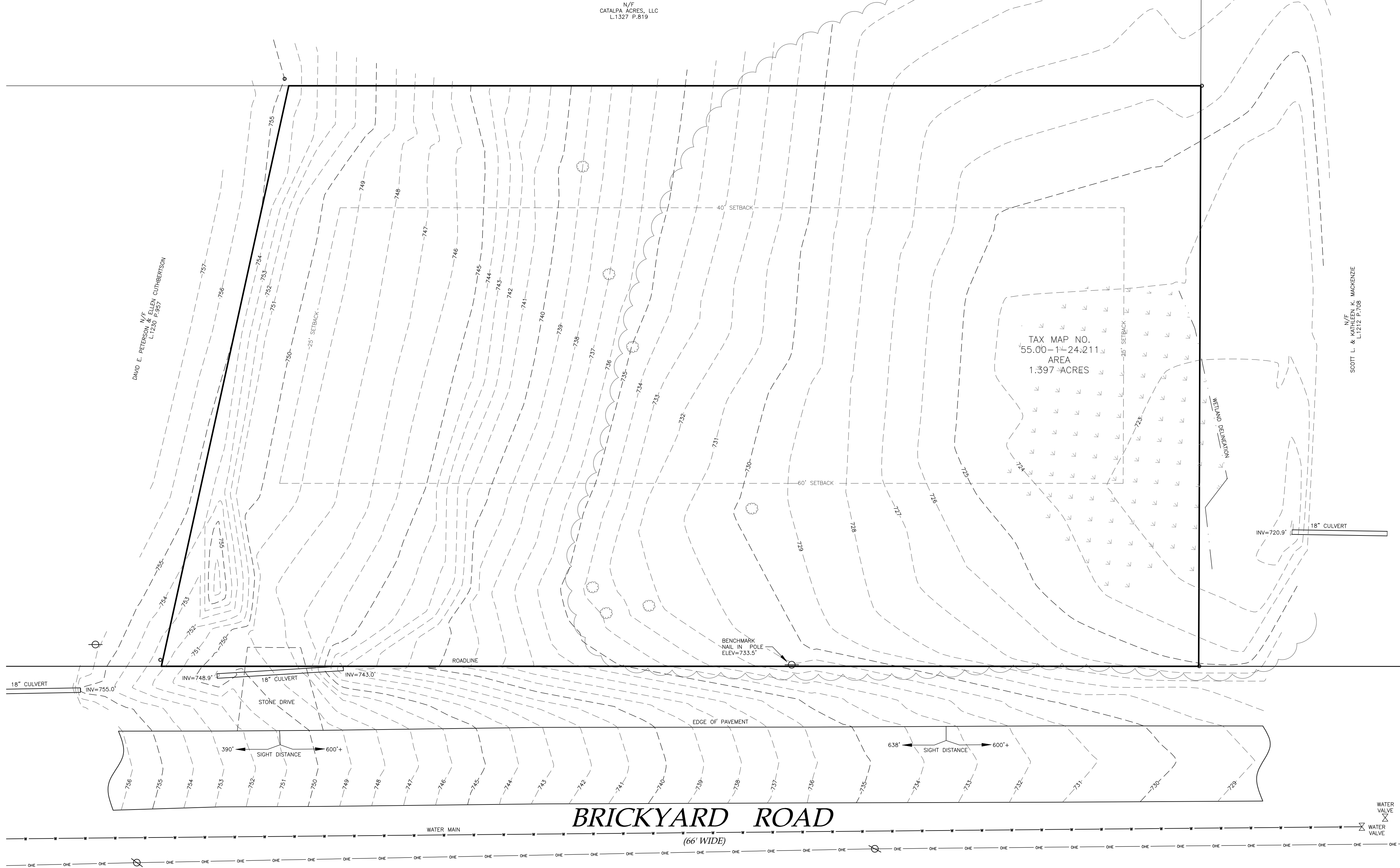
ZONING:

