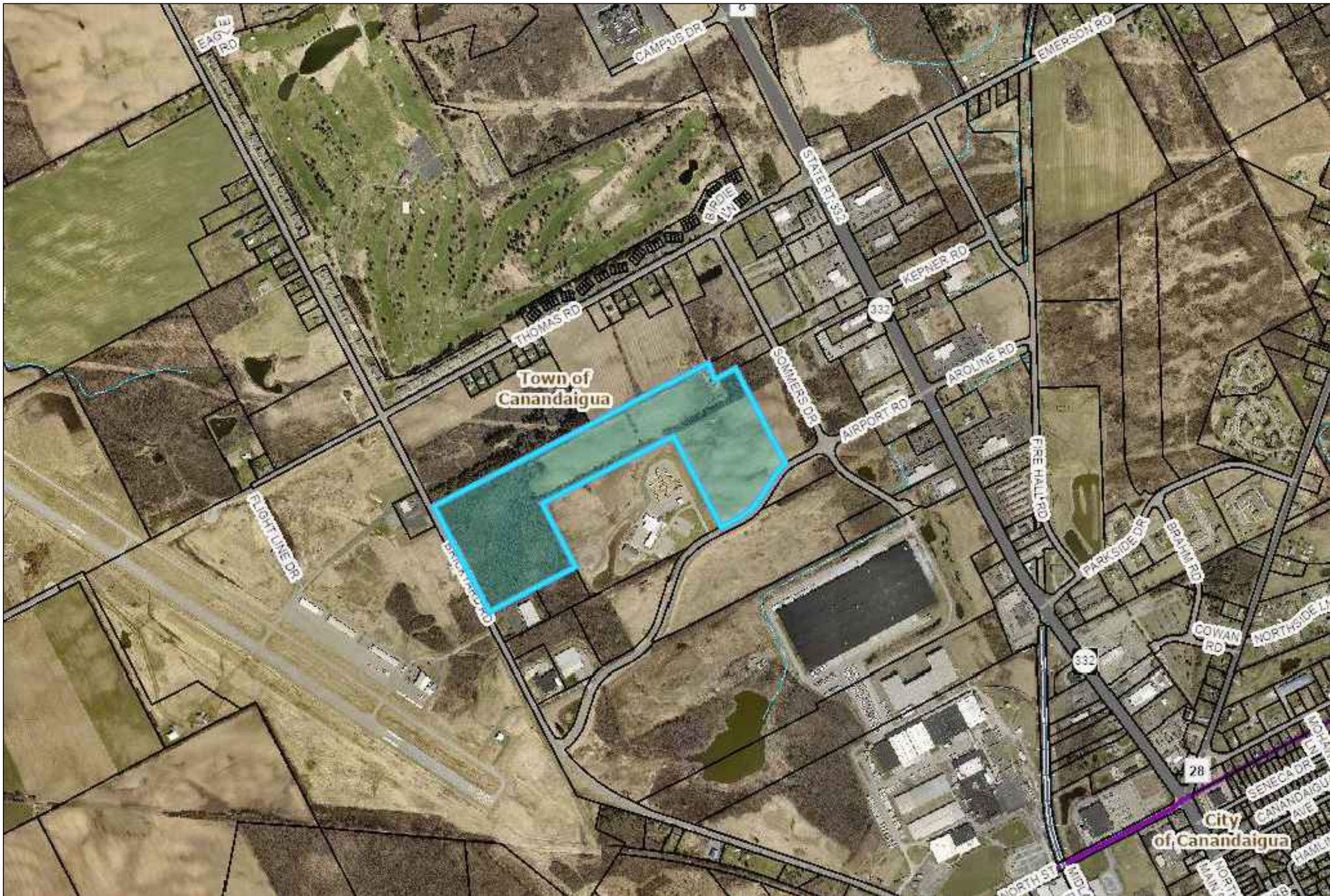
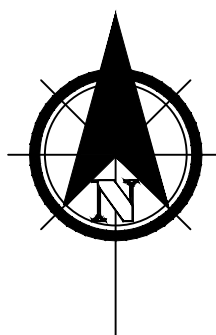


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR

LOT#2
UPTOWNE POINTE LLC
2361 BRICKYARD ROAD
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK

SHEET INDEX:	
C-0	COVER SHEET
EX-1	EXISTING CONDITIONS PLAN
C-1	SITE CONSTRUCTION NOTES AND DETAILS
C-2	SITE PLAN



AERIAL LOCUS
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL
HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE
PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

VENEZIA
PROFESSIONAL LAND SURVEYORS

JOYCE CONSULTING GROUP
ENGINEERS

JOYCE CONSULTING GROUP, PC
100 WYMAN ROAD, BRAINTREE MA
www.joyccg.com
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VENEZIA AND ASSOCIATES
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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK
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SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A
SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

License # 049761
Rocco A. Venezia, P.L.S.

