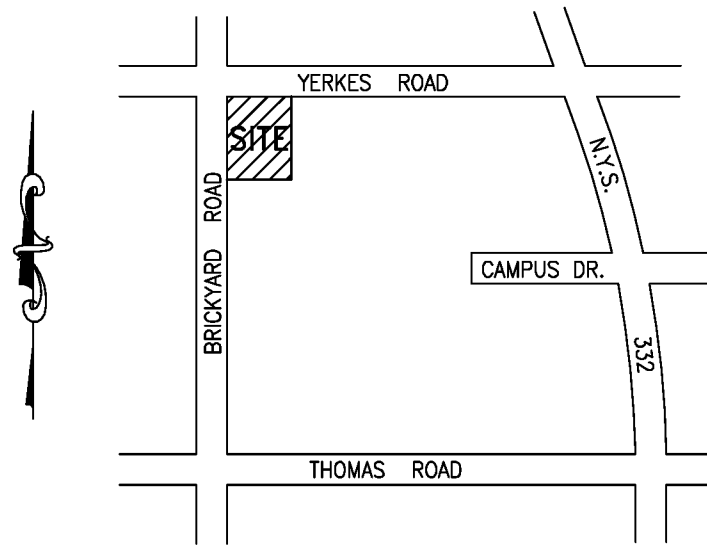


SITE ENGINEERING DRAWINGS  
FOR  
CENTERPOINTE APARTMENTS  
PHASE 3  
  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY, NEW YORK  
  
MAY 2016

LEGEND

<b>EXISTING</b>	
	TREE/BRUSH LINES
	SPOT ELEVATION
	R.O.W./STREETLINE
	PROPERTY LINE
	CONTOUR LINE
	HOUSE/BUILDING
	POWER POLE
	WATER LINE
	HYDRANT
	WATER VALVE
	CATCH BASIN
	STORM SEWER MANHOLE
	CENTERLINE OF ROAD
<b>PROPOSED</b>	
	CONTOUR LINE
	CATCH BASIN
	SANITARY MANHOLE
	STORM MANHOLE
	STAKED STRAW BALE OR FABRIC FENCE
	PROPERTY LINE
	HYDRANT
	WATER VALVE
	CURB BOX
	CENTERLINE OF ROAD
	CLEANOUT
	SPOT ELEVATION



LOCATION MAP

PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE
CANANDAIGUA FARMINGTON WATER DISTRICT	DATE
CANANDAIGUA HIGHWAY SUPERINTENDENT	DATE

DRAWING INDEX

1.	COVER SHEET
2.	SITE PLAN
3.	EROSION CONTROL PLAN
4.	UTILITY REMOVAL PLAN
5.	UTILITY PLAN
6.	GRADING PLAN
7.	LANDSCAPE PLAN
8.	LIGHTING PLAN
9.	DETAILS
10.	DETAILS
11.	DETAILS
12.	DETAILS

T.A. # 56.00-01-35.111  
N/F BEVERLY T. PRITCHARD

T.A. # 56.00-01-35.2  
N/F GARY T. PRITCHARD

T.A. # 56.00-01-35.111  
N/F BEVERLY T. PRITCHARD

## YERKES (66'R.O.W.) ROAD

### SITE DATA:

TAX ACCT # 56.00-01-55.22  
OWNER: KEWA PARK STRONG HALL, LLC  
E THE COUNTRY CLUB  
130 LINEN OAKS  
ROCHESTER, NY 14625  
APPLICANT: MORGAN MANAGEMENT  
1170 PITTSFORD-VICTOR RD., STE. 100  
PITTSFORD, NY 14534  
EXISTING AREA LOT R1-F (55.22) = 11.334 ACRES

PARCEL ZONING = PLD

SCALE: THE MAXIMUM SCALE OR DENSITY OF THE RESPECTIVE USES SHALL BE:

1. COMMERCIAL, OFFICE AND HOTEL SPACE: 485,000 SQ. FT. NET LEASABLE SPACE
2. OFFICE, LIGHT INDUSTRIAL/RESEARCH AND DEVELOPMENT - 750,000 SQ. FT. NET LEASABLE SPACE
3. APARTMENTS AND TOWNHOUSE UNITS = 571. NEITHER UNIT SHALL COMPREHEND MORE THAN 60% OF THE 571 UNITS.

APARTMENTS MAX. DENSITY = 15 UNITS PER ACRE

TOWNHOUSES MAX. DENSITY = 10 UNITS PER ACRE

#### SETBACKS:

1. MINIMUM SETBACK FROM ROUTE 332 = 100 FEET
2. MINIMUM SETBACK FROM INTERNAL ROAD = 50 FEET. 20 FOOT STRIP SHALL BE LANDSCAPED. REMAINING 30 FEET MAY BE UTILIZED FOR PARKING WHERE THE HEIGHT OF THE STRUCTURE IS 35 FEET OR LESS. THE PLANNING BOARD MAY REQUIRE MORE THAN A 20 FOOT LANDSCAPED AREA FOR STRUCTURES GREATER THAN 35 FEET IN HEIGHT.
3. FROM THE RIGHT-OF-WAY LINE OF THOMAS ROAD, BRICKYARD ROAD, OR YERKES ROAD: 100 FEET FOR ANY COMMERCIAL, OFFICE, LIGHT INDUSTRIAL/RESEARCH DEVELOPMENT, HOTEL OR SIMILAR USE. 60 FEET FOR ANY APARTMENT USE. 40 FEET FOR ANY TOWNHOUSE USE.
4. NO APARTMENT BUILDING SHALL BE CLOSER THAN 60 FEET FROM ANY BOUNDARY LINE OF THE DESIGNATED APARTMENT AREA OR ZONE.
5. THE MINIMUM WIDTH OF ANY SIDE YARD ADJACENT TO A STREET, DRIVEWAY OR PARKING AREA WITHIN A TOWNHOUSE ZONE SHALL BE 40 FEET.

HEIGHT RESTRICTIONS: MAXIMUM BUILDING HEIGHT ABOVE FINISHED GRADE SHALL NOT EXCEED:

1. 35 FEET FOR TOWNHOUSES, OR OTHER STRUCTURES FRONTING ON THOMAS ROAD OR BRICKYARD ROAD, EXCEPT FOR A POSSIBLE APARTMENT USE (MAXIMUM 45 FOOT HEIGHT) LOCATED ON LAND AT INTERSECTION OF BRICKYARD AND YERKES ROADS.
2. 60 FEET FOR HOTEL.
3. ALL OTHER USES ADJACENT TO ROUTE 332 AND YERKES ROAD SHALL NOT EXCEED A HEIGHT OF 35 FEET ABOVE THE ELEVATION OF THE CENTERLINE OF THE ROAD OR ROADS AT A POINT OPPOSITE THE MIDPOINT OF THE WIDTH OF THE PROPOSED STRUCTURE OR BUILDING.
4. 80 FEET FOR ALL OFFICE/INDUSTRIAL STRUCTURES ADJACENT TO THE WETLANDS PORTIONS OF THE SITE.
5. 45 FEET FOR ALL OTHER OFFICE/INDUSTRIAL STRUCTURES.
6. 45 FEET FOR ALL APARTMENT STRUCTURES.

PARKING: SUBJECT TO PLANNING BOARD REQUIREMENTS, MINIMUM STANDARDS ARE:

1. TWO SPACES PER RESIDENTIAL UNIT (TOWNHOUSE OR APARTMENT)
2. ONE SPACE PER 1000 SQ. FT. OF NET LEASABLE BUILDING AREA FOR NON-RESIDENTIAL USES.

APARTMENT UNITS = 115

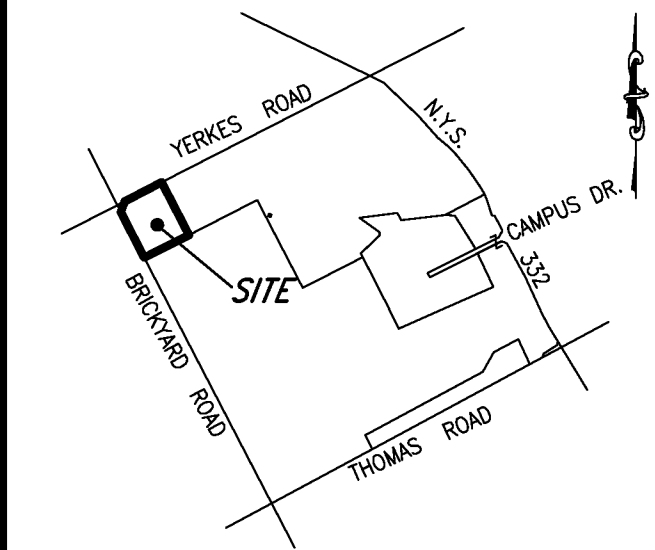
REQUIRED PARKING = 230 SPACES

PARKING PROVIDED = 240 SPACES (INCLUDES GARAGES)

COMMUNITY CENTER = 3,200 S.F.

PARKING REQUIRED = 4 SPACES

PARKING PROVIDED = 5 SPACES (1 HANDICAP)



### LOCATION SKETCH N.T.S.

DATE	REVISIONS	BY:
11/20/13	REVISED BUILDINGS	GWM

11/20/13 REVISED BUILDINGS GWM

DATE REVISIONS BY:



### DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING. IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDING "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



### Engineers & Surveyors

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
www.McMahon-LaRue.com

#### CLIENT:

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD.  
SUITE 100  
PITTSFORD, NY 14534

#### PROJECT:

CENTERPOINTE APARTMENTS  
PHASE 3

#### DRAWING:

### FINAL SITE PLAN

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

DESIGNED BY: AIL

DRAWN BY: AIL

CHECKED BY: GWM

S.B.L. # 56.00-01-55.21 AND 55.22

PROJ. NO: 1279-00

DATE: MAY 2016

SCALE: 1"=50'

2 SHEET OF 12 CADD FILE SITE

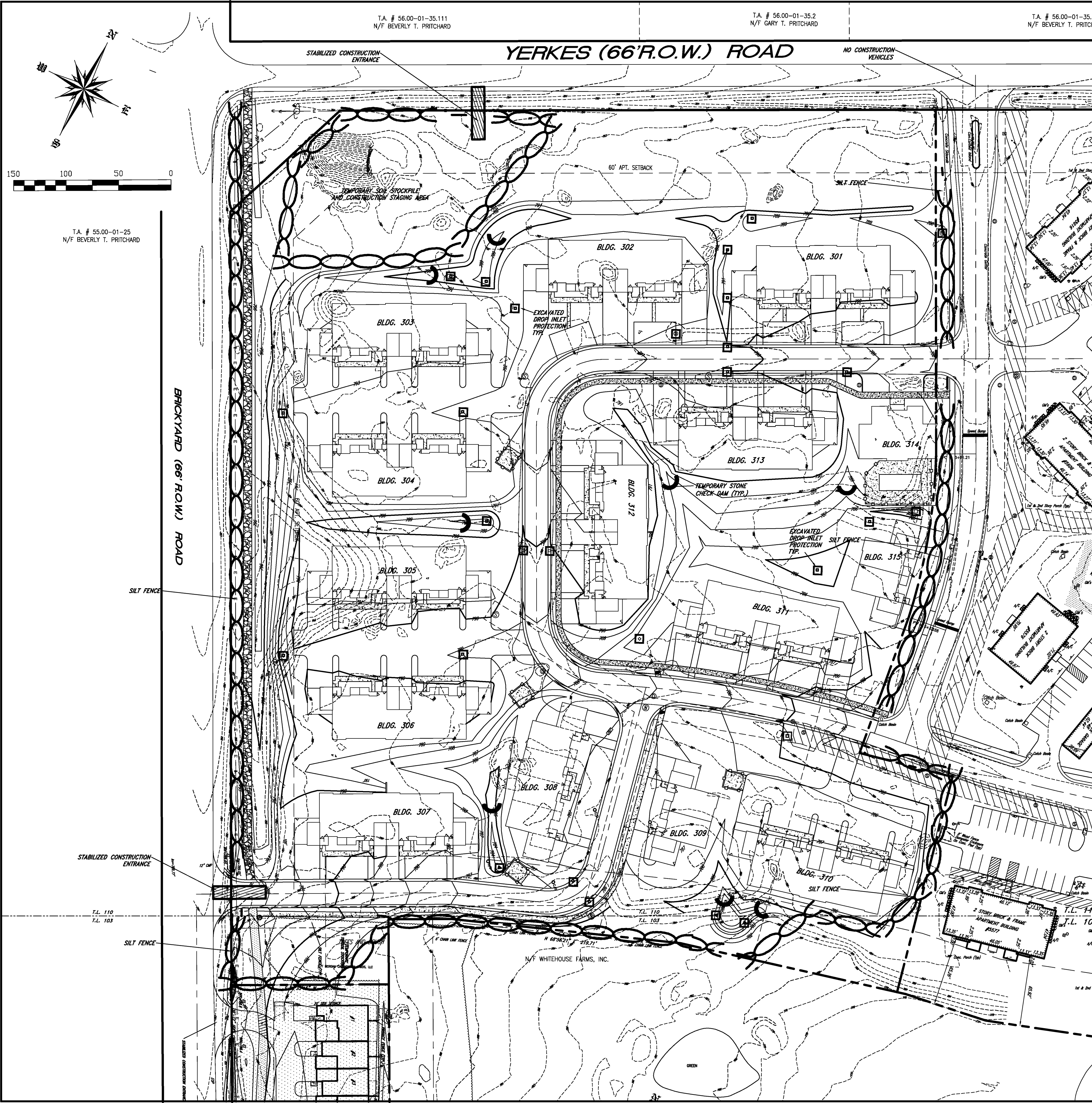
PLANNING BOARD CHAIRMAN DATE

TOWN ENGINEER DATE

CANANDAIGUA FARMINGTON WATER DISTRICT DATE

CANANDAIGUA HIGHWAY SUPERINTENDENT DATE






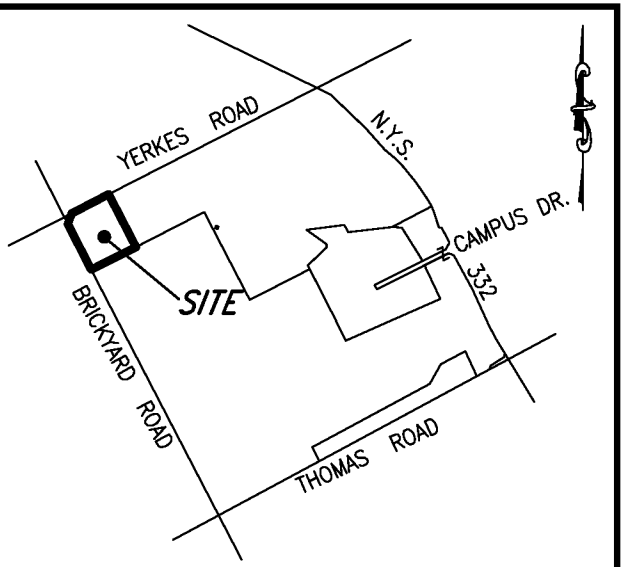
**ACCESS NOTE**

ALL VEHICLES WILL ACCESS THE SITE VIA YERKES ROAD AND BRICKYARD ROAD CONSTRUCTION ENTRANCES. THERE WILL BE NO CONSTRUCTION TRAFFIC PERMITTED IN THE EXISTING APARTMENT COMPLEX.