AR-2 AGRICULTURAL RURAL RESIDENTIAL

MAXIMUM PRINCIPAL BUILDING HEIGHT - 35 FEET  
MAXIMUM BUILDING COVERAGE - 20%

SETBACKS PRINCIPAL STRUCTURE:  
FRONT - 60 FEET  
REAR - 40 FEET  
SIDE - 25 FEET

SETBACKS ACCESSORY STRUCTURE:  
FRONT - 60 FEET  
REAR - 20 FEET  
SIDE - 20 FEET



**LEGEND**

○ Monument

⊕ Benchmark

⊙ Utility pole

● Hydrant

⊙ Light pole

⊙ Road Sign

⊙ Water Valve

EXISTING

PROPOSED

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Contour Line

ABBREVIATIONS:

EX-EXISTING

CP-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO -CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

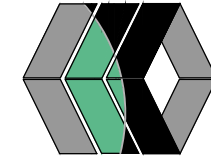
CB-CATCH BASIN

MI-MANHOLE

DI-DRAINAGE INLET

I CERTIFY THAT THIS PLAN WAS PREPARED  
SEPTEMBER 20, 2022 FROM NOTES OF AN  
INSTRUMENT SURVEY COMPLETED  
SEPTEMBER 19, 2022 AND FROM MATERIALS  
REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724



STAMP

STAMP

REVISIONS AND APPROVALS	
NO	DATE DESCRIPTION OF REVISION OR APPROVAL BY

EXISTING CONDITIONS PLAN OF LAND OF  
**MARK VALERIO**  
SHOWING LAND IN:  
BRICKYARD ROAD  
TOWN OF CANANDAIGUA  
STATE OF NEW YORK  
COUNTY OF ONTARIO

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=20'
JOB NO.:	22-180
DATE:	09/20/2022
TAX MAP#:	55.00-1-24.211

EX100



WASTEWATER TREATMENT BASIS OF DESIGN (PER NYS APPENDIX 75-A):

NUMBER OF BED ROOMS DESIGNED FOR.....	2 BR
TABLE 1 DESIGN FLOW RATE.....	260 GPD
TABLE 2--SEPARATION DISTANCES .....	ALL MINIMUMS MET
TABLE 5--SEPTIC TANK .....	1250GAL 2 COMPARTMENT
TABLE 6A--REQUIRED ABSORPTION TRENCH .....	290 FEET

PROPOSED TREATMENT METHOD:  
CONVENTIONAL ABSORPTION TRENCH W/ GRAVELLESS CHAMBERS. ABSORPTION  
TRENCH LENGTH 360 FEET PROVIDED. EXPANSION AREA PROVIDED. PROVIDE  
GAS DEFLECTOR FOR THE USE OF GARBAGE DISPOSAL SYSTEM.

SOILS ANALYSIS DATA:  
SOIL ANALYSIS DATA WAS COLLECTED IN THE SUMMER DURING DRY WEATHER.  
SITE SOILS ARE CLAY LOAM. THE SOIL APPEARED TO BE WELL DRAINED BELOW  
TOPSOIL.

PERC TEST DATA GATHERED BY M.FRANCISCO & B.MARKS DATED 10/21/22 &  
DEEP HOLE BY B.MARKS 10/25/22

DEEP HOLE #1  
HORIZON A 0"-12" TOPSOIL  
HORIZON B 12"-46" SILTY CLAY LOAM  
ROOTED TO 24"  
NO MOTTILING OR SEEPAGE OR BEDROCK

PERCOLATION TEST (24" DEPTH)

PT#1 - STABILIZED AT 6 MINS  
PT#2 - STABILIZED AT 56 MINS  
USE PERCOLATION RATE 46-60 MINS

SEPTIC TANK NOTES:

1. A NEW 1250 GAL 2 COMPARTMENT CONCRETE AS MANUFACTURED BY KISTNER OR EQUAL SHALL BE INSTALLED ON MIN 12" OF COMPACTED CLEAN SAND OR 5" WASHED AGGREGATE 3/4-1 1/2". TANK SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS. OWNER OPTS OUT OF THE USE OF GARBAGE GRINDER.
2. PROVIDE PRECAST DISTRIBUTION BOX SET ON MIN 12" COMPACTED SAND.
3. PROVIDE RISER ON TANKS IF BURIED AT A DEPTH MORE THAN 12".
4. MAINTENANCE: SEPTIC TANK SHALL BE INSPECTED ANNUALLY TO DETERMINE SCUM AND SOLIDS ACCUMULATION. MOST TANKS SHOULD BE PUMPED OUT EVERY 2-3 YEARS. SEPTIC TANKS MUST BE PUMPED OUT WHENEVER THE BOTTOM OF THE SCUM LAYER IS WITHIN 3" OF THE BOTTOM OF THE OUTLET BAFFLE OR THE TOP OF THE SLUDGE IS WITHIN 10" OF THE BOTTOM OF THE OUTLET BAFFLE.