Site Plan Drawings Prepared For:

Uptowne Pointe LLC

Showing Land
at
2361 Brickyard Road
Town of Canandaigua
County of Ontario State of New York

File#
Scale: AS NOTED
T.m. # 70.00-1-67.111
Date: 08/18/2022
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C-0

GENERAL NOTES

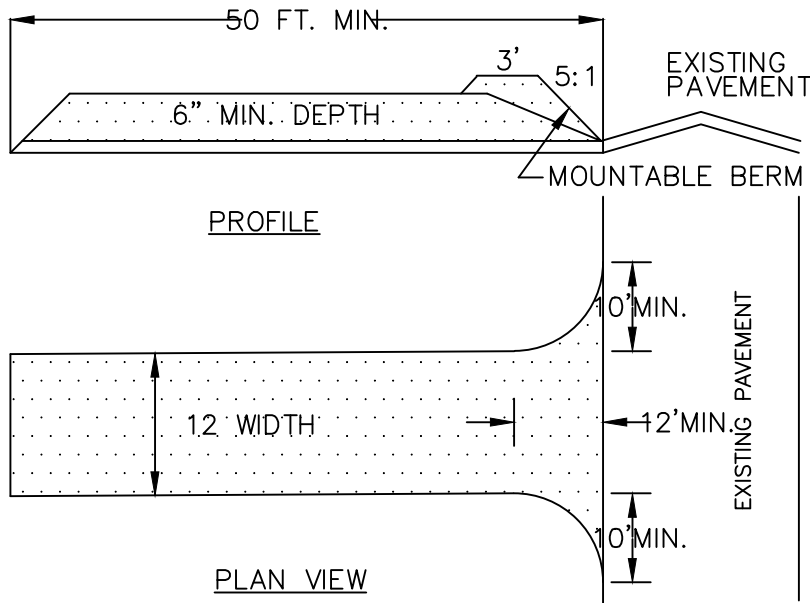
1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES ON JUNE 8, 2021.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES PER C.P. #3605980015C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. ELEVATIONS REFERENCE NAVD88 DATUM.
8. NO SANITARY SEWER SERVICE IS PROPOSED AT BUILDINGS.

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
11. DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
13. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE). WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
- A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION. WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 DAYS IF OVER 5-ACRES OF DISTURBANCE, OR 3 DAYS IF BETWEEN NOVEMBER 15TH AND APRIL 1ST).
- B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
- THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSEENED BY DISKING RAKING OR BACK-BLADING WITH A BULLDOZER
 - FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:
- | SPRING/SUMMER/EARLY FALL | LBS/ACRE | LBS/1,000 SQ. ACRE |
|--------------------------|----------|--------------------|
| ANNUAL RYE GRASS | 30 | 0.7 |
| PERENNIAL RYEGRASS | 30 | 0.7 |
| LATE FALL/EARLY WINTER | | |
| CEREAL RYE | 100 | 2.5 |
- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
- C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
- | | LBS/ACRE | LBS/1,000 SQ. ACRE |
|--|----------|--------------------|
| BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER | 8 OR 8 | 0.20 OR 0.20 |
| TALL FESCUE | 20 | 0.45 |
| REDTOP OR RYEGRASS (PERENNIAL) | 2 OR 5 | 0.05 OR 0.10 |
- SEEDING RATE 6 LBS PER 1000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN WETCH SEED WITH PERENNIAL RYEGRASS.
- NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
18. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
19. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK UPFO HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
20. THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION AND SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
21. ANY ADDITIONAL OR EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
22. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
23. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING, AND SUBSEQUENTLY REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS, AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
25. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

WATER SYSTEM NOTES

1. WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
2. PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL WHERE A WATERMAIN CROSSES UNDER A SEWER. ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
3. WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5-FEET OF COVER FROM FINISHED GRADE.
4. THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
5. THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
6. DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.



