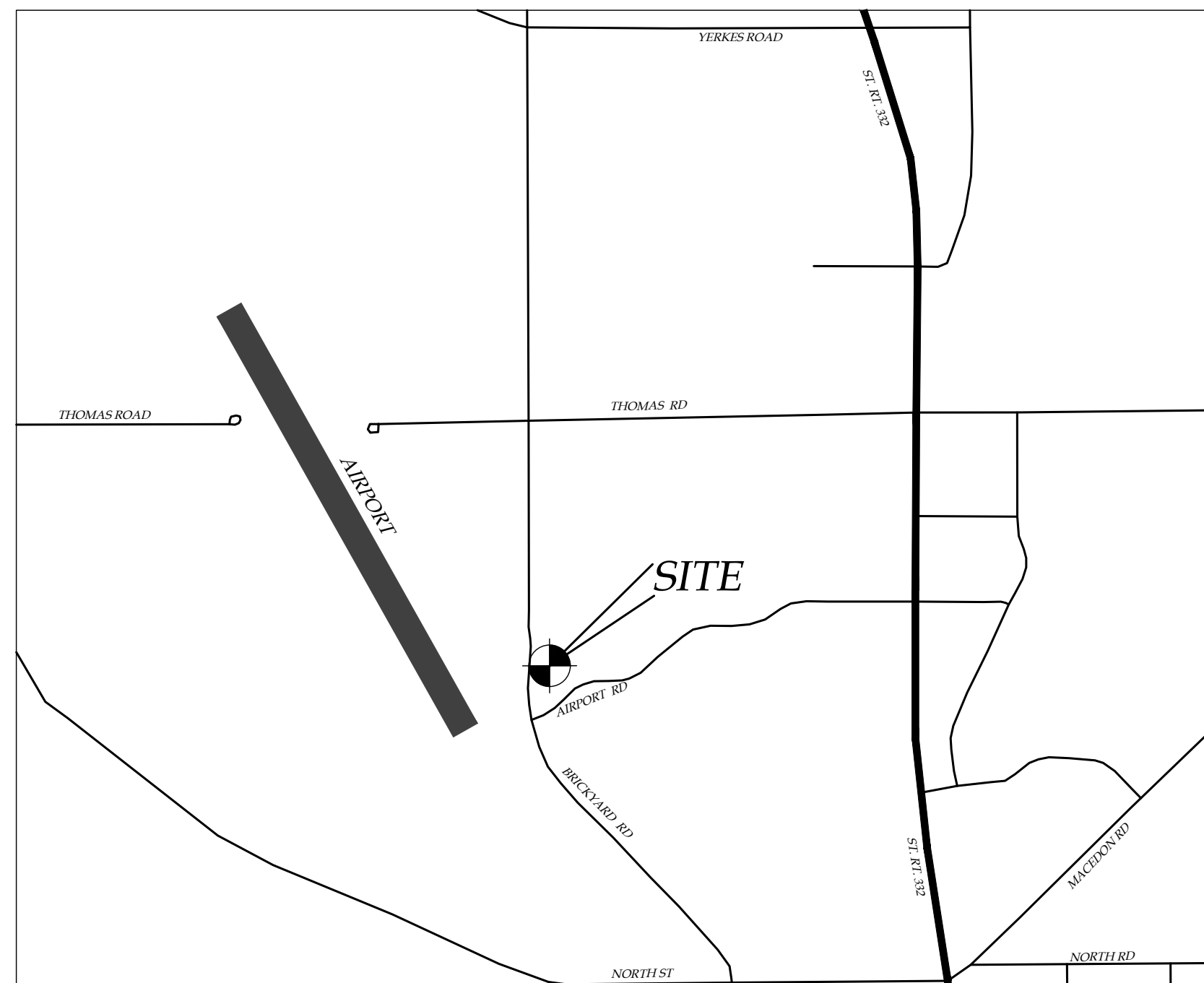


NEW SITE PLAN FOR:
GEMCOLE PROPERTIES, INC
2495 BRICKYARD RD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK
DECEMBER 01, 2022



