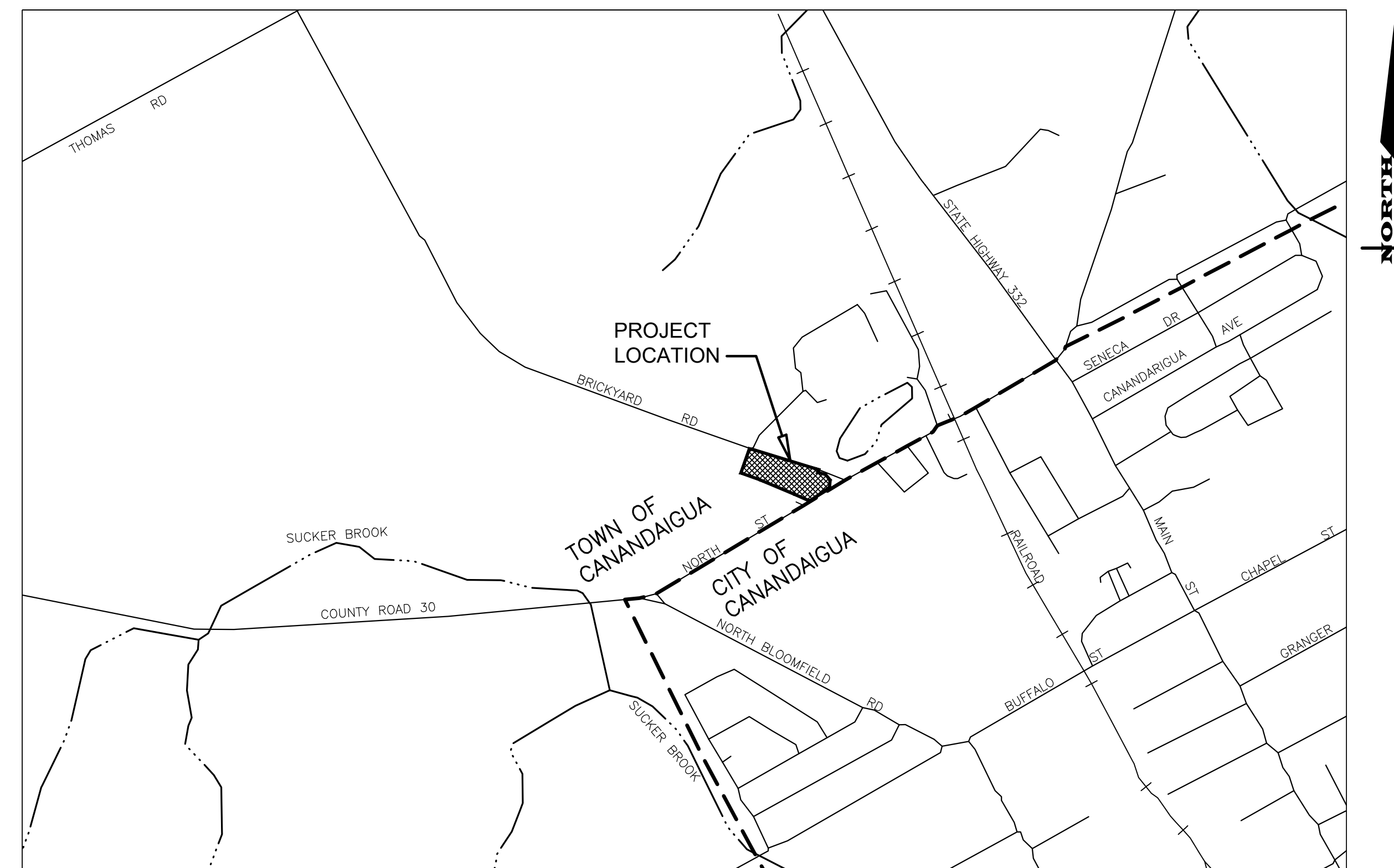


FINAL SITE PLANS for ARTISAN MEATS BUILDING EXPANSION

2640 BRICKYARD ROAD

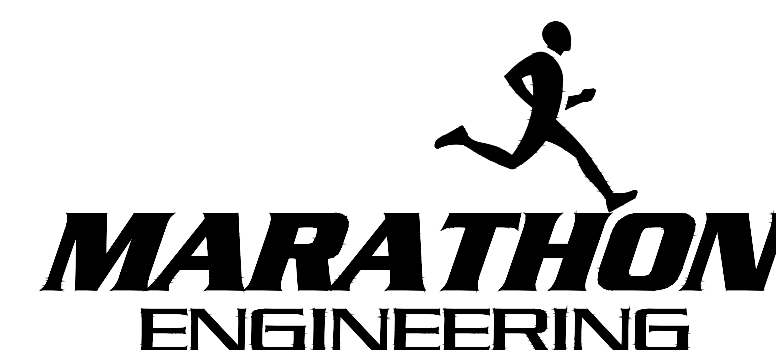
SITUATE IN:

TOWN OF CANANDAIGUA - ONTARIO COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION

39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770

ITHACA LOCATION

840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917

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| ARTISAN MEATS BUILDING EXPANSION SHEET TABLE | | |
|--|----------------|---------------------------------------|
| SHEET NUMBER | DRAWING NUMBER | DRAWING TITLE |
| 1 | C0.0 | |
| 2 | C0.1 | NOTES, LEGEND & ABBREVIATIONS |
| 3 | C1.0 | SITE LAYOUT PLAN |
| 4 | C2.0 | UTILITY PLAN |
| 5 | C3.0 | GRADING PLAN |
| 6 | C4.0 | LIGHTING & LANDSCAPE PLAN |
| 7 | C5.0 | EXISTING CONDITIONS & DEMOLITION PLAN |
| 8 | C6.0 | CONSTRUCTION DETAILS |
| 9 | C6.1 | CONSTRUCTION DETAILS |
| 10 | C6.2 | CONSTRUCTION DETAILS |

File: z:\engineering\job_files\1374-21\Drawings\Sheets\CO.1.dwg, Last saved: 10/31/2022, Plot Date: 11/1/2022, By: COLE PAPASERGI, Plot Style: MARATHON STANDARD.CTB

- 1. MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- 2. UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 3. PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- 4. ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- 5. SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- 7. MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 8. CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 9. PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER'S CONTRACT AGREEMENT.
- 10. INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

1. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
2. **DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED BY THE PROJECT OWNER'S REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
3. **COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
4. **STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREAMETHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
5. **CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNERS ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS
 - CLEANING PAVEMENT AND WALKWAY SURFACES
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING A RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

1.1 REGULATIONS - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.

1.2 MATERIALS - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:

- REINFORCED CONCRETE PIPE (RCP), CLASS III
- HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-29, TYPE S, ASTM D-3350.

1.3 ROOF DRAINAGE - ALL ROOF DRAINAGE SHALL BE CONNECTED TO STORM SEWERS AS INDICATED ON THE PLANS.

1.4 TESTING - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

PERMITS - SEWER PERMITS AND PERMITS FOR WORK WITH ONTARIO COUNTY HIGHWAY RIGHTS OF WAY MUST BE PURCHASED IN ADVANCE AT THE ONTARIO COUNTY PUBLIC WORKS OFFICE LOCATED AT 2962 COUNTY ROAD 48 IN THE TOWN OF HOPEWELL. CALL 585-396-4000 FOR INFORMATION.

2. STANDARDS - SANITARY SEWER CONSTRUCTION AND IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARD SPECIFICATIONS AND RECOMMENDED PRACTICES OF THE CANADIA LAKE SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.

3. PIPE MATERIAL - SANITARY SEWER MAIN GRAVITY PIPE SHALL BE 8" DIA. OR LARGER PVC CLASS SDR-35 OR SDR-21 WITH STAINLESS STEEL JOINTS. LATERALS SHALL BE 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS. ACTUAL FIELD CONDITIONS MAY REQUIRE ADDITIONAL PIPE AND MANHOLE REINFORCEMENT. THE SANITARY SEWER PIPE DESIGN WILL BE DETERMINED BY THE DEVELOPER'S ENGINEER. FIELD CHANGES MUST BE APPROVED BY THE SEWER DISTRICT.

4. BASEMENTS - THE SANITARY SEWER IS DESIGNED TO PROVIDE GRAVITY SERVICE TO ALL ADJACENT BUILDING BASEMENTS; EXCEPTIONS HAVE BEEN APPROVED BY THE SEWER DISTRICT AND ARE CLEARLY NOTED ON THE UTILITIES STRAPING PLAN. FLOOR ELEVATIONS WILL BE SHOWN ON THE SANITARY SEWER PROFILE FOR EACH LOT THAT WILL NOT BE SERVED BY GRAVITY LATERALS.

5. MONUMENTS - THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.

6. EXISTING UTILITIES - UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY. IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION, CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

7. SEPARATION - THE SANITARY SEWER SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 1' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE APPROVED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

8. LETTER OF CREDIT - A LETTER OF CREDIT, OR ENGINEER APPROVED EQUIVALENT, FOR AN AMOUNT EQUAL TO THE ESTIMATED COST OF CONSTRUCTION, INSPECTION, RECORD DRAWINGS, DEDICATION DOCUMENTS AND RELATED EXPENSES FOR THE SANITARY SEWER PLUS AN ADDITIONAL 10% FOR CONTINGENCIES MUST BE SUBMITTED TO THE COMMISSIONER OF PUBLIC WORKS BEFORE A PERMIT IS ISSUED FOR OR SEWER CONSTRUCTION COMMENCE.

9. SHOP DRAWINGS - THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.

10. EASEMENTS - THE DEVELOPER IS RESPONSIBLE FOR THE PREPARATION OF ALL REQUIRED EASEMENT MAPS AND DESCRIPTIONS AND SUBMISSION TO THE DISTRICT FOR APPROVAL. PERMITS WILL NOT BE ISSUED PRIOR TO THE EASEMENT DOCUMENTS BEING SIGNED BY THE COMMISSIONER AND RECORDED IN THE COUNTY CLERK'S OFFICE.

11. OSHA - THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION, PAYING PARTICULAR ATTENTION TO REQUIREMENTS FOR OPEN TRENCH AND CONFINED SPACE. ENTRY INTO ANY DISTRICT STRUCTURE MUST COMPLY WITH ALL DISTRICT AND OSHA APPROVED PROCEDURES FOR CONFINED SPACES.

12. FLOW PLUG - WHEN SANITARY SEWER CONSTRUCTION ACTIVITIES BEGIN, THE CONTRACTOR SHALL PLUG THE MAIN AT THE CONNECTING MANHOLE. PLUGS SHALL NOT BE REMOVED UNTIL THE COMPLETED SEWER LINE IS TESTED AND APPROVED FOR SERVICE.