STABILIZED CONSTRUCTION ENTRANCE DETAILS

NOT TO SCALE

1. STONE SIZE – USE #2 STONE
2. THICKNESS – NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH – FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE – THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

STORMWATER SYSTEM SIZING

REQUIRED VOLUME FOR AREA REDUCTION:

THE STORMWATER INFILTRATION SYSTEM HAS BEEN SIZED TO CONTAIN A 2" RAIN EVENT BEFORE OVERFLOW. DUE TO THE FACT THAT THE PROJECT IS NOT DISTURBING MORE THAN AN ACRE AND HAS LESS THAN 5,000 SF OF NEW PARKING A FULL STORMWATER QUALITY AND QUANTITY EVALUATION HAS NOT BEEN PERFORMED, BUT CONTAINMENT OF THE 2" STORM PROVIDES STORMWATER QUALITY CONTROL FOR ENHANCED PHOSPHORUS REMOVAL DUE TO THE PROJECT BEING LOCATED IN THE CANANDAIGUA LAKE WATERSHED AND THE 10-YEAR STORM EVENT HAS BEEN MITIGATED.

THE PROPOSED VOLUME OF RUNOFF, ASSUMING 100% RUNOFF FROM 2" OF RAIN, OVER THE IMPERVIOUS COVER DRAINAGE AREA (PROPOSED ROOF, GRAVEL DRIVEWAY AND GRAVEL PARKING AREA) IS:

IMPERVIOUS AREA X 2" = 17,164 SF X 0.16 FT = 2,746 CF

IN ORDER TO PROVIDE STORAGE FOR THIS VOLUME, DRY SWALES WITH STORAGE CAPACITY AROUND THE DEVELOPMENT AREA ARE PROPOSED. THESE SYSTEMS STORE A COMBINED VOLUME OF 6,668 CF BEFORE OVERFLOW.

ADDITIONALLY, THE EXISTING AND PROPOSED DRAINAGE AREA (EXDA/PDA) HAS BEEN MODELED USING HYDROCAD VERSION 10.10 HYDROLOGIC MODELING SOFTWARE TO DETERMINE THE CHANGE IN RUNOFF CHARACTERISTICS FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT FROM THE 2-YEAR, 24-HOUR DESIGN STORM (DEPTH 2.19") AND THE 10-YEAR, 24-HOUR DESIGN STORM (DEPTH 3.14"). THE RESULTS OF THE MODELING ARE PRESENTED BELOW.

2-YEAR, 24-HOUR DESIGN STORM (2.19") MITIGATION PER HYDROLOGIC MODEL
PRE-DEVELOPMENT RUNOFF= 0.34 CFS, 0.024 ACRE-FEET RUNOFF VOLUME
POST-DEVELOPMENT RUNOFF= 0.28 CFS, 0.020 ACRE-FEET RUNOFF VOLUME

10-YEAR, 24-HOUR DESIGN STORM (3.14") MITIGATION PER HYDROLOGIC MODEL
PRE-DEVELOPMENT RUNOFF= 0.90 CFS, 0.056 ACRE-FEET RUNOFF VOLUME
POST-DEVELOPMENT RUNOFF= 0.57 CFS, 0.040 ACRE-FEET RUNOFF VOLUME

DURING THE 2-YEAR AND 10-YEAR 24-HOUR DESIGN STORMS THERE IS A NET REDUCTION IN BOTH THE RUNOFF RATE AND VOLUME WITH THE PROPOSED DEVELOPMENT.

VOLUME PROVIDED IN DRY SWALE INFILTRATION SYSTEMS:

DRY SWALE #2 AT FRONT: [440 SF]