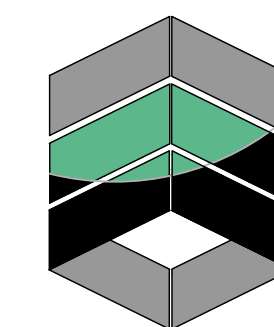
LOCATION MAP
NTS



AERIAL PHOTO
NTS



INDEX-
COVER
EX100 - EXISTING CONDITIONS
C100 - SITE PLAN
L100 - LANDSCAPE PLAN
L101 - LIGHTING PLAN
C500 - DETAILS



MarksEngineering

MARKS ENGINEERING, P.C.
4303 RT. 5 & 20
CANANDAIGUA, NY 14424
(585)905-0360
WWW.MARKSENGINEERING.COM

PREPARED FOR:
RICHARD DEYS

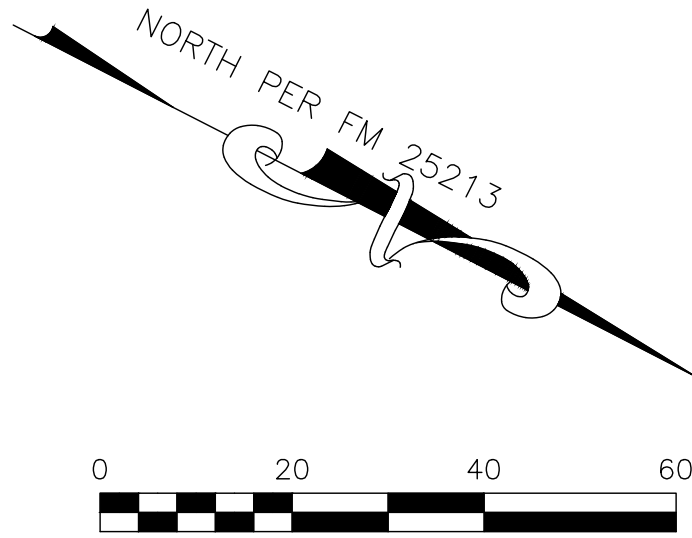
PROPERTY OWNER:
GEMCOLE PROPERTIES, INC
89 S. MAIN ST
MANCHESTER, NY 14504

REVISED

1/6/23 PER MRB LETTER DATED 1/3/23

GEMCOLE PROPERTIES, INC
2495 BRICKYARD RD
TOWN OF CANANDIAGUA
COUNTY OF ONTARIO
NEW YORK

JOB #22-214
12/01/2022



MAP REFERENCE AND NOTES

1. MAP NOS. 4493, 9715, 25100, 25213, 25767, 26780, 28605
2. ELEVATION DATUM: NAVD 88 GEOID 18NGS.
3. THE NORTH, SOUTH AND EAST PROPERTY LINES WERE DETERMINED USING FILED MAPS 25213 & 25767.
4. LIBER 1444, PAGE 40 OF DEEDS
5. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
6. ALL UTILITIES SHOWN ARE BASED ON VISIBLE SURFACE LOCATION ONLY. NO UNDERGROUND UTILITIES SHOWN. UDIG NY SHALL BE CONTACTED BY THE SITE CONTRACTOR PRIOR TO ANY EXCAVATION.
7. SURVEY OF 2495 BRICKYARD ROAD BY McMAHON LoRUE ASSOCIATES, P.C. DATED DECEMBER 18, 2019, DRAWING 2019-153

ZONING:

I - INDUSTRIAL (MACHINE AND SHEET METAL SHOP; PRESS OPERATIONS)

MINIMUM LOT SIZE - 1 ACRE
MINIMUM LOT WIDTH - 175 FEET

MAXIMUM PRINCIPAL BUILDING HEIGHT - 48 FEET
MAXIMUM BUILDING COVERAGE - 30%

SETBACKS PRINCIPAL STRUCTURE:
FRONT - 60 FEET
REAR - 50 FEET
SIDE - 25 FEET

SETBACKS ACCESSORY STRUCTURE:
REAR - 40 FEET
SIDE - 25 FEET

LEGEND

○ Monument

⊕ Benchmark

○ Utility pole

● Hydrant

⊙ Light pole

⊙ Road Sign

⊙ Water Valve

PERC TEST

DEEP HOLE

EXISTING

PROPOSED

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Contour Line

ABBREVIATIONS:

EX-EXISTING

CP-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SI-CP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO-CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