 **SILT TRAP**

 **SILT FENCE**

 **CHECK DAM**



**LOCATION SKETCH  
N.T.S.**

DATE: REVISIONS: BY:



**DRAWING ALTERATION**

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING:  
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDING 'ALTERED BY' FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

**McMahon LaRue  
Associates, P. C.**

**Engineers & Surveyors**

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
www.McMahon-LaRue.com

**CLIENT:**

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD.  
SUITE 100  
PITTSFORD, NY 14534

**PROJECT:**

**CENTERPOINTE APARTMENTS  
PHASE 3**

**DRAWING:**

**FINAL  
EROSION CONTROL PLAN**

**PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK**

**DESIGNED BY:** AIL  
**DRAWN BY:** AIL  
**CHECKED BY:** GWM  
**S.B.L. #:** 56.00-01-55.21 AND 55.22  
**PROJ. NO.:** 1279-00  
**DATE:** MAY 2016  
**SCALE:** 1"=50'

**3 SHEET OF 12**  
**CADD FILE:  
EROSION**



T.A. # 55.00-01-25  
N/F BEVERLY T. PRITCHARD

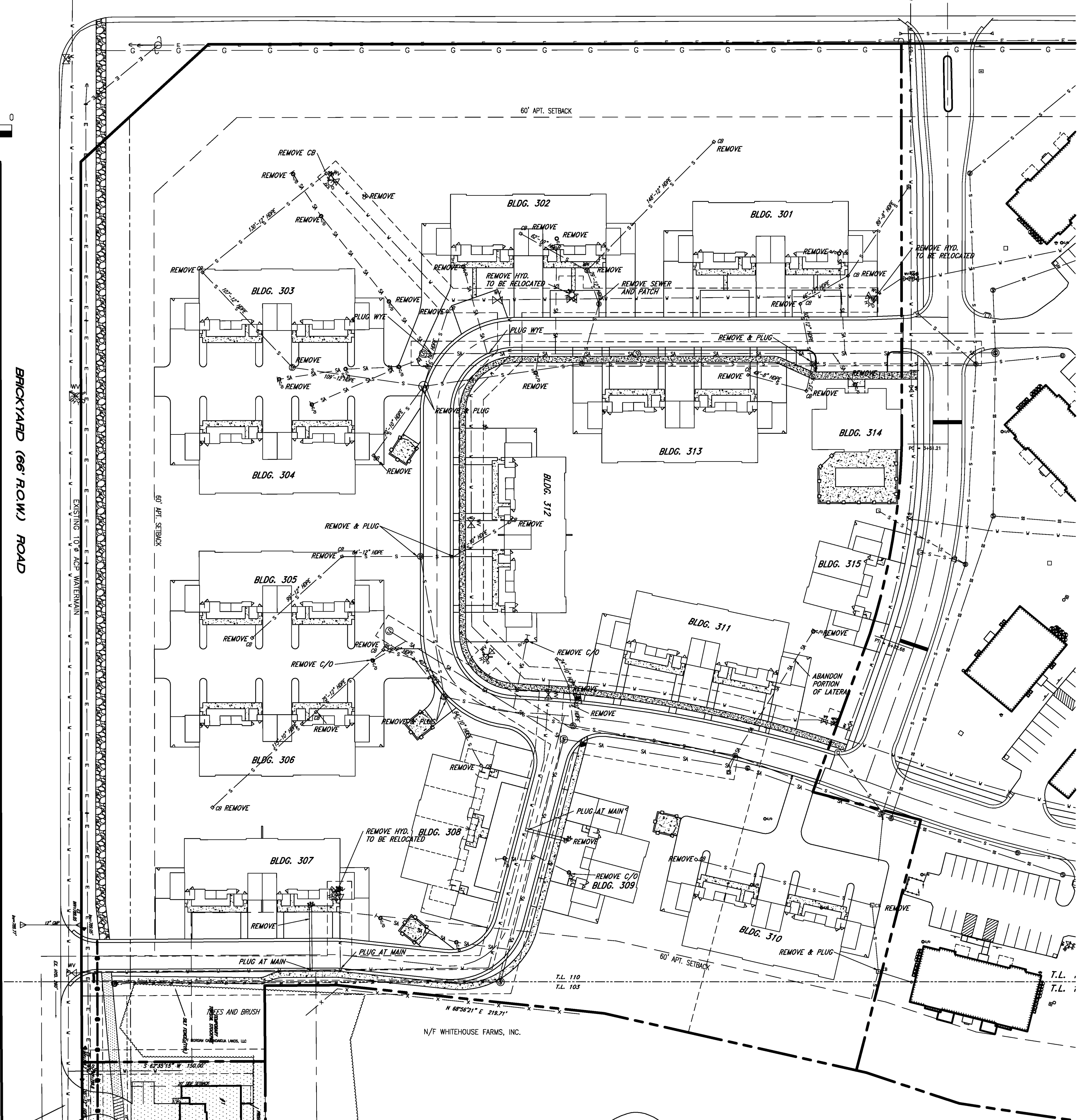
T.A. # 56.00-01-35.111  
N/F BEVERLY T. PRITCHARD

T.A. # 56.00-01-35.2  
N/F GARY T. PRITCHARD

T.A. # 56.00-01-3  
N/F BEVERLY T. PRI

**YERKES (66' R.O.W.) ROAD**

BRICKYARD (66' P.O.W.) ROAD



**UTILITY ABANDONMENT:**

## WATER

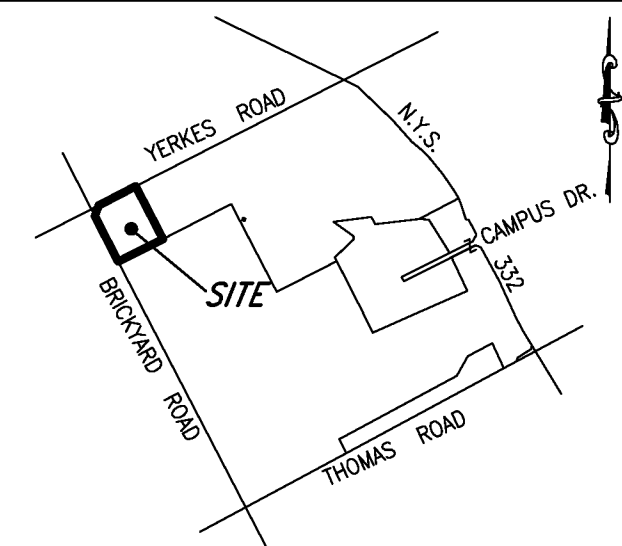
1. DESIGNATED HYDRANTS ARE TO BE REMOVED AND STORED FOR RE-INSTALLATION. VALVES ARE TO BE CLOSED AND THE VALVE BOXES REMOVED.
2. SERVICES ARE TO BE ABANDONED AT THE MAIN. CORPORATIONS TO BE SHUT OFF AND THE SERVICE DISCONNECTED. CURB STOPS AND BOXES ARE TO BE REMOVED. NOT ALL SERVICES ARE SHOWN OR HAVE BEEN LOCATED.

SANITARY

1. LATERALS TO BE ABANDONED AT THE MAIN BY INSTALLING AN APPROVED CAP ON THE WYE. ALL CLEANOUTS ON THE ABANDONED LATERAL ARE TO BE REMOVED.

STORM

1. ALL CATCH BASINS TO BE ABANDONED ARE TO BE REMOVED AND STORED FOR REUSE.
2. LATERALS TO BE ABANDONED ARE TO BE PLUGGED AT THE MAIN AND ALL CLEANOUTS REMOVED.
3. ABANDONED STORM SEWER MAY BE REMOVED AND REUSED IF CONDITIONS PERMIT.
4. ALL ABANDONED STORM SEWER CONNECTIONS AT MANHOLES ARE TO BE REMOVED AND THE MANHOLE BARRELS REPAIRED.



LOCATION SKETCH  
N.T.S

[illegible]

DATE	REVISIONS	BY:
------	-----------	-----



### DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING

\* IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE SEAL AND THE NOTATION "ALTERED" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



## Engineers & Surveyors

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
[www.McMahon-LaRue.com](http://www.McMahon-LaRue.com)

**CLIENT:**

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD.  
SUITE 100  
PITTSFORD, NY 14534

## PROJECT:

## CENTERPOINTE APARTMENTS

### PHASE 3

**DRAWING:**

# FINAL UTILITY DEMO PLAN

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

DESIGNED BY: AIL

DRAWN BY: AIL

**CHECKED BY:** GWI

**SBL** 56.00-01-55.21 AND 55.22

PROJ. NO: 1279-00

DATE: MAY 2016

**SCALE:** 1"=50'

CADD FILE

DEMO



Underground Facilities Protective Organization  
Utility Coordinating Committee



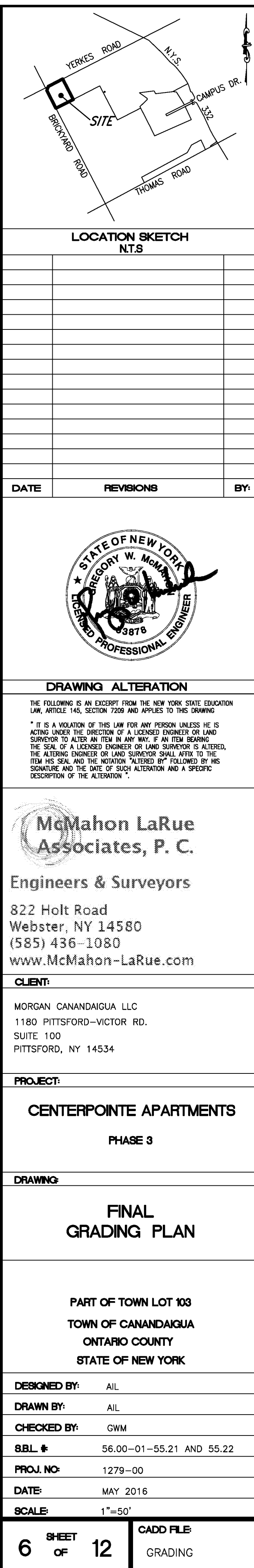
**SAVE BIG, CALL  
BEFORE YOU DIG.**

811

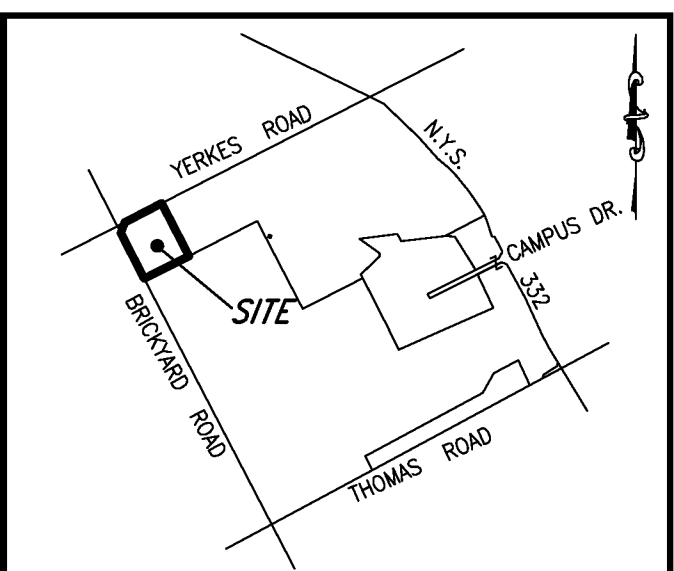










[illegible]

A circular professional engineer seal for the State of New York. The outer ring contains the text "STATE OF NEW YORK" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by a star on the left. The inner circle features the text "GREGORY W. McManus" at the top and "3878" at the bottom. In the center is the State of New York coat of arms, which depicts a figure holding a bow and arrow, with a rising sun in the background. A handwritten signature, "Gregory W. McManus", is written across the seal in black ink.

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING

\* IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL APPLY TO THE ITEM A NEW SEAL AND NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION \*.

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
[www.McMahon-LaRue.com](http://www.McMahon-LaRue.com)

<b>PROJECT:</b>
<b>CENTERPOINT APARTMENTS</b>
<b>PHASE 3</b>

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

7	SHEET OF	12	CADD FILE: LANDSCAPE
---	-------------	----	-------------------------

PLANT LIST FOR SHRUBS NEAR BUILDINGS						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
HE	<i>Ilex verticillata</i> 'Henny's Gem'	Henny's Gem Red Virginia Sweetgale	24		No. 3 Cont.	
JCS	<i>Juniperus chinensis</i> 'Spartanum'	Spartanum Juniper	12	3'-4'	B&B	
JS	<i>Juniperus scopulorum</i> 'Strycket'	Strycket Juniper	12	3'-4'	B&B	
KK	Rose "Knockout"	Knockout Rose	12		No. 3 Cont.	assorted colors
KL	<i>Kalmia latifolia</i>	Mountain Laurel	10		No. 2 Cont.	
HG	<i>Hydrangea quercifolia</i>	Oakedleaf Hydrangea	12		No. 3 Cont.	
BMW	<i>Buxus microphylla</i> 'Winter Beauty'	Winter Beauty Boxwood	24		No. 3 Cont.	
RM	<i>Rhododendron catawbiense</i>	Rhododendron "Roseum Pink"	10		No. 3 Cont.	
MA	<i>Mahonia aquifolium</i>	Oregon Grape Holly	32		No. 3 Cont.	
TON	<i>Thuja occidentalis</i> 'Higra'	Dark green Arborvitae	4	3'-4'	B&B	
IC	<i>Ilex creata</i> 'Green Lustre'	Green Lustre Holly	12		No. 3 Cont.	
VB	<i>Viburnum tomentosum</i>	Douglasfile Viburnum	14		No. 3 Cont.	
SB	<i>Spiraea x bumoldii</i> 'Gold Flame'	Gold Flame Spirea	12		No. 3 Cont.	
PGC	<i>Picea glauca conica</i>	Dwarf Alberta Spruce	12		No. 3 Cont.	
HM	<i>Hydrangea macrophylla</i>	Cardinal Red Hydrangea	4		No. 3 Cont.	
CPB	<i>Chamaecyparis pläflera</i> 'Sungold'	Sungold False Cypress	4		No. 3 Cont.	







GENERAL NOTES:

- ALL UTILITIES WITH THE EXCEPTION OF SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CANANDAIGUA'S LATEST SPECIFICATIONS.
- TOPOGRAPHIC INFORMATION IS BASED UPON AN AERIAL SURVEY COMPLETED IN JANUARY, 2013. THE CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK AND NOTIFY THE DEVELOPER OF ANY DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR SHALL CLEAN DEBRIS FROM ALL EXISTING STORM STRUCTURES WITHIN THE WORK LIMIT LINES. THE CONTRACTOR SHALL MAINTAIN TEMPORARY AND/OR PERMANENT STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF HIS CONSTRUCTION ACTIVITIES, AS DETERMINED BY THE DEVELOPER AND AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES FOR THE DURATION OF THE CONTRACT. THE CONTRACTOR SHALL REPLACE ANY UTILITY WHICH BECOMES DAMAGED AS A RESULT OF HIS/HER CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO THE SITE FOR THE DURATION OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE IN PLACE ALL BARRICADES, SIGNAGE, AND LIGHTS PERTAINING TO MAINTENANCE AND PROTECTION OF TRAFFIC BEFORE ANY EXCAVATION ACTIVITY TAKES PLACE.
- ALL EXCESS EXCAVATION MATERIALS DETERMINED BY THE DEVELOPER TO BE REUSABLE BY THE CONTRACTOR FOR THIS CONTRACT, MAY BE STORED ON-SITE IN A LOCATION DETERMINED BY THE OWNER. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL WHERE POSSIBLE.
- CONTRACTOR STAGING AREAS ARE TO BE COORDINATED WITH THE DEVELOPER PRIOR TO START OF CONSTRUCTION. ALL DISTURBED AREAS SHALL BE RESTORED. ALL STAGING AREAS ARE TO BE WITHIN WORK LIMITS.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE INFERRED FROM SURFACE EVIDENCE, AND RECORD AND UTILITY PLANS. ACTUAL LOCATION AND DESCRIPTION MAY DIFFER. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR STAKEOUT. TRUE LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OPERATIONS.

CONSTRUCTION SEQUENCE:

- Install staging area. Install stabilized construction entrance.
- Flag the work limits, mark areas to be protected.
- Install all perimeter erosion control devices.
- Modify existing utilities per the design plans.
- Seed and mulch disturbed areas as required.
- Clear and grub remainder of the site as required.
- Install additional erosion control measures: earth dikes, silt fence etc.
- Rough grade the site, stockpile topsoil, and construct swales. Limit disturbance to a maximum of 5 acres at any one time. Install additional erosion control measures as shown on the plan.
- Leave the surface slightly roughened and vegetate and mulch immediately.
- Construct the roadway, buildings, and foundations.
- Complete final grading. Install permanent seeding and plantings.
- When all construction activity is complete and the site is stabilized to the satisfaction of the governing municipality and in compliance with NYSDEC regulations, remove all temporary erosion control devices; and fill and seed the temporary sediment basins.