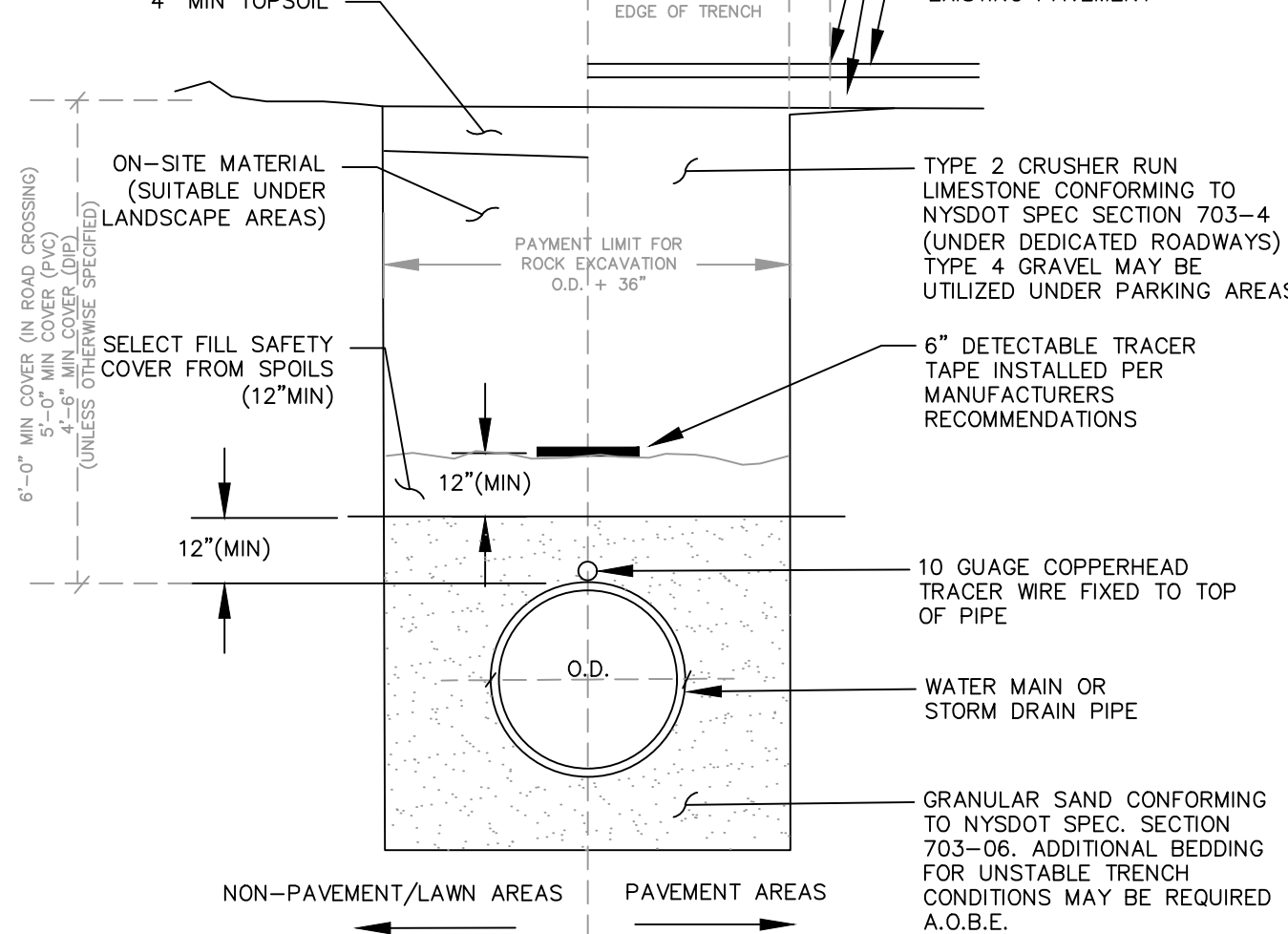
SURFACE DEPRESSIONS: 440 SF X 2" DEEP = 880 CF

DRY SWALE #1 AT EDGE SURROUND: [2,894 SF]