WASTEWATER TREATMENT SYSTEM NOTES:

1. THESE PLANS ARE PREPARED IN COMPLIANCE WITH THE PUBLIC HEALTH LAW, APPENDIX 75-A, OF PART 75, OF THE ADMINISTRATIVE RULES AND REGULATIONS CONTAINED IN CHAPTER 10, OF TITLE 10 (HEALTH) OF THE OFFICIAL COMPILATION OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK.
2. ABSORPTION TRENCHES SHALL BE INSTALLED PARALLEL TO CONTOURS. CONTOURS SHOWN ARE GRAPHIC REPRESENTATIONS OF SITE. CONTRACTOR IS TO VERIFY GRADE AND LAYOUT OF ABSORPTION TRENCH PRIOR TO CONSTRUCTION.
3. AT NO TIME SHALL ANY MACHINERY OR VEHICLE DRIVE OVER TRENCHES. TRACKED EQUIPMENT CAN BE DRIVEN PERPENDICULAR TO TRENCHES AS REQUIRED TO BACKFILL BUT NOT IN EXCESS.
4. THE CONTRACTOR IS TO NOTIFY ENGINEER AFTER COMPLETION OF WORK, WHILE SYSTEM IS OPEN AND SCHEDULE FINAL INSPECTION. AFTER FINAL INSPECTION BY THE ENGINEER, THE SYSTEM MAY BE CLOSED.
5. THE SYSTEM SITE IS TO BE SEEDED, MULCHED, AND RETURNED TO THE VEGETATIVE STATE AS SOON AS POSSIBLE.
6. THE SYSTEM IS TO BE KEPT MOWED AT ALL TIMES, FREE OF TRAFFIC OR HEAVY WHEELED VEHICLES, AND FREE OF SHRUB OR TREE CANOPY FOR THE DURATION OF ITS USE.
7. DO NOT ATTEMPT TO INSTALL SYSTEM ON FROZEN GROUND, WET CONDITIONS OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
8. NO HOT TUBS, SAUNAS, ROOF DRAINS, WATER CONDITIONING BACKWASH SYSTEMS, SUMP CROOKS ETC. SHALL BE INCORPORATED INTO THIS SYSTEM UNLESS OTHERWISE SPECIFIED.
9. EXPANSION AREA SHALL REMAIN CLEAR OF ALL LANDSCAPING, SHRUBS, TREES, AND STRUCTURES. THE EXPANSION AREA SHALL BE MAINTAINED AS LAWN. FUTURE ACCESS TO THIS AREAS SHALL NOT BE LIMITED.
10. SOIL PIPE AND HOUSE SHALL BE VENTED THROUGH THE ROOF OF THE NEW DWELLING W/ AT LEAST ONE 3" VENT MAXIMUM OF 4' HORIZONTALLY AWAY FROM INSIDE OF FOUNDATION WALL. A 4" CLEAN-OUT SHALL BE PROVIDED AT A POINT JUST INSIDE THE FOUNDATION WALL.

CONSTRUCTION SEQUENCE:

1. STAKE LIMITS OF DISTURBANCE
2. INSTALL TEMPORARY EROSION CONTROL MEASURES IN ACCORDANCE WITH APPROVED SITE PLANS
3. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED.
4. PLACE SILT FENCE FOR STOCKPILE AREA
5. STRIP TOPSOIL.
6. PLACE STONE SUBBASE, CONSTRUCT BUILDING AND INSTALL UTILITIES
7. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR CONTRACTOR.
8. IN THE EVENT THERE IS A SEDIMENT DISCHARGE OR FAILURE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
9. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE.
10. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE OR ASPHALT.

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
2. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.

GRADING NOTES:

1. CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

PHOSPHORUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED FOR FERTILIZER, SOIL AUGMENTATION, ETC. UNLESS SOIL TESTS BY A HORTICULTURAL LABORATORY SPECIFICALLY INDICATE REQUIREMENTS FOR PLANT GROWTH. IF PHOSPHORUS IS REQUIRED IT SHALL BE APPLIED AT THE MINIMUM.