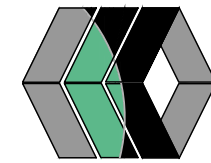
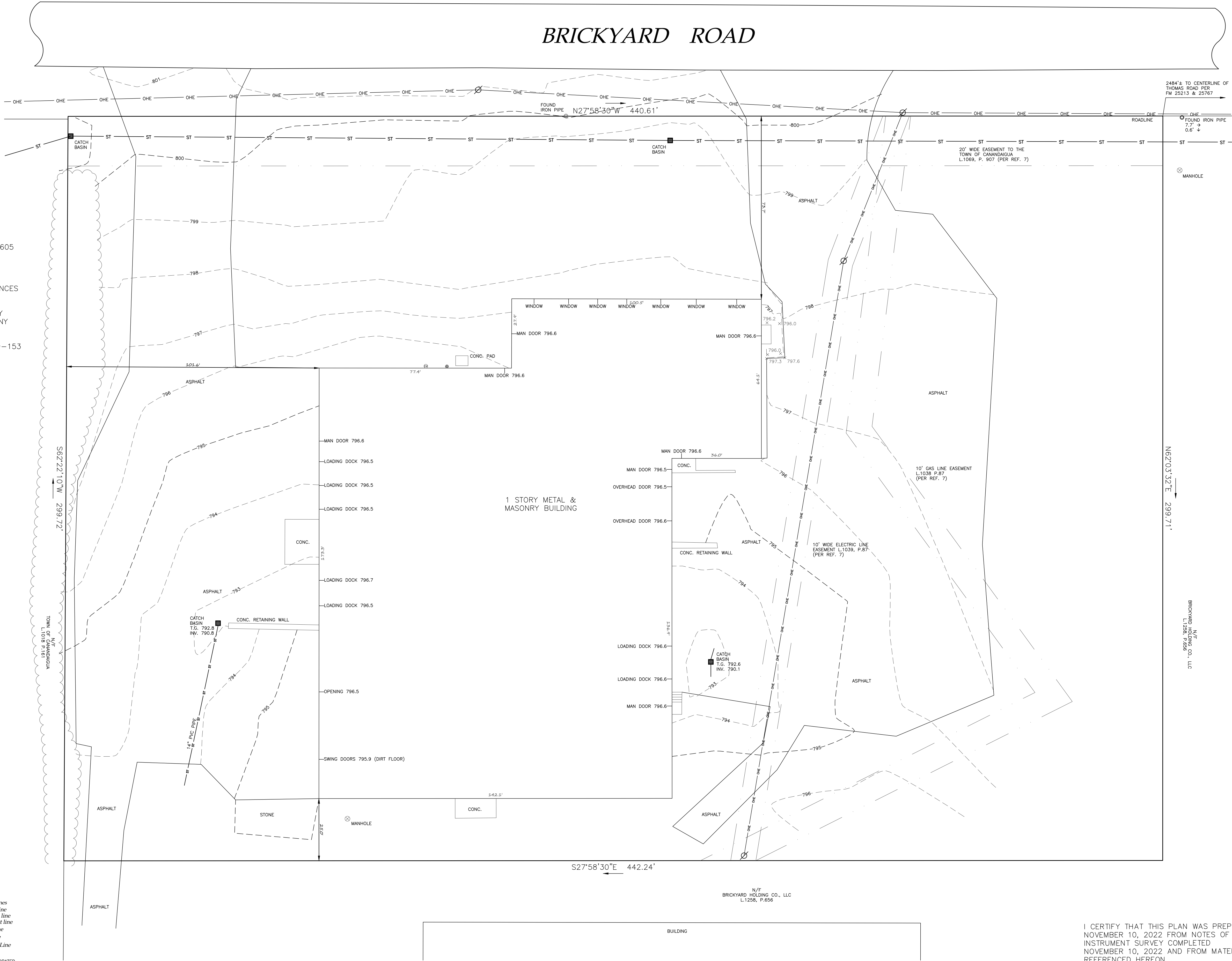
MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MH-MANHOLE

DI-DRAINAGE INLET



STAMP

STAMP

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY

EXISTING CONDITIONS PLAN OF LAND OF

GEMCOLE PROPERTIES, INC.

SHOWING LAND IN:

BRICKYARD ROAD

TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	BPH
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=20'
JOB NO.:	22-214
DATE:	21/01/2022
TAX MAP#:	70.00-1-10.111

I CERTIFY THAT THIS PLAN WAS PREPARED NOVEMBER 10, 2022 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED NOVEMBER 10, 2022 AND FROM MATERIALS REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724

EX100

SITE NOTES:

- EXISTING ZONING: INDUSTRIAL
- TOTAL PROJECT AREA IS ± 3.0 ACRES.
- EXISTING USE: MACHINE & SHEET METAL SHOP
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

	EXISTING	REQUIRED	EXISTING
MAX. BLDG COVERAGE ON LOT	30%	±22%	
MAX. PRINCIPAL USE BLDG HEIGHT	48'	<35'	
MIN. LOT WIDTH	175'	±440'	
MIN. LOT SIZE	1 AC	± 3.0 AC	

SETBACKS:		
FRONT	60'	±74'
SIDE	25'	±102'
REAR	50'	±25'

- PLANS ARE GRAPHIC REPRESENTATIONS OFWORK TO BE PERFORMED. THESE PLANS ARE INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATION OR INDUSTRY STANDARD
- ANY SYSTEM MODIFICATION OR DEVIATION FROM APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.

UTILITY NOTES:

- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF CANANDAIGUA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
 - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA, THE APPROPRIATE AGENCIES (TOWN OF CANANDAIGUA WATER AND SEWER DEPARTMENT) UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 - HIGHWAY DRAINAGE ALONG BRICKYARD ROAD TO BE MAINTAINED.
- STORM SEWER NOTES:
- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE TOWN OF CANANDAIGUA SPECIFICATIONS.
 - STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN.

GRADING NOTES:

- CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, AND DRIVEWAYS.
- TOPSOIL SHALL BE STRIPPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).

SEQUENCE OF CONSTRUCTION STEPS:

- STEP 1:
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
 - CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
 - INSTALL AND MAINTAIN PERIMETER SILT FENCE.
 - COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.
- STEP 2:
- STRIP AND STOCKPILE TOPSOIL: TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
 - CONSTRUCT STORMWATER MANAGEMENT FACILITY, INCLUDING OUTLET STRUCTURE, BERM AND SPILLWAY.
 - COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
 - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
 - COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH A MINIMUM 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
 - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND PAVEMENT/DRIVEWAY. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
 - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
 - INSTALL PAVEMENT/DRIVEWAY WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED AREAS.
- STEP 3:
- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GR-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MONITOR STORMWATER MANAGEMENT FACILITY DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
 - MAINTAIN PERIMETER SILT FENCE UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
 - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