SURFACE DEPRESSION: 2,894 X 24" DEEP = 5,788 CF

TOTAL VOLUME OF SYSTEM:
VOLUME OF DRY SWALES = 880 CF + 5,788 CF = 6,668 CF

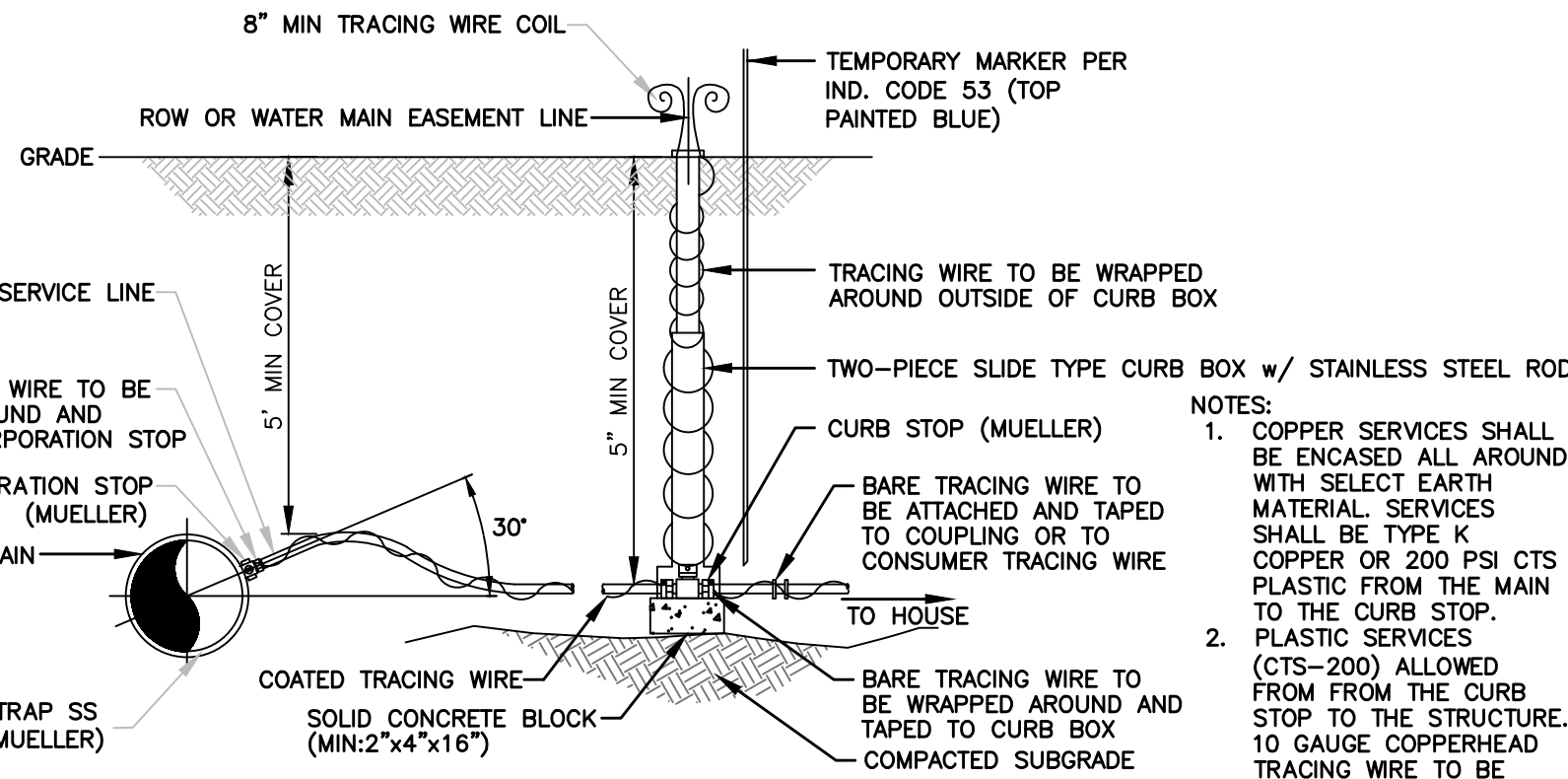
MINIMUM ASPHALT REPLACEMENT:
SEE PAVEMENT CROSS SECTION DETAILS
(PAVEMENT THICKNESS TO MATCH EXISTING)
MINIMUM ASPHALT REPLACEMENT FOR
DRIVEWAYS AND PARKING AREAS:
1" TOP (NYSDOT 402.098103)
2" BINDER (NYSDOT 402.258903)