NOTE:  
There shall be no more than 5 acres of disturbed soil at any time without prior written approval from NYSDEC. This plan may be modified as necessary to maintain compliance with SPDES regulations.

GRADING NOTES:

- CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS VALVE BOXES, AND ALL OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAIRING OR REGRADEING AS PART OF THIS WORK INCLUDING THOSE THAT MAY NOT BE SHOWN ON THESE DRAWINGS.
- THE LINE AND GRADE OF NEW PAVEMENT SHALL MEET EXISTING PAVEMENT FLUSH WHERE DESIGNATED TO MEET ON THE DRAWING.
- ALL FILL AREAS ARE TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.
- SANITARY SEWER TRENCH IN AREAS OF ROADWAY FILL, SHALL BE COMPACTED WITH A VIBRATORY ROLLER ATTACHED TO THE EXCAVATOR.

EROSION CONTROL MAINTENANCE / INSPECTION PROCEDURES

THE FOLLOWING PRACTICES WILL BE EMPLOYED TO MAINTAIN EROSION AND SEDIMENT CONTROL:

- CONTRACTOR SHALL INSPECT EROSION AND SEDIMENTATION CONTROL MEASURES AT LEAST ONCE PER WEEK, AND CLEAN WITHIN ONE WORKING DAY OF ANY RAINFALL EVENT OF 1/2" RAINFALL OR GREATER OR FOLLOWING SIGNIFICANT SNOW MELT.
- MAINTAIN ALL MEASURES IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, INITIATE IT WITHIN 24 HOURS OF REPORT.
- REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- INSPECT SILT FENCE FOR DEPTH OF SEDIMENT AND TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- INSPECT SEDIMENT BASINS FOR DEPTH OF SEDIMENT. REMOVE BUILT-UP SEDIMENT WHENEVER THE CAPACITY OF THE BASIN HAS BEEN REDUCED BY FIFTY PERCENT OF THE DESIGN CAPACITY.
- INSPECT TEMPORARY AND PERMANENT SEEDING AND PLANTING FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- THE OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN THE SWPPP AND REQUIRED BY PART III.D OF THE SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES HAVE BEEN ADEQUATELY INSTALLED. FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, SITE INSPECTIONS SHALL BE CONDUCTED BY THE QUALIFIED PROFESSIONAL AT LEAST EVERY 7 CALENDAR DAYS.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A RECORD OF ALL INSPECTION REPORTS SHALL BE KEPT IN AN ON-SITE LOG BOOK. THIS LOG BOOK SHALL BE MADE AVAILABLE TO THE PERMITTING AUTHORITY UPON REQUEST.

CONSTRUCTION SITE WASTE MANAGEMENT:

- DESIGNATE A WASTE COLLECTION AREA ON-SITE THAT DOES NOT RECEIVE A SUBSTANTIAL AMOUNT OF RUNOFF FROM UPLAND AREAS AND DOES NOT DRAIN DIRECTLY TO A WATERBODY.
- CONSTRUCT A TEMPORARY LAND DIKE AROUND THE WASTE COLLECTION AREA TO PREVENT SITE WASTES FROM CONTRIBUTING TO STORMWATER CONTAMINATION.
- ENSURE THAT CONTAINERS HAVE LIDS AND ARE KEPT IN A COVERED AREA WHEN POSSIBLE.
- SCHEDULE WASTE COLLECTION APPROPRIATELY.
- CLEAN UP SPILLS IMMEDIATELY USING AN ABSORBENT MATERIAL SUCH AS SAWDUST OR KITTY LITTER.
- POST GUIDELINES FOR PROPER HANDLING, STORAGE, AND DISPOSAL OF CONSTRUCTION SITE WASTES. PROVIDE PROPER TRAINING TO ALL WORKERS ON THE SITE.

STORM SEWER NOTES:

- CONTRACTOR SHALL INSTALL ALL STORM SEWERS AS SHOWN ON THE DRAWINGS INCLUDING WORK AT THE DISCHARGE POINT TO THE EXISTING STORM SYSTEM.
- GENERAL CONTRACTOR SHALL MAINTAIN TEMPORARY OR PERMANENT STORM WATER DRAINAGE FOR THE DURATION OF THE CONTRACT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING STORM SEWER MAINS, STRUCTURES, AND APPURTENANCES AS NEEDED TO COMPLETE THE WORK.

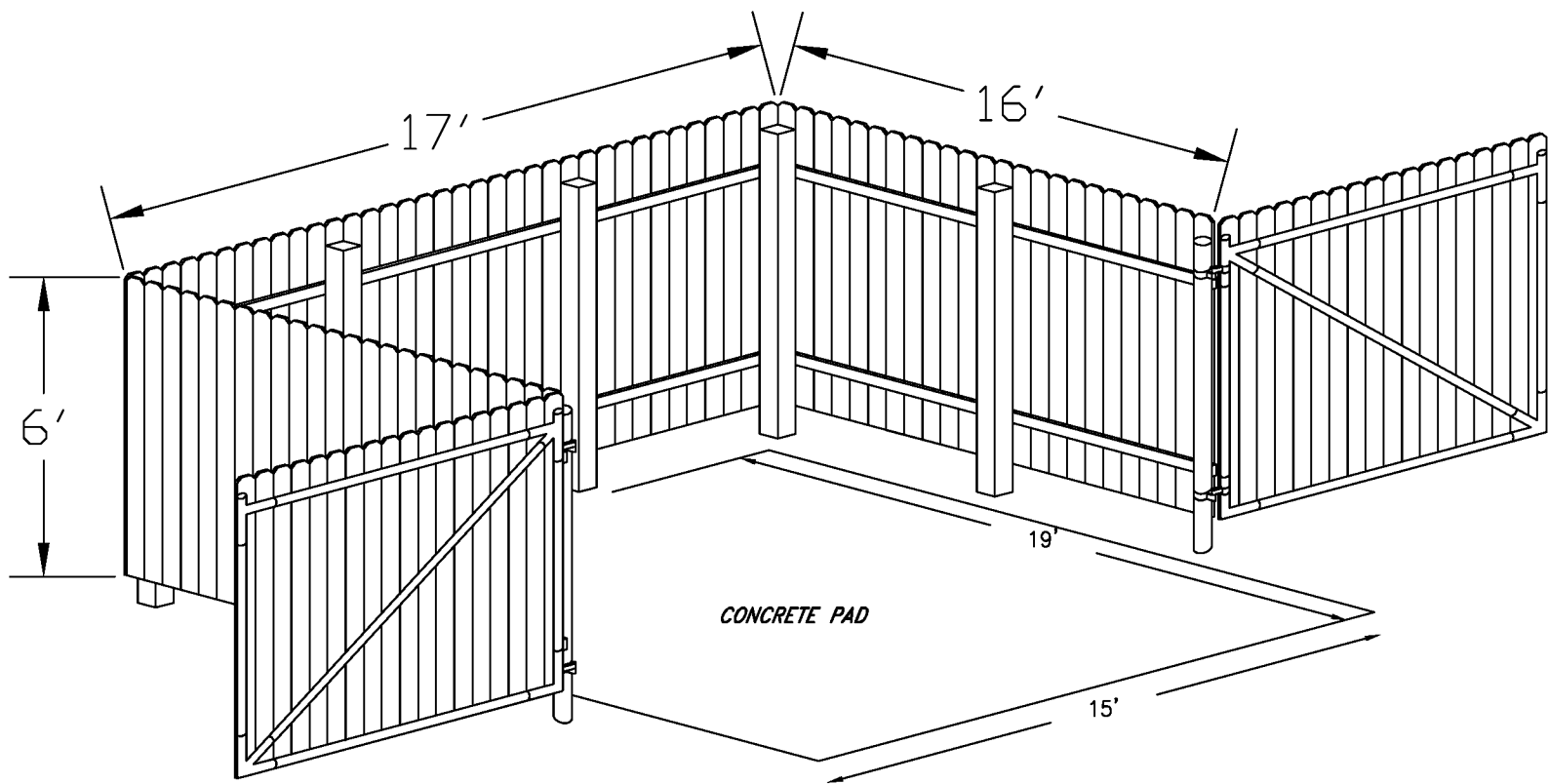
EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH N.Y.S. GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AND LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. SILT FENCE WILL BE INSTALLED WITH A TRENCHER.
- ONLY AREAS NEEDED FOR CONSTRUCTION AS SHOWN ON THESE PLANS SHALL BE DISTURBED. NO OTHER TREES, SHRUBS, OR GRASSES ARE TO BE REMOVED FOR CONSTRUCTION. REMAINING VEGETATION SHALL BE PROTECTED TO PRESERVE THEIR AESTHETIC AND EROSION CONTROL VALUES.
- THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EROSION CONTROL AND SEDIMENTATION CONTROLS AFTER GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES WHEN AN AREA IS PERMANENTLY STABILIZED, CONSTRUCTION IS COMPLETE, FINAL VEGETATIVE COVER HAS BEEN ESTABLISHED, AND IS APPROVED BY THE TOWN OF CANANDAIGUA.
- LOOSE PILE MATERIAL THAT IS EXCAVATED FOR BUILDING CONSTRUCTION PURPOSES SHALL BE KEPT LOOSE PILED UNTIL IT IS USED FOR FOUNDATION BACKFILL OR FINAL GRADING AND PERMANENT VEGETATION.
- RUNOFF FROM STOCKPILED MATERIALS SHALL BE CONTAINED BY EROSION CONTROL MEASURES. STOCKPILED MATERIALS NOT MOVED WITHIN 30 DAYS SHALL BE SHAPED INTO A UNIFORM PILE AND SEEDED WITH A RAPID GERMINATING GRASS SEED MIX.
- CONTRACTOR SHALL ROUGH GRADE THE SITE. ALL FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR TEST DENSITY WITH PROPER MOISTURE CONTENT.
- ALL CATCH BASIN INLETS SHALL BE ENCLOSED WITH SILT FENCE UNTIL THE SITE IS FULLY STABILIZED.
- CONTRACTOR SHALL TEMPORARY SEED AND MULCH ALL DIVERSION DITCHES AND ANY OTHER DISTURBED AREAS NOT SCHEDULED FOR IMMEDIATE ADDITIONAL WORK. REMAINING DISTURBED AREAS SHALL BE SEEDED WITH GROUND COVER AND MULCHED AS SOON AFTER THEIR DISTURBANCE AS CONSTRUCTION PRACTICES AND WEATHER WILL ALLOW. CONTRACTOR SHALL STABILIZE DISTURBED AREAS AND STOCKPILES WITHIN 7 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- DRAINAGE SYSTEMS AND EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY AND REPLACED IF NECESSARY UNTIL SUCH TIME AS A SUBSTANTIAL STAND OF VEGETATION HAS DEVELOPED AND POTENTIAL FOR EROSION NO LONGER EXISTS.
- THE CONTRACTOR SHALL MAINTAIN SITE CONDITIONS WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR SHALL KEEP CLEAN AND FREE SIDEWALKS, STREETS, AND PAVEMENTS FROM DIRT, MUD, STONE, DEBRIS, AND OTHER HAULED MATERIALS AS A RESULT OF HIS/HER WORK.
- A STABILIZED CONSTRUCTION ENTRANCE LOCATED SHALL BE IN PLACE PRIOR TO WORK COMMENCING ON THE SITE. THE CONTRACTOR SHALL CONTROL DUST FROM SITE ACTIVITY TO THE SATISFACTION OF THE PROJECT DEVELOPER, OWNER, AND THE TOWN OF CANANDAIGUA.
- SITE EROSION CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO MEASURES SHOWN ON THE PLANS. CONTRACTOR SHALL IMPLEMENT OTHER MEASURES ORDERED BY THE DEVELOPER OR A TOWN REPRESENTATIVE NECESSARY TO CONTROL EROSION AND SEDIMENTATION ON SITE.
- CONTRACTOR SHALL INSPECT EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PER WEEK, AND CLEAN WITHIN ONE WORKING DAY OF ANY RAINFALL EVENT OF 1/2" RAINFALL OR GREATER OR FOLLOWING SIGNIFICANT SNOW MELT.
- REMOVE ACCUMULATED SEDIMENTS FROM POND DEEP POOL AND TRAPS WHEN SEDIMENTS OCCUPY 50% OF THE VOLUME PROVIDED.
- CHECK AND REPAIR STAKED STRAW BALE AREAS, AS NECESSARY.
- SWEEP ADJOINING ROADWAYS, IF ANY TRACKING OF SOILS ONTO OFF-SITE PAVING OCCURS.
- INSPECT AND CLEAN ALL TEMPORARY EROSION CONTROL STRUCTURES AFTER EACH RAIN STORM EVENT.
- ALL SLOPES 1-ON-3 OR GREATER WILL BE STABILIZED WITH JUTE MESH AND RESTORED WITH CROWN VETCH.
- THE ENTIRE PROJECT WILL BE RESTORED WITH 6" OF TOPSOIL.
- EROSION CONTROL MEASURES SUCH AS STRAW BALES ARE TO BE PLACED 5' INTO THE PROJECT FROM ORANGE CONSTRUCTION FENCE, AND SHALL REMAIN IN EFFECT UNTIL DEEMED UNNECESSARY BY TOWN OF CANANDAIGUA.
- ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 7 DAYS SHALL BE SEEDED/MULCHED IMMEDIATELY.
- All disturbed areas shall be immediately seeded and mulched in accordance with the following criteria:  
Temporary Seeding:  
If: Spring or summer or early fall, then seed the area with ryegrass (annual or perennial) at 30 lbs. per acre (Approximately 0.7 lb./1000 sq. ft. or use 1 lb./1000 sq. ft.)  
If: Late fall or early winter, then seed Certified 'Arrostook' winter rye (cereal rye) at 100 lbs. per acre (2.5 lbs./1000 sq. ft.)  
Permanent Seeding:  