LANDSCAPE AREAS NOTES:

1. PLANT W/ LOW NATIVE SHRUBS LIKE CREEPING JUNIPER, BAYBERRY AND PERENNIAL FLOWERING PLANTS LIKE IRIS, DAYLILIES AND TULIPS.
2. APPLY LANDSCAPE FABRIC AND MAINTAIN 4" OF HARDWOOD MULCH.
3. PROVIDE RANDOM LARGE ROUND STONE COBBLES THROUGH LANDSCAPED AREA.

GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.

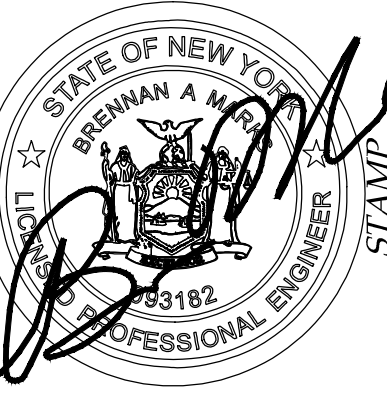
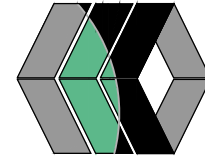
EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 3 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 1 DAYS. SOIL SHALL BE STABILIZED WITH PERENNIAL RYE GRASS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 AND GRASS SWALES SHALL BE STABILIZED WITH ST-110 EROSION FABRIC BY TENCATE OR EQUAL. BLANKETS SHALL BE INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

SITE NOTES:

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#360960 0005B DATED SEPTEMBER 29, 1989.
3. WATER SUPPLY: PUBLIC WATER
4. NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES, DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

MarksEngineering



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Fax: 585-485-6205  
marksengineering@gmail.com

STAMP

REVIEWS AND APPROVALS	
NO	DATE DESCRIPTION OF REVISION OR APPROVAL BY

NEW RESIDENCE SITE PLAN FOR:

MARK VALERIO  
SHOWING LAND IN:  
BRICKYARD RD  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE:  
SITE PLAN

DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-180
DATE:	10/28/2022
TAX MAP#:	55.00-1-24.2110