WATER MAIN & DRAIN

BEDDING DETAIL

NOT TO SCALE



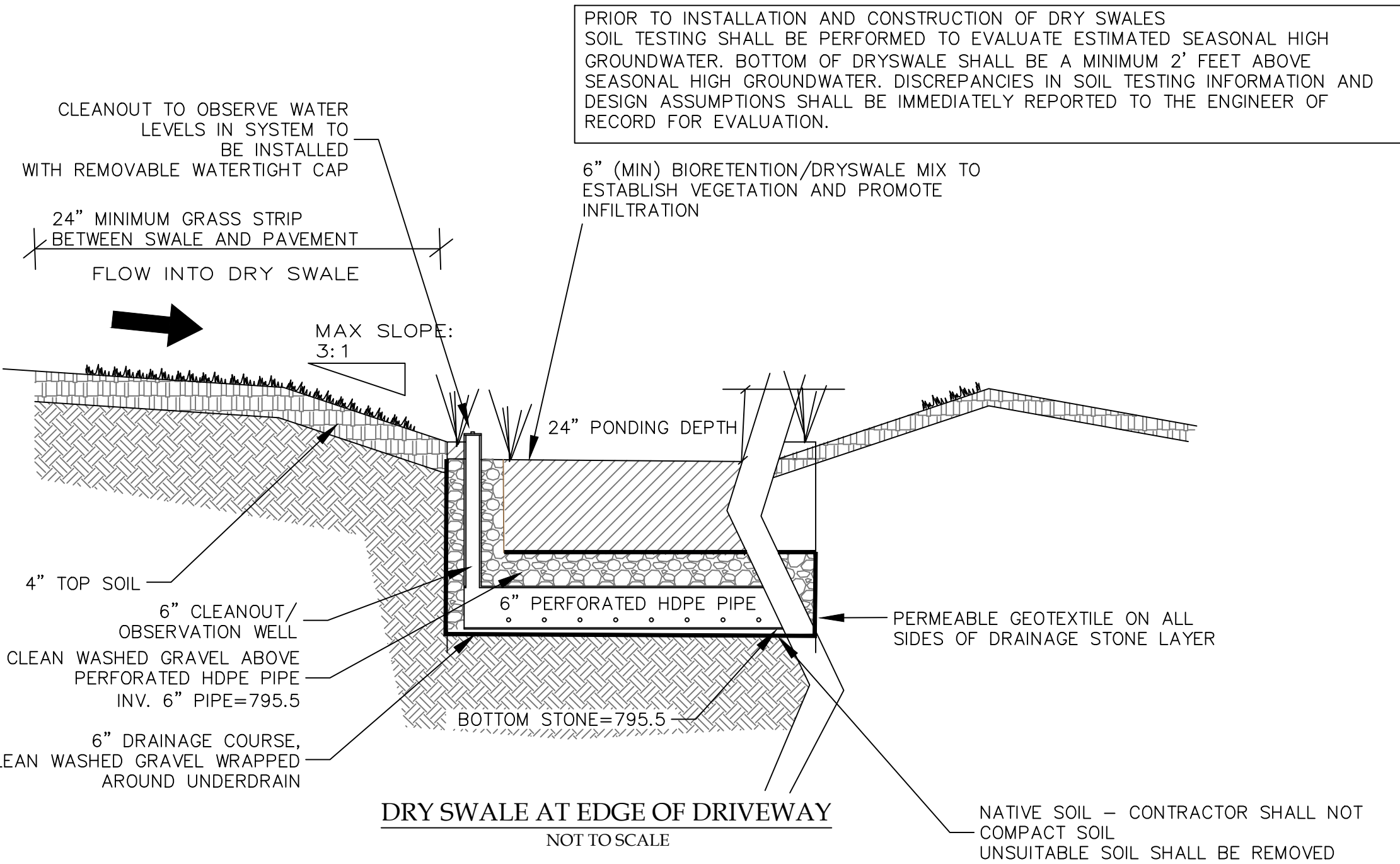
TYPICAL WATER SERVICE INSTALLATION

N.T.S.

ZONING CHART

TOWN OF CANANDAIGUA
ZONING DISTRICT: INDUSTRIAL

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA (AREA TO ROW)	43,560 SF (1 ACRE)	3.0 ACRES	3.0 ACRES
MIN LOT WIDTH	175'	200'	200'
MIN FRONT YARD SETBACK	60'	N/A VACANT LOT	79.00'
MIN SIDE YARD SETBACK	25'	N/A VACANT LOT	33.67'
MIN REAR YARD SETBACK	50'	N/A VACANT LOT	474.53'
MIN REAR SETBACK (ACCESSORY)	40'	N/A VACANT LOT	N/A
MAX BUILDING HEIGHT	48 FT	N/A VACANT LOT	<48'
MAX ACCESSORY STRUCTURE HEIGHT	16 FT	N/A VACANT LOT	N/A
MAX BUILDING COVERAGE	30%	N/A VACANT LOT	4.3%
SITE DISTURBANCE		33,940 SF OR 0.78 ACRES	



DRY SWALE AT EDGE OF DRIVEWAY

NOT TO SCALE

LEGEND

- W --- PROP WATER
S --- PROP SEWER
D --- PROP DRAIN
E --- PROP ELECT
T --- PROP TEL
GAS --- PROP GAS
- 900.3 X SPOT GRADE
PROPOSED EROSION MAT
CHECK DAM
PROPOSED INLET PROTECTION
- SILT FENCE
--- 900' EXIST. CONTOUR
--- 900' PROP CONTOUR
--- PROPERTY LINE
--- CENTERLINE
- LP LIGHT POLE
DB DRAIN MANHOLE
CB CATCH BASIN
SM SEWER MANHOLE
HV HYDRANT

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
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FOR PERMITTING ONLY

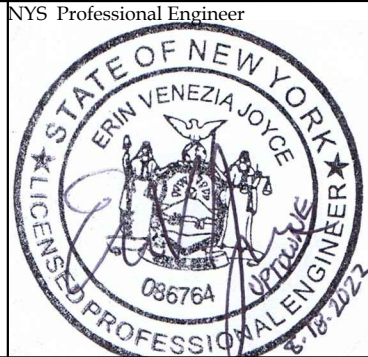


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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 046761

Drawing Title:

SITE CONSTRUCTION NOTES AND DETAILS

Site Plan Prepared For:

Uptowne Pointe LLC

2361 Brickyard Road
Town of Canandaigua
County of Ontario State of New York

File#

Scale: AS NOTED

T.m. # 70.00-1-67.111

Date: 08/18/2022

Sheet:

C-1

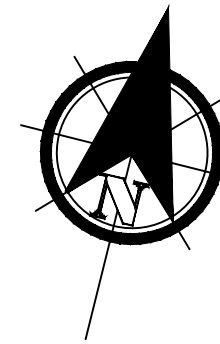
Brickyard Road
(66.0' wide)

Lot 3
N/F Uptowne Pointe LLC

Lot 2
3.000 Acres

NOTE: PRIOR TO THE START OF CONSTRUCTION THE LIMIT OF WORK SHALL BE MARKED IN THE FIELD AND SILT FENCE INSTALLED AT THE PERIMETER. IF, AT ANY TIME, THE LIMIT OF WORK LINE CHANGES AND THE CONSTRUCTION AREA INCREASES TO EXCEED 1-ACRE (43,560 SF), THE FOLLOWING WILL BE REQUIRED:

- THE PROJECT SECURES A NYSDEC STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP #0-20-001) INCLUDING THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN; AND
- THE PROJECT COMPLIES WITH THE TOWN OF CANANDAIGUA'S MS4 REQUIREMENTS.



EROSION CONTROL CONSTRUCTION SEQUENCE:

1. LOCATE LIMIT OF WORK LINE AND INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
2. MARK AREAS FOR PROPOSED INFILTRATION PRACTICES (I.E. DRY SWALE) TO ELIMINATE THE MOVEMENT OF CONSTRUCTION EQUIPMENT OVER THESE AREAS.
3. BEGIN GENERAL CONSTRUCTION ACTIVITIES TO ESTABLISH ROUTE OF NEW DRIVEWAY, LOCATION AND GENERAL GRADE OF PARKING LOT AND LOCATION AND GENERAL GRADE OF BUILDING FOUNDATION ADDITION.
4. BEGIN GENERAL CONSTRUCTION AROUND THE BUILDING AND CONSTRUCT FOUNDATIONS.
5. ERECT BUILDING.
6. COMPLETE STORMWATER MANAGEMENT SYSTEM INSTALLATION. INFILTRATION AREAS ARE TO BE COMPLETED ONLY AFTER STABILIZATION OF UPSTREAM AREAS IS COMPLETE.
7. PERMANENTLY STABILIZE ALL AREAS AROUND THE BUILDING LOCATION.
8. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.

REFER TO EXISTING CONDITIONS PLAN FOR COMPLETE EXISTING CONDITIONS MAPPING AND SUBDIVISION MAPPING (PARTIALLY SHOWN ON THIS SITE PLAN)

474.53'

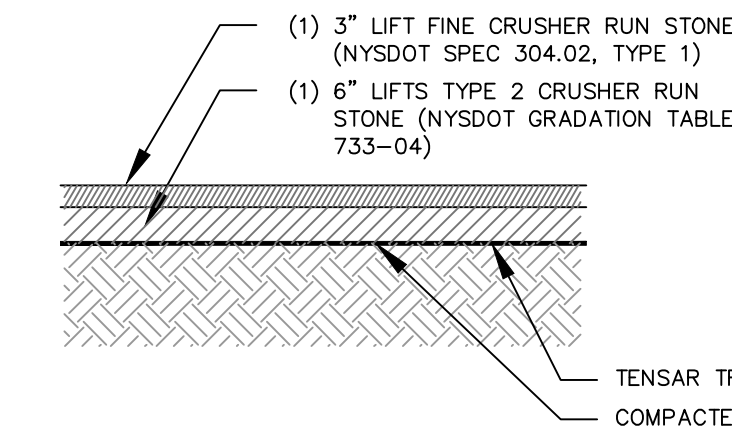
PROPERTY LINE (TYP)

Lot 1
N/F Uptowne Pointe LLC

[REFER TO SITE PLAN FILED UNDER SEPARATE APPLICATION FOR WORK ON LOT 1]

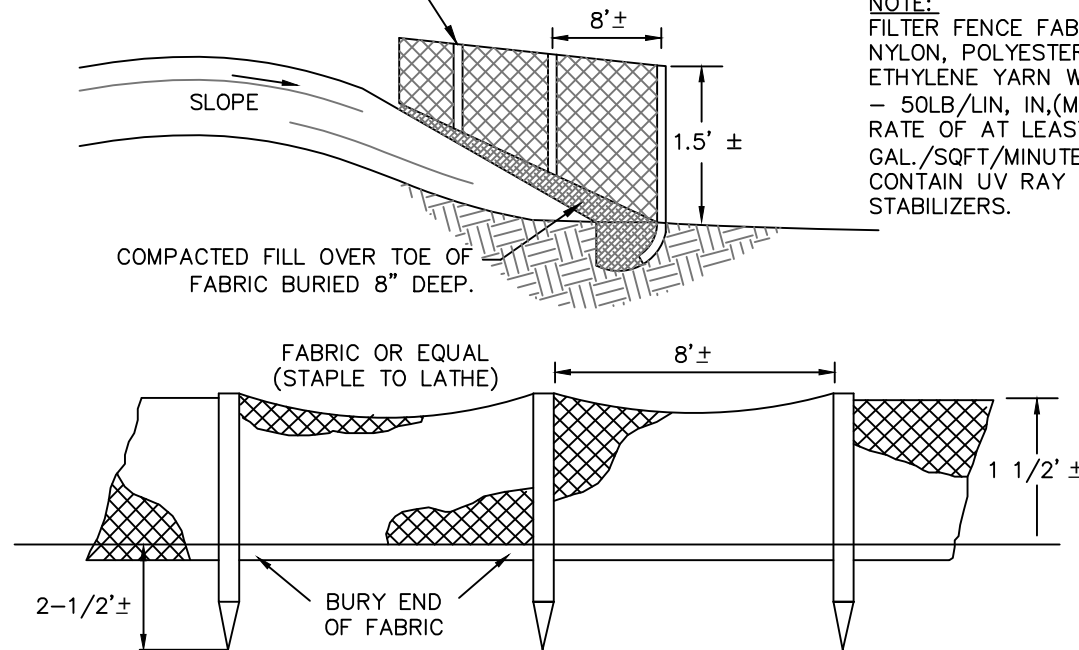
LIMIT OF WORK
AREA OF DISTURBANCE=33,940SF

25' side Setback Line



GRAVEL PAVEMENT
NOT TO SCALE

POSTS SHALL BE 4" MIN. DIA.
PINE LOCATED DOWNSLOPE OF
FABRIC TO HELP SUPPORT FENCE.



SILT FENCE DETAIL
NOT TO SCALE

NOTE:
FILTER FENCE FABRIC SHALL BE OF
NYLON, POLYESTER, PROPYLENE, OR
ETHYLENE YARN WITH EXTRA STRENGTH
- SOLB/LIN. IN.(MIN). WITH A FLOW
RATE OF AT LEAST 0.3
GAL./SQFT/MINUTE. FABRIC SHOULD
CONTAIN UV RAY INHIBITORS AND
STABILIZERS.

FOR PERMITTING ONLY



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rocco@veneziasurvey.com
585.396.3267



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781.817.6120

SCALE: 1" = 20'
0' 10' 20' 40' 60'

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Drawing Title:

SITE PLAN

Site Plan Prepared For:

Uptowne Pointe LLC
2361 Brickyard Road
Town of Canandaigua
County of Ontario State of New York

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

File#
Scale: AS NOTED
T.m. # 70.00-1-67.111
Date: 08/18/2022
Sheet:

C-2

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.