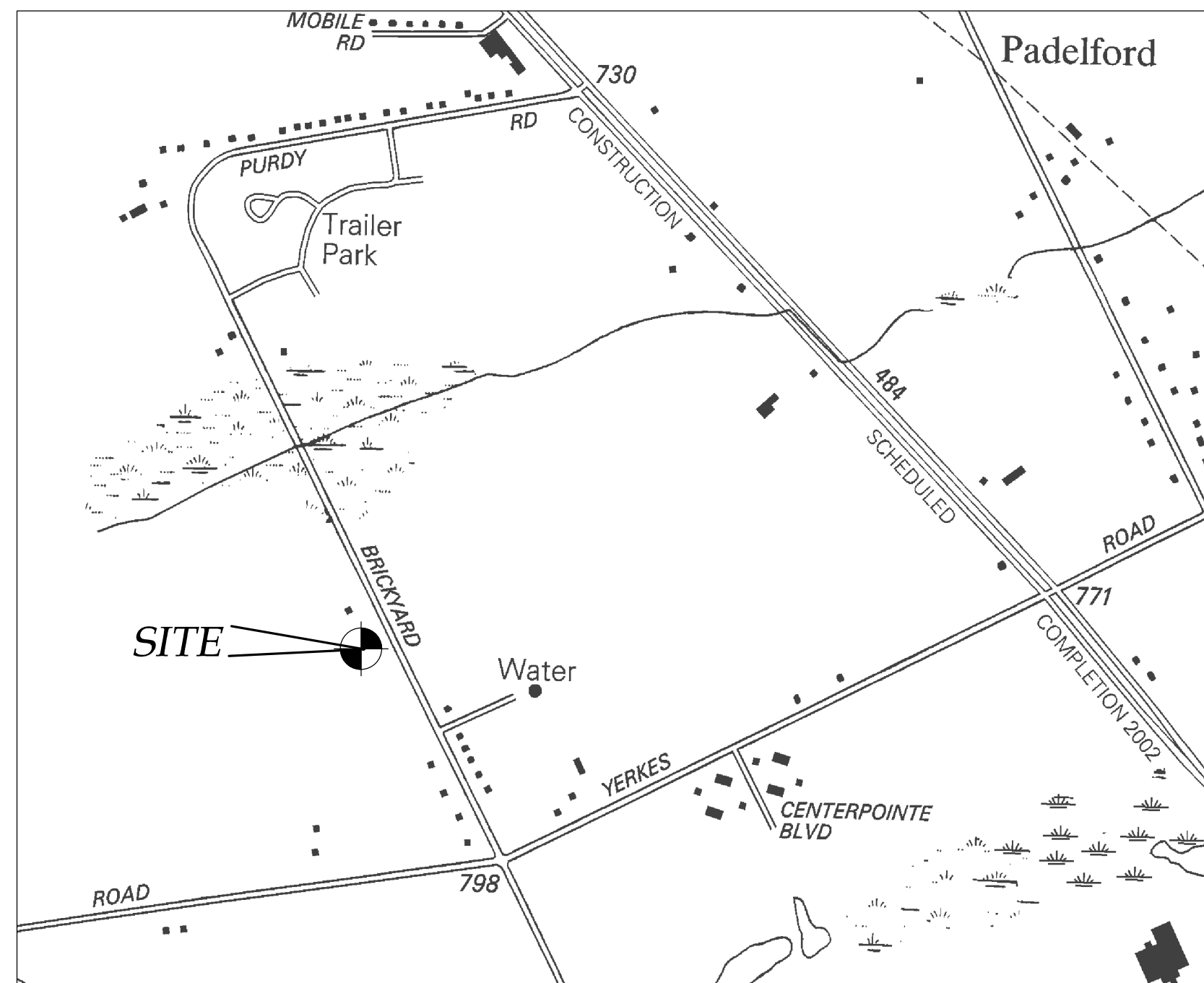


*NEW RESIDENCE SITE PLAN FOR:*  
***MARK VALERIO***  
*BRICKYARD RD*  
*TOWN OF CANANDAIGUA*  
*COUNTY OF ONTARIO*  
*STATE OF NEW YORK*  
*OCTOBER 28, 2022*



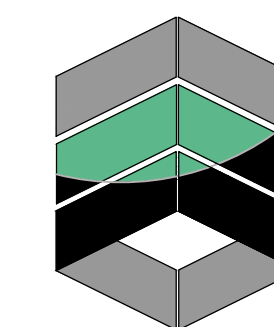
LOCATION MAP  
NTS



AERIAL PHOTO  
NTS



INDEX-  
COVER  
EX100 - EXISTING CONDITIONS  
C000 - NOTES  
C100 - SITE PLAN  
C500 - GENERAL DETAILS  
C501- DETAILS



**MarksEngineering**

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(585)905-0360  
WWW.MARKSENGINEERING.COM

PREPARED FOR:  
MARK VALERIO

PROPERTY OWNER:  
MARK VALERIO  
5542 THOMAS RD  
CANANDAIGUA NY

REVISED  
11/17/22 - PER PRC  
12/20/22 - PER MRB COMMENTS  
01/09/23 - PER MRB COMMENTS

MARK VALERIO  
BRICKYARD RD  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
NEW YORK

JOB #22-180  
10/28/2022



MAP REFERENCE

1. MAP NOS. 27363, 35143, 30499
2. ELEVATION DATUM: NAVD 88 GEOID 18NGS
3. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
4. LIBER 1471, PAGE 908 OF DEEDS
5. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
6. ALL UTILITIES SHOWN ARE BASED ON VISIBLE SURFACE LOCATION ONLY. NO UNDERGROUND UTILITIES SHOWN. UDIG NY SHALL BE CONTACTED BY THE SITE CONTRACTOR PRIOR TO ANY EXCAVATION.

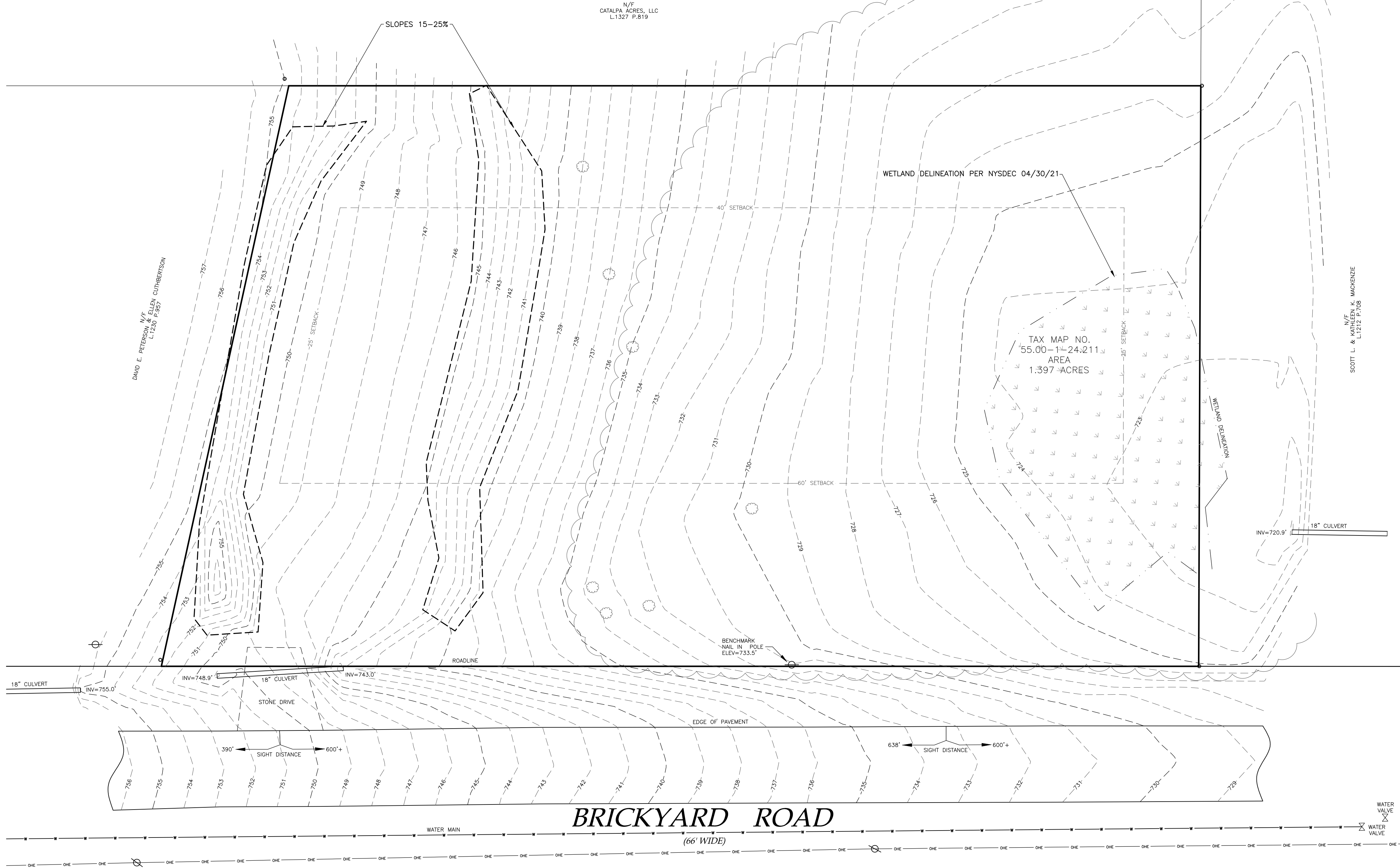
ZONING:

AR-2 AGRICULTURAL RURAL RESIDENTIAL

MAXIMUM PRINCIPAL BUILDING HEIGHT - 35 FEET  
MAXIMUM BUILDING COVERAGE - 20%

SETBACKS PRINCIPAL STRUCTURE:  
FRONT - 60 FEET  
REAR - 40 FEET  
SIDE - 25 FEET

SETBACKS ACCESSORY STRUCTURE:  
FRONT - 60 FEET  
REAR - 20 FEET  
SIDE - 20 FEET



**LEGEND**

○ Monument

⊕ Benchmark

○ Utility pole

● Hydrant

● Light pole

⊗ Road Sign

⊕ Water Valve

**EXISTING**

— DNE — DNE —

— — — — —

— — — — —

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— — — — —

— — — — —

— — — — —

**PROPOSED**

— — — — —

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— — — — —

— — — — —

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Contour Line

ABBREVIATIONS:

EX-EXISTING

CPP-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO - CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

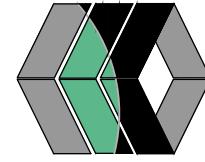
CB-CATCH BASIN

MI-MANHOLE

DI-DRAINAGE INLET

I CERTIFY THAT THIS PLAN WAS PREPARED  
SEPTEMBER 20, 2022 FROM NOTES OF AN  
INSTRUMENT SURVEY COMPLETED  
SEPTEMBER 19, 2022 AND FROM MATERIALS  
REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724



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REVISIONS AND APPROVALS		
NO	DATE	DESCRIPTION OF REVISION OR APPROVAL
1	11/17/23	PER IRC
2	12/20/23	PER MRB COMMENTS
3	11/09/23	PER MRB COMMENTS

EXISTING CONDITIONS PLAN OF LAND OF

MARK VALERIO  
SHOWING LAND IN:  
BRICKYARD ROAD  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=20'
JOB NO.:	22-180
DATE:	09/20/2022
TAX MAP#:	55.00-1-24.211

EX100



WASTEWATER TREATMENT BASIS OF DESIGN (PER NYS APPENDIX 75-A):

NUMBER OF BED ROOMS DESIGNED FOR.....	2 BR
TABLE 1 DESIGN FLOW RATE.....	260 GPD
TABLE 2--SEPARATION DISTANCES .....	ALL MINIMUMS MET
TABLE 5--SEPTIC TANK .....	1250GAL 2 COMPARTMENT
TABLE 6A--REQUIRED ABSORPTION TRENCH .....	290 FEET

PROPOSED TREATMENT METHOD:  
CONVENTIONAL ABSORPTION TRENCH W/ GRAVELLESS CHAMBERS. ABSORPTION  
TRENCH LENGTH 360 FEET PROVIDED. EXPANSION AREA PROVIDED. PROVIDE  
GAS DEFLECTOR FOR THE USE OF GARBAGE DISPOSAL SYSTEM.

SOILS ANALYSIS DATA:

SOIL ANALYSIS DATA WAS COLLECTED IN THE SUMMER DURING DRY WEATHER.  
SITE SOILS ARE CLAY LOAM. THE SOIL APPEARED TO BE WELL DRAINED BELOW  
TOPSOIL.

PERC TEST DATA GATHERED BY M.FRANCISCO & B.MARKS DATED 10/21/22 &  
DEEP HOLE BY B.MARKS 10/25/22

DEEP HOLE #1  
HORIZON A 0"-12" TOPSOIL  
HORIZON B 12"-46" SILTY CLAY LOAM  
ROOTED TO 24"  
NO MOTTILING OR SEEPAGE OR BEDROCK

PERCOLATION TEST (24" DEPTH)

PT#1 - STABILIZED AT 6 MINS  
PT#2 - STABILIZED AT 56 MINS  
USE PERCOLATION RATE 46-60 MINS

SEPTIC TANK NOTES:

1. A NEW 1250 GAL 2 COMPARTMENT CONCRETE AS MANUFACTURED BY KISTNER  
OR EQUAL SHALL BE INSTALLED ON MIN 12" OF COMPACTED CLEAN SAND OR  
5" WASHED AGGREGATE 3/4-1 1/2". TANK SHALL BE INSTALLED PER  
MANUFACTURES RECOMMENDATIONS. OWNER OPTS OUT OF THE USE OF  
GARBAGE GRINDER.
2. PROVIDE PRECAST DISTRIBUTION BOX SET ON MIN 12" COMPACTED SAND.
3. PROVIDE RISER ON TANKS IF BURIED AT A DEPTH MORE THAN 12".
4. MAINTENANCE: SEPTIC TANK SHALL BE INSPECTED ANNUALLY TO DETERMINE  
SCUM AND SOLIDS ACCUMULATION. MOST TANKS SHOULD BE PUMPED OUT  
EVERY 2-3 YEARS. SEPTIC TANKS MUST BE PUMPED OUT WHENEVER THE  
BOTTOM OF THE SCUM LAYER IS WITHIN 3" OF THE BOTTOM OF THE OUTLET  
BAFFLE OR THE TOP OF THE SLUDGE IS WITHIN 10" OF THE BOTTOM OF THE  
OUTLET BAFFLE.

WASTEWATER TREATMENT SYSTEM NOTES:

1. THESE PLANS ARE PREPARED IN COMPLIANCE WITH THE PUBLIC HEALTH LAW,  
APPENDIX 75-A, OF PART 75, OF THE ADMINISTRATIVE RULES AND REGULATIONS  
CONTAINED IN CHAPTER 10, OF TITLE 10 (HEALTH) OF THE OFFICIAL COMPILATION  
OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK.
2. ABSORPTION TRENCHES SHALL BE INSTALLED PARALLEL TO CONTOURS. CONTOURS  
SHOWN ARE GRAPHIC REPRESENTATIONS OF SITE. CONTRACTOR IS TO VERIFY GRADE  
AND LAYOUT OF ABSORPTION TRENCH PRIOR TO CONSTRUCTION.
3. AT NO TIME SHALL ANY MACHINERY OR VEHICLE DRIVE OVER TRENCHES. TRACKED  
EQUIPMENT CAN BE DRIVEN PERPENDICULAR TO TRENCHES AS REQUIRED TO  
BACKFILL BUT NOT IN EXCESS.
4. THE CONTRACTOR IS TO NOTIFY ENGINEER AFTER COMPLETION OF WORK, WHILE  
SYSTEM IS OPEN AND SCHEDULE FINAL INSPECTION. AFTER FINAL INSPECTION BY  
THE ENGINEER, THE SYSTEM MAY BE CLOSED.
5. THE SYSTEM SITE IS TO BE SEEDDED, MULCHED, AND RETURNED TO THE VEGETATIVE  
STATE AS SOON AS POSSIBLE.
6. THE SYSTEM IS TO BE KEPT MOWED AT ALL TIMES, FREE OF TRAFFIC OR HEAVY  
WHEELED VEHICLES, AND FREE OF SHRUB OR TREE CANOPY FOR THE DURATION OF  
ITS USE.
7. DO NOT ATTEMPT TO INSTALL SYSTEM ON FROZEN GROUND, WET CONDITIONS OR  
LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
8. NO HOT TUBS, SAUNAS, ROOF DRAINS, WATER CONDITIONING BACKWASH SYSTEMS,  
SUMP CROOKS ETC. SHALL BE INCORPORATED INTO THIS SYSTEM UNLESS  
OTHERWISE SPECIFIED.
9. EXPANSION AREA SHALL REMAIN CLEAR OF ALL LANDSCAPING, SHRUBS, TREES, AND  
STRUCTURES. THE EXPANSION AREA SHALL BE MAINTAINED AS LAWN. FUTURE  
ACCESS TO THIS AREAS SHALL NOT BE LIMITED.
10. SOIL PIPE AND HOUSE SHALL BE VENTED THROUGH THE ROOF OF THE NEW  
DWELLING W/ AT LEAST ONE 3" VENT MAXIMUM OF 4' HORIZONTALLY AWAY FROM  
INSIDE OF FOUNDATION WALL. A 4" CLEAN-OUT SHALL BE PROVIDED AT A POINT  
JUST INSIDE THE FOUNDATION WALL.

CONSTRUCTION SEQUENCE:

1. STAKE LIMITS OF DISTURBANCE
2. INSTALL TEMPORARY EROSION CONTROL MEASURES IN ACCORDANCE WITH APPROVED SITE  
PLANS
3. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED.
4. PLACE SILT FENCE FOR STOCKPILE AREA
5. STRIP TOPSOIL.
6. PLACE STONE SUBBASE, CONSTRUCT BUILDING AND INSTALL UTILITIES
7. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE  
REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR  
CONTRACTOR.
8. IN THE EVENT THERE IS A SEDIMENT DISCHARGE OR FAILURE THE CONTRACTOR OR  
OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
9. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE.
10. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH  
VEGETATION, STONE OR ASPHALT.

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND  
COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND  
SANITARY PIPING AS REQUIRED.
2. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL  
ELECTRIC CODE.

GRADING NOTES:

1. CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES  
AND STANDARDS
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM  
OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND  
REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED  
OFF SITE.

PHOSPHORUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING UNLESS SOIL TESTING HAS BEEN  
COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS  
SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL  
PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY
2. IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND  
LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM  
RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC  
REGULATIONS

LANDSCAPE AREAS NOTES:

1. PLANT W/ LOW NATIVE SHRUBS LIKE CREEPING JUNIPER, BAYBERRY AND  
PERENIAL FLOWERING PLANTS LIKE IRIS, DAYLILIES AND TULIPS.
2. APPLY LANDSCAPE FABRIC AND MAINTAIN 4" OF HARDWOOD MULCH.
3. PROVIDE RANDOM LARGE ROUND STONE COBBLES THROUGH LANDSCAPED AREA.

GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS  
THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY  
EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES  
(BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF  
INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE  
CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE  
PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY  
ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES  
RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS  
BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF  
THE CLIENT.

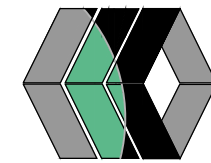
EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND  
SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND  
MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL  
REMAIN LONGER THAN 3 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 1 DAYS.  
SOIL SHALL BE STABILIZED WITH PERENNIAL RYE GRASS. GRASS SEED SHALL BE  
INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE  
OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED  
GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY  
EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE  
PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS  
IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 AND GRASS SWALES SHALL BE STABILIZED WITH  
ST-110 EROSION FABRIC BY TENCATE OR EQUAL. BLANKETS SHALL BE INSTALLED  
AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN  
ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND  
SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL  
RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES  
AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED  
OF PROPERLY.

SITE NOTES:

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS  
DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR  
APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS  
DELINEATED BY FEMA MAP#360960 0005B DATED SEPTEMBER 29, 1989.
3. WATER SUPPLY: PUBLIC WATER
4. NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION  
ACTIVITIES. DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE  
CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN  
ACRE THE ENGINEER SHALL BE NOTIFIED.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND  
CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS  
SHALL BE DARK SKY COMPLIANT. ALL EXTERIOR LIGHTING SHALL COMPLY  
WITH SECTION 220-77 OF THE TOWN CODE

MarksEngineering



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STAMP

REVISIONS AND APPROVALS

NO	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	11/17/24	PER IRC	MCF
2	12/20/24	PER MRB COMMENTS	MCF
3	1/10/25	PER MRB COMMENTS	MCF

NEW RESIDENCE SITE PLAN FOR:

MARK VALERIO  
SHOWING LAND IN:  
BRICKYARD RD  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE:  
SITE PLAN

DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-180
DATE:	10/28/2022
TAX MAP#:	55.00-1-24.2110

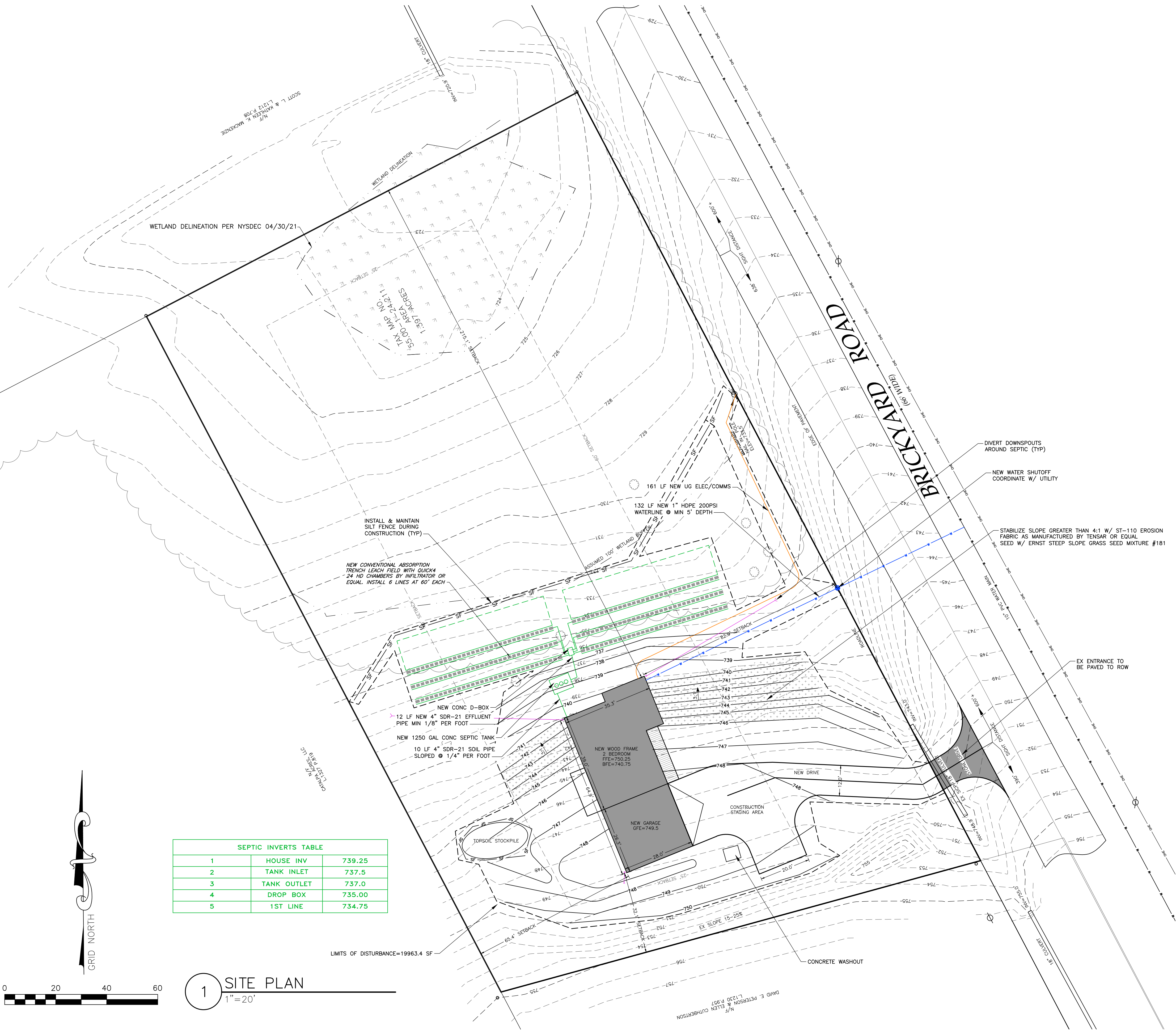
C000



BULK TABLE		
	PROPOSED	REQUIRED
ZONING/USE - PRINCIPAL	SINGLE FAMILY RESIDENTIAL	AR-2
ZONING/USE - ACCESSORY	N/A	N/A
FRONT SETBACK	82.9'	60'
SIDE SETBACK	32.1'	25'
REAR SETBACK	65.4'	40'
BUILDING HEIGHT	20.5'	35'
MAX. BUILDING COVERAGE	3.3%	20%
MIN. LOT WIDTH	340.1'	200'
MIN. LOT SIZE AREA	1.397 ACRES	2 ACRES

PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE
WATER & SEWER DISTRICT SUPERINTENDENT	DATE
HIGHWAY SUPERINTENDENT	DATE

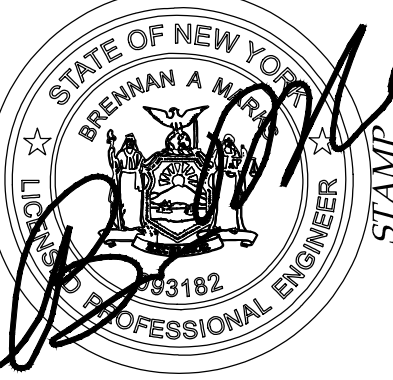
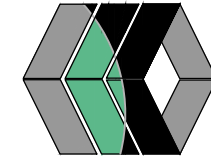
LEGEND	
Monument	PROPOSED
Benchmark	Utility Lines
Utility pole	R.O.W. line
Hydrant	Property line
Light pole	Easement line
Road Sign	Centerline
Water Valve	Drainage
	Contour Line
	Demo Line
ABBREVIATIONS:	
EX-EXISTING	CO -CLEAN OUT
OPP-CORRUGATED POLYETHYLENE PIPE	TYP-TYPICAL
O.C.-ON CENTER	R-RADIUS
SICPP-SMOOTH INTERIOR CORRUGATED	BC-BOTTOM OF CURB
POLYETHYLENE PIPE	TC-TOP OF CURB
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CONC-CONCRETE	BW-BOTTOM OF WALL
	BS-BOTTOM OF STAIRS
	PERF-PERFORATED
	MIN-MINIMUM
	MAX-MAXIMUM
	INV-INVERT
	CB-CATCH BASIN
	MH-MANHOLE
	DI-DRAINAGE INLET



SEPTIC INVERTS TABLE		
1	HOUSE INV	739.25
2	TANK INLET	737.5
3	TANK OUTLET	737.0
4	DROP BOX	735.00
5	1ST LINE	734.75

1 SITE PLAN  
1"=20'

MarksEngineering



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REVISIONS AND APPROVALS	
NO	DATE
1	11/17/22
2	12/20/22
3	10/09/23