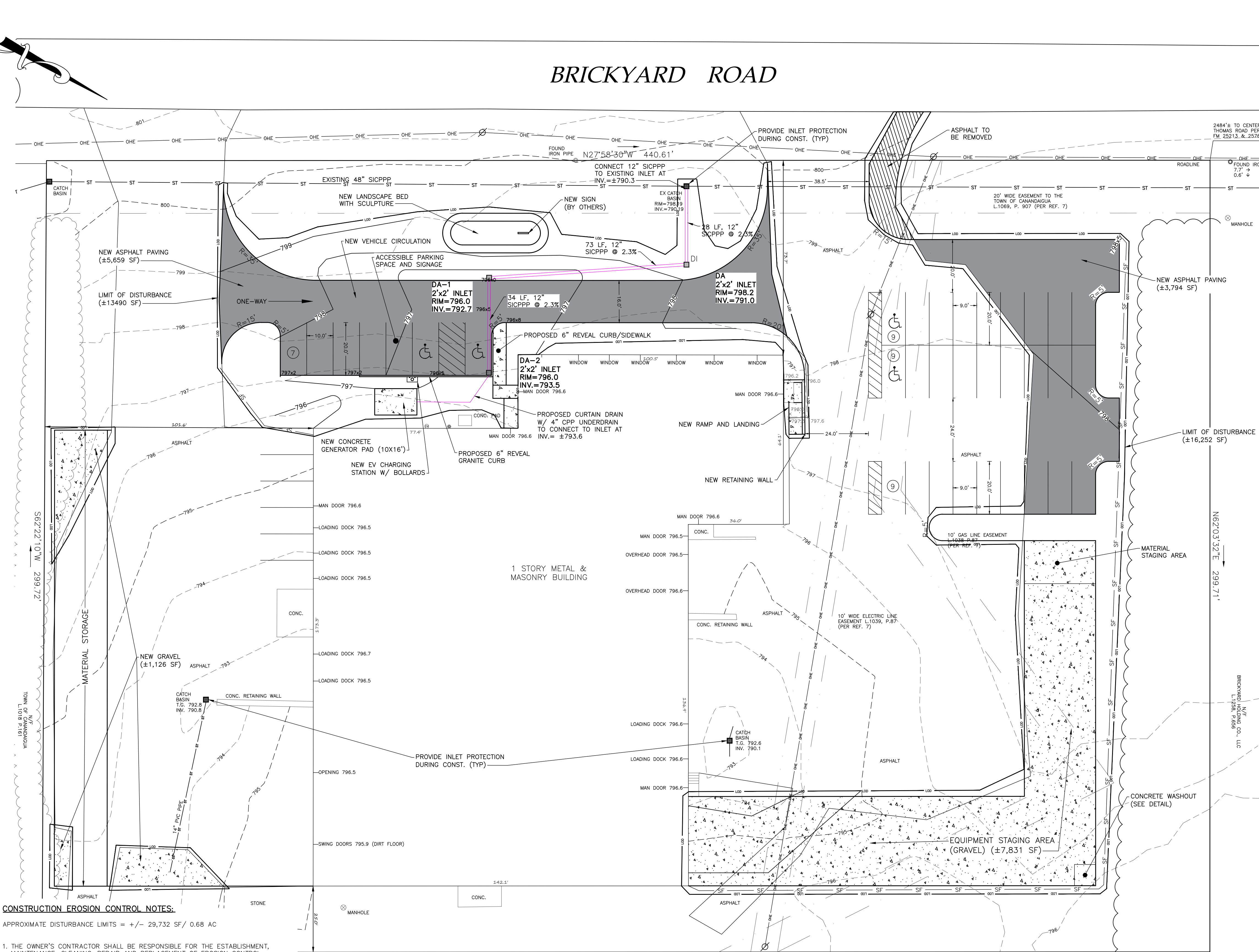
LEGEND

EXISTING	PROPOSED	Utility Lines
Monument	Monument	Limits of Disturbance
Benchmark	Benchmark	R.O.W. line
Utility pole	Utility pole	Property line
Hydrant	Hydrant	Easement line
Light pole	Light pole	Centerline
Road Sign	Road Sign	Drainage
Water Valve	Water Valve	Contour Line
		Demo Line

ABBREVIATIONS:

PERF - PERFORATED	CO - CLEAN OUT	PERF - PERFORATED
EXIST - EXISTING	TP - TYPICAL	EXIST - EXISTING
CORR - CORRUGATED	MIN - MINIMUM	CORR - CORRUGATED
POLY - POLYETHYLENE PIPE	R - RADIUS	POLY - POLYETHYLENE PIPE
ON - ON CENTER	DC - BOTTOM OF CURB	ON - ON CENTER
SICPP - SMOOTH INTERIOR CORRUGATED	TC - TOP OF CURB	SICPP - SMOOTH INTERIOR CORRUGATED
POLYETHYLENE PIPE	TW - TOP OF WALL	POLYETHYLENE PIPE
UB - UNDERGROUND	MF - MANHOLE	UB - UNDERGROUND
CONC - CONCRETE	BW - BOTTOM OF WALL	CONC - CONCRETE
	BS - BOTTOM OF STAIRS	

NEW ASPHALT



CONSTRUCTION EROSION CONTROL NOTES:

APPROXIMATE DISTURBANCE LIMITS = +/- 29,732 SF/ 0.68 AC

- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
 - ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
 - DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
- | | LBS/ACRE | % BY PURITY | % GERM |
|---------------------|----------|-------------|--------|
| PERENNIAL RYE GRASS | 35 | 85 | 85 |
| RED FESCUE | 35 | 97 | 80 |
| KENTUCKY BLUEGRASS | 30 | 85 | 80 |
- SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING
METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-0-10 AT 20 LBS PER SQ. FT.
- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.
 - ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

1 SITE/GRADING PLAN
1"=20'

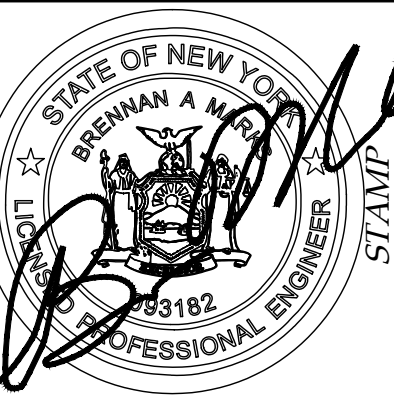
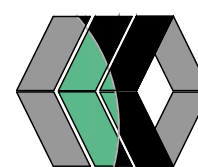


HIGHWAY SUPERINTENDENT _____ DATE _____

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN ENGINEER _____ DATE _____

MarksEngineering



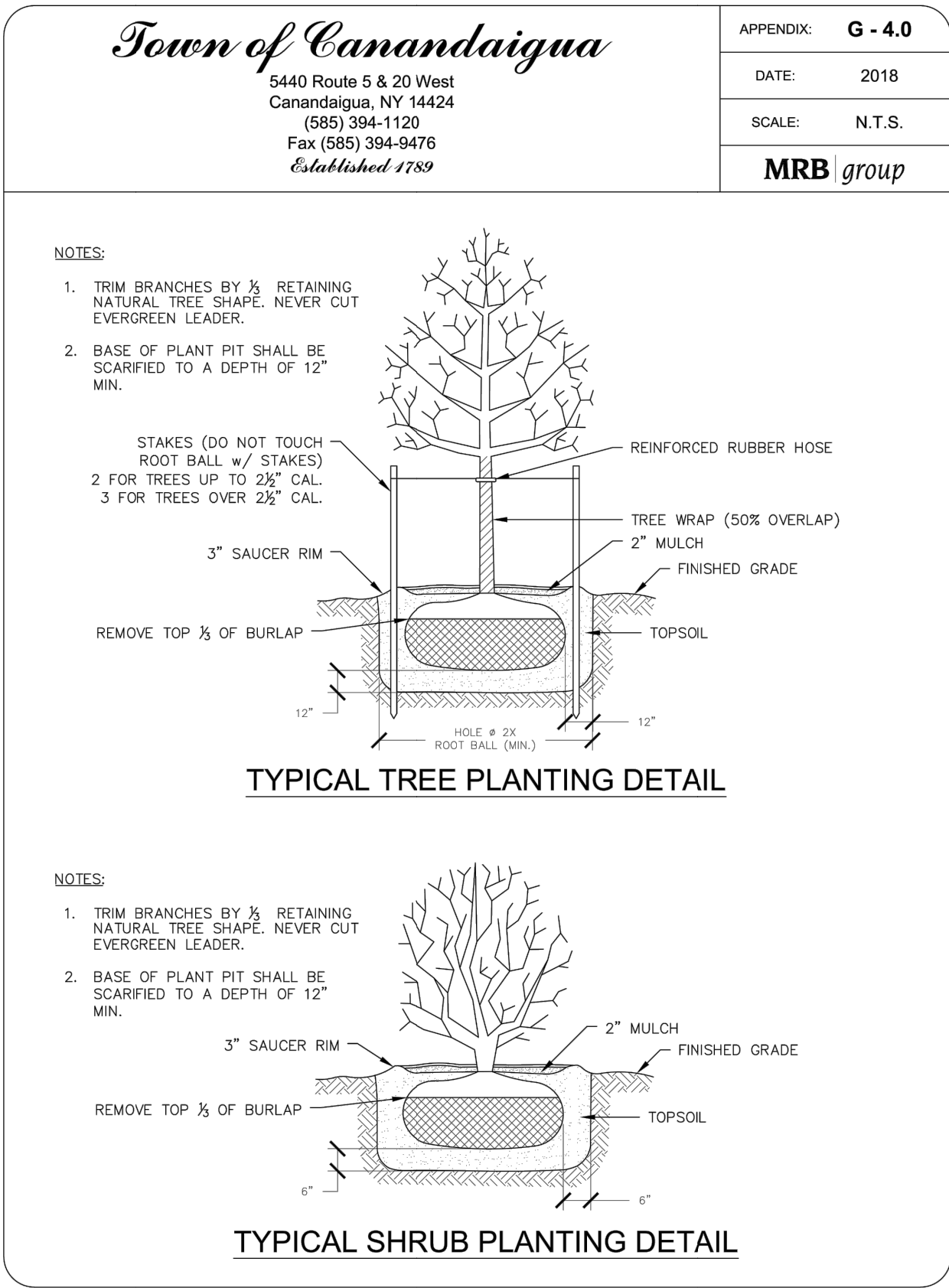
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	1/4/23	PER MAIL LETTER DATED 1/1/23	BY