C000









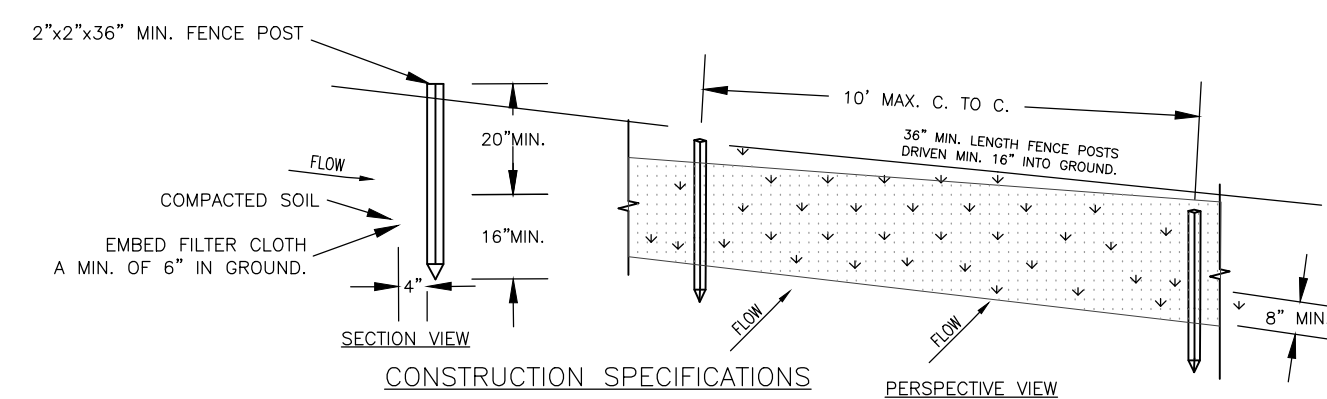
2" CR#1 LIMESTONE

8" #4 CRUSHED LIMESTONE OR CRUSHED COBBLESTONE

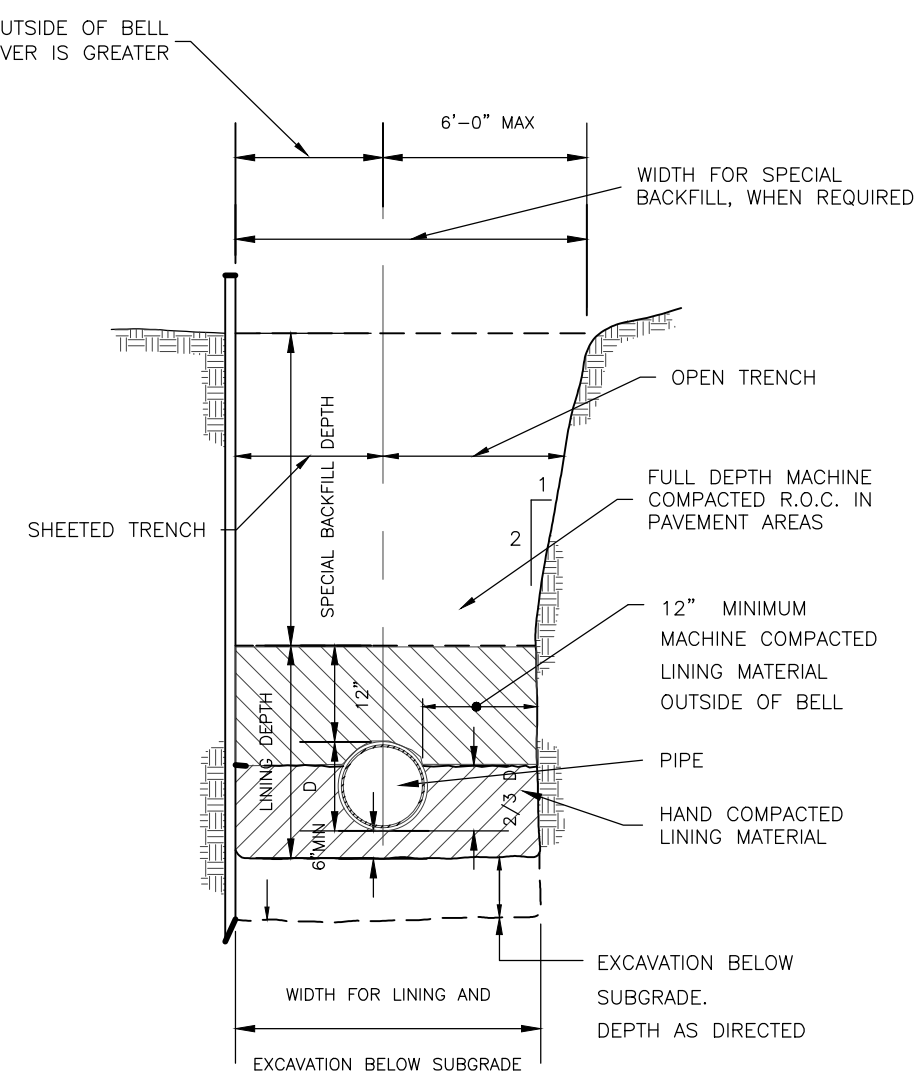
MARIFI 500X OR EQUAL

PROOF ROLLED FREE DRAINING COMPACTED SUBGRADE OR BANK RUN GRAVEL

## 2 TYPICAL GRAVEL DRIVE SECTION



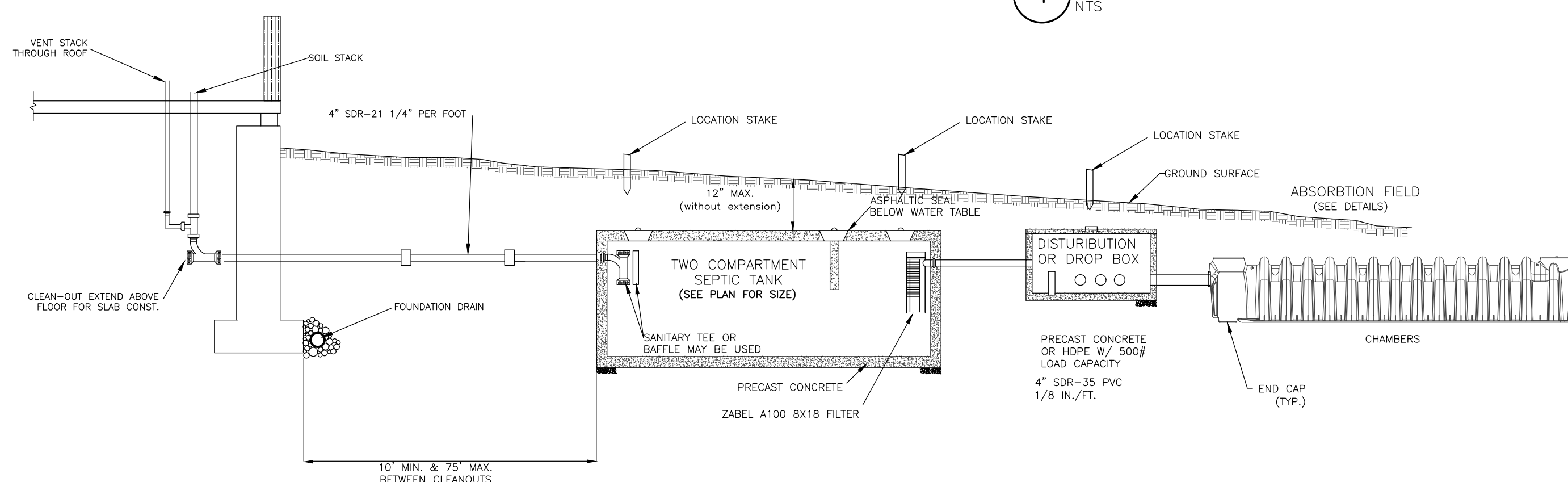