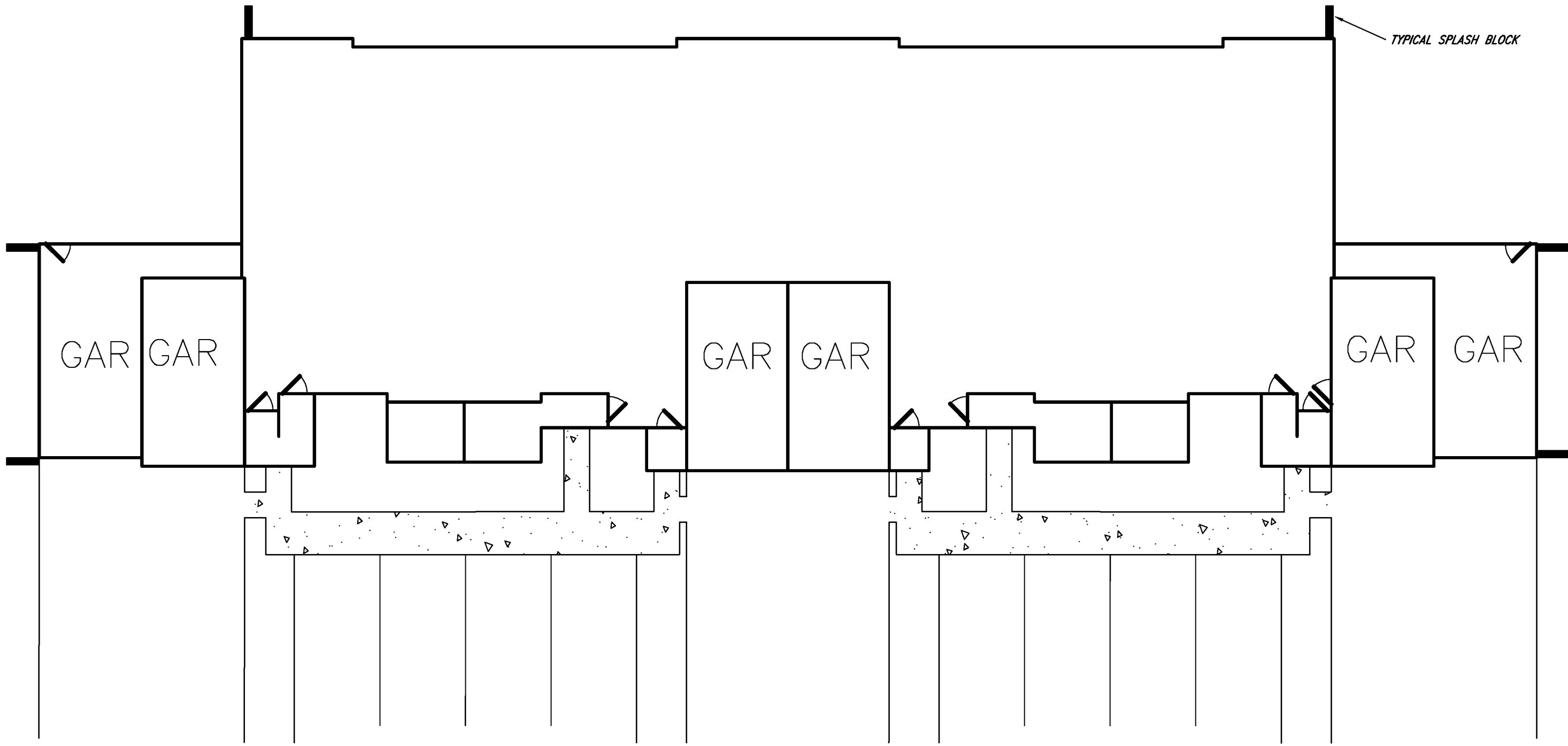
Species	Variety	lbs./acre	lbs./1000 sq. ft.
Common White Clover	Common	8	0.20
Tall Fescue	KY-31/Rebel	20	0.45
Ryegrass (perennial)	PennTine/Linn	5	0.10

  
Waterway / Pond Seeding:  

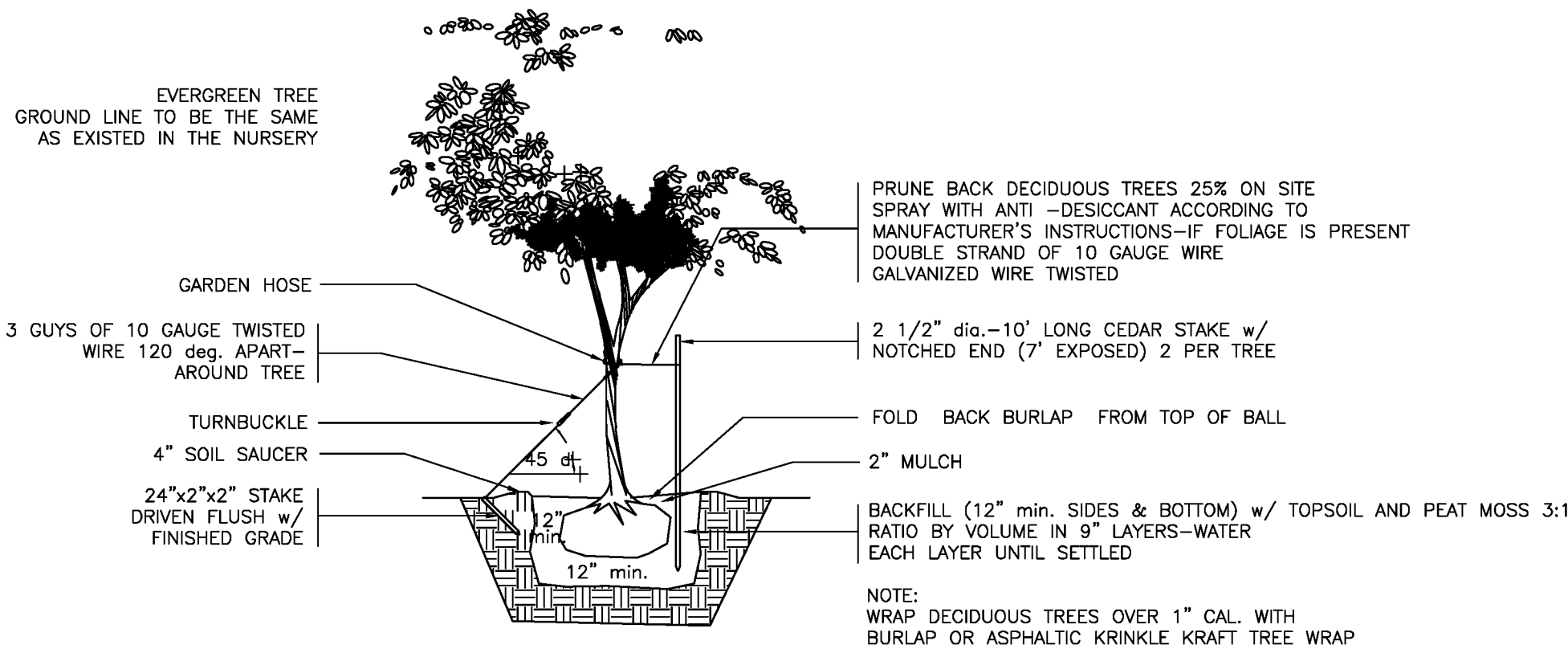
Species	Rate per Acre (lbs)	Rate per 1,000 sq. ft. (lbs)
Kentucky bluegrass	25	0.60
Creeping Red Fescue	20	0.50
Perennial ryegrass	10	0.20
	55	1.30
- REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR SPECIFIC DETAILS REGARDING EROSION CONTROL AND POLLUTION PREVENTION.
- A COPY OF THE "NOT" AND A BRIEF DESCRIPTION OF THE PROJECT SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND MADE AVAILABLE FOR PUBLIC VIEWING UPON REQUEST.
- THE PERMIT COVERAGE IS NON-TRANSFERABLE. IN THE EVENT OF A TRANSFER OF RESPONSIBILITY FOR STORMWATER RUNOFF, THE FORMER PERMITTEE MUST SUBMIT A "NOT" AND NOTIFY THE NEW DISCHARGER OF THE NEED TO SIGN THE SWPPP AND SUBMIT A NEW "NOT".



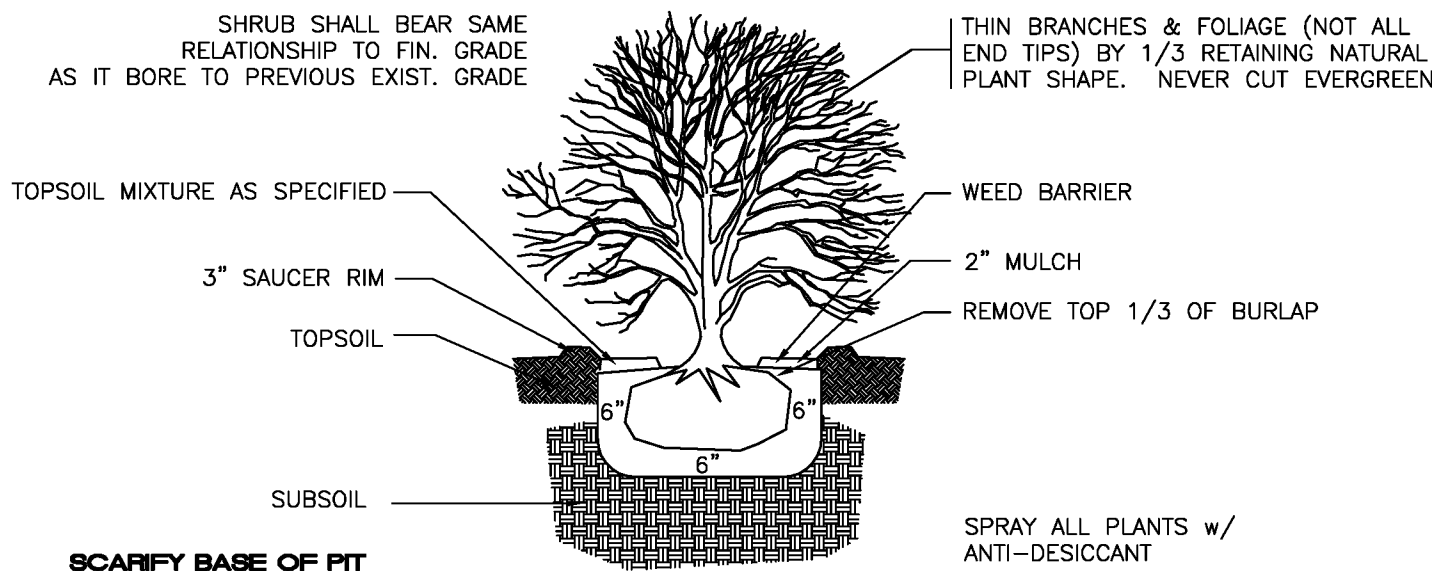
DUMPSTER ENCLOSURE:



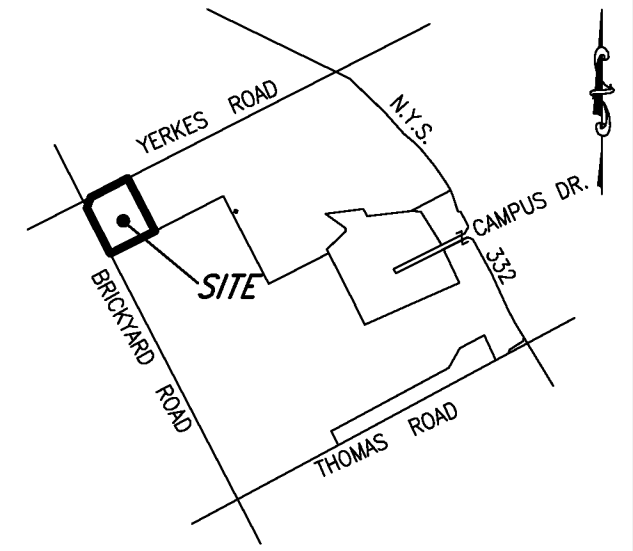
TYPICAL SPLASH BLOCK LOCATIONS:



TREE PLANTING DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE



LOCATION SKETCH  
N.T.S.

DATE	REVISIONS	BY:
------	-----------	-----



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 146, SECTION 7209 AND APPLIES TO THIS DRAWING.  
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDS "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



Engineers & Surveyors

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
www.McMahon-LaRue.com

CLIENT:

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD.  
SUITE 100  
PITTSFORD, NY 14534

PROJECT:

CENTERPONTE APARTMENTS

PHASE 3

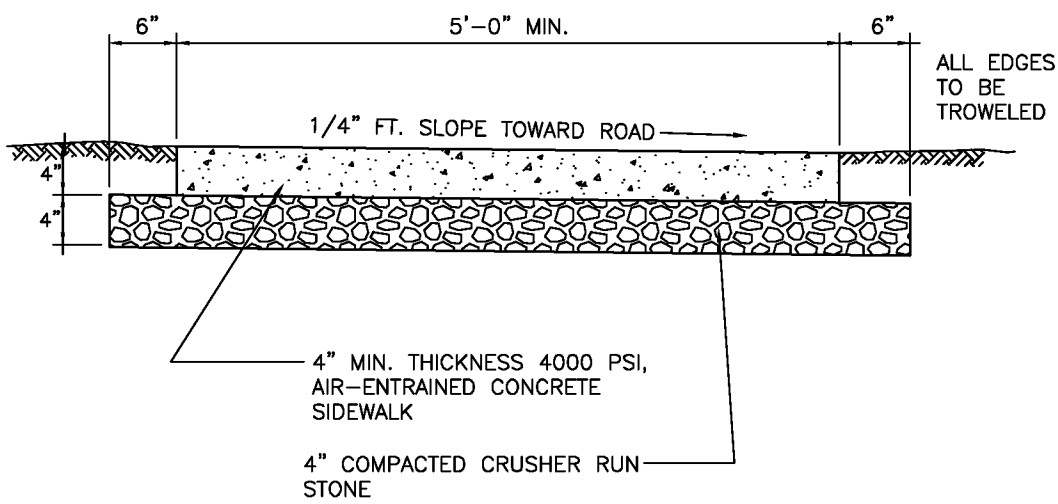
DRAWING:

FINAL  
NOTES AND DETAILS

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

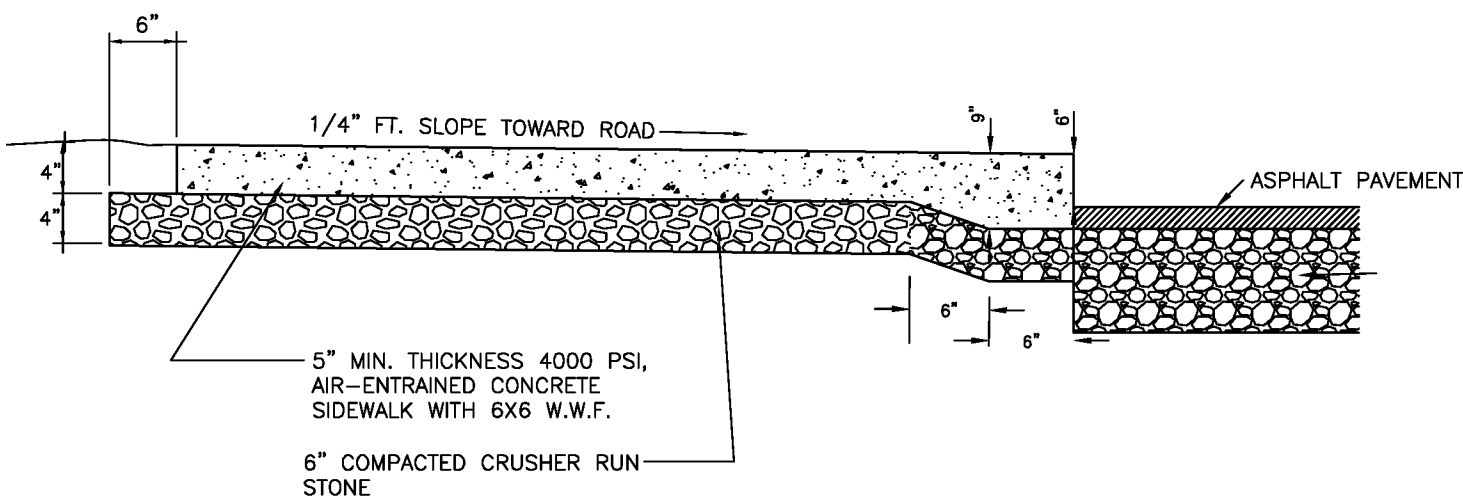
DESIGNED BY:	GWM
DRAWN BY:	GWM
CHECKED BY:	AIL
SBL #	56.00-01-55.21 AND 55.22
PROJ. NO:	1279-00
DATE:	MAY 2016
SCALE:	AS NOTED

9	SHEET OF 12	CADD FILE DETAIL
---	-------------	---------------------

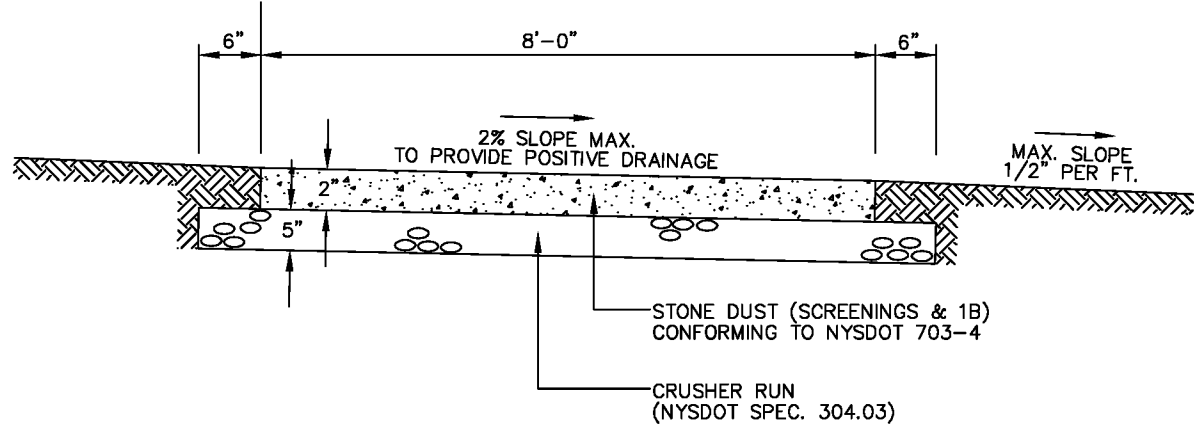


- NOTES:
1. CONSTRUCTION JOINTS TO BE INSTALLED EVERY 25 FEET.
  2. DUMMY JOINTS MINIMUM 1" DEEP TO BE MADE EVERY 5 FEET.
  3. ALL EXPOSED CONCRETE SURFACE SHALL BE BROOM FINISHED.
  4. ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF A COMBINATION CURING COMPOUND-SEALER SUCH AS "ACOUSEAL" OR "POLYCLEAR" OR APPROVED EQUAL.
  5. CONCRETE SIDEWALKS THROUGH DRIVEWAYS SHALL BE INCREASED TO A 5" THICKNESS WITH 10 GAUGE WIRE MESH FOR REINFORCEMENT.

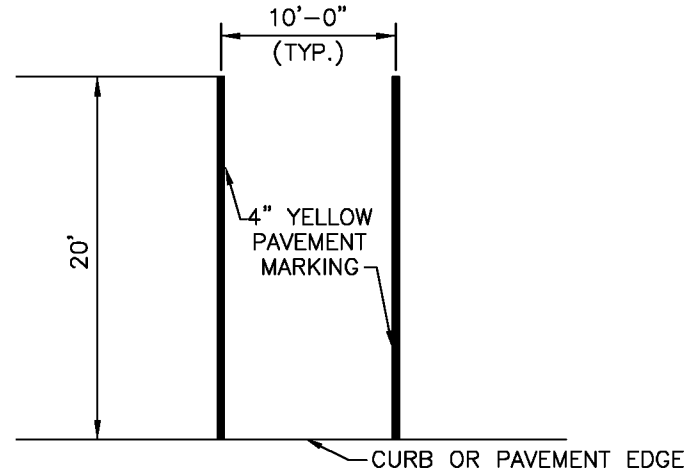
TYPICAL CONCRETE SIDEWALK DETAIL  
NTS



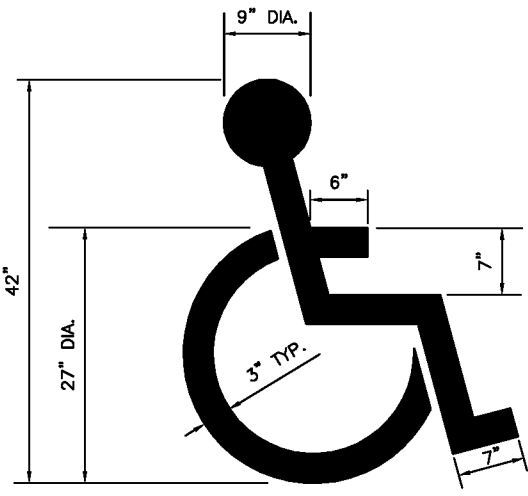
CONCRETE SIDEWALK AND INTEGRAL CURB  
NTS



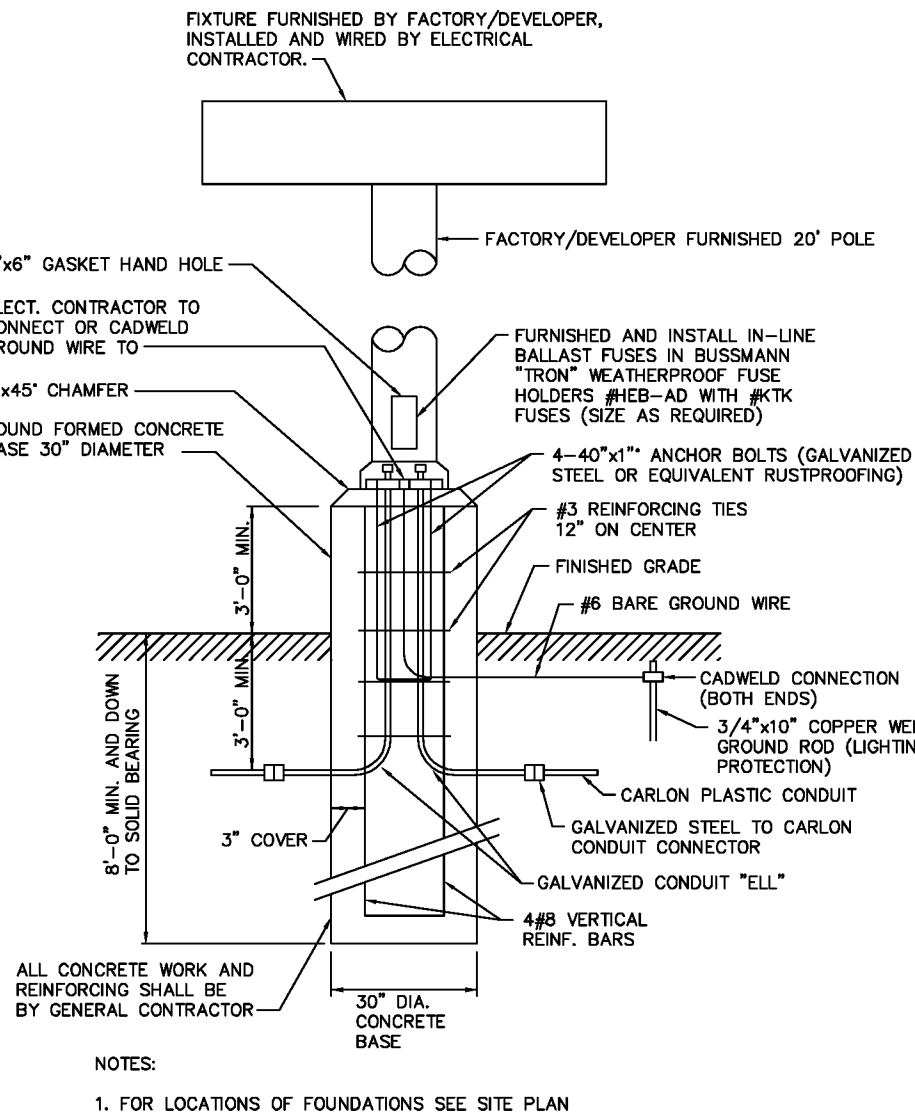
AUBURN TRAIL DETAIL  
(N.T.S.)



TYPICAL PARKING STALL  
NOT TO SCALE



ACCESSIBLE PARKING DETAIL  
NOT TO SCALE



TYPICAL LIGHTING POLE FOUNDATION

## LIGHTING

LITHONIA KAD LED - LED AREA LUMINAIRE  
KAD LED 63B530/400K SR2

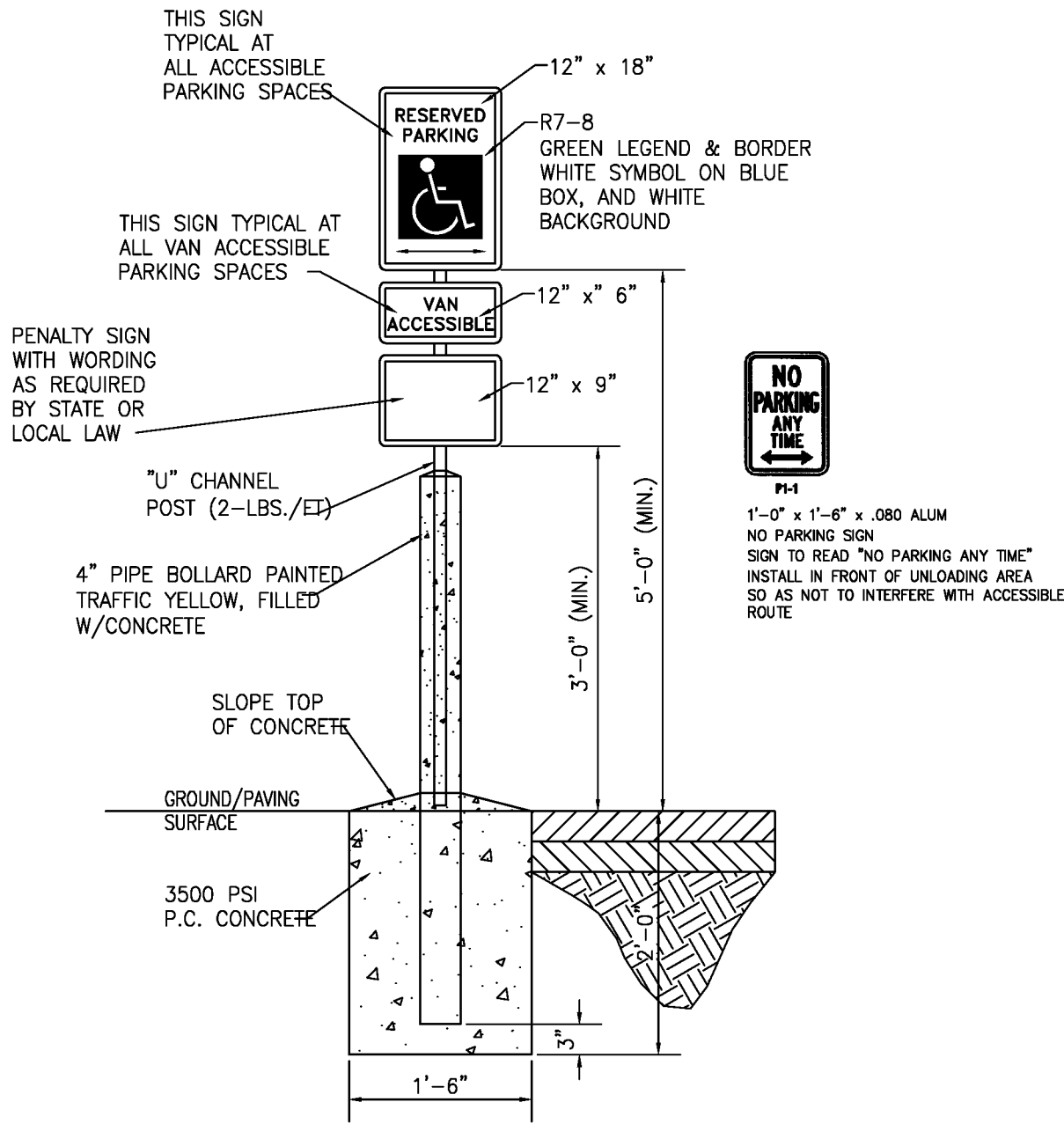
- POLE MOUNTED AT 20'-0"

POLE: SQS411 OR APPROVED EQUAL

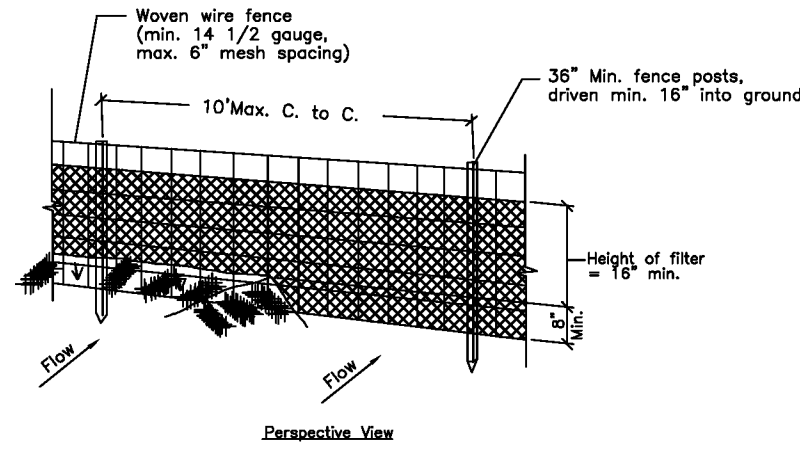
FIXTURE:  
6" ARM MOUNT  
LED

LENS:  
HORIZONTAL LAMP WITH SAG LENS

BODY:  
DIE-CAST ALUMINUM  
DARK BRONZE FINISH



TYPICAL ACCESSIBLE  
PARKING SIGN  
NOT TO SCALE



## CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

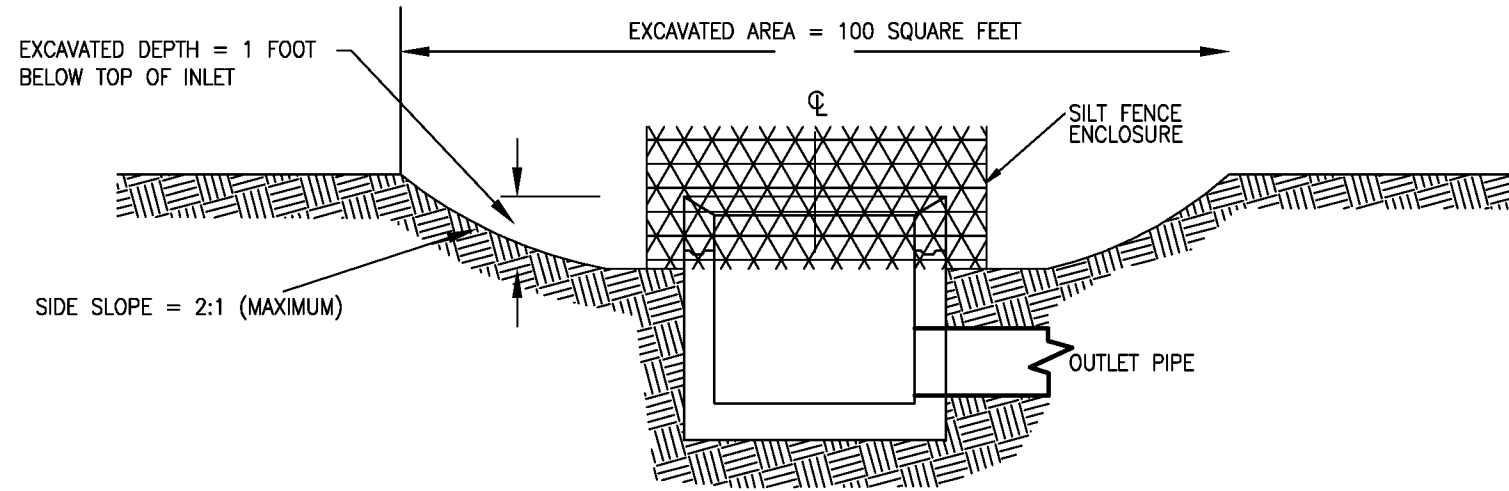
1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
  2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
  3. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
  4. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
- Posts: Steel either T or U type or 2" hardwood
- Fences: Woven wire, 14 1/2 ga. 6" max. mesh opening
- Filter cloth: Filter X, Marfil 100x, Stablilink 1140N or approved equal
- Prefabricated unit: Geofab, Envirofence, or approved equal

## EROSION CONTROL NOTES AND SEQUENCE OF IMPLEMENTATION

1. Cut the primary and secondary ground cover that currently covers site.
2. Install stabilized construction entrance.
3. Place staked straw bales or silt fences as shown on the construction drawings.
4. Rough grading the site including grubbing and stripping of topsoil.
5. Seed and mulch oil disturbed areas not scheduled for immediate additional work.
6. Remaining disturbed areas will be seeded with ground cover and mulched as soon after their disturbance as construction practices and weather will allow.
7. The control of erosion and sediment shall be a continuous process undertaken as necessary during construction and when necessary after the completion of this project. erosion and sediment controls shall be maintained and replaced as necessary until such time as a substantial stand of vegetation has developed and the potential for erosion no longer exists.
8. The developer shall be responsible to insure that all erosion control measures are installed, maintained, and removed when no longer needed.

## SILT FENCE DETAIL

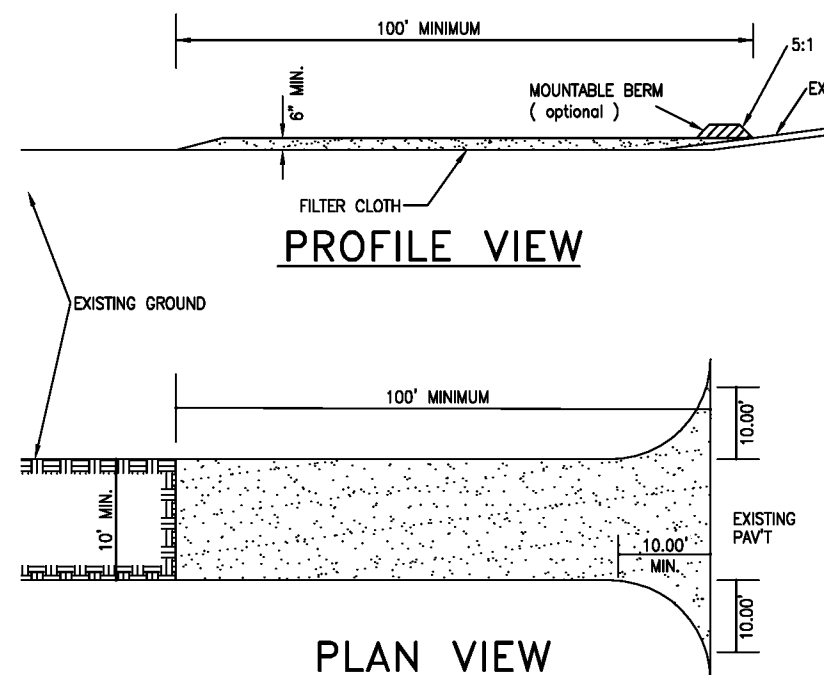
Not To Scale



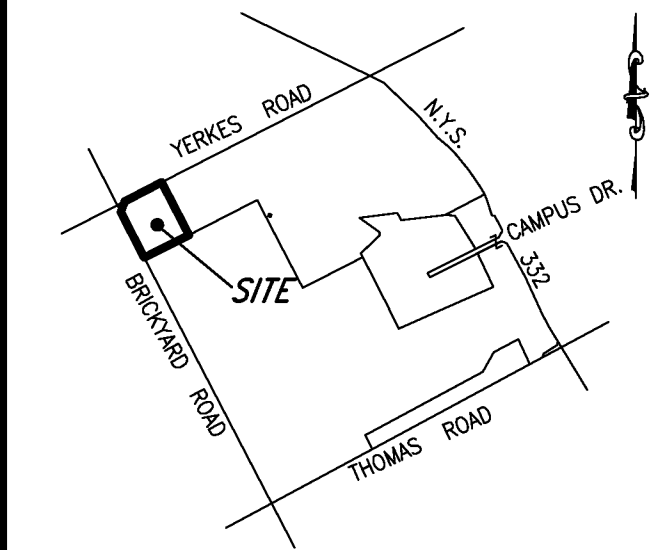
SECTION VIEW

## EXCAVATED DROP INLET PROTECTION

N.T.S.



CONSTRUCTION ENTRANCE  
NTS



LOCATION SKETCH  
NTS

DATE	REVISIONS	BY:
------	-----------	-----



## DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7229 AND APPLIES TO THE DRAWING

"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

**McMahon LaRue Associates, P. C.**

Engineers & Surveyors

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
www.McMahon-LaRue.com

## CLIENT:

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD.  
SUITE 100  
PITTSFORD, NY 14534

## PROJECT:

CENTERPOINTE APARTMENTS

PHASE 3

## DRAWING:

FINAL  
NOTES AND DETAILS

PART OF TOWN LOT 103

TOWN OF CANANDAIGUA

ONTARIO COUNTY

STATE OF NEW YORK

DESIGNED BY: GWM

DRAWN BY: GWM

CHECKED BY: AIL

SBL # 56.00-01-55.21 AND 55.22

PROJ. NO: 1279-00

DATE: MAY 2016

SCALE: AS NOTED

10 SHEET OF 12 CADD FILE

DETAIL



TYPICAL ROAD CROSS SECTIONS  
(N.T.S.)

NOTE: ALL DEPTHS ARE COMPACTED THICKNESSES AND PAVEMENT THICKNESSES MAY VARY AS REQUIRED BY ENGINEER

PAVEMENT CROSS SECTION (TYP.)  
(N.T.S.)

DRIVEWAY ASPHALT PAVEMENT

NOT TO SCALE

GUTTER DETAIL  
(N.T.S.)

GUTTER DETAIL AT CROSSWALK  
(N.T.S.)

CATCH BASIN DETAIL  
(N.T.S.)

STORM SEWER MANHOLE AND CATCH BASIN MANHOLE  
(N.T.S.)

**HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS**  
NOT TO SCALE

**HORIZONTAL THRUST BLOCK FOR BENDS**  
NOT TO SCALE

PIPE SIZE (inches)	WORKING PRESS. (psig)	TEE OR PLUG		90° BEND		45° BEND		22-1/2° BEND	
		L	D	L	D	L	D	L	D
8	150	2.0	1.25	2.0	1.50	1.75	1.0	1.5	0.67
	250	2.25	1.75	3.00	2.00	2.00	1.50	1.67	1.0
12	150	2.5	2.0	3.0	2.5	2.25	1.75	1.75	1.25
	250	3.67	2.5	4.0	3.0	3.0	2.33	2.0	1.75

- Note:
1. All dimensions are in feet.
  2. Bearing areas are based on allowable bearing pressure of 3000 psi.
  3. Height of the thrust block should be equal to or less than 1/2 the depth from the ground surface to the base of the block.
  4. Minimum concrete strength shall be 3000 psi.

## TAPPING SLEEVE AND VALVE

- NOTES:**
- 1) CATCH BASINS SHOULD NOT BE PLACED IN DRIVEWAY AREAS.
  - 2) SPECIAL DESIGN MAY BE REQUIRED FOR STEEP GRADE SECTIONS.

GUTTER & CATCH BASIN APRON DETAIL  
(N.T.S.)

**WATERMAIN NOTES:**

- Pressure and leakage test on all water mains shall be carried out in accordance with the Town of Farmington's latest standards and applicable AWMA standards.
- The water main shall be disinfected equal to AWMA standard specifications C-601--66 with the exception of item 7.3.
- Materials:**
- a. Water mains shall be ductile iron pipe - Class 52 cement lined in accordance with ANSI C-104 and shall have rubber gasket spool-joint in accordance with AWMA C-111.
  - b. Services shall be 1-1/2" eccentric copper tubing, Type K, ASTM B-88. Curb boxes shall be Mueller H-1044 with B2866 rods, 5 foot back length and corporation stops Mueller B-1500.
  - c. Each water service pipe shall be provided with a check valve and pressure regulator on the downstream side of the water meter.
  - d. Hydrants shall be manufactured by Mueller or Kennedy in accordance with ANSI C-502. Hydrants shall be constructed for 5 foot bury with hoop-ends flame connection and 8 inch mechanical joint inlet. They shall open left and be painted yellow with red caps and bonnets as approved by the Superintendent of Water. Hydrants 3-way with two 2" openings shall be 5-1/2" size. A "summer connection" shall be provided on the 3-way with the 2" opening shall be 5-1/2" size. The packing shall consist of the tee, guard valve, hydrant or adaptor.
  - e. Gate valves shall conform to ANSI C-502, hinges mounted, double disc, resilient seat with non-rising stem. They shall be located on the water main at least 100 feet from the water meter and at least 200 psi or a resilient seat valve conforming to ANSI C-509 with flanged, eucalyptus wedge or rubber seat and gasket installed on the service lines. Valves shall open left and be one of the following types: Mueller or Kennedy.
  - f. Water mains and all water service lines to have a minimum of five (5) feet of cover from finished grade six (6) feet at road crossing and beneath parking facilities.
  - g. Where water and sewer mains cross the trench, the trench will be located from the bottom of the trench of lower pipe to the spring line of the upper pipe using a mix of 14 and 1 and 2 stone compacted in six (6) inch lifts.
  - h. If ground water is encountered within seven (7) feet of the surface, the first hydrants were holes shall be drilled to a depth of 10 feet and the water level shall be noted on the plans.

Note: Valve boxes shall be 3 piece screw type  
Bibby-Ste-Croix, 8-5001 or approved equal.

**PERPENDICULAR HYDRANT ASSEMBLY**  
NOT TO SCALE

LOCATION SKETCH  
N.T.S

REVISIONS		
DATE	REVISIONS	BY:



### DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING

\* IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.\*



Engineers &amp; Surveyors

822 Holt Road  
Webster, NY 14580

(585) 436-1080  
www.McMahon-LaRue.com

**CLIENT:**

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD  
SUITE 100  
PITTSFORD, NY 14534

## PROJECT

## CENTERPOINTE APARTMENTS

### PHASE 3

**DRAWING:**

## FINAL NOTES AND DETAILS

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

DESIGNED BY: GWN

DRAWN BY: GW

CHECKED BY: AIL

**SBL #** 56.00-01-55.21 AND 55.22

PROJ. NO: 1279-00

DATE: MAY 2016

SCALE: AS NOTED

2.111	CADD FILE
-------	-----------

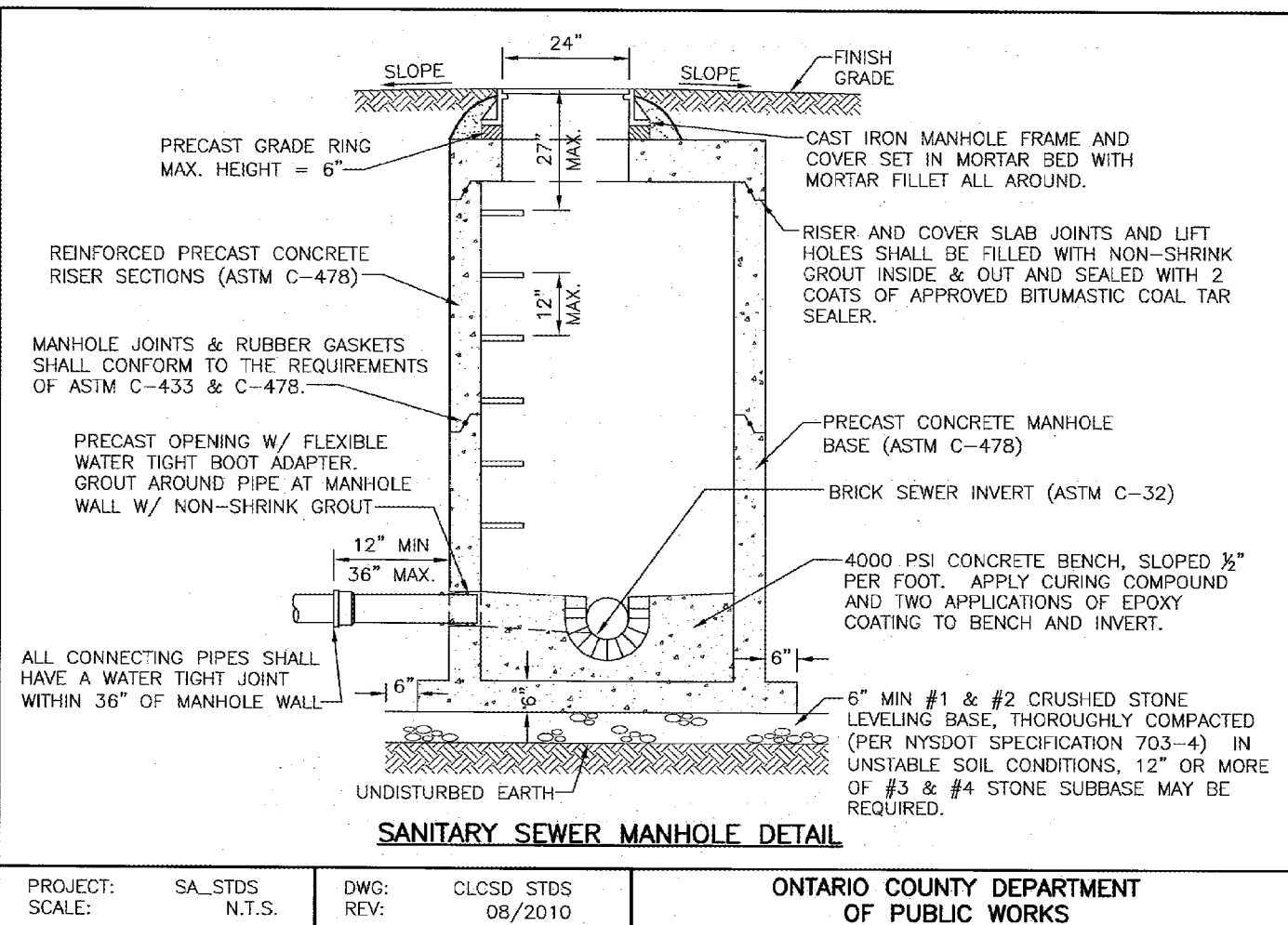
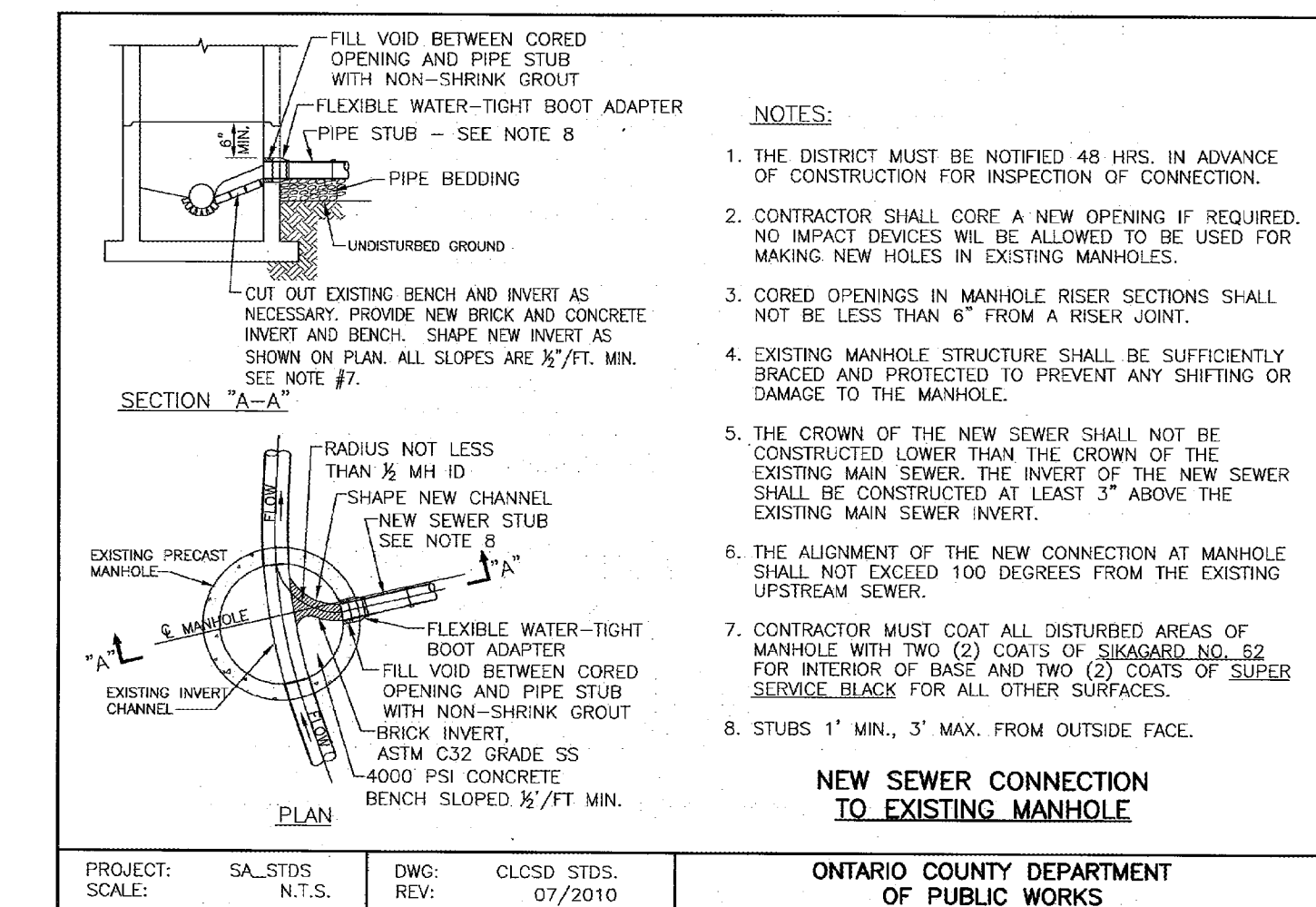
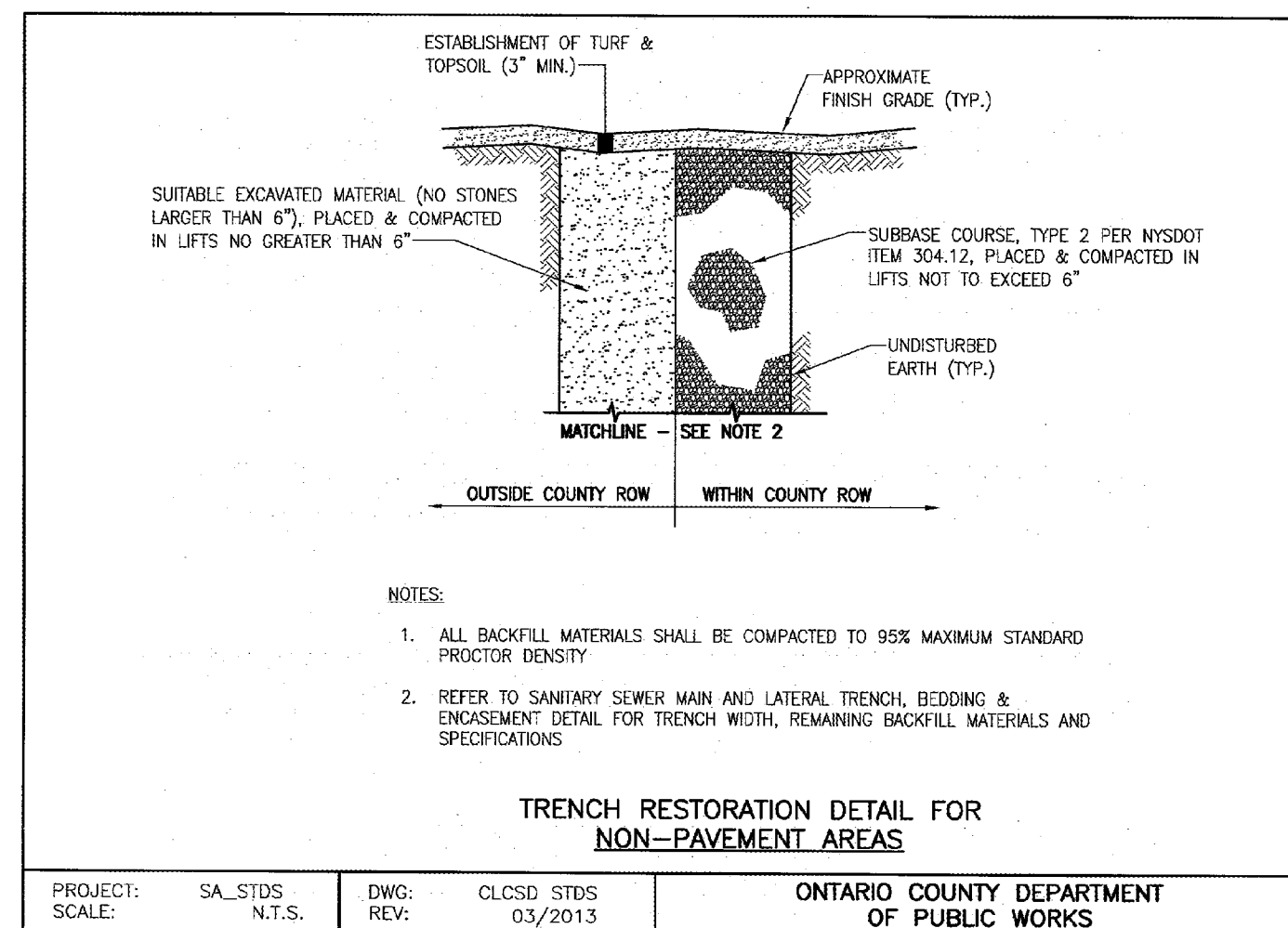
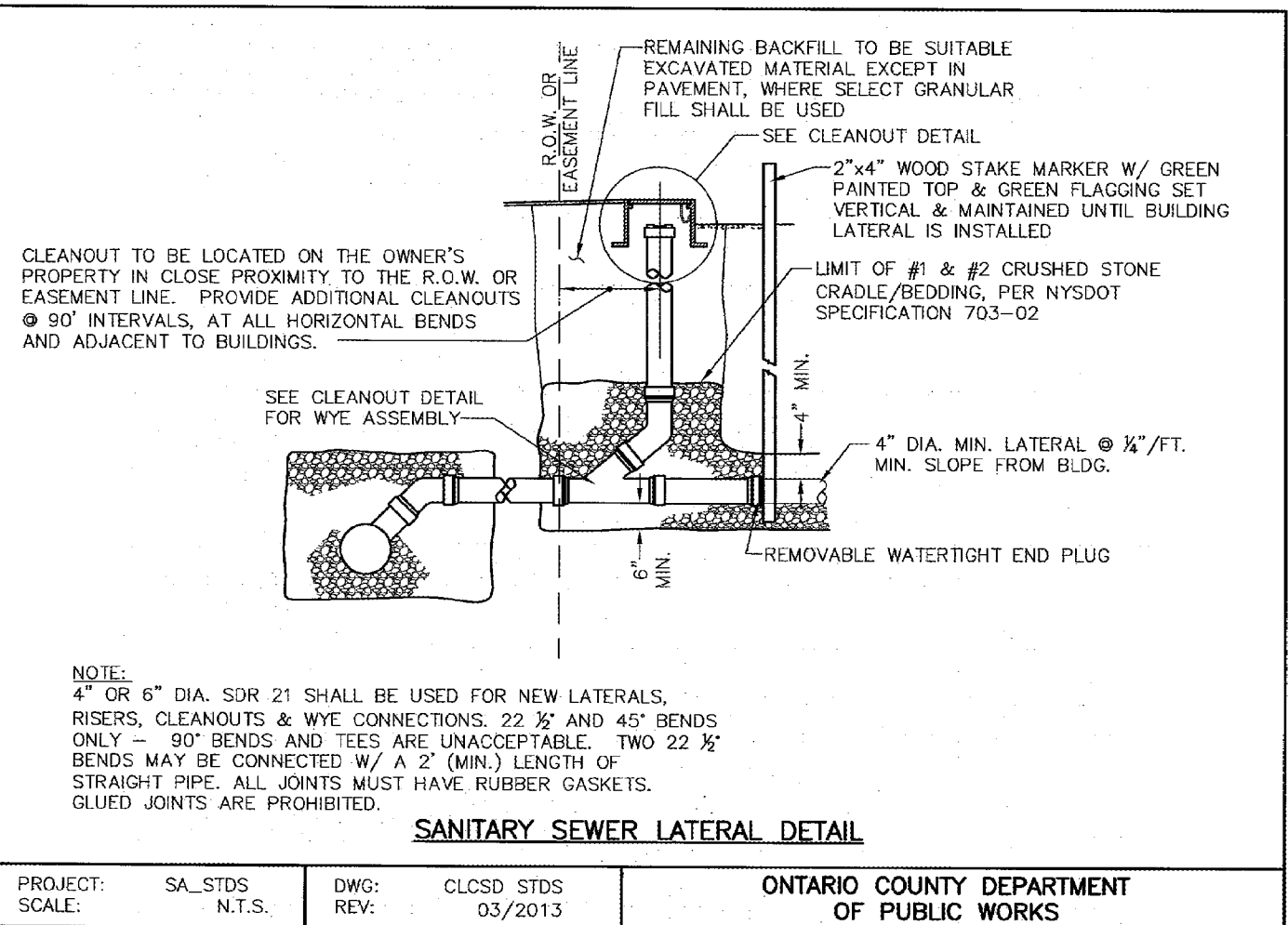
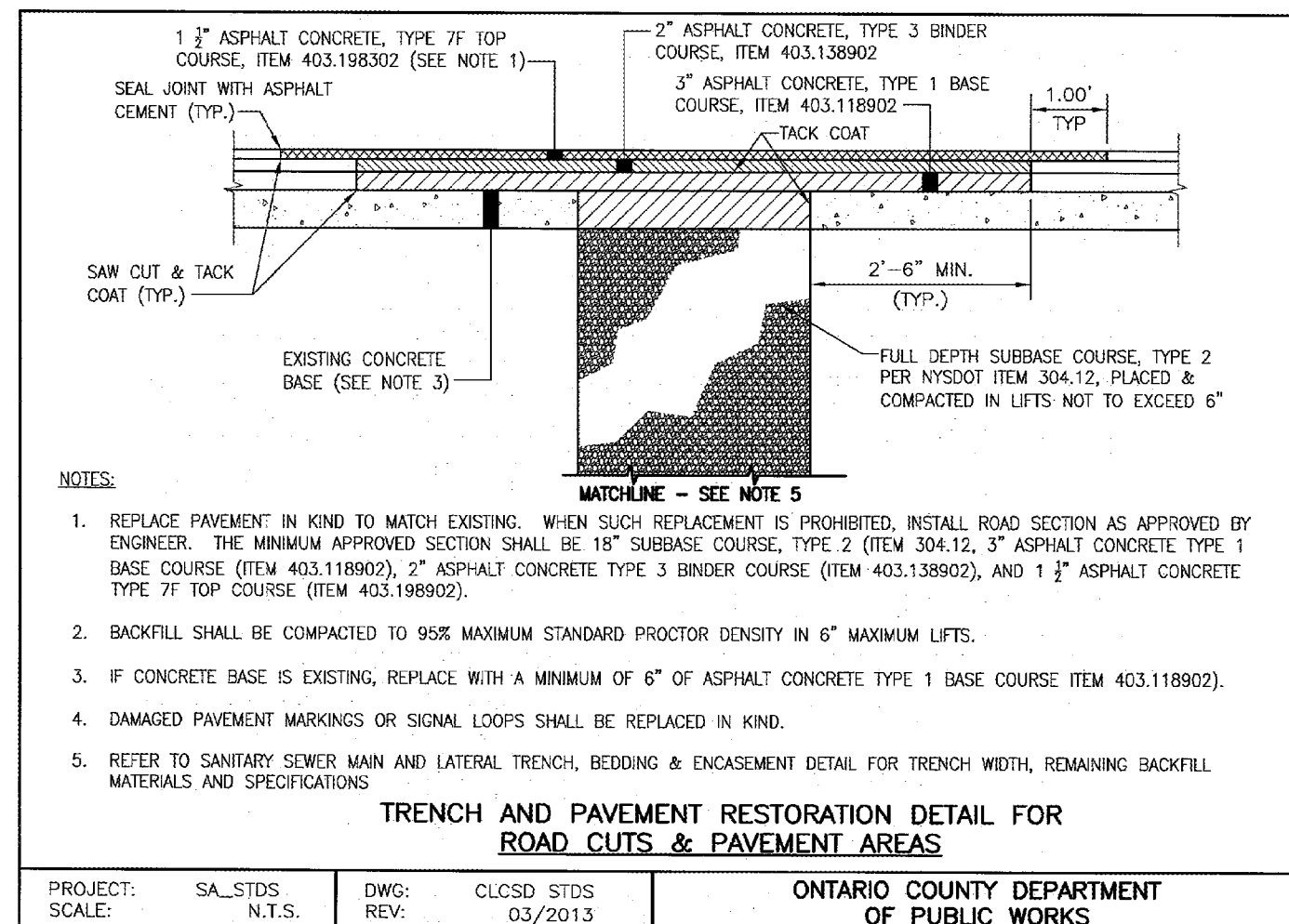
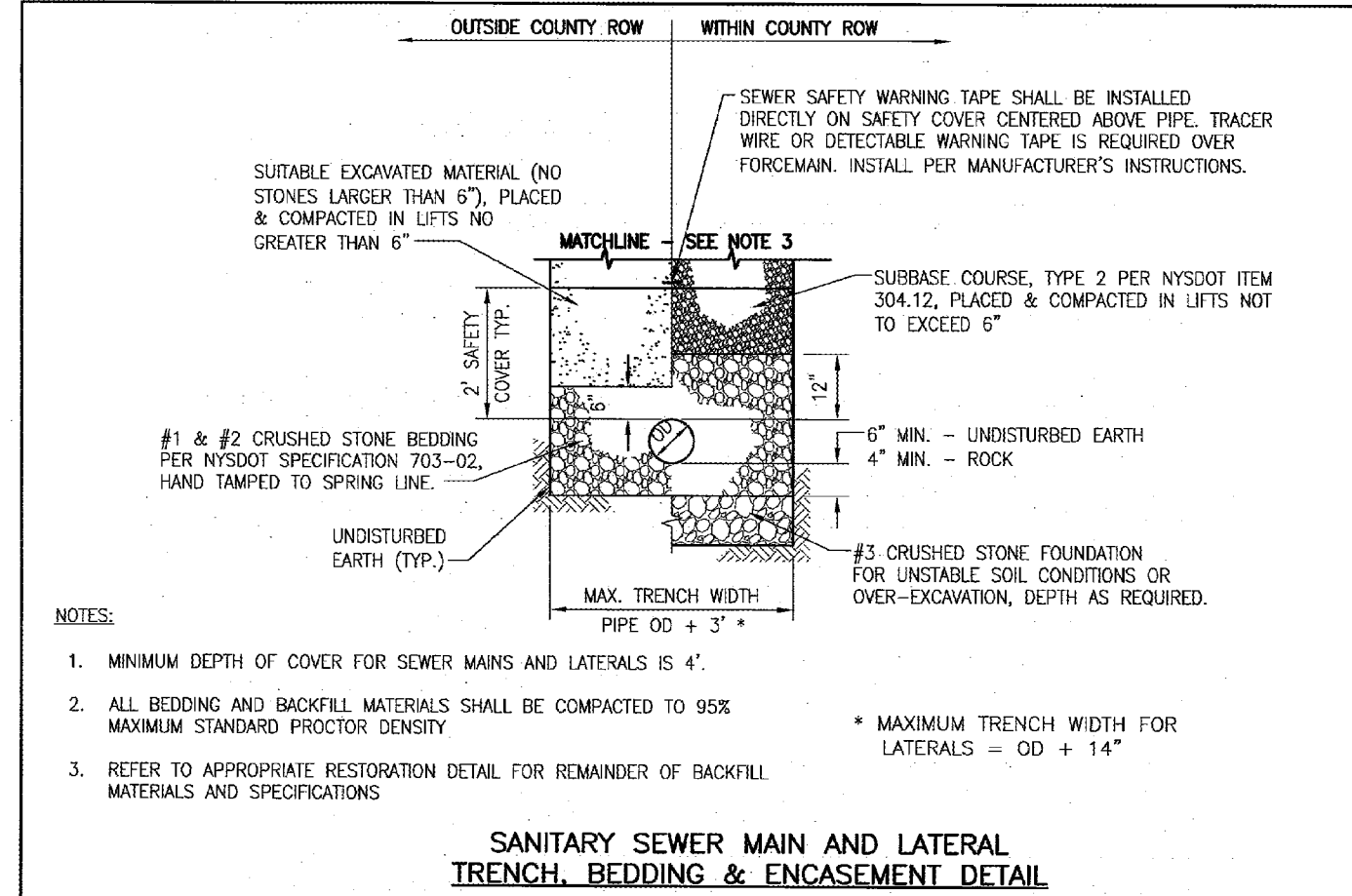
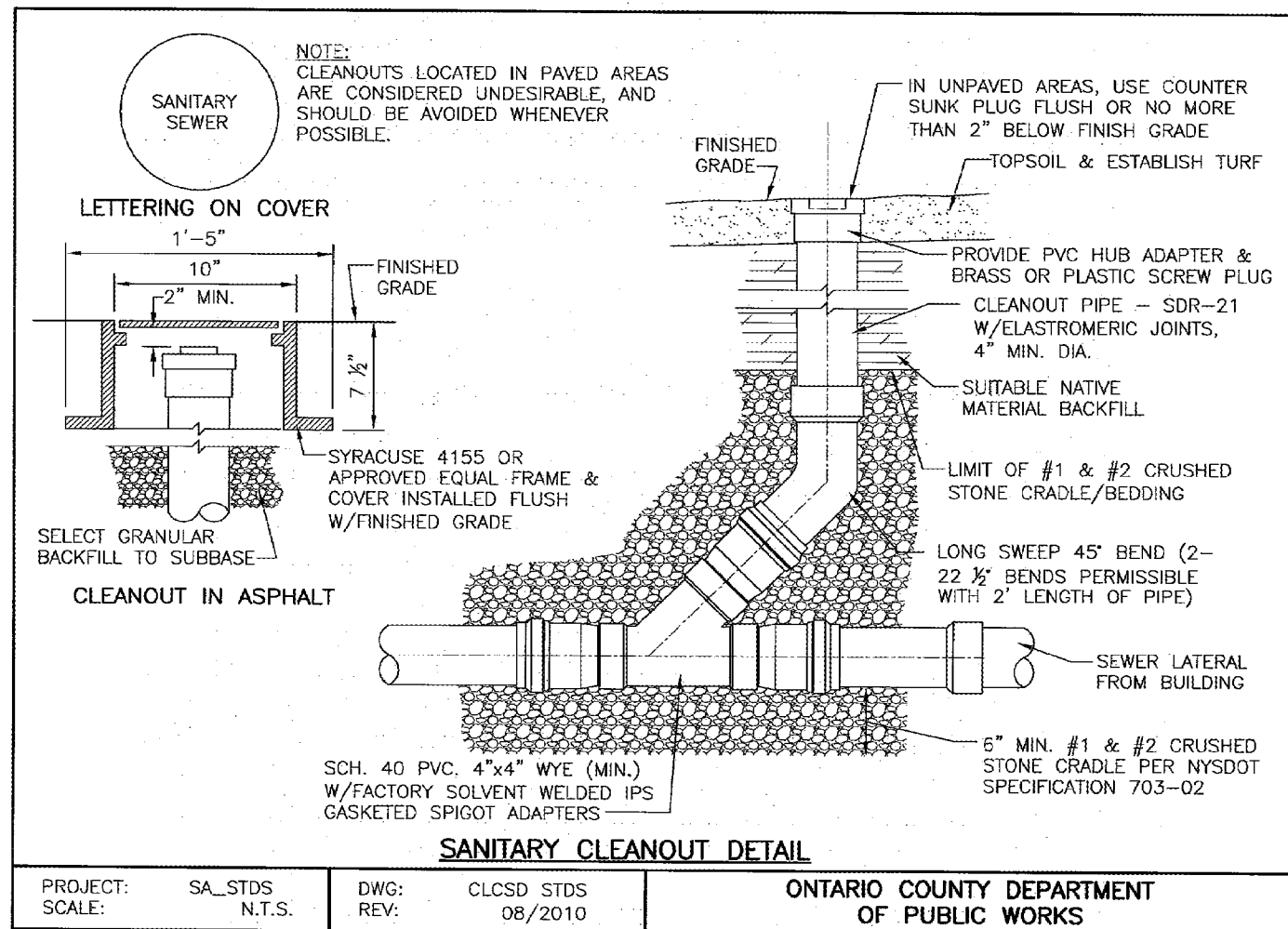
11 SHEET 12 OF 12 DETAIL



### STANDARD SANITARY SEWER PLAN NOTES

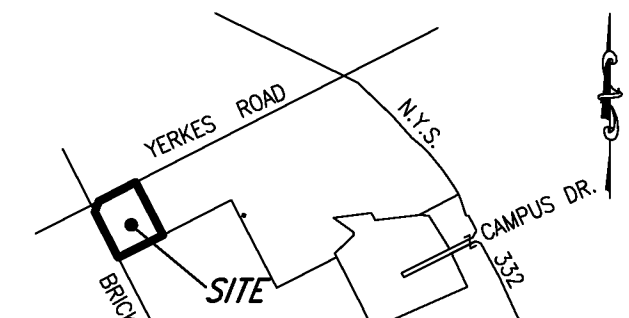
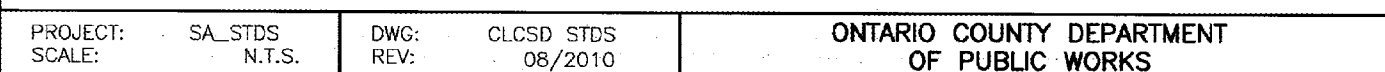
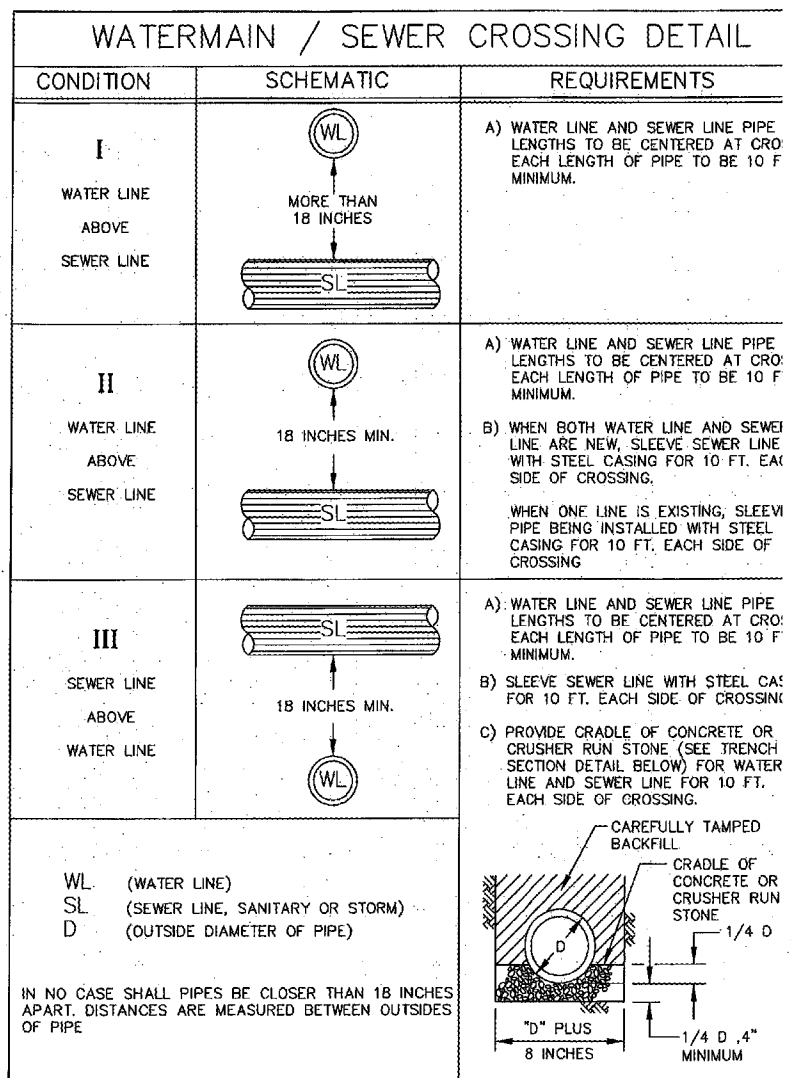
1. Sewer permits and permits for work within Ontario County Highway rights of way must be purchased in advance at the Ontario County Public Works office located at 2962 County Road 48 in the Town of Hopewell. Call 585-996-9040 for information.
2. The sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the New York State Sanitary District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of *Recommended Standards for Wastewater Facilities* and any other agencies having jurisdiction.
3. The sanitary sewer main gravity pipe shall be 8" dia. or larger PVC Class SDR-35 or SDR-21 with elastomeric joints. Laterals shall be 4" dia. SDR-21 with elastomeric joints. Actual field conditions may require additional pipe or larger pipe sizes. All sanitary sewer pipe shall be designed by the developer's engineer. Field changes must be approved by the sewer district.
4. The sanitary sewer is designed to provide gravity service to all adjacent building basements. Exceptions have been approved by the sewer district and are clearly noted on the utility plan. Basement floor elevations will be shown on the sanitary sewer profile for each lot that will not be served by gravity laterals.
5. The contractor shall locate, mark and preserve any yard of way monuments or survey control in the area of construction.
6. Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to construction.
7. The sanitary sewer shall be located a minimum horizontal distance of 10' from any existing or proposed water main (as measured from the outside of the sewer to the outside of the water main). In cases where the sanitary sewer crosses a water main, the minimum vertical separation shall be 18" (measured out-to-out). The crossing shall be arranged so that the sewer joints will be above the water main and as far as possible from the water main joints.
8. A letter of credit, or engineer approved equivalent, for an amount equal to the estimated cost of construction, inspection, record drawings, contingencies and related expenses for the sanitary sewer plus an additional 10% for bid enticement must be submitted to the Commissioner of Public Works before a permit is issued or sewer construction may commence.
9. The contractor shall provide a letter of credit to the sewer district. Any specifications that have been pre-approved by the design engineer before a permit will be issued.
10. The developer is responsible for the preparation of all required easement maps and descriptions and submission to the District for approval. Permits will not be issued prior to the easement documents being signed by the Commissioner and recorded in the County Clerk's office.
11. The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
12. When sanitary sewer construction activities begin, the contractor shall plug the main at the connecting manhole. Plugs shall not be removed until the completed sewer line is tested and approved for use.
13. The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the developer, engineer and the District.
14. The sewer line shall be laid using a pipe laser. Grade shall be checked every 100 feet using a surveyor's level to insure the correct grade is being maintained.

15. Floor drains in the basement or garage are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated ground water. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County sewer use local standards and flow restrictions. The connection shall be made in a manner that will prohibit ground water from draining into the sanitary sewer pipe crawlspace.
16. Openings in existing manholes shall be made with a core saw. A rubber, water-tight gaskets, shall be used to install manhole boot adapters or other District approved connector conforming to ASTM C993, shall be used to connect the new manhole to the existing manhole.
17. Connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.
18. All pipes entering and exiting manholes shall have a flexible water-tight joint no less than 1 foot longer than 3 feet, and shall extend at least 6 inches above the manhole rim.
19. Manholes deeper than 14 feet, less than 5 feet in depth, or having three or more pipe connections shall have a minimum inside diameter of 5 feet.
20. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted with red lights under the supervision of the project engineer.
21. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.
22. Existing laterals to be disconnected must be permanently plugged or capped at the easement or street line under the supervision of the Ontario County Lake County Sewer District Supervisor. The contractor is required to obtain a permit prior to performing the work. The location of the lateral or cap shall be recorded for as-built drawing purposes.
23. Lateral clean outs will be provided at the right of way line or sanitary sewer easement line, unless otherwise noted on drawings or indicated by the District Engineer field notes.
24. The contractor shall take and record field measurements to all flyways, clean outs and lateral plugs as well as lengths of risers and depths at lateral plugs. The information will be given to the developer's engineer for use in preparing record drawings.
25. Following project completion and ten days after the backfill has been in place the following tests shall be performed on gravity sewers:
  - a. Infiltration/ex-filtration tests on sewer main and manholes. Air pressure testing for sewer mains and vacuum testing for manholes is recommended. Tests on manholes may be performed only after manhole benches and inverts are complete.
  - b. A deflection test using a closed circuit television camera at 95% of the inside diameter of the pipe. Mechanical plugging devices will not be used.
26. The sewer line will be televised and lamped after all other tests are complete. A good quality copy of the DVD or video-tape and related records will be submitted for evaluation to Canadian Council of Ministers of the Environment. Prior to televising the sewer line shall be flushed and cleared of dirt, stones and debris. If permission is granted to remove the plug at the connecting manhole prior to flushing operation, provide downstream screens or other devices to prevent debris from entering the County's sewer system. Sections of pipe that cannot be re-flushed will be re-cleaned until acceptable.
26. Upon project completion and District approval, the developer's engineer will submit record drawings on mylar and in electronic format, tie to NAD83 Horizontal and NAVD83 88 Vertical datum. The drawings will show actual field measured locations, lengths, elevations and types of pipe, appurtenances, structures and structures. The drawings shall be prepared and signed by the professional engineer requested by the District. Mylar drawings will be stamped/sealed and signed by a professional engineer or surveyor, and shall be at standard engineering scale (1" = 50' min.), and on standardized sized drawings no smaller than 11" x 17" and no larger than 24" x 36". Project measurement and permanent benchmarks shall be shown with coordinate and/or elevation information.



- MANHOLE NOTES:

1. MANHOLES LESS THAN 5 FEET DEEP, GREATER THAN 14 FEET DEEP, OR HAVING THREE OR MORE PIPE CONNECTIONS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 5 FEET.
2. REINFORCED PRECAST CONCRETE FLAT COVER SLABS WITH 2" DIA. EGGSHAPED MASONRY OPENING SHALL BE USED FOR MANHOLES.
3. ALL BENCHES, INVERTS AND INTERIOR WALLS OF THE MANHOLE BASE TO 12" ABOVE THE HIGHEST PIPE SHALL HAVE TWO APPLICATIONS OF EPOXY COATING (SIKAGARD 62, DURALURITE 500 OR OTHER APPROVED EQUAL). THE REMAINING INTERIOR SURFACE OF THE EXTERIOR SURFACE SHALL BE COATED WITH TWO APPLICATIONS OF APPROVED BITUMASTOIC COAT SEALER (ASTM D-450, TYPE B).
4. MANHOLE STEPS SHALL BE STEEL REINFORCED POLYPROPYLENE, CAST IN PLACE BY MANUFACTURER.
5. MANHOLE FRAME AND COVER SHALL BE SYRACUSE CASTING #1032, NENAH R-1726 OR OTHER DISTRICT APPROVED "CAUTION" OR "NO ENTRY" CASTING WITH "STANDARD" OR "L" CAST IN LID WITH 2" LETTERING (MIN. SIZE).
6. FOR MANHOLES NOT LOCATED IN PAVEMENT, BACKFILL WITH SUITABLE NATURAL MATERIAL PER NYSDOT SPECIFICATION 203-2.01. FOR MANHOLES IN PAVEMENT, BACKFILL WITH GRAVEL OR RUN STONE, TYPE 2 PER NYSDOT SPECIFICATION 304-2.02.



LOCATION SKETCH  
N.T.S

[illegible]

DATE	REVISIONS	BY:
------	-----------	-----



### DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING

" IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



## Engineers &amp; Surveyors

822 Holt Road  
Webster, NY 14580  
(585) 436-1080  
[www.McMahon-LaRue.com](http://www.McMahon-LaRue.com)

**CLIENT:**

MORGAN CANANDAIGUA LLC  
1180 PITTSFORD-VICTOR RD  
SUITE 100  
PITTSFORD, NY 14534

PROJECT:

## CENTERPOINTE APARTMENTS

### PHASE 3

### DRAWING

## FINAL NOTES AND DETAILS

PART OF TOWN LOT 103  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY  
STATE OF NEW YORK

DESIGNED BY: GWM

DRAWN BY: GWM

**CHECKED BY:** All

881 56.00

BROJ NO: 1070

## DATA

DATE	TIME
2011	10:11

---

12 SHEET 12

## CARD FILE