SITE PLAN OF LAND OF
GEMCOLE PROPERTIES, INC.
SHOWING LAND IN:
2495 BRICKYARD ROAD
TOWN OF CANANDAIGUA
STATE OF NEW YORK
COUNTY OF ONTARIO

DRAWING TITLE: SITE PLAN	
DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-214
DATE:	12/1/2022
TAX MAP#:	70.00-1-10.111

C100

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1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKE OFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
4. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (10') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
5. ALL PLANTS SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
6. PLANTING SOIL MIXTURE SHALL HAVE A RATIO VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT AND ONE PART COMPOST. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
7. STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
8. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH TO BE PROVIDED AS FOLLOWS: 100% SHREDDED HARDWOOD MULCH, NO GREATER THAN ONE INCH (1") IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
9. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
 - A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS.

	% BY WEIGHT	% BY PURITY	% BY GERMINATION
'REPELL', 'CITATION' & 'MORNING STAR'	40	85	85
PERENNIAL RYE GRASS			
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA'	20	97	80
RED FESCUE			
'BARON' & 'MIDNIGHT'	40	85	80
KENTUCKY BLUEGRASS			

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.

10. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
12. A MINIMUM OF 2 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.

	EXISTING	PROPOSED	
Monument	—	—	Utility Lines
Benchmark	—	—	Limit of Disturbance
Utility pole	—	—	R.O.W. line
Hydrant	—	—	Property line
Light pole	—	—	Easement line
Road Sign	—	—	Centerline
Water Valve	—	—	Drainage
			Contour Line
			Demo Line

ABBREVIATIONS:	CO -CLEAN OUT	PERF -PERFORATED
EX-TYPING	TP-TYPICAL	MIN-MINIMUM
CPC-CORRUGATED POLYETHYLENE PIPE	R-RADIUS	MAX-MAXIMUM
O.C.-ON CENTER	BC-BOTTOM OF CURB	INV-INVERT
SCIPP-SMOOTH INTERIOR CORRUGATED	TC-TOP OF CURB	CB-CATCH BASIN
SCIPP-SMOOTH INTERIOR CORRUGATED	TW-TOP OF WALL	MH-MANHOLE
UG-UNDERGROUND	BW-BOTTOM OF WALL	DI-DRAINAGE INLET
CONC-CONCRETE	BS-BOTTOM OF STAIRS	

1 LANDSCAPE PLAN
1"=20'

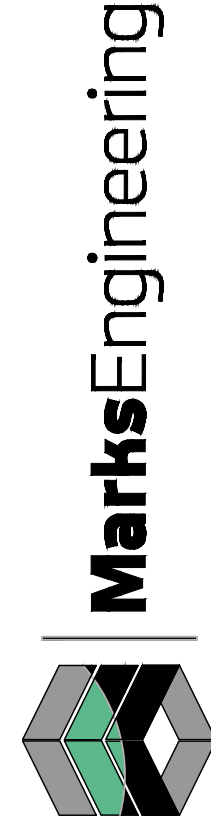
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
TREES					
3	AC	Abies concolor	White Fir	6' tall	B&B
4	AF	Acer freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	3.5" CAL	B&B
3	CC	Cotinus coggygia	American Smokebush	2.5" CAL	B&B
31	JV	Juniperus virginiana 'Taylor'	Taylor Juniper	6' tall	B&B
2	QR	Quercus rubra	Red Oak	3.5" CAL	B&B
SHRUB					
44	PO	Physocarpus opulifolia 'Tiny Wine'	Tiny Wine Ninebark	24"	cont.

TOWN ENGINEER _____ DATE _____

EXISTING CONDITIONS PLAN OF LAND OF
GEMCOLE PROPERTIES, INC.

DRAWING TITLE: LANDSCAPE PLAN	
DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-214
DATE:	10/20/2022
TAX MAP#:	70.00-1-10.111

L100



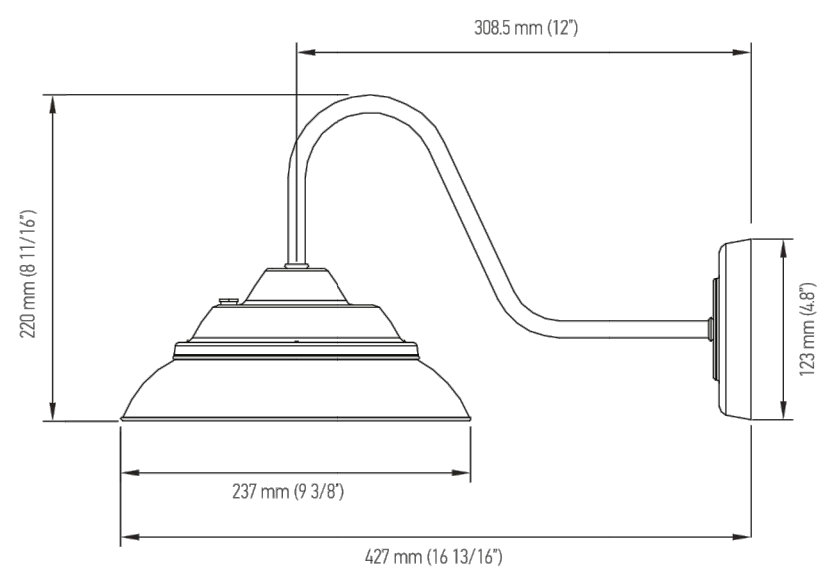
4303 ROUTES 5 & 20
CANANDAIGUA, NY 14424
www.marksenineering.com Phone 585-905-0360
Fax: 585-485-6205
INFO@MARKSENGINEERING.COM