- 3 TYPICAL SILT FENCE DETAIL  
NTS



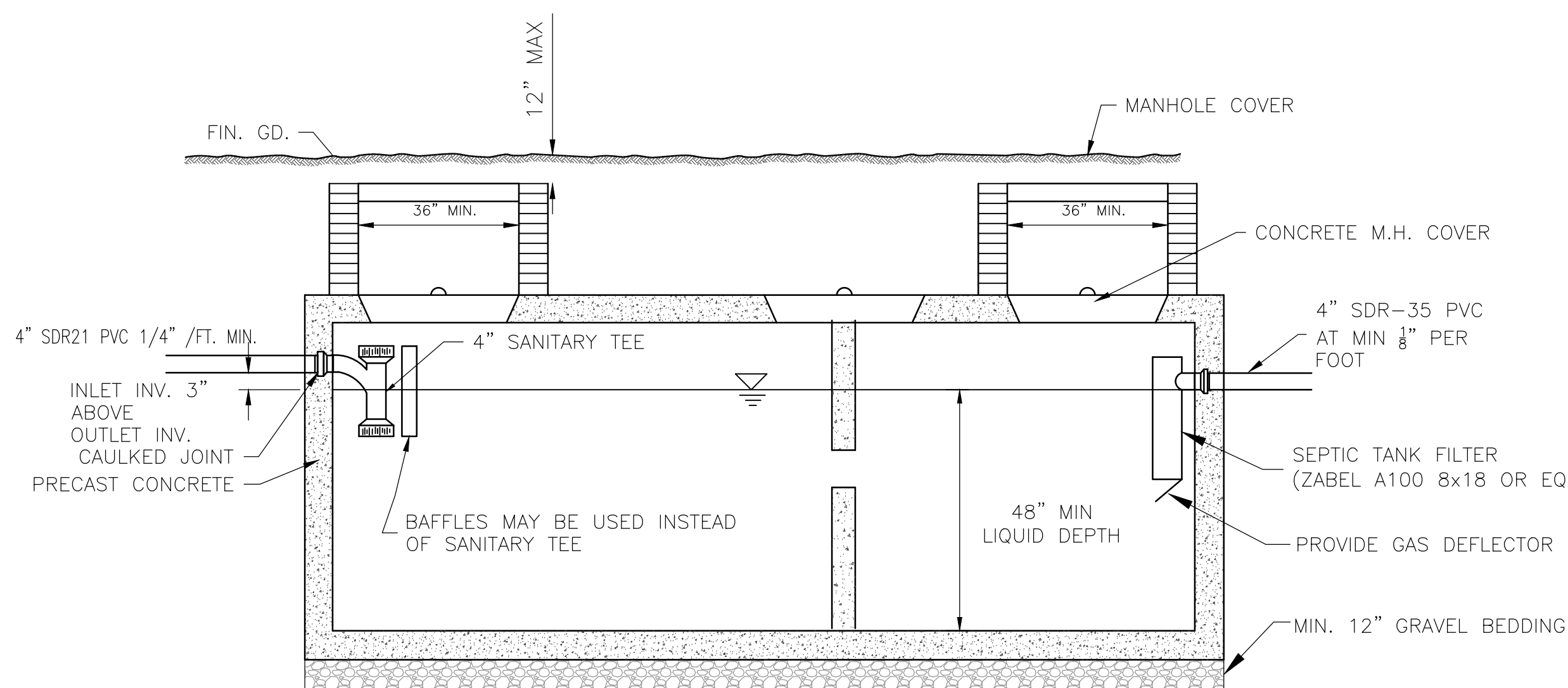
#### 4 UTILITY TRENCH DETAIL



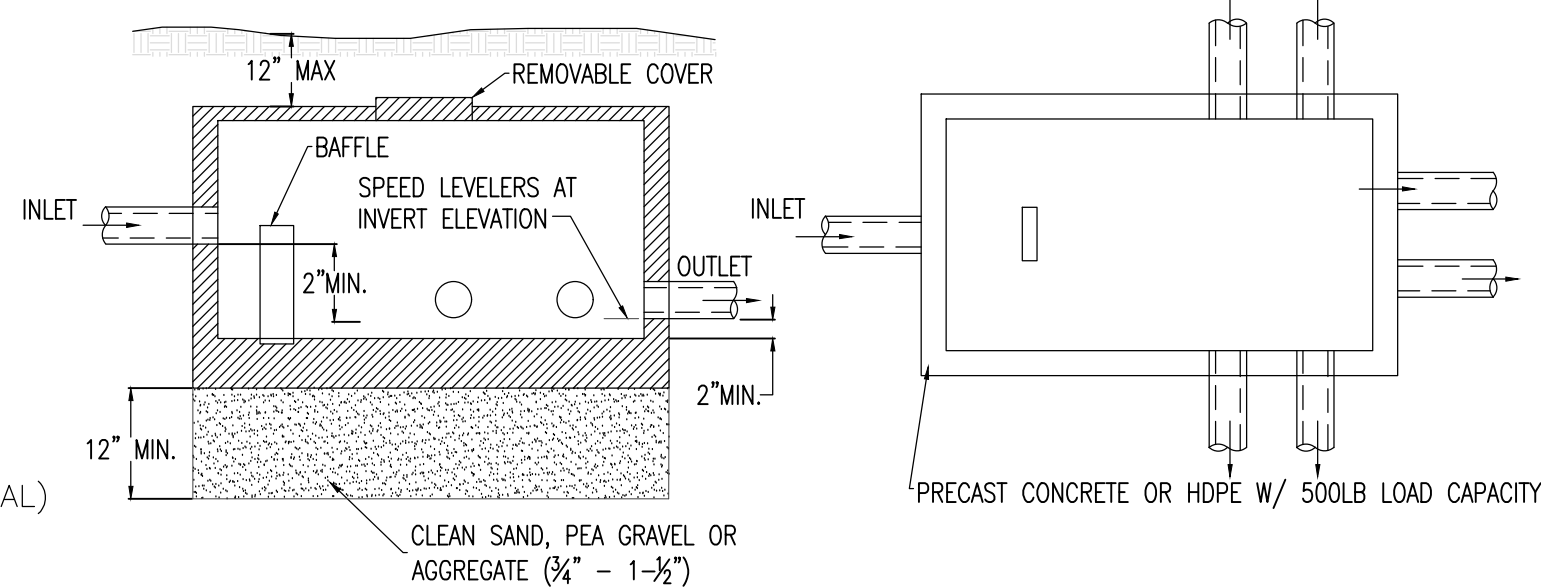
- 5 STABILIZED CONSTRUCTION ENTRANCE



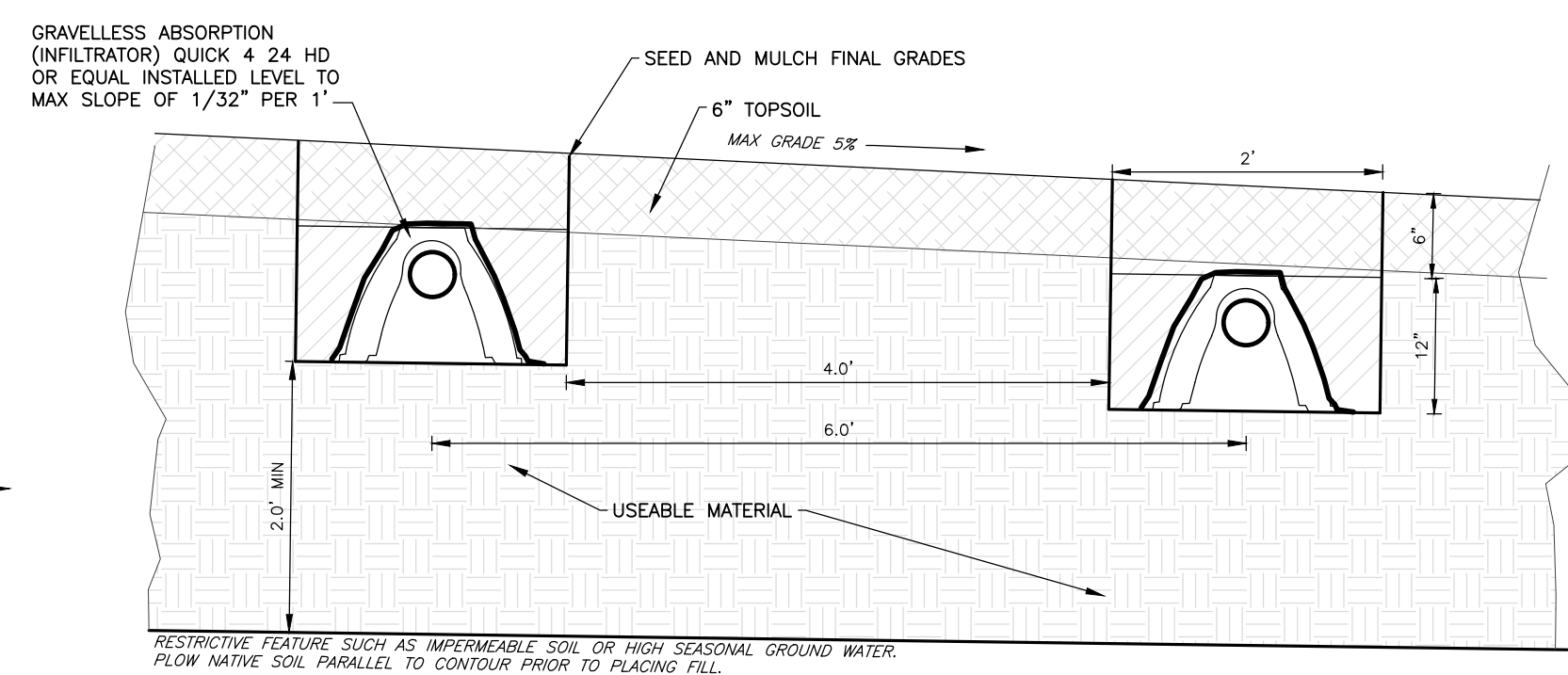
7 TYPICAL HOUSE/SEPTIC TANK DETAIL  
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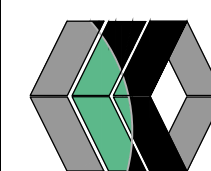
8 TYPICAL SEPTIC TANK DETAIL



9 TYPICAL D-BOX DETAIL



10 TYPICAL ABSORPTION TRENCH DETAIL  
NTS

**Marks**Engineering

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NEW RESIDENCE SITE PLAN  
**MARK VALERIO**  
 SHOWING LAND IN:  
 BRICKYARD RD  
 TOWN OF CANANDAIGUA

STATE OF NEW YORK

COUNTY OF ONTARIO

DRAWING TITLE:  
DETAILS

<i>DRAWN BY:</i>	<i>BAM</i>
<i>DESIGNED BY:</i>	<i>BAM</i>
<i>CHECKED BY:</i>	<i>BAM</i>
<i>SCALE:</i>	<i>AS NOTED</i>
<i>JOB NO.:</i>	<i>22-180</i>
<i>DATE:</i>	<i>10/28/2022</i>
<i>TAX MAP#:</i>	<i>55.00-1-24.2110</i>

C500

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