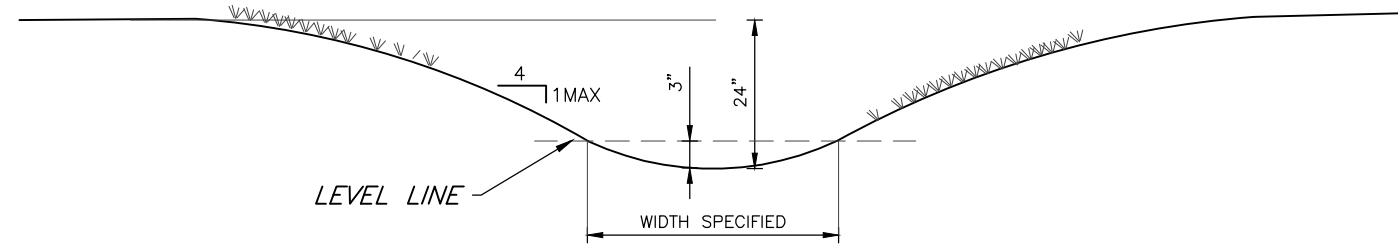
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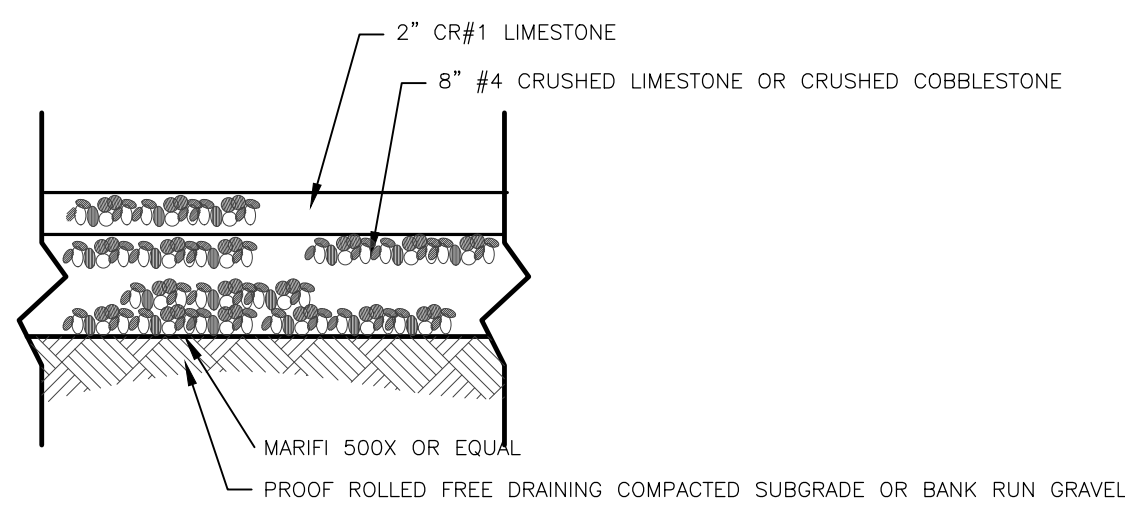
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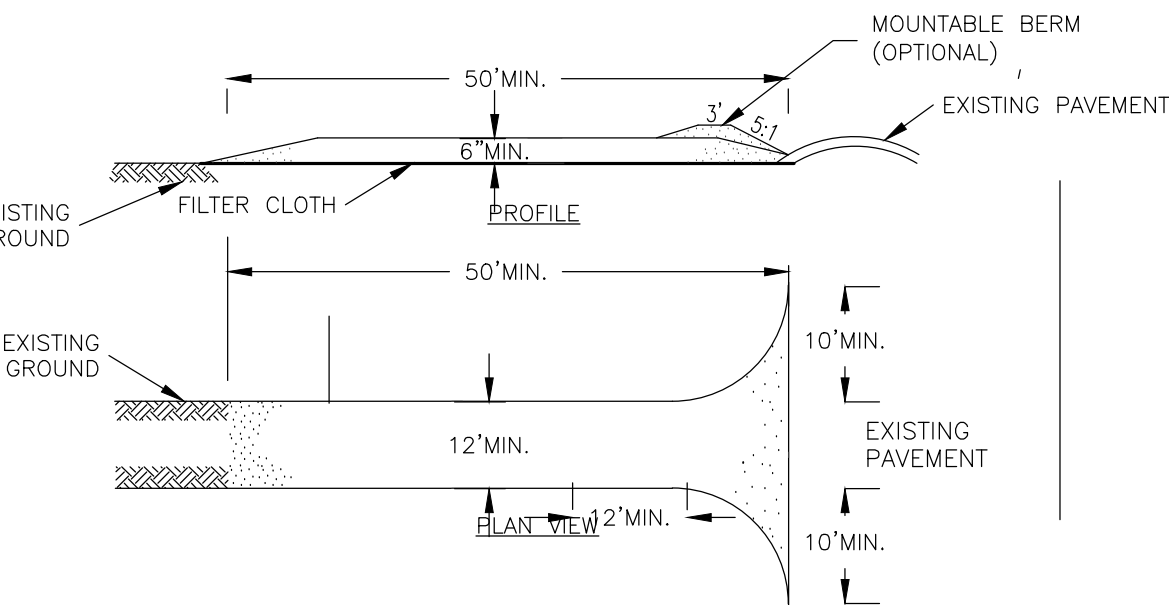


1 TYPICAL SWALE CROSS SECTION  
NTS

- NOTES:
1. SWALES SHALL BE SMOOTH GRADED AND LIGHTLY COMPACT.
  2. SWALES SHALL BE MOWABLE WITH STANDARD PUSH MOWER.
  3. SWALES SHALL NOT BE FORMED IN MUD OR SATURATED SOILS. UNACCEPTABLE SOILS SHALL BE REMOVED AND REPLACED WITH 6" OF CLEAN TOPSOIL PRIOR TO SEEDING AND STABILIZATION.
  4. SWALE SHALL BE SEEDDED AND STABILIZED WITH STRAW BLANKET/JUTE FABRIC NETTING STAPLED AS PER MANUFACTURES RECOMMENDATIONS.



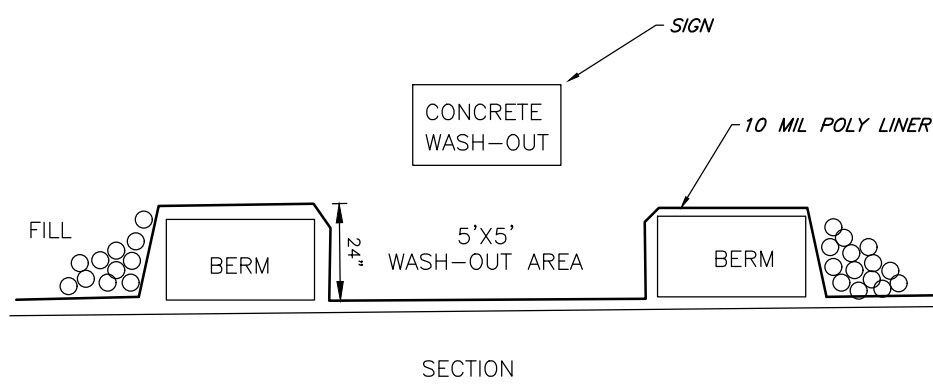
2 TYPICAL GRAVEL DRIVE SECTION  
NTS



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE — USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH — NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS — NOT LESS THAN SIX (6) INCHES.
4. WIDTH — TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH — WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER — ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

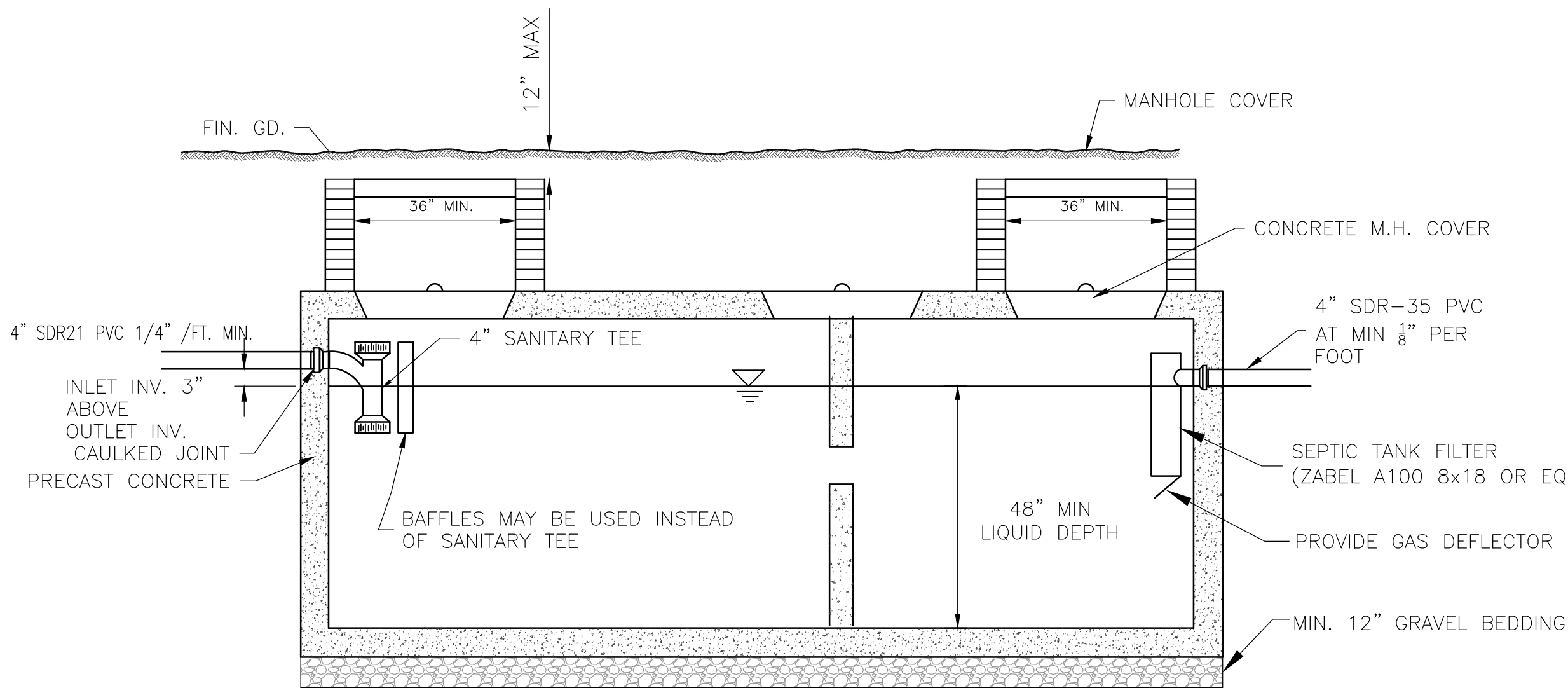
5 STABILIZED CONSTRUCTION ENTRANCE  
NTS