13. FLOW DIVERSION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.

14. GRADE - THE SEWER LINE SHALL BE LAID USING A PIPE LASER. GRADE SHALL BE CHECKED EVERY 100 FEET USING A SURVEYOR'S LEVEL TO INSURE THE CORRECT GRADE IS BEING MAINTAINED.

15. FLOOR DRAINS - FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE BY-LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUND WATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRAWLE.

16. MANHOLE OPENINGS - OPENINGS IN EXISTING MANHOLES SHALL BE MADE WITH A CORE SAW. A RUBBER, WATER-TIGHT PIPE TO MANHOLE BOOT ADAPTER OR OTHER DISTRICT APPROVED CONNECTOR CONFORMING TO ASTM C-923, SHALL BE USED TO CONNECT TO THE EXISTING MANHOLE.

17. DEBRIS - THE CONTRACTOR SHALL PERFORM ALL EXISTING MANHOLE MODIFICATION OPERATIONS IN SUCH A MANNER TO ENSURE NO DEBRIS OR CONSTRUCTION MATERIALS ENTER THE SANITARY SEWER SYSTEM.

18. EXISTING MANHOLES - THE CONTRACTOR SHALL EXERCISE CAUTION WHEN PERFORMING EXISTING MANHOLE MODIFICATION OPERATIONS, ANY DAMAGE TO THE EXISTING SLAB, BARREL OR ANY OTHER PART OF THE STRUCTURE SHALL BE REPAIRED IN KIND TO THE SATISFACTION OF THE CANADIA LAKE COUNTY SEWER DISTRICT REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

19. EXISTING MANHOLE TESTING - EXISTING MANHOLES THAT ARE MODIFIED IN ANY MANNER SHALL BE SUBJECT TO VACUUM TESTING PER DISTRICT REQUIREMENTS.

20. ASBESTOS CEMENT PIPE - CONNECTIONS REQUIRING OPERATIONS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.

21. MANHOLE CONNECTION - ALL PIPES ENTERING AND EXITING MANHOLES SHALL HAVE A FLEXIBLE WATER-TIGHT JOINT NO LESS THAN 1 FOOT AND NO GREATER THAN 3 FEET FROM THE OUTSIDE WALL OF THE MANHOLE.

22. MANHOLE SIZE - MANHOLES DEEPER THAN 14 FEET, LESS THAN 5 FEET IN DEPTH, OR HAVING THREE OR MORE PIPE CONNECTIONS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 5 FEET.

23. EXCAVATION - ANY EXCAVATION NOT BACKFILLED BY THE END OF ALL OTHER TESTS ARE FENCED, PROTECTED AND MONITORED FOR THE SAFETY AND PROTECTION OF THE DISTRICT.

24. DEMOLITION - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

25. DISCONNECTIONS - EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANADIA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.

26. CLEAN OUTS - LATERAL CLEAN OUTS WILL BE PROVIDED AT THE RIGHT OF WAY LINE OR SANITARY SEWER EASEMENT LINE, WHICHEVER IS FURTHERST FROM THE SEWER MAIN, AND EVERY 90 LINEAR FEET THEREAFTER.

27. FIELD MEASUREMENT AND RECORD DATA - THE CONTRACTOR SHALL TAKE AND RECORD FIELD MEASUREMENTS TO ALL INFLU, CLEAN OUTS AND LATERAL PLUGS AS WELL AS LENGTHS OF RISERS AND DEPTHS AT ALL LATERAL PLUGS. THE INFORMATION WILL BE GIVEN TO THE DEVELOPER'S ENGINEER FOR USE IN PREPARING RECORD DRAWINGS.

28. TESTING - FOLLOWING PROJECT COMPLETION AND 30 DAYS AFTER THE BACKFILL HAS BEEN IN PLACE THE FOLLOWING TESTS SHALL BE PERFORMED ON SANITARY SANITARY SEWER MAIN:

- a. INFILTRATION/FILTRATION TESTS ON SEWER MAIN AND MANHOLES. AIR PRESSURE TESTING FOR SEWER MAINS AND VACUUM TESTING FOR MANHOLES IS RECOMMENDED. TESTS SHALL BE PERFORMED ON ALL LATERALS AND MANHOLES. TESTING SHALL BE COMPLETED WITHIN 10 DAYS OF THE DISTRICT'S REQUEST. TESTING SHALL BE COMPLETED WITHIN 10 DAYS OF THE DISTRICT'S REQUEST. AIR PRESSURE TESTING OF PLASTIC PIPES SHALL CONFORM TO ASTM F-1417 AND AIR PRESSURE TESTING OF CONCRETE MANHOLES SHALL CONFORM TO ASTM C-1242.
- b. A DEFLECTION TEST USING A RIGID BALL OR MANDEL HAVING A DIAMETER OF 95% OF THE INSIDE DIAMETER OF THE PIPE. MECHANICAL PULLING DEVICES WILL NOT BE USED.
- c. THE SEWER LINE WILL BE INSPECTED AND LARGED AFTER ALL OTHER TESTS ARE COMPLETE. A GOOD QUALITY COPY OF THE DVD OR VIDEO-TAPE OF THE RELATED RECORDS WILL BE SUBMITTED FOR EVALUATION TO CANADIA LAKE COUNTY SEWER DISTRICT. PRIOR TO TELEVISION THE SEWER LINE SHALL BE FLUSHED AND CLEARED OF DIRT, STONES AND DEBRIS. IF PERMISSION IS GRANTED TO REMOVE THE PLUG AT THE CONNECTING MANHOLE PRIOR TO FLUSHING OPERATION, PROVIDE PROTECTIVE COVERINGS OR OTHER DEVICES TO PREVENT DEBRIS FROM ENTERING THE COUNTY'S SEWER SYSTEM. SECTIONS OF PIPE REPAIRED OR RE-FLUSHED WILL BE RE-TELEVIEWED UNTIL ACCEPTABLE.

29. RECORD DRAWINGS - UPON PROJECT COMPLETION AND DISTRICT APPROVAL, THE DEVELOPER'S ENGINEER WILL SUBMIT RECORD DRAWINGS ON MYLAR AND IN ELECTRONIC FORMAT, TIED TO NAD83 HORIZONTAL AND NAVD 88 VERTICAL DATUM. THE DRAWINGS WILL SHOW ACTUAL FIELD MEASURED LOCATIONS, LENGTHS, ELEVATIONS AND TYPES OF PIPE AND APPURTENANCES. USING VIDEOS AND PHOTOGRAPHS AS WELL AS PROFILES, GASEMENTS AND ANY OTHER RELATED INFORMATION REQUESTED BY THE DISTRICT. MYLAR DRAWINGS WILL BE STAMPED, SIGNED AND SIGNED BY A PROFESSIONAL ENGINEER OR SURVEYOR, AND SHALL BE AT STANDARD ENGINEERING SCALE (1" = 50' MIN), AND ON STANDARD SIZED DRAWINGS NO SMALLER THAN 11" X 17" AND NO LARGER THAN 24" X 36". PROJECT MONUMENTS AND PERMANENT BENCHMARKS SHALL BE SHOWN WITH COORDINATE AND/OR ELEVATION INFORMATION.

30. EASEMENT MAPS - THE DEVELOPER IS RESPONSIBLE FOR PROVIDING EASEMENT MAPS AND DESCRIPTIONS AND SEWER DEDICATION DOCUMENTS. MAPS WILL BE RECORDED WITH DEDICATION DOCUMENTS IN THE ONTARIO COUNTY CLERK'S OFFICE, AND THEREFORE NEED TO BE SUBMITTED ON LEGAL SIZE (8 1/2" X 14") PAPER.

31. MAINTENANCE BOND - PRIOR TO RELEASING THE RETAINAGE FROM THE ORIGINAL LETTER OF CREDIT, A MAINTENANCE BOND FOR A MINIMUM OF 10% OF THE TOTAL SANITARY SEWER-RELATED COST OF THE PROJECT IN FAVOR OF THE CANADIA LAKE COUNTY SEWER DISTRICT WILL BE SUBMITTED TO THE COMMISSIONER. THE BOND WILL EXPIRE 10 YEARS AFTER THE DATE OF THE DISTRICT'S REQUEST FOR THE SEWER, OR THE RELEASE DATE OF THE RETAINAGE FROM THE LETTER OF CREDIT, WHICHEVER OCCURS LAST.

1. PREPARATION - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:

- **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
- **CLEANING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
- **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.

2. RESPONSIBILITY - THE CONTRACTOR IS RESPONSIBLE FOR:

- **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
- **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10) IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33%) FOR ALL REMAINING AREAS.
- **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT" ARE INTERCHANGEABLE.
- **CUTS** - EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF THE MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE **NOT** SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.

3. TESTING - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:

- **95%** UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
- **85%** IN REMAINING AREAS

THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND ACCEPTANCE. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

4. LIFT THICKNESS - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.

5. PROOF ROLLING - THE TOWN OF CANADAGUA HIGHWAY DEPARTMENT SHALL BE NOTIFIED PRIOR TO A PROOF ROLL (I.E. LOADED TIRE WHEELER) OF SUBGRADE AREAS BEING PERFORMED PRIOR TO PLACEMENT OF SUBGRADE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPAVED TO ACHIEVE A PASSING SUBGRADE.

6. EXISTING SOIL CONDITIONS - NO EXISTING SOIL INFORMATION HAS BEEN PROVIDED BY THE OWNER/ DEVELOPER. IT IS ASSUMED THAT SOILS ARE SUITABLE FOR CUTS AND FILLS. FOR PURPOSES OF DESIGN 12" OF TOPSOIL WAS ASSUMED TO BE PRESENT ON AVERAGE THROUGHOUT THE SITE.

7. DOWATERING - THE CONTRACTOR IS RESPONSIBLE FOR ALL DOWATERING PRACTICES INCLUDING DRYING OF MATERIAL TO ACCOMPLISH COMPACTION IN FILL AREAS AND DEMONSTRATING SUITABILITY OF SUBGRADE. CONTRACTOR IS RESPONSIBLE FOR DOWATERING THE EXISTING POND PRIOR TO EXCAVATING TO PROPOSED GRADES SHOWN ON THE PLANS. DOWATERING OUTFLOW SHALL BE PUMPED TO A STONE FILTER EXITING TO THE EXISTING OUTFALL SWALE.

- 1. CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN," "EROSION CONTROL PLAN," "EROSION CONTROL NOTES," ALONG WITH THE "DRAINAGE REPORT," DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- 2. CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- 3. INSPECTION** - EROSION CONTROL, (E/C) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORKER. CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE: MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- 4. NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER 6SP-02-001. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GQ-02-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- 5. PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 6. TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- 7. SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- 8. DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- 9. OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.

- 1. GUARANTEE -** THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- 2. TOPSOIL -** PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- 3. SEED -** LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED; SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- 4. PLANT STOCK -** PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
- 5. PLANT LOCATIONS -** THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
- 6. PLANTING BEDS -** PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

[illegible]


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| APPROVED BY: | |
| TOWN ENGINEER | |
| DATE: | |
| APPROVED BY: | |
| TOWN HIGHWAY & WATER SUPERINTENDENT | |
| DATE: | |
| APPROVED BY: | |
| PLANNING BOARD CHAIRPERSON | |
| DATE: | |



| | | |
|------------------|----------|----------|
| JOB NO: | 1374-22 | |
| SCALE: | N/A | |
| DRAWN: | RJT | |
| DESIGNED: | RJT | |
| DATE: | 11/01/22 | |
| REVISIONS | | |
| DATE | BY | REVISION |
| | | |

IF IT IS VALIDATED BY THE USER FOR THE DESIGNATION, THE TITLE, OR THE LOCATION FOR ANY PERSON, PLEASE BE CLEAR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL UNDER THE USER'S SUPERVISION. TO AVOID ANY VIOLATION, AND THE BEARING OF THE RISK OF A PROFESSIONAL NEGLIGENCE OR LOSS OF SERVICE, IF ANY, IN THIS BEARING, THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A REQUIREMENT. THE ENGINEER OR LAND SURVEYOR SHALL SIGN TO THE TITLE, DATE, AND THE NOTATION "DESIGNED BY" OR "DRAWN BY" THEIR SIGNATURE, AND THE SEAL OF EACH IS VALIDATION, AND A SIGNATURE.

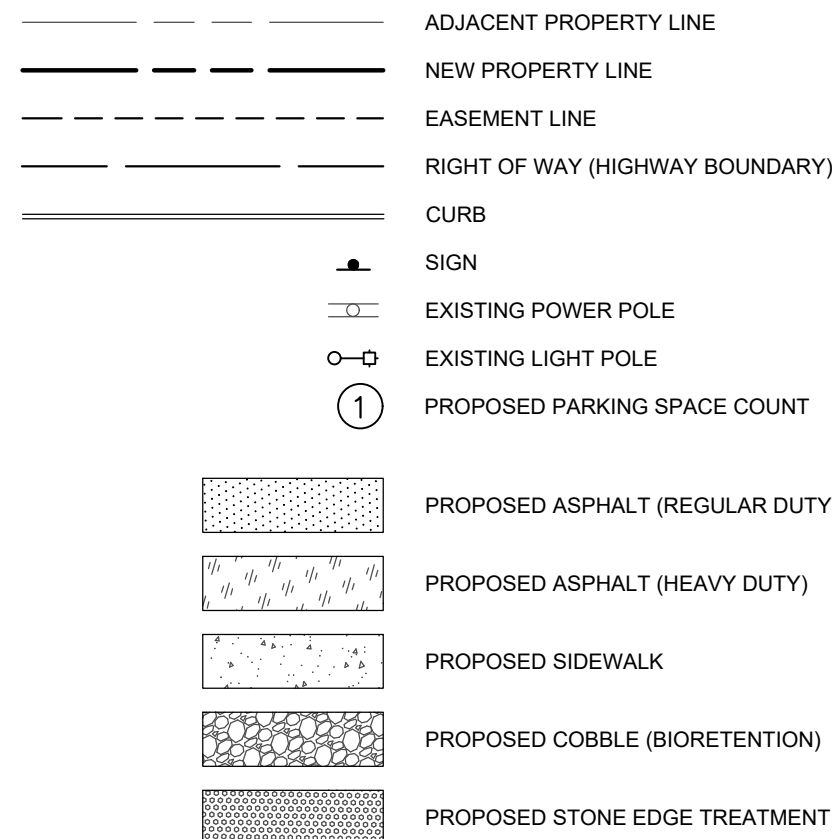
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ROBERT P. BRINGLEY

| | | | | | |
|--|---|----------------------|------|---------|------------------------------------|
| DRAWING TITLE: NOTES, LEGEND & ABBREVIATIONS | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%; padding: 5px;"> 2 of 10 SHEET No: </td> <td style="width: 60%; padding: 5px; font-size: 2em; font-weight: bold; text-align: center;">C0.1</td> </tr> <tr> <td style="padding: 5px;">1374-22</td> <td style="padding: 5px;"> JOB No: _____ DRAWING No: _____ </td> </tr> </table> | 2 of 10 SHEET No: | C0.1 | 1374-22 | JOB No: _____ DRAWING No: _____ |
| 2 of 10 SHEET No: | C0.1 | | | | |
| 1374-22 | JOB No: _____ DRAWING No: _____ | | | | |

LEGEND:



PROJECT INFORMATION:

1. PARCEL DATA:

- 1.1. **OWNER:** BRUNNER PROPERTIES, LLC
1.2. **ADDRESS:** 2640 BRICKYARD ROAD
CANANDAIGUA, NY
1.3. **PARCEL TAX NUMBERS:** 70.00-1-41.100
1.4. **AREA:** 5.000 ACRES TO CENTERLINE, 4.467 ACRES TO R.O.W.

2. ZONING:

- 2.1. **ZONING DISTRICT:** (I) - INDUSTRIAL
- 2.2. **PROPOSED USE:** THE OWNER IS PROPOSING A BUILDING ADDITION TO INCREASE PRODUCTION AREA IN SUPPORT OF BUSINESS GROWTH. THE ADDITION REQUIRES SITE AMENITIES INCLUDING ADDITIONAL TRUCK ACCESS AND VEHICLE PARKING

| 3. ZONING SCHEDULE: | <u>REQUIRED</u> | <u>PROVIDED</u> |
|--|-----------------|--------------------------|
| 3.1. FRONT SETBACK (MIN) | 60 FEET | 60.9 FEET |
| 3.2. BACK SETBACK (MIN) | 80 FEET | 52 FEET ⁽¹⁾ |
| 3.3. SIDE SETBACK (MIN) | 50 FEET | 5 FEET ⁽²⁾ |
| 3.4. LOT AREA (MIN) | 5 ACRES | 5 ACRES |
| 3.5. LOT WIDTH (MIN) | 250 FEET | 698 FEET ± |
| 3.6. PRINCIPAL BLDG HEIGHT (MAX) | 48 FEET | 46.7 FEET ⁽³⁾ |
| 3.7. BUILDING COVERAGE (MAX) | 40 PERCENT | 38 PERCENT |

(1) VARIANCE GRANTED 07/19/22

(2) VARIANCE GRANTED 07/19/22

⁽³⁾ BUILDING ELEV = 837.6' (PEAK), FG ELEV = 790.9' [AVG OF 793.2 (HIGH PT) & 788.6 (LOW PT)]

APPROVED BY:

TOWN ENGINEER

DATE:

APPROVED BY:

TOWN HIGHWAY & WATER SUPERINTENDENT

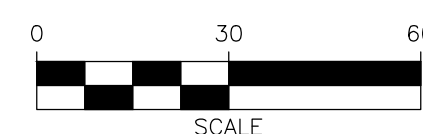
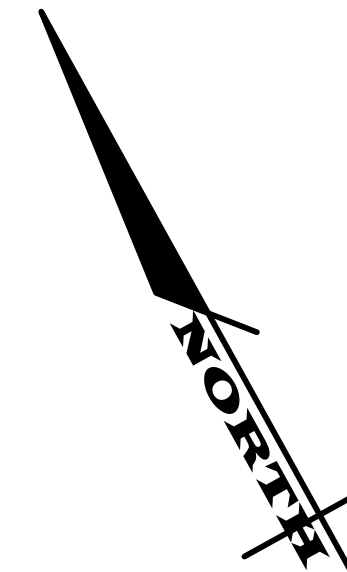
DATE:

APPROVED BY:

100

PLANNING BOARD CHAIRPERSON

DATE: _____



FINAL SITE PLANS for ARTISAN MEATS BUILDING EXPANSION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

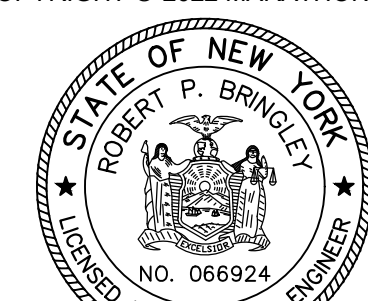
JOB NO: 1374-22
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 11/01/22

REVISIONS

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| DATE | BY | REVISION |
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ROBERT P. BRINGLEY

DRAWING TITLE:

SITE LAYOUT PLAN

3 of 10

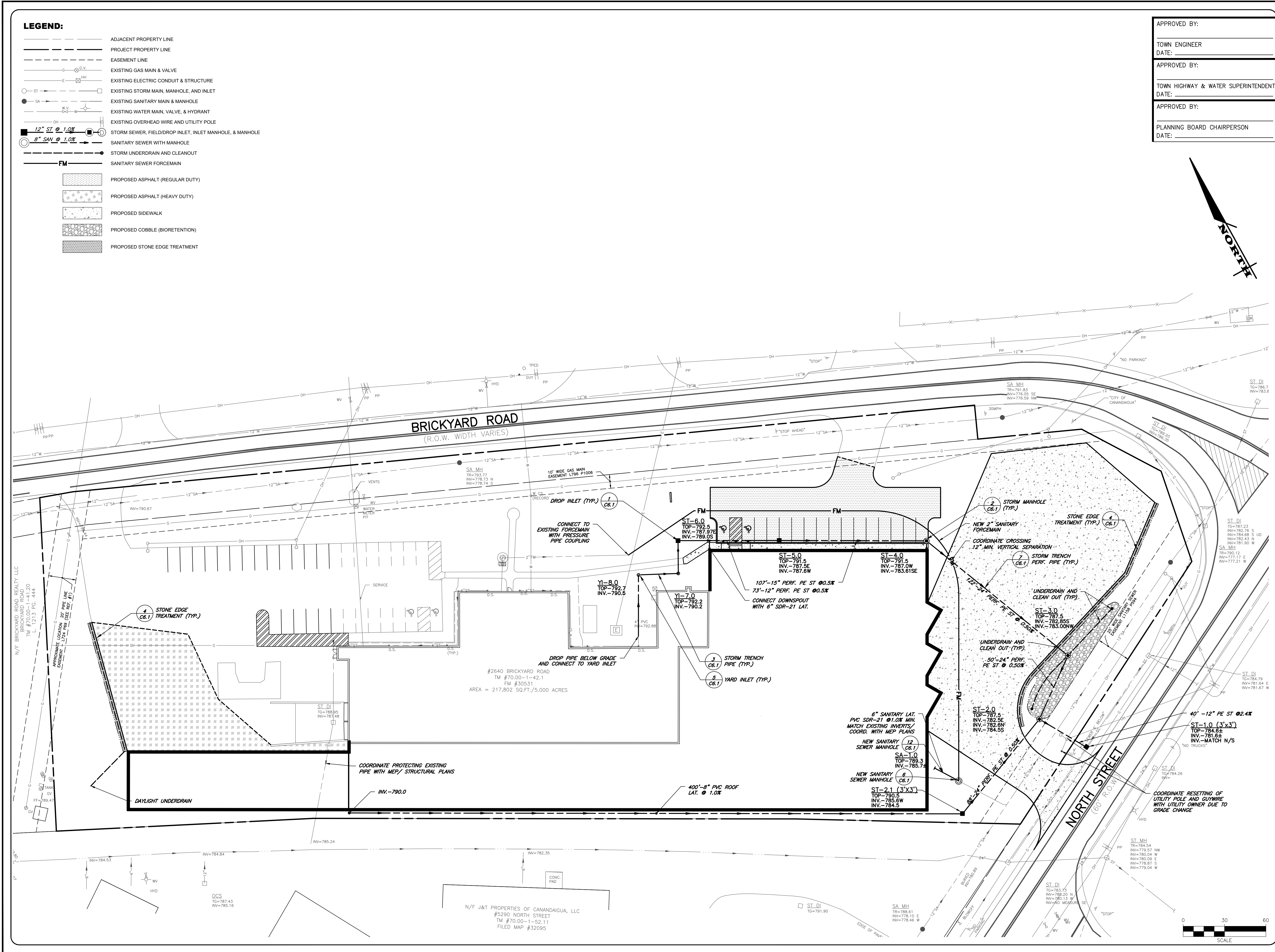
SHEET No:

1374-22

C1.0

DRAWING No:

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| APPROVED BY: | |
| TOWN ENGINEER | |
| DATE: | |
| APPROVED BY: | |
| TOWN HIGHWAY & WATER SUPERINTENDENT | |
| DATE: | |
| APPROVED BY: | |
| PLANNING BOARD CHAIRPERSON | |
| DATE: | |

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607-241-2917
www.marathoneng.com

FINAL SITE PLANS
for
**ARTISAN MEATS BUILDING
EXPANSION**
2640 BRICKYARD ROAD
ONTARIO COUNTY
STATE OF NEW YORK

JOB NO: 1374-22
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 11/01/22

| REVISIONS | | |
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| DATE | BY | REVISION |
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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 142, SECTION 1208 FOR ANY PERSON, UNDER ANY CIRCUMSTANCES, TO REPRESENT HIMSELF AS A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR WITHOUT BEING SO LICENSED. THE SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A FIDUCIARY RESPONSIBILITY. THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A FIDUCIARY RESPONSIBILITY. THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A FIDUCIARY RESPONSIBILITY. THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A FIDUCIARY RESPONSIBILITY.

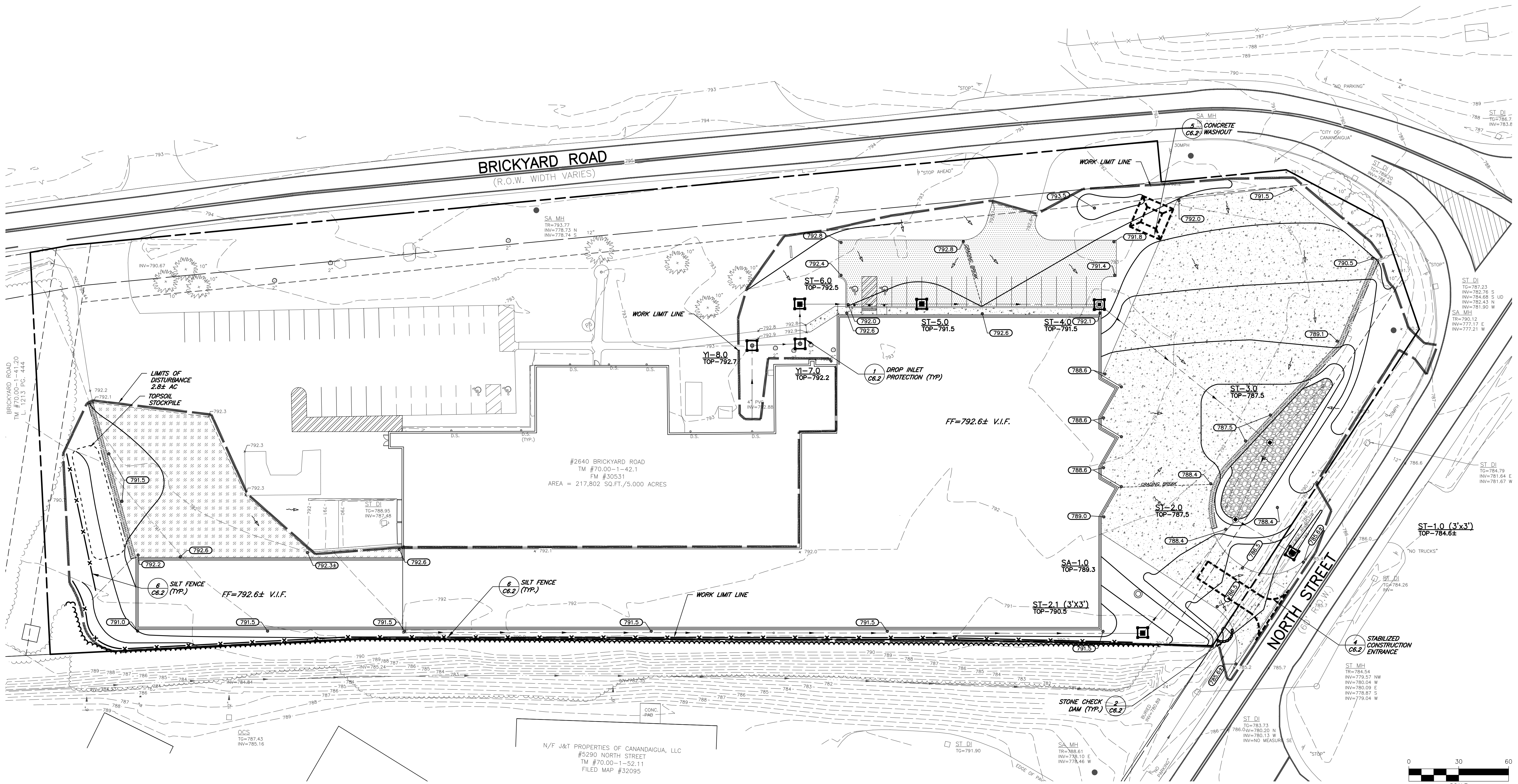
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STATE OF NEW YORK
ROBERT P. BRINGLEY
NO. 066924
LICENSED PROFESSIONAL ENGINEER
ROBERT P. BRINGLEY

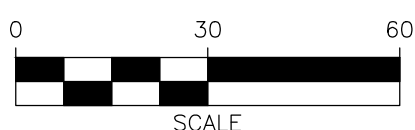
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UTILITY PLAN

4 of 10
SHEET No: **C2.0**

1374-22
JOB No: **C2.0**
DRAWING No:



DATE: _____



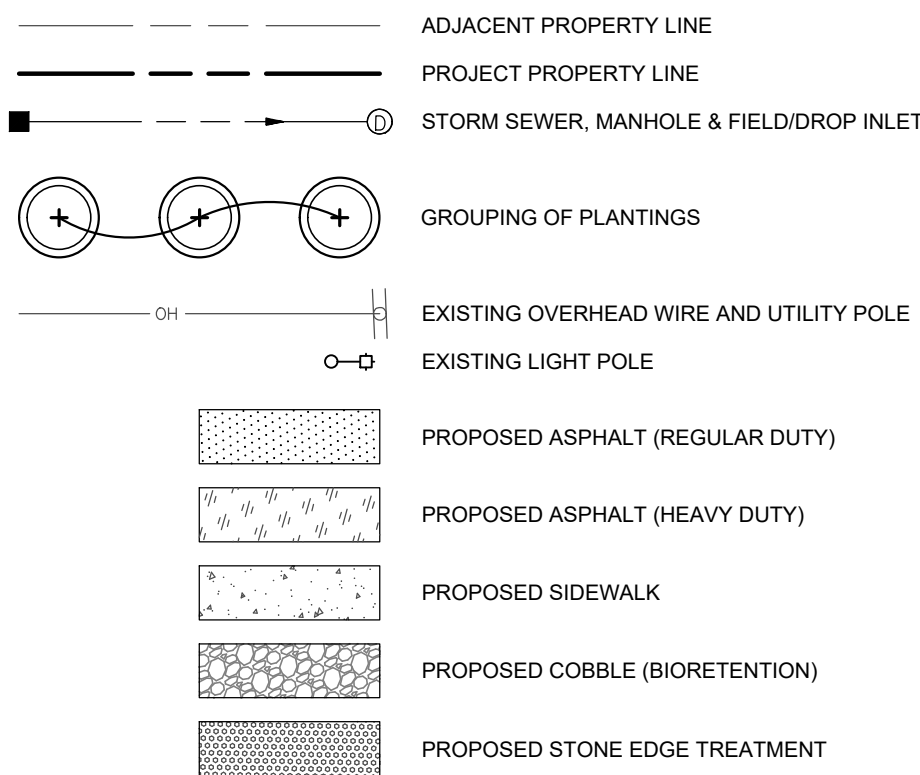
TOWN OF CANANDAIGUA

C3.0

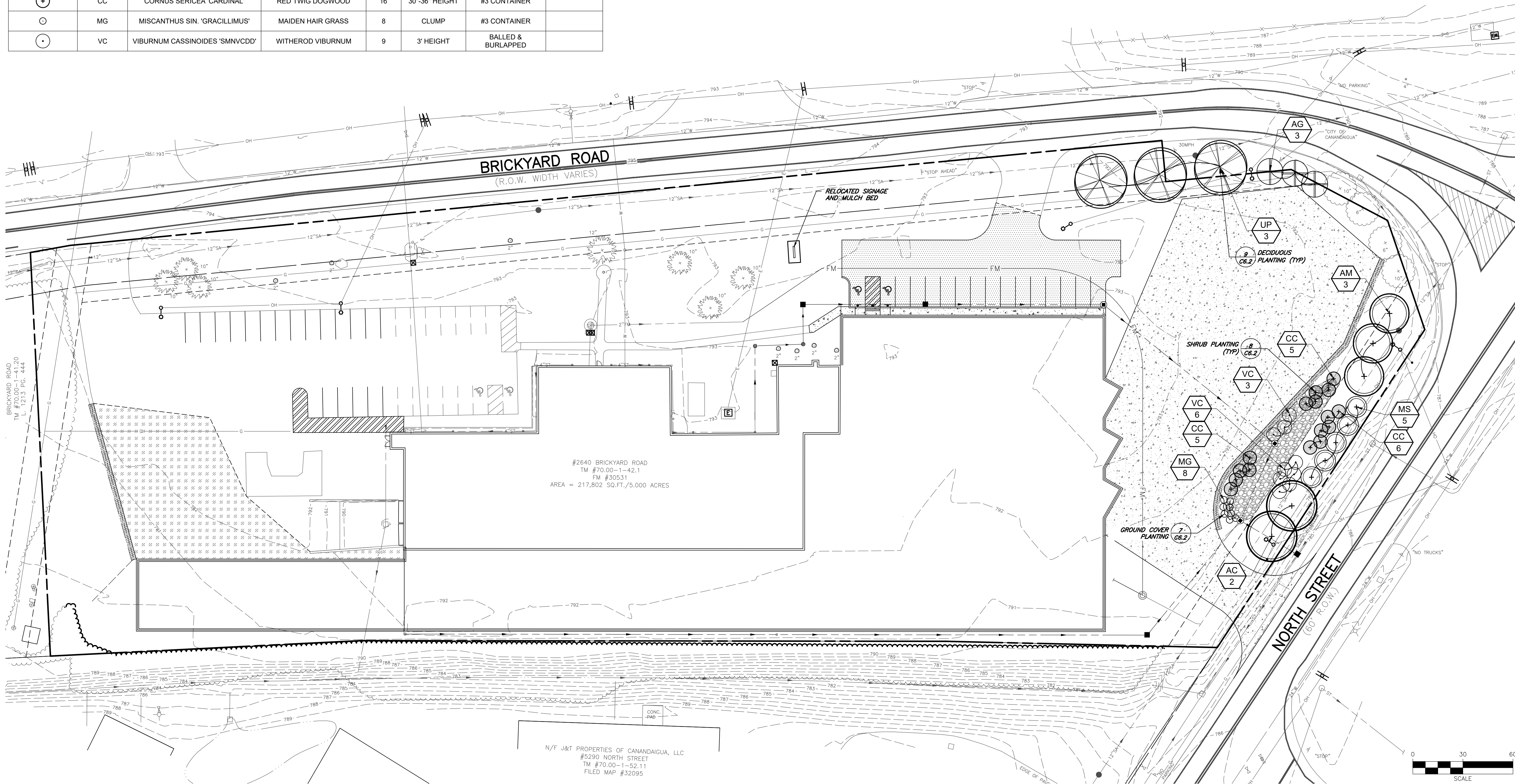
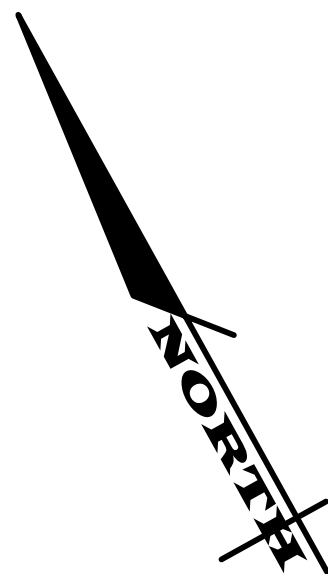
DRAWING No:

| LANDSCAPING SCHEDULE | | | | | | | |
|---|-----|-------------------------------|-----------------------|------|--------------------|--------------------|---------|
| TREE | KEY | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | ROOT | REMARKS |
|  | AC | ACER X. FREE 'CELEBRATION' | CELEBRATION MAPLE | 2 | 2 – 2 1/2" CALIPER | BALLED & BURLAPPED | |
|  | AG | ACER GINNALA | AMUR MAPLE | 3 | 6' HEIGHT | BALLED & BURLAPPED | |
|  | AM | ACER MIYABEI 'STATE STREET' | STATE STREET MAPLE | 3 | 2.5-3" CALIPER | BALLED & BURLAPPED | |
|  | MS | MALUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE | 5 | 1 3/4" CALIPER | BALLED & BURLAPPED | |
|  | UP | ULMUS AMERICANA 'PRINCETON' | PRINCETON ELM | 3 | 2.5-3" CALIPER | BALLED & BURLAPPED | |
| SHRUBS/ GRASSES | KEY | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | ROOT | REMARKS |
|  | CC | CORNUS SERICEA 'CARDINAL' | RED TWIG DOGWOOD | 16 | 30"-36" HEIGHT | #3 CONTAINER | |
|  | MG | MISCANTHUS SIN. 'GRACILLIMUS' | MAIDEN HAIR GRASS | 8 | CLUMP | #3 CONTAINER | |
|  | VC | VIBURNUM CASSINOIDES 'SMNVCD' | WITHEROD VIBURNUM | 9 | 3' HEIGHT | BALLED & BURLAPPED | |

LEGEND:



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| APPROVED BY: | |
| TOWN ENGINEER | |
| DATE: | |
| APPROVED BY: | |
| TOWN HIGHWAY & WATER SUPERINTENDENT | |
| DATE: | |
| APPROVED BY: | |
| PLANNING BOARD CHAIRPERSON | |
| DATE: | |



FINAL SITE PLANS for ARTISAN MEATS BUILDING EXPANSION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 1374-22
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 5/23/22

| REVISIONS | | |
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| DATE | BY | REVISION |

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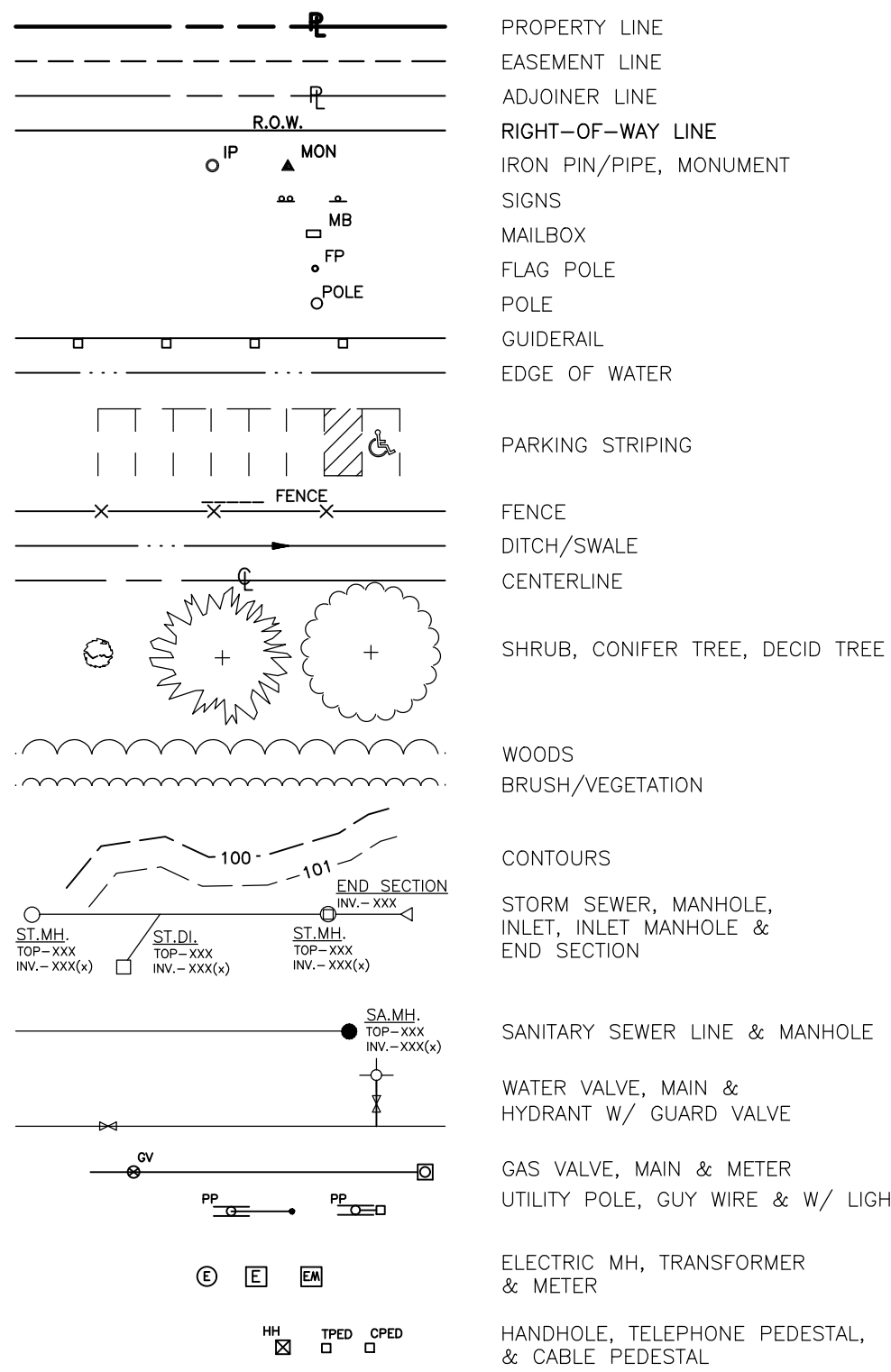


DRAWING TITLE:
LIGHTING &
LANDSCAPE PLAN

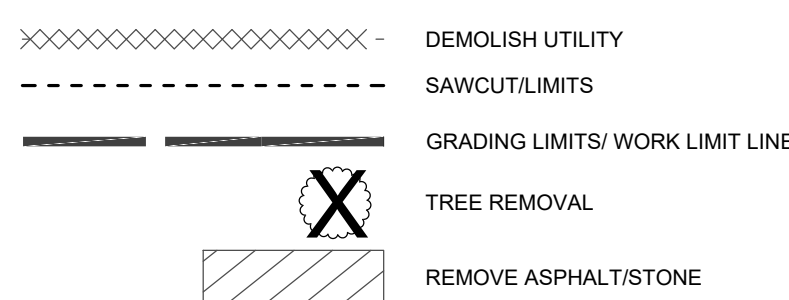
6 of 1
SHEET No:
1374-22
JOB No:

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EXISTING LEGEND:



DEMOLITION LEGEND:



SURVEY NOTES

1. MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
 - SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM TOWN OF CANANDAIGUA ON 12/23/2021
 - WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM TOWN OF CANANDAIGUA ON 12/23/2021
 - STORM SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM TOWN OF CANANDAIGUA ON 12/23/2021
 - UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RGE ON 12/23/2021
 - UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RGE ON 12/23/2021

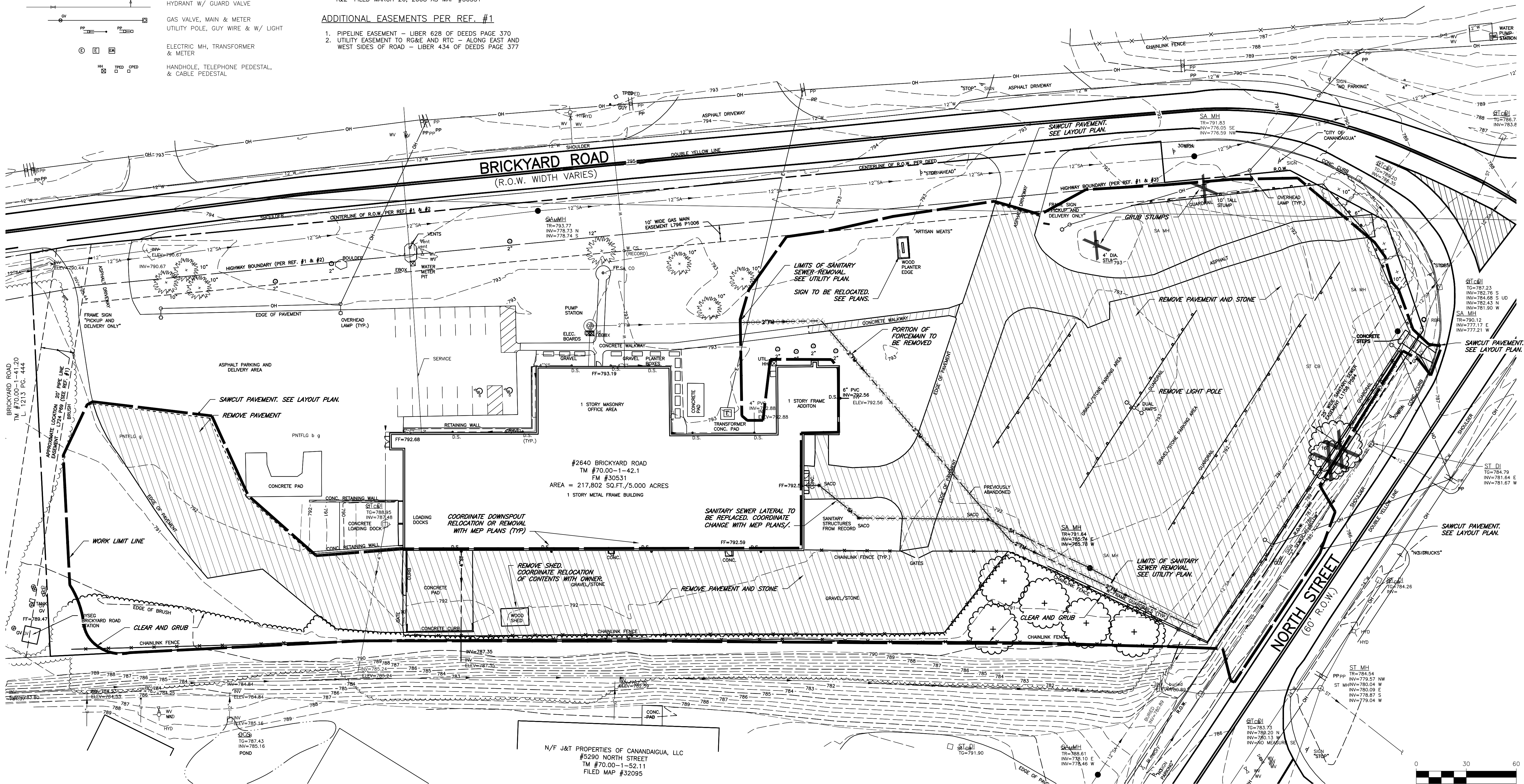
2. STAKEOUT - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7862) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
3. BOUNDARY - BOUNDARY INFORMATION WAS TAKEN FROM THE MAPS AND DOCUMENTS REFERENCED ON THIS SHEET.
4. DATUM - THE VERTICAL DATUM IS NAVD83. THE HORIZONTAL DATUM IS PER REF. #1 & #2
5. FLOODPLAIN - THE PROPERTY IS LOCATED IN "ZONE X" AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL No 3605980015C, DATED 03/03/1997

REFERENCES

1. "INSTRUMENT SURVEY OF 2640 BRICKYARD ROAD" PREPARED BY PASSERO ASSOCIATES LAST DATED 6/14/2021
2. "FINAL PLAT MERIDIAN AUTOMOTIVE SYSTEM SUBDIVISION LOTS 1&2" FILED MARCH 26, 2008 AS MAP #30531

ADDITIONAL EASEMENTS PER REF. #1

1. PIPELINE EASEMENT - LIBER 628 OF DEEDS PAGE 370
2. UTILITY EASEMENT TO ROAD AND RTIC - ALONG EAST AND WEST SIDES OF ROAD - LIBER 434 OF DEEDS PAGE 377



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| APPROVED BY: |
| TOWN ENGINEER |
| DATE: |
| APPROVED BY: |
| TOWN HIGHWAY & WATER SUPERINTENDENT |
| DATE: |
| APPROVED BY: |
| PLANNING BOARD CHAIRPERSON |
| DATE: |

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FINAL SITE PLANS for ARTISAN MEATS BUILDING EXPANSION

STATE OF NEW YORK
TOWN OF CANANDAIGUA
ONTARIO COUNTY

JOB NO: 1374-22
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 11/01/22

REVISIONS

| DATE | BY | REVISION |
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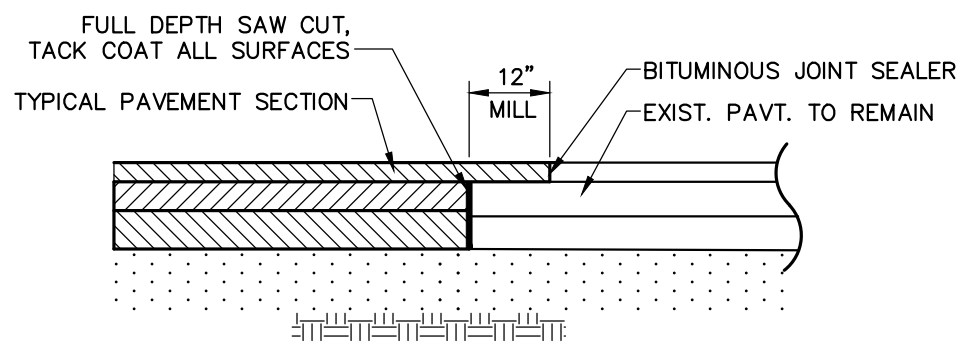
STATE OF NEW YORK
ROBERT P. BRINGLEY
NO. 066924
PROFESSIONAL ENGINEER

ROBERT P. BRINGLEY

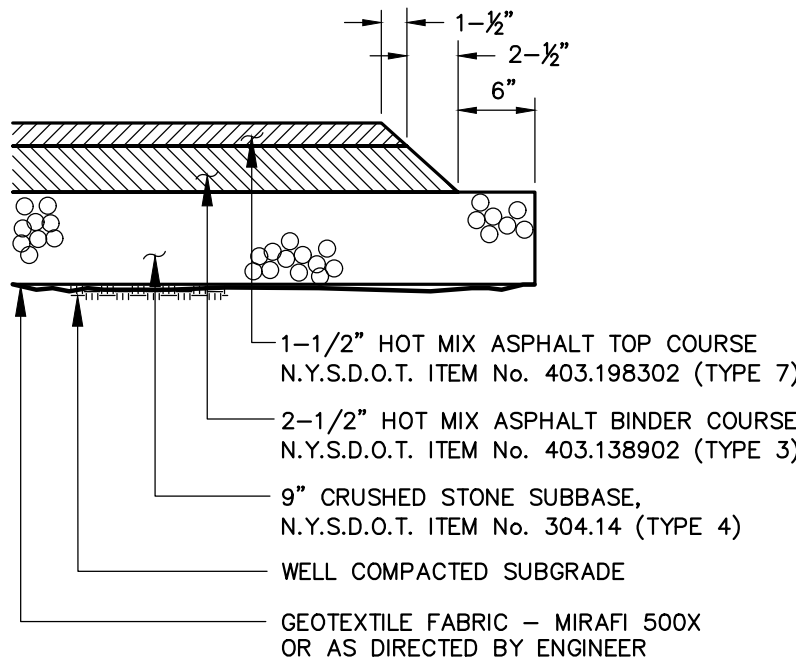
DRAWING TITLE:
EXISTING
CONDITIONS &
DEMOLITION PLAN

7 of 10
SHEET No: C5.0
1374-22
JOB No: DRAWING No:

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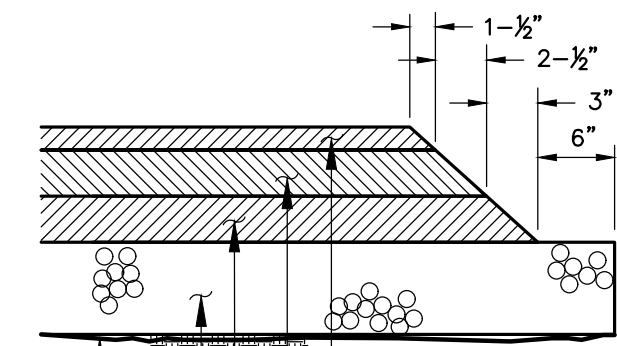


1 PAVEMENT MATCH



2 PAVEMENT SECTION (REGULAR DUTY)

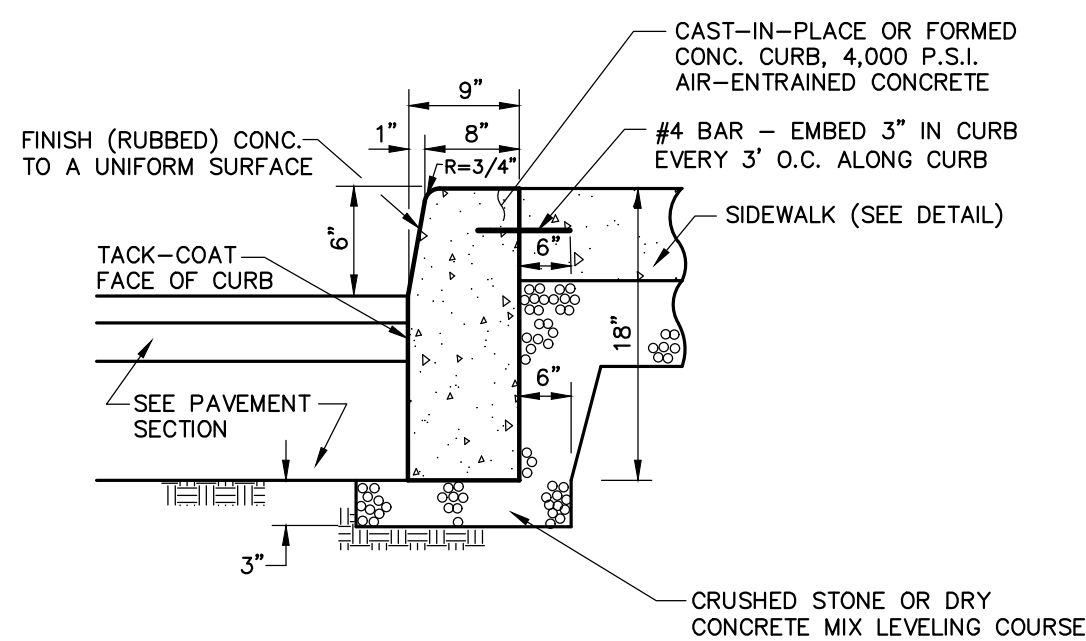
- NOTES:
- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP
 - PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK



- 1-1/2" HOT MIX ASPHALT TOP COURSE
N.Y.S.D.O.T. ITEM No. 403.198302 (TYPE 7)
2-1/2" HOT MIX ASPHALT BINDER COURSE
N.Y.S.D.O.T. ITEM No. 403.138902 (TYPE 3)
3" HOT MIX ASPHALT BASE COURSE
N.Y.S.D.O.T. ITEM No. 403.128902 (TYPE 2)
12" CRUSHED STONE SUBBASE,
N.Y.S.D.O.T. ITEM No. 304.14 (TYPE 4)
WELL COMPACTED SUBGRADE
GEOTEXTILE FABRIC - MIRAFI 500X
OR AS DIRECTED BY ENGINEER

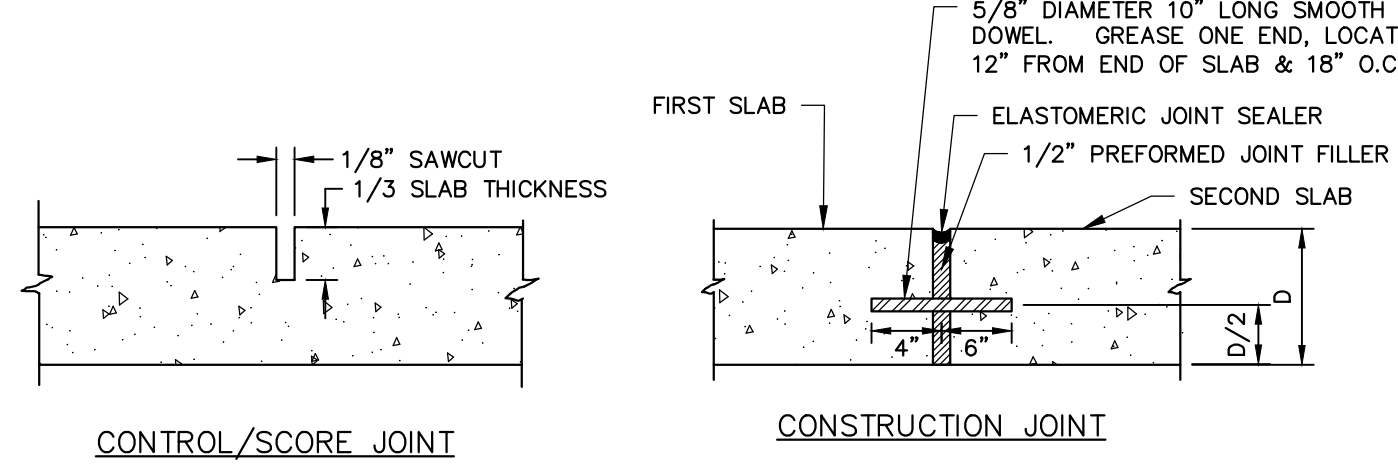
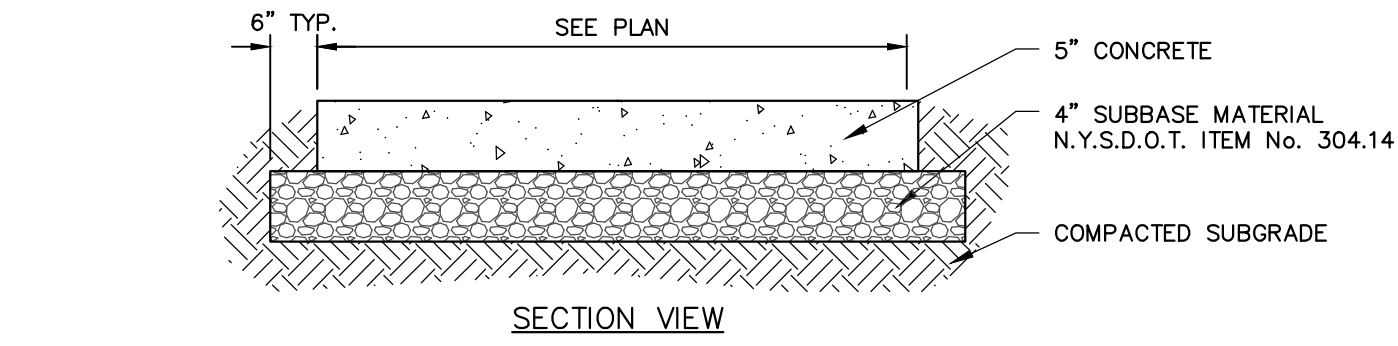
3 PAVEMENT SECTION (HEAVY DUTY)

- NOTES:
- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP
 - PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK



- NOTES:
- PROVIDE 7" REVEAL AT DROP INLETS
 - PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

4 CONCRETE CURB WITH SIDEWALK BEHIND



NOTES:

- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
- CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- SCORE PATTERN - SIDEWALK TO BE SCORED EVERY 5 FEET CREATING 5' X 5' SQUARES (MAY VARY IN CERTAIN AREAS). SCORING SHALL BE COORDINATED WITH OWNERS ONSITE REP PRIOR TO SCORING.
- SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
- 'SNAP-CAP' OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.
- SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.

5 CONCRETE SIDEWALK



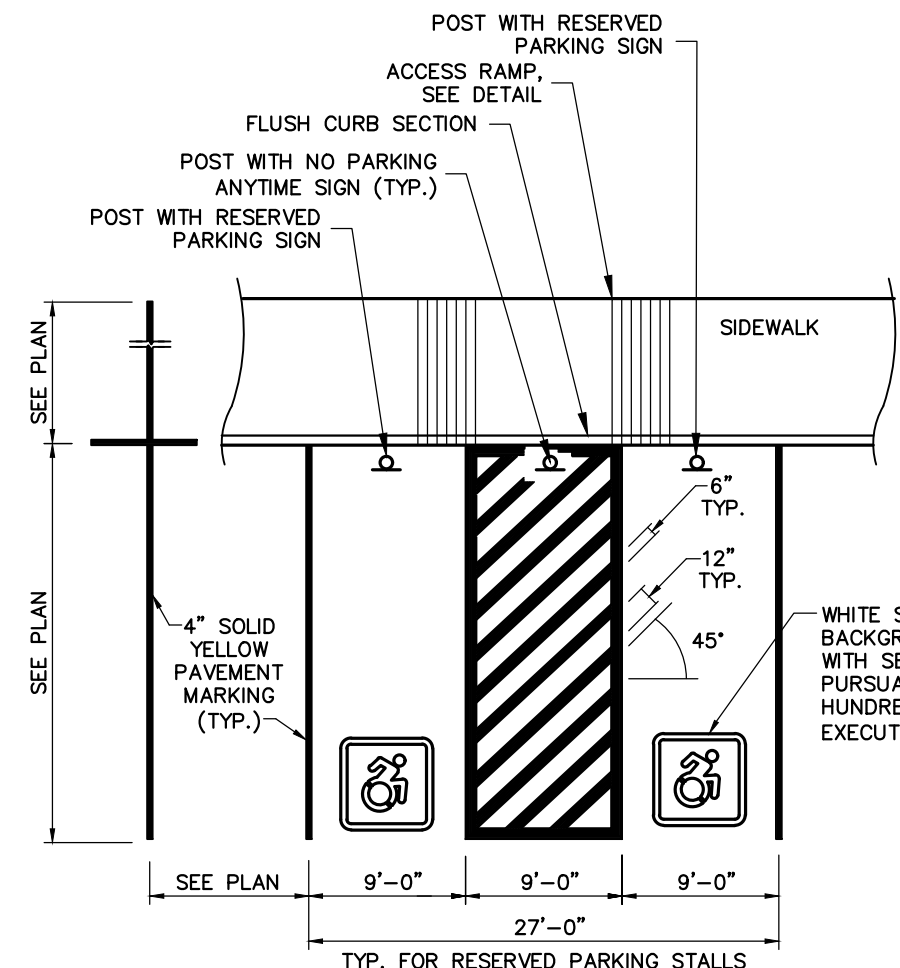
NO PARKING SIGN



RESERVED PARKING SIGN

- 1'-0" x 1'-6" x 0.080 ALUM.
HANDICAPPED PARKING SIGN,
SIGN TO READ "RESERVED PARKING"
WITH IDENTIFICATION SYMBOL.
BOLT TO STEEL TUBE WITH
NUTS & WASHERS
- 1'-0" x 0'-6" x 0.080 ALUM.
HANDICAPPED PARKING SIGN,
SIGN TO READ "VAN ACCESSIBLE"
PLACE AT LOCATIONS SHOWN ON PLAN.
BOLT TO STEEL TUBE WITH
NUTS & WASHERS

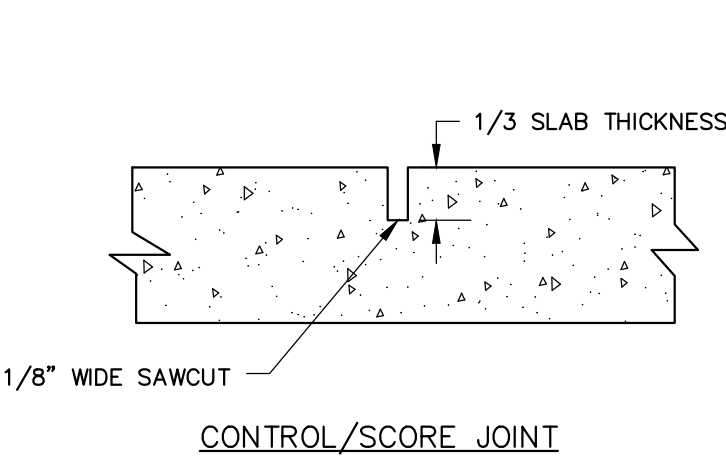
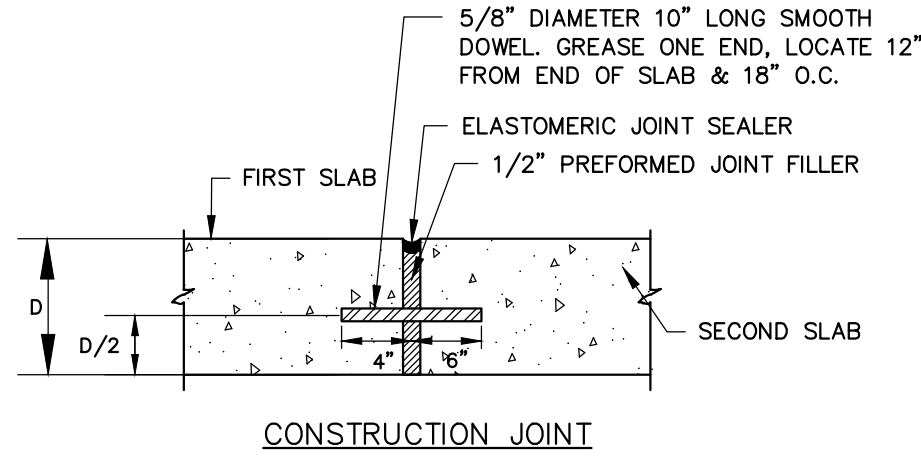
SIGN ASSEMBLIES



PARKING PLAN VIEW

- NOTE:
- ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.

7 RESERVED PARKING AND SIGNAGE

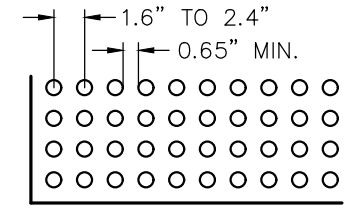


CONTROL/SCORE JOINT

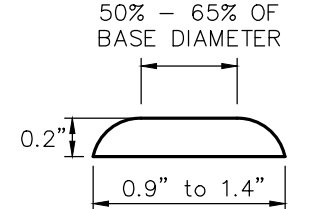
6 CONCRETE PAVEMENT

CONCRETE PAVEMENT NOTES:

- ISOLATION JOINTS TO BE CONSTRUCTED AT BUILDING, CURBING, AND FIXED OBJECTS.
- CONTROL JOINTS TO BE MADE EVERY 12 FEET ON CENTER.
- THE LARGER DIMENSION OF ANY PANEL SHALL NOT EXCEED 125% OF THE SMALLER DIMENSION.
- SAW CUT CONTROL JOINTS TO 1/3 SLAB THICKNESS WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- ALL EXPOSED CONCRETE SURFACES TO RECEIVE A BROOM FINISH.
- ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF MEMBRANE FORMING SEALER.
- CONCRETE SHALL ACHIEVE 4000 PSI COMPRESSIVE MINIMUM STRENGTH AT 28 DAYS.
- CONCRETE SHALL HAVE AN AIR CONTENT OF 6.0 PERCENT \pm 1.5 PERCENT.
- CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES.



DOME SPACING



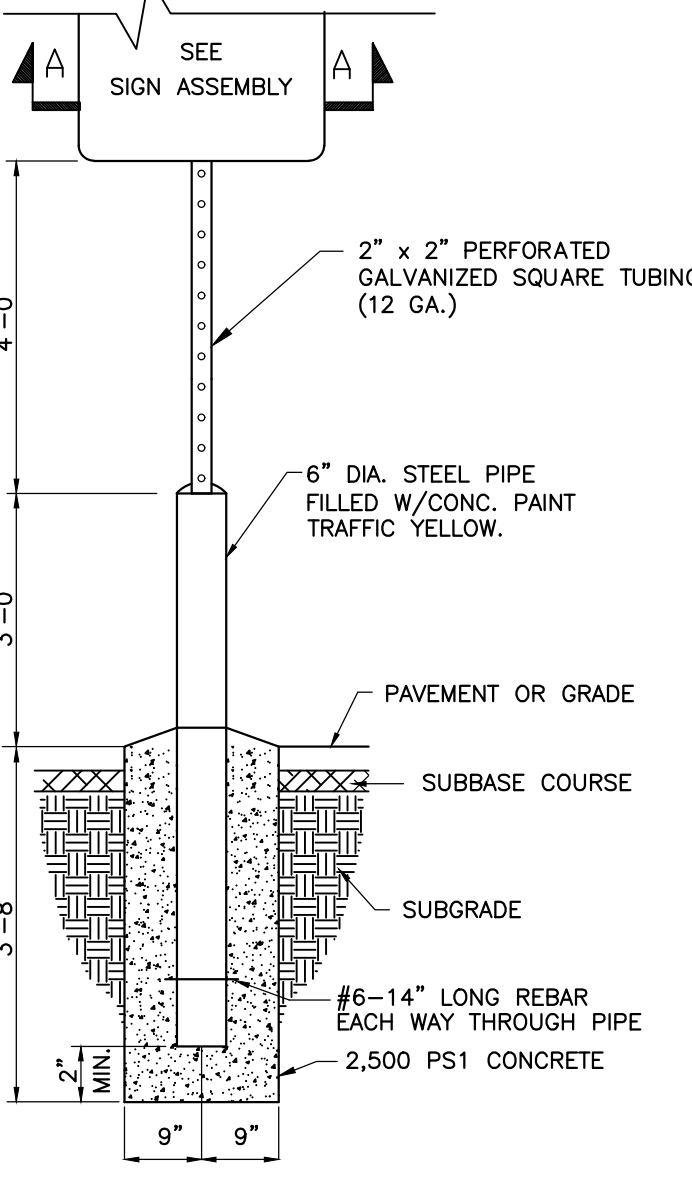
DOME SECTION

DETECTABLE WARNING FIELD

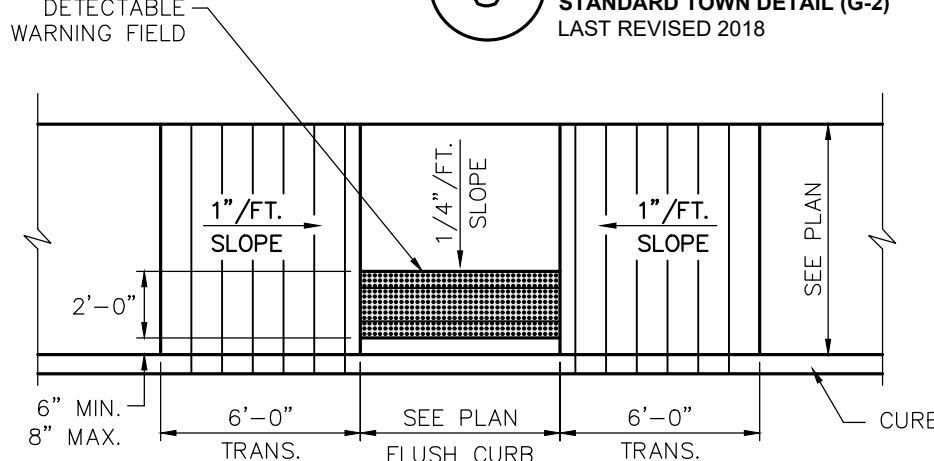
NOTES:

- SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
- REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
- DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
- DETECTABLE WARNING FIELD SHALL BE "DARK GREY" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AOE.
- DETECTABLE WARNING FIELD SHALL BE ADA SOLUTIONS WARNING SURFACE - 'CAST-IN-PLACE TACTILE REPLACEABLE' OR EQUAL.

8 ACCESS RAMP



SIGN POST



9 UTILITY NOTIFICATION

STANDARD TOWN DETAIL (G-2)
LAST REVISED 2018

!! CALL !!

BEFORE YOU DIG, DRILL OR BLAST

1-800-962-7962 or 811

IN ACCORDANCE WITH DSNY (DIG SAFE NEW YORK),
CONTRACTORS MUST NOTIFY ALL UTILITIES IN THE AREA
TWO (2) WORKING DAYS BEFORE EXCAVATION.

IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL
SEWER AND WATER DEPARTMENTS WITHIN THE PROJECT AREA.

MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

FINAL SITE PLANS for ARTISAN MEATS BUILDING EXPANSION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 1374-22
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 11/01/22

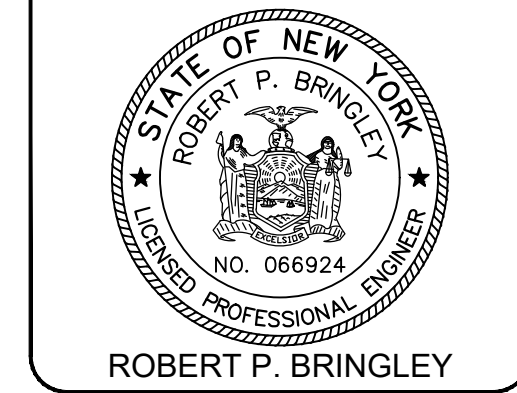
REVISIONS

| DATE | BY | REVISION |
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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 1208 FOR ANY PERSON, UNLESS SPECIFICALLY UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO PREPARE OR PREPARE TO PREPARE ANY ENGINEERING OR SURVEYING DRAWING OR MAP FOR WHICH THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS REQUIRED. THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS REQUIRED IF THE ENGINEER OR SURVEYOR HAS PREPARED OR PREPARED TO PREPARE THE DRAWING OR MAP AND HAS NOT BEEN EXEMPTED BY THEIR SIGNATURE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE VIOLATION.

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DRAWING TITLE:
CONSTRUCTION
DETAILS

8 of 10
SHEET No: C6.0
1374-22
JOB No: DRAWING No:

