

October 21, 2022

Mr. Doug Finch, Town Manager
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua, New York 14424

**RE: UPTOWNE POINTE LOT #2 – 2361 BRICKYARD ROAD
SITE PLAN REVIEW
TAX MAP NO. 70.11-1-67.111
CPN No. 22-047
MRB PROJECT NO.: 0300.12001.000 PHASE 299**

Dear Mr. Finch:

MRB has completed a review of the submitted Site Plan regarding the above referenced project, dated August 18, 2022, prepared by Venezia & Associates and received by MRB on October 19, 2022. We offer the following comments for the Planning Board's consideration. A brief written response to each comment should be provided by the design engineer.

Site Plan and General Comments

1. It does not appear that the plans were updated to include the required stormwater maintenance access easement to the Town of Canandaigua over all stormwater management practices. Please update the plans to depict this easement.
2. A detail of the proposed gate and fence are to be added to the plans or provided on a separate cover.
3. Vehicle turning movement analysis should be provided either on the plans or separate cover, demonstrating the ability of an emergency vehicle to navigate the site, specifically the rear portion of the building.
4. A lighting plan is required to be shown on the site plans depicting all proposed site lighting and building lighting locations. The lighting plan should include a lighting schedule and true photometric contours, along with photometric analysis demonstrating compliance with the Town's lighting uniformity requirements.
5. A construction staging area and a concrete washout area (even if it may not be needed) is to be shown on the plans. This is a standard requirement for site plans in the Town of Canandaigua.

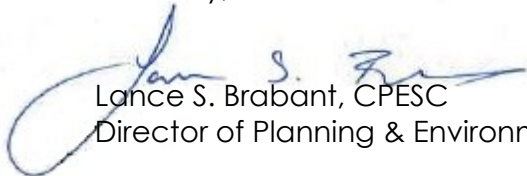
6. The proposed locations of the silt fence/silt sock protecting the filtration areas should be shown on the plans. We understand that these areas may change during construction however, they need to be shown.
7. It is our understanding that a landscaping plan will be provided on a separate cover. Please note that this should be provided to the Planning Board for review and approval as part of the site plan review. All landscaping is to be designed to meet the Town of Canandaigua's Town Code §220-76 landscaping requirements.

Stormwater Sizing Report Comments

8. The WQv/RRv provided by the proposed stormwater management practices should follow the sizing criteria/calculations for bioretention areas. The amount of WQv provided by a practice should be the total storage volume (as calculated per approved methods) minus the RRv provided by the practice.
9. Dual class soils are typically modeled as HSG D unless drained (i.e. farm tiles). As such, soils in their natural, undeveloped setting should generally be considered HSG D.
10. The existing forest/woods area should be modeled as "good" condition.
11. Full size drainage maps should be provided for both existing and proposed conditions.
12. Whilst compacted gravel surfaces may initially provide a slight amount of storage, over time these voids will be filled by sediment, dust, and other debris. As such, compacted gravel surfaces should be modeled as CN 98.
13. The modeling should also include the 1-year, 24-hour design storm.

If you have any questions, comments or concerns regarding any of the above comments please contact me.

Sincerely,



Lance S. Brabant, CPESC
Director of Planning & Environmental Services