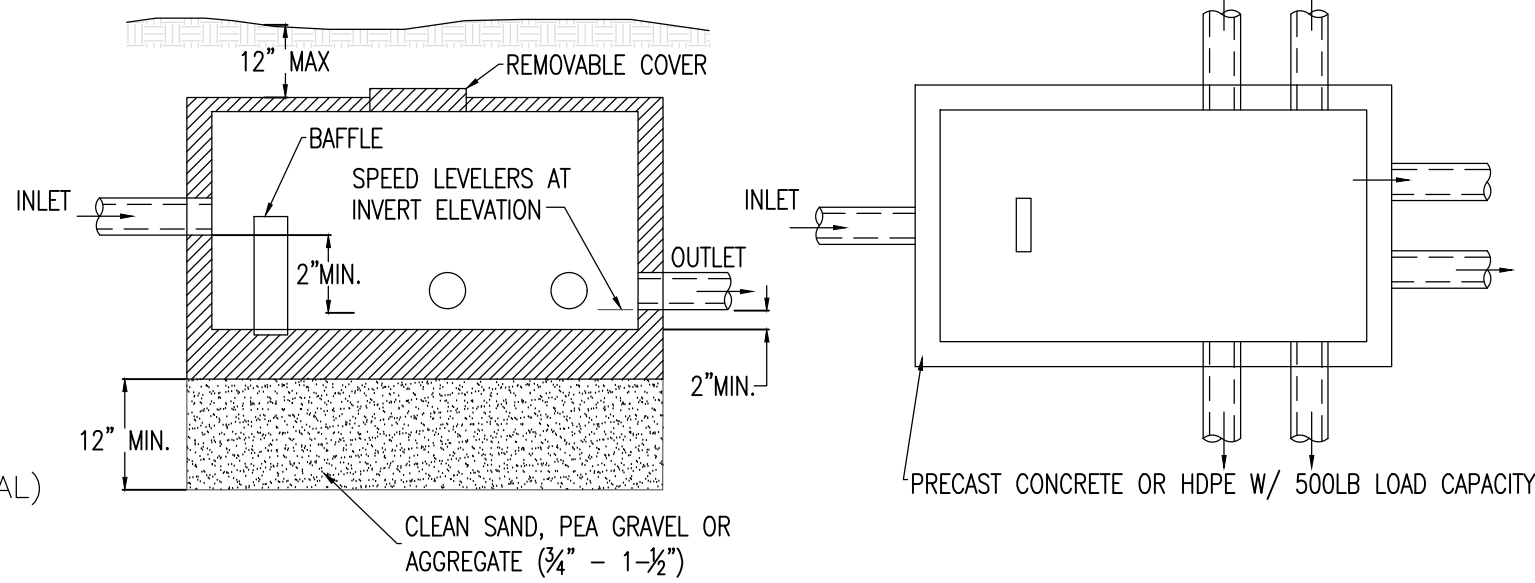
NOTES:

- 1) INSPECT WASH-OUT DAILY.
- 2) REMOVE DEBRIS AFTER REACHING 50% CAPACITY
- 3) MINIMUM INTERIOR DIMENSIONS OF LINER TO BE 8'X8'X2'
- 4) LINER SHALL BE REPLACED WHEN TORN OR OTHERWISE DEFICIENT, AND THAT THE WASHOUT SHALL BE EMPTIED AT OR BEFORE 75% CAPACITY. WHENEVER THE WASHOUT IS EMPTIED, THE LINER SHALL BE REPLACED.