STAMP

COUNTY OF ONTARIO

NO PORTION OF THE PROCEEDS OF THE SALE OF ANY OF THE ABOVE DESCRIBED ITEMS SHALL BE COMBINED WITH OR CHARGE TO THE ACCOUNT OF ANY OTHER PERSON OR ENTITY. THE PROCEEDS OF THE SALE OF ANY OF THE ABOVE DESCRIBED ITEMS SHALL BE SUBJECT TO THE FOLLOWING CONDITIONS:



LIGHTING NOTES:

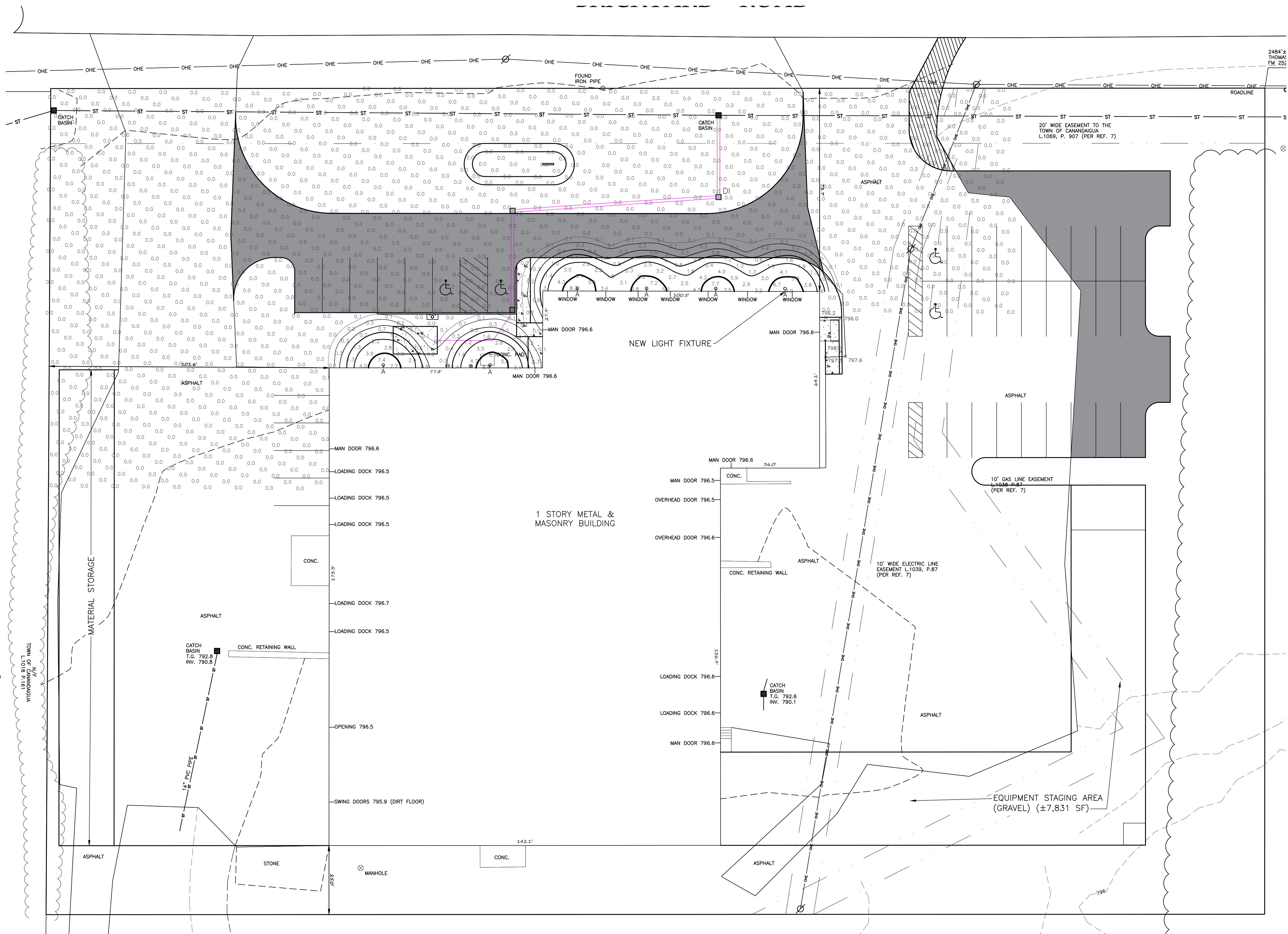
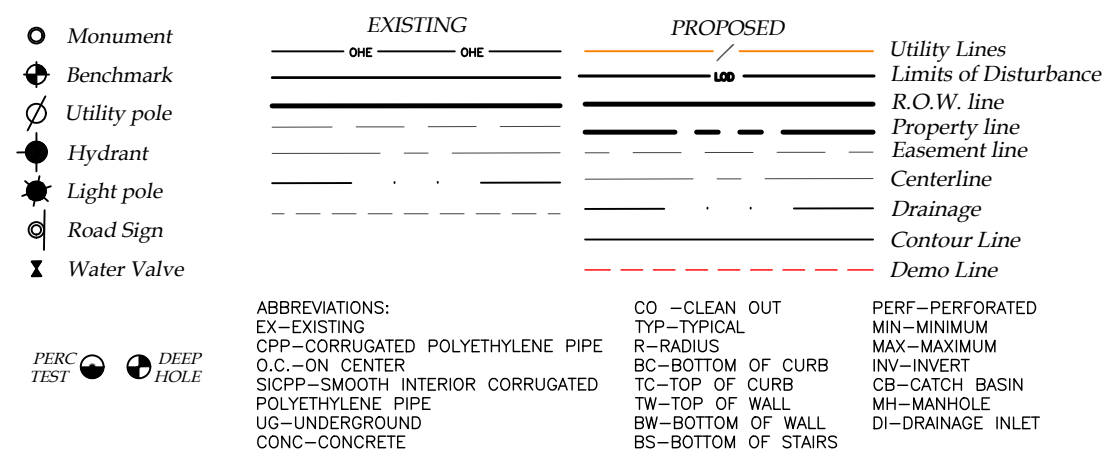
1. LIGHTING TO BE PROVIDED AS DETAILED IN LIGHTING SCHEDULE OR AN APPROVED EQUIVALENT.
2. ALL LIGHT FIXTURES TO BE DARK SKY COMPLIANT W/ FULL CUT OFF TO PROHIBIT LIGHT SPILL TO ADJOINING PROPERTIES.
3. ALL ELECTRICAL CONNECTIONS AND LAYOUT OF CONDUIT AND PULL BOX LOCATIONS TO BE COORDINATED WITH THE LIGHTING CONTRACTOR AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO FINAL INSTALLATION.
4. CONTRACTOR TO PROVIDE MANUFACTURERS CUT SHEETS TO OWNERS REPRESENTATIVE FOR ALL FIXTURES PRIOR TO FINAL INSTALLATION.

DRAWING NOTES:

1. PHOTOMETRIC READINGS ARE MEASURED IN FOOT-CANDLES AT FINISHED GRADE.

1 LIGHTING PLAN
1"=20'

LEGEND



LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MOUNT HT.	ARRANGEMENT	LUMENS	LLF	LED COLOR	CATALOG NUMBER	DESCRIPTION
	6	A	13	SINGLE	2,325	1	4000K	ASD—GNL2—30N50B—PC	ASD, LED GOOSENECK LIGHT

HIGHWAY SUPERINTENDENT

DATE _____

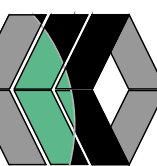
PLANNING BOARD CHAIRMAN

DATE _____

TOWN ENGINEER

DATE _____

MarksEngineering



STAMP

DATE	DESCRIPTION OF REVISION OR APPROVAL
------	-------------------------------------

[illegible]

GEMCOLE PROPERTIES, INC.

SHOWING I AND IN:
MILN I JNIMICH

SHOWING LAND IN,
BRICKYARD ROAD
TOWN OF CANANDAIGUA

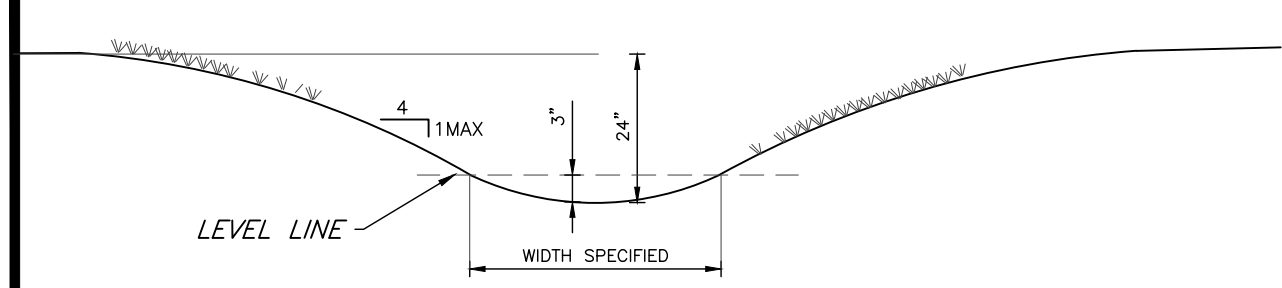
STATE OF NEW YORK

COMMITMENT TO INNOVATION

WING TITLE:
LIGHTING PLAN