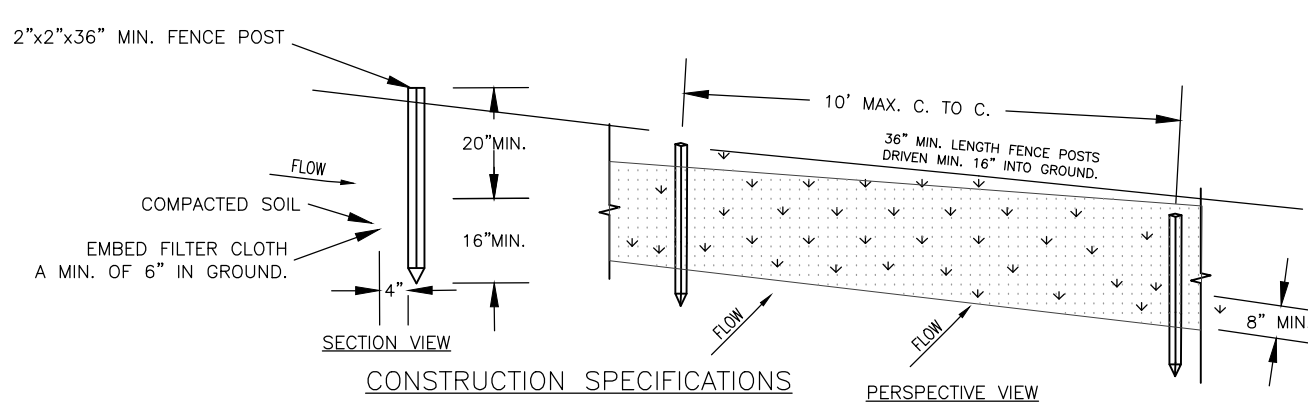
11 CONCRETE WASH-OUT  
NTS



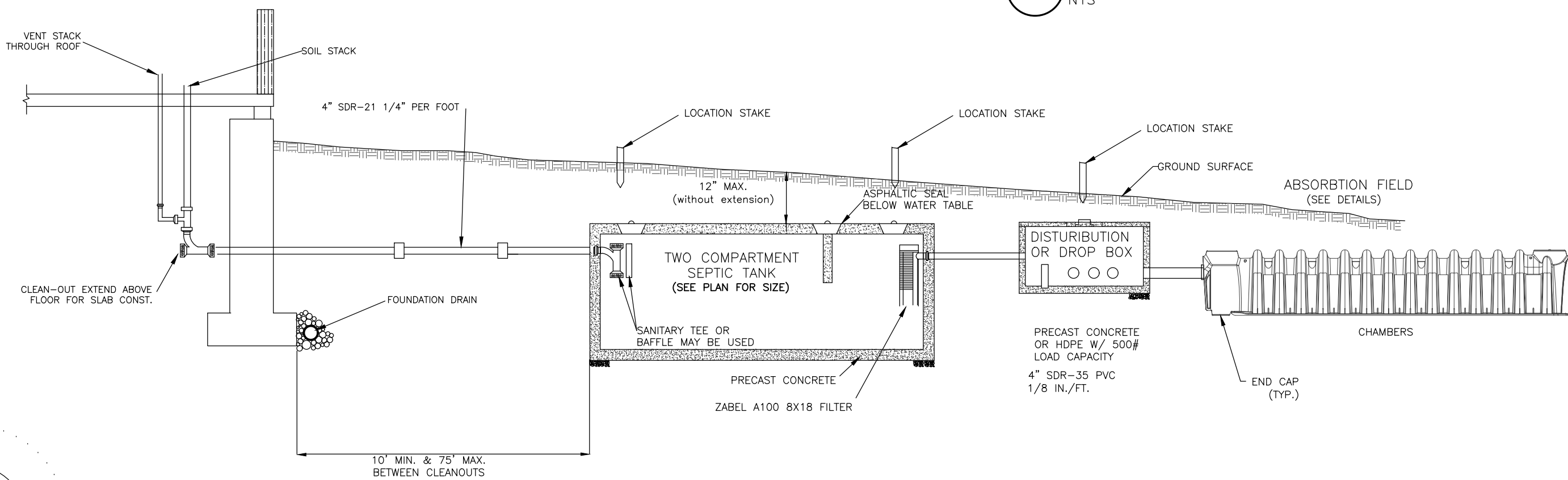
8 TYPICAL SEPTIC TANK DETAIL  
NTS



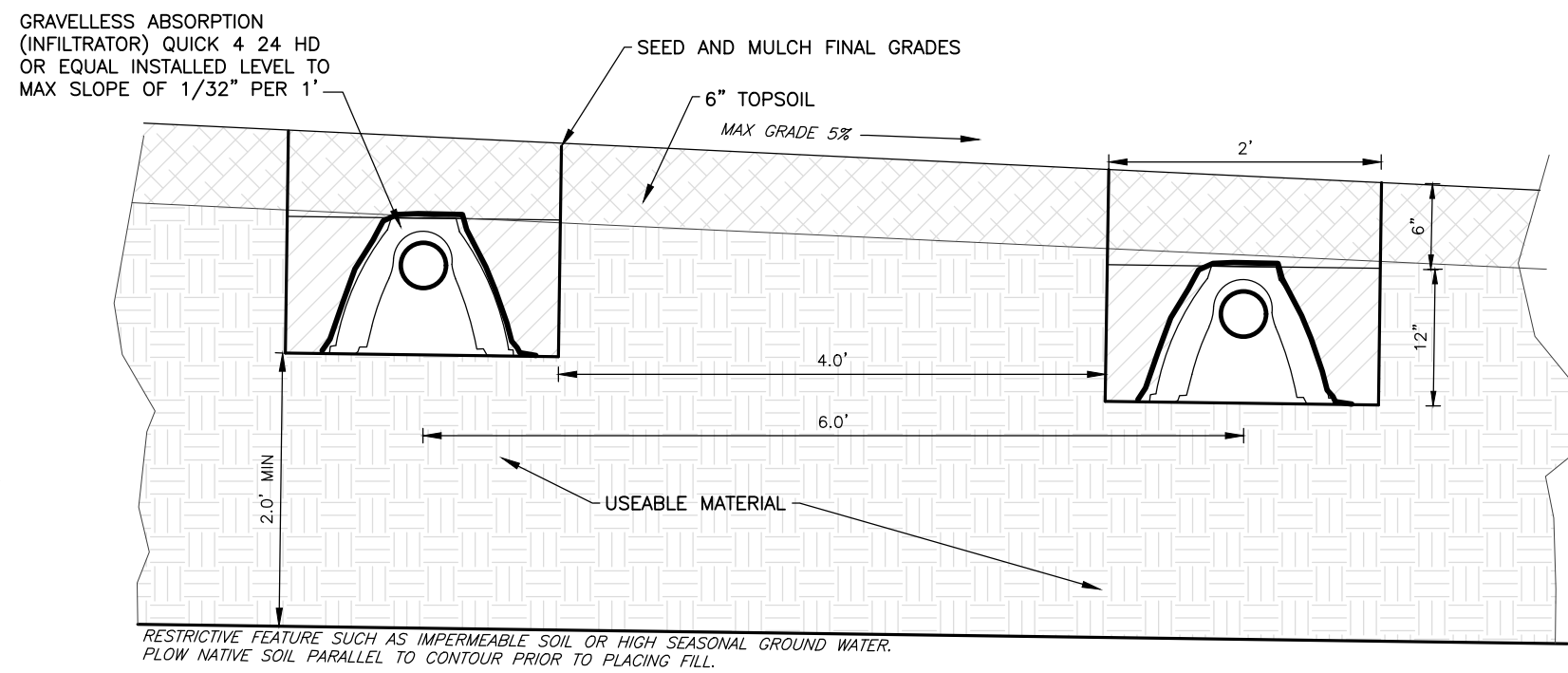
9 TYPICAL D-BOX DETAIL  
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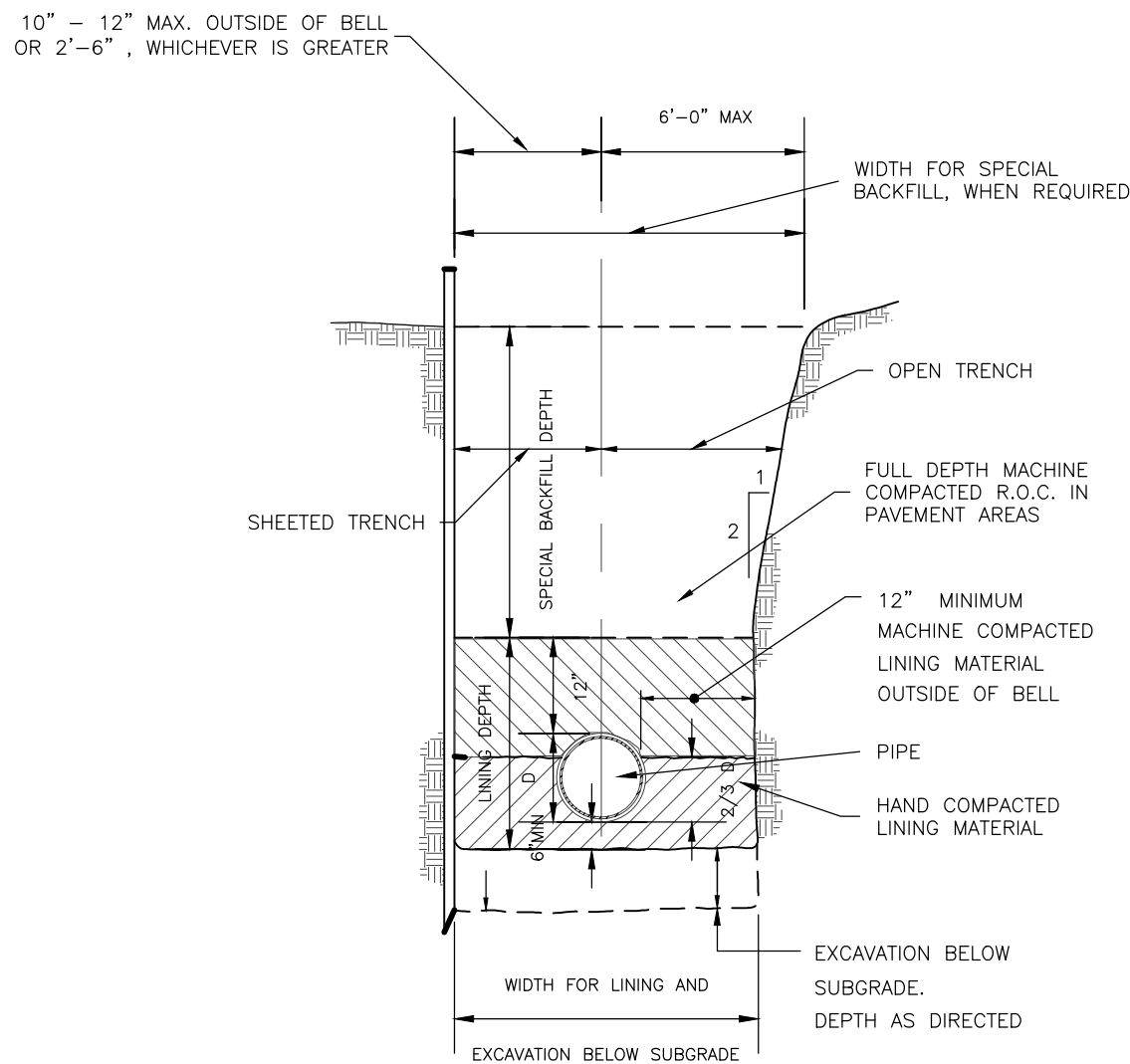
3 TYPICAL SILT FENCE DETAIL  
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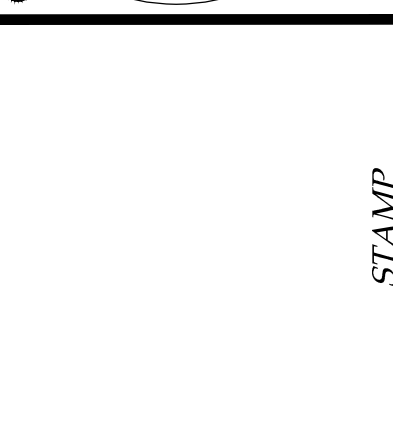
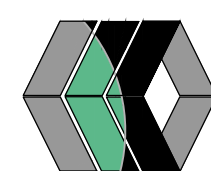
7 TYPICAL HOUSE/SEPTIC TANK DETAIL  
NTS



10 TYPICAL ABSORPTION TRENCH DETAIL  
NTS



4 UTILITY TRENCH DETAIL  
NTS



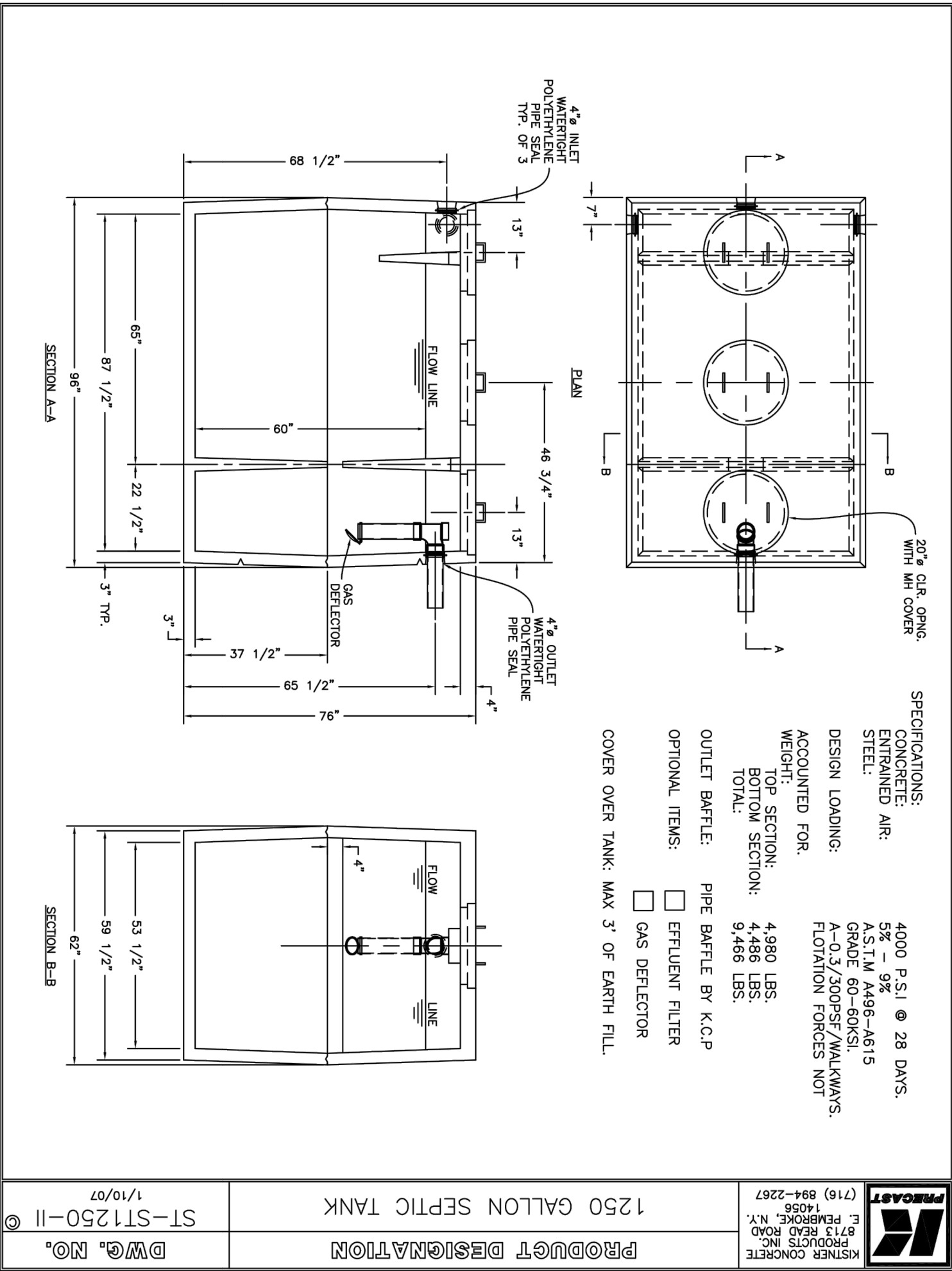
REVIEWS AND APPROVALS	
NO	DATE
1	11/17/24
2	12/20/24
3	10/09/24

DESCRIPTION OF REVISION OR APPROVAL	BY
PER IRC	MCP
PER MRB COMMENTS	MCP
PER MRB COMMENTS	MCP

NEW RESIDENCE SITE PLAN  
MARK VALERIO  
SHOWING LAND IN:  
BRICKYARD RD  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE:	
DETAILS	
DRAWN BY:	BAM
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	22-180
DATE:	10/28/2022
TAX MAP#:	55.00-1-24.2110

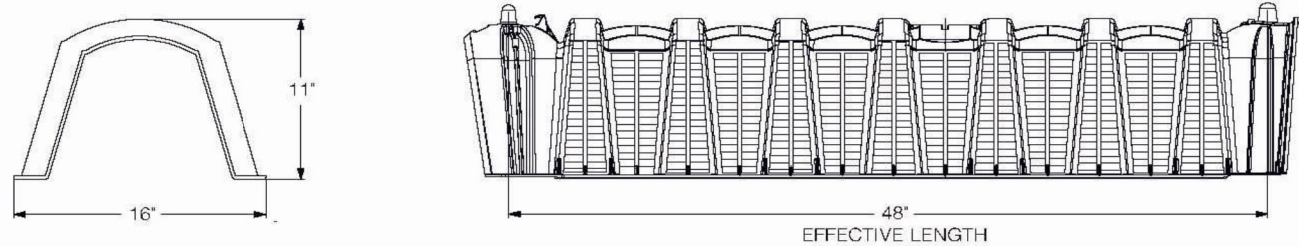




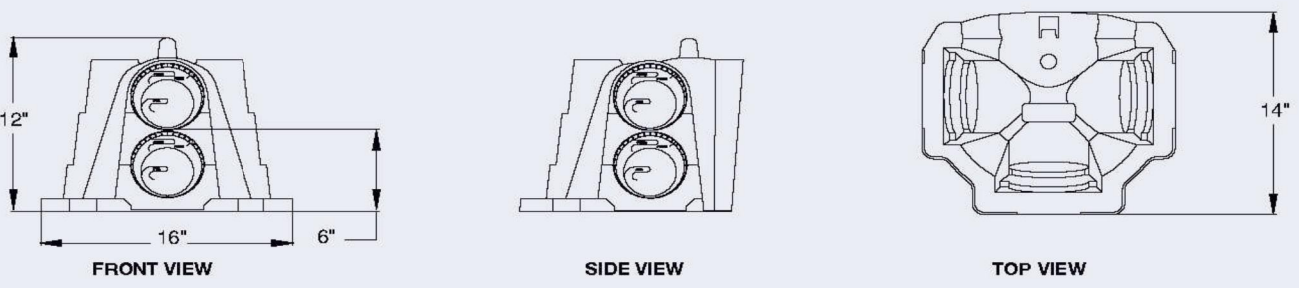
# QUICK4 EQUALIZER 24 HD

The  
**Quick4® Equalizer® 24 HD**  
Chamber

## The Quick4 Equalizer 24 HD Chamber



### MultiPort End Cap



Quick4 Equalizer 24 HD Chamber Specifications	
Size (W x L x H).....	16" x 53" x 11" (41 cm x 135 cm x 28 cm)
Storage Capacity .....	20.8 gal (79 L)
Effective Length.....	48" (122 cm)
Invert Height.....	6" (15 cm) 9" (23 cm) & 10" (25 cm) with invert adapter

**NYS HEALTH DEPARTMENT APPROVED**

### Conventional stone and pipe system

- Labor-intensive, lengthy installation.
- Dump truck needed for stone delivery.
- Stone hauling adds expense and time, increases soil compaction in leachfield site.
- Stone in trench reduces infiltrative capacity of system.
- System lacks easy inspection and monitoring of leachfield without digging up the yard.
- Geotextile required on top of stone.
- Overall increased cost.

### Equalizer 24 Chamber System

- Easy assembly and installation by two people.
- Only a backhoe and pickup truck are required.
- Lightweight chambers can be delivered in one pickup truck load and hand-carried into position.
- SideWinder sidewall provides over twice the effective sidewall infiltrative surface area in the same trench length.
- Inspection port is provided for easy access to leachfield with no site disruption.
- Solid-topped chambers need no geotextile.
- Overall reduced cost.

INFILTRATOR (CHAMBERS)

CODE  
P&F-SINF

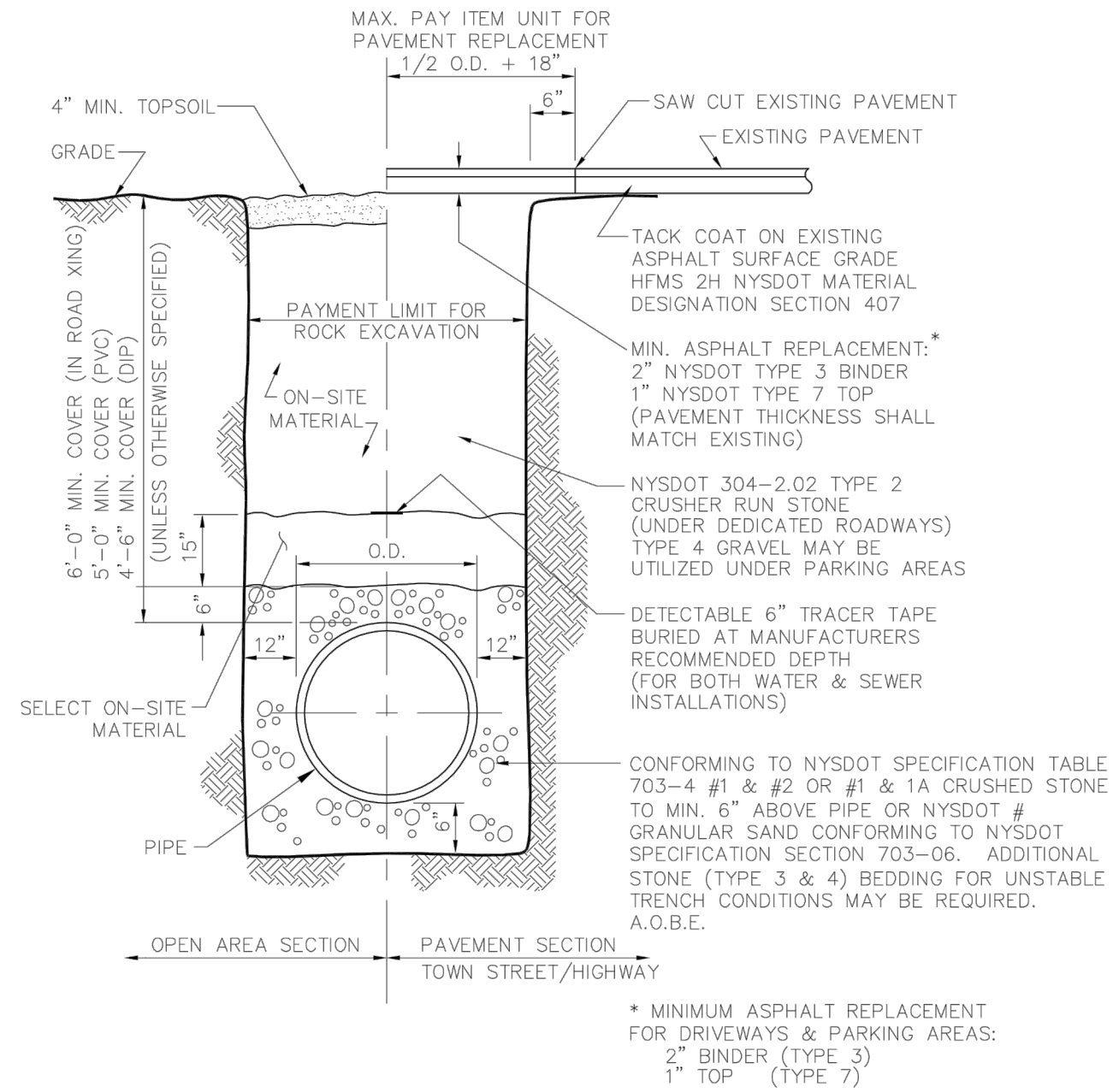
CALL FOR PRICING

END CAPS

CODE  
P&F-SINF-C

41

REV. 9/19/13  
PRINTED IN U.S.A.

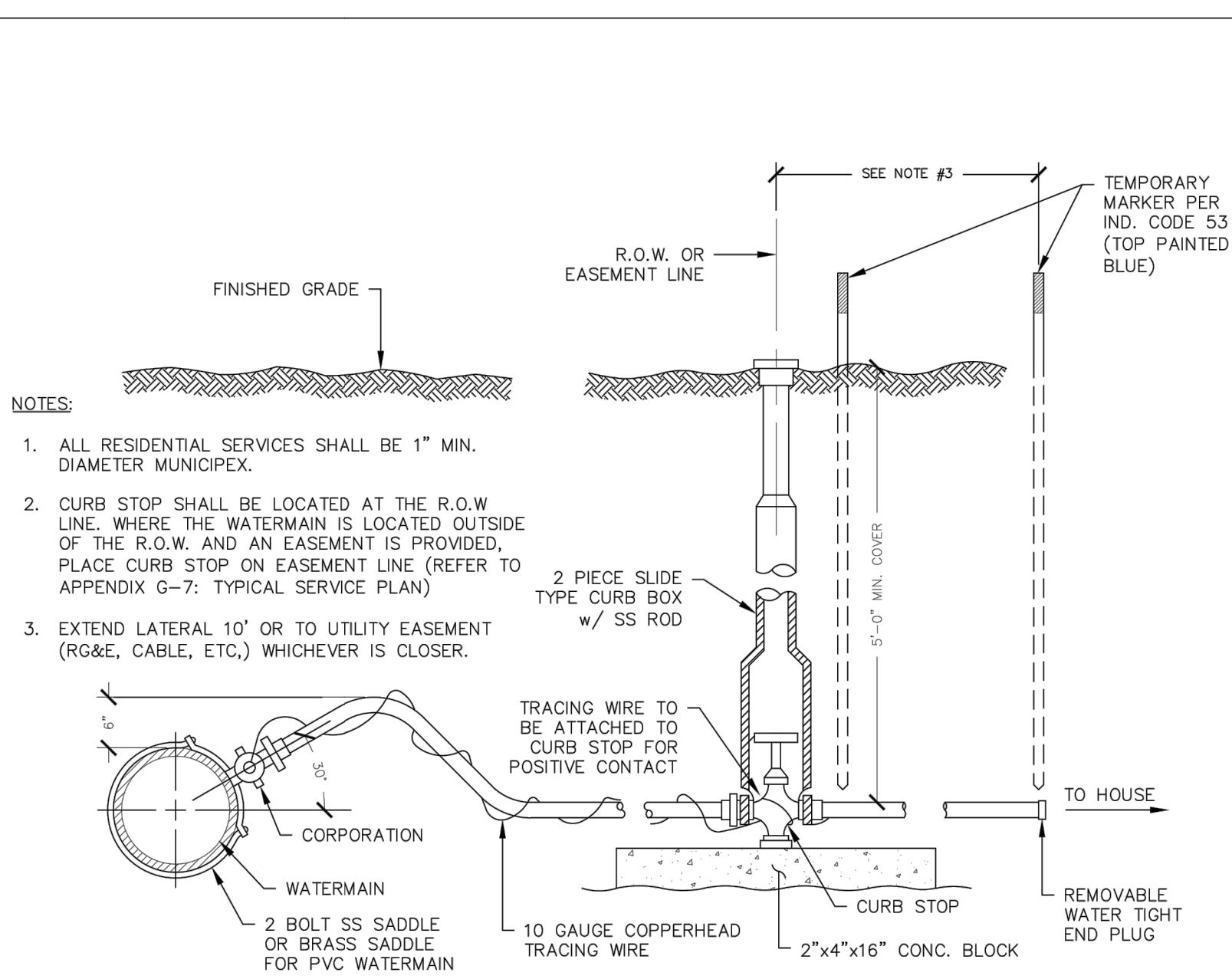


### PIPE BEDDING/ TRENCH DETAIL

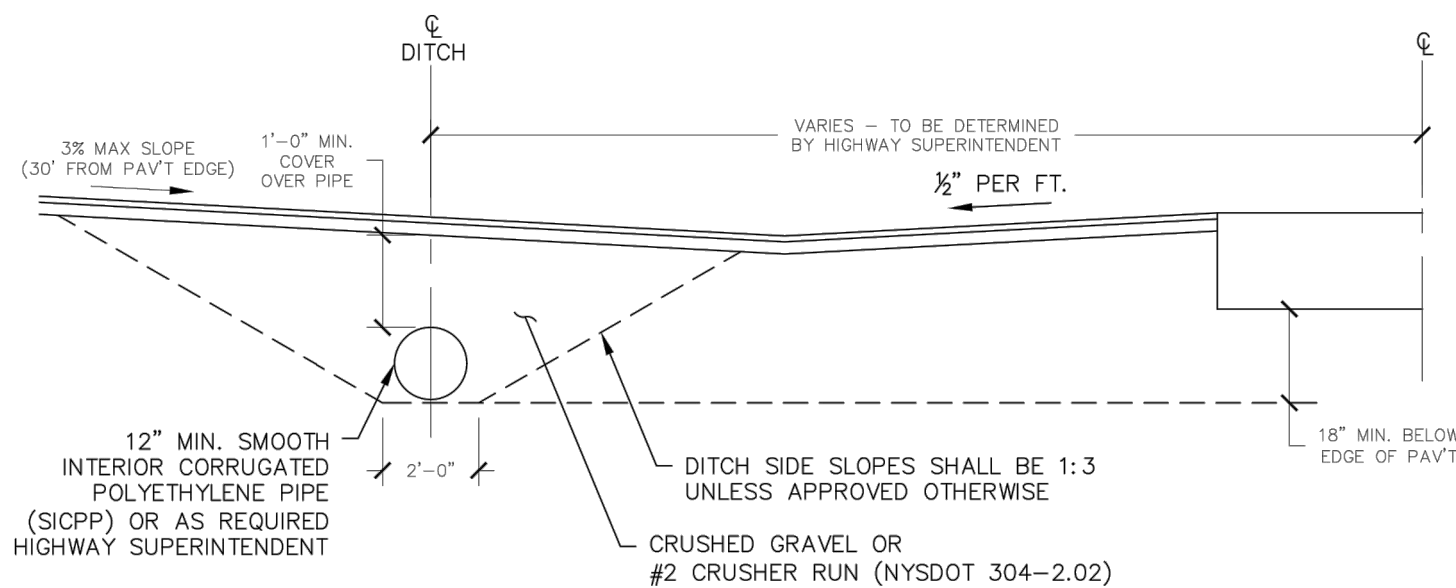
(OUTSIDE OF N.Y.S. HIGHWAYS)

(N.T.S.)

W-1



## TYPICAL WATER SERVICE



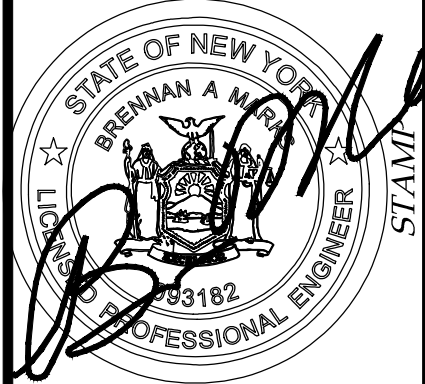
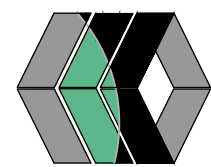
## SECTION

NOTES:

1. CULVERT PIPE TO BE SUPPLIED AND INSTALLED AT THE DISCRETION OF THE TOWN HIGHWAY SUPERINTENDENT.
2. CULVERT PIPE TO BE INSTALLED WITH A MINIMUM LENGTH TO EXTEND AT LEAST THREE (3) FEET BEYOND THE OUTER EDGES OF THE NEW PROPOSED DRIVEWAY AT THE DITCH LINE OR AS DIRECTED BY THE HIGHWAY SUPERINTENDENT.
3. PROPOSED DRIVEWAY CULVERT SHALL BE PLACED AT A LINE, GRADE AND OFFSET DETERMINED BY THE EXISTING DITCH LINE, GRADE AND OFFSET OF THE ADJACENT PROPERTIES ON EITHER SIDE OF THE NEW PROPOSED DRIVEWAY TO FLOW PROPERLY
4. END SECTIONS TO BE INSTALLED ON EACH END OF THE NEW PROPOSED DRIVEWAY CULVERT. ENERGY DISSIPATING MATERIAL OR RIP RAP SHOULD BE USED AT EITHER END SECTION
5. THE APPLICANT SHALL NOTIFY THE HIGHWAY SUPERINTENDENT AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK TO SCHEDULE FIELD INSPECTION.

## TYPICAL DRIVEWAY CULVERT DETAIL

## Marks Engineering



STAMP

REVIEWS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	11/17/22	PER PRC	MCP
2	12/20/22	PER MRB COMMENTS	MCP
3	01/09/23	PER MRB COMMENTS	MCP

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<i>JOB NO.:</i>	<i>22-180</i>
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<i>TAX MAP#:</i>	<i>55.00-1-24.2110</i>

*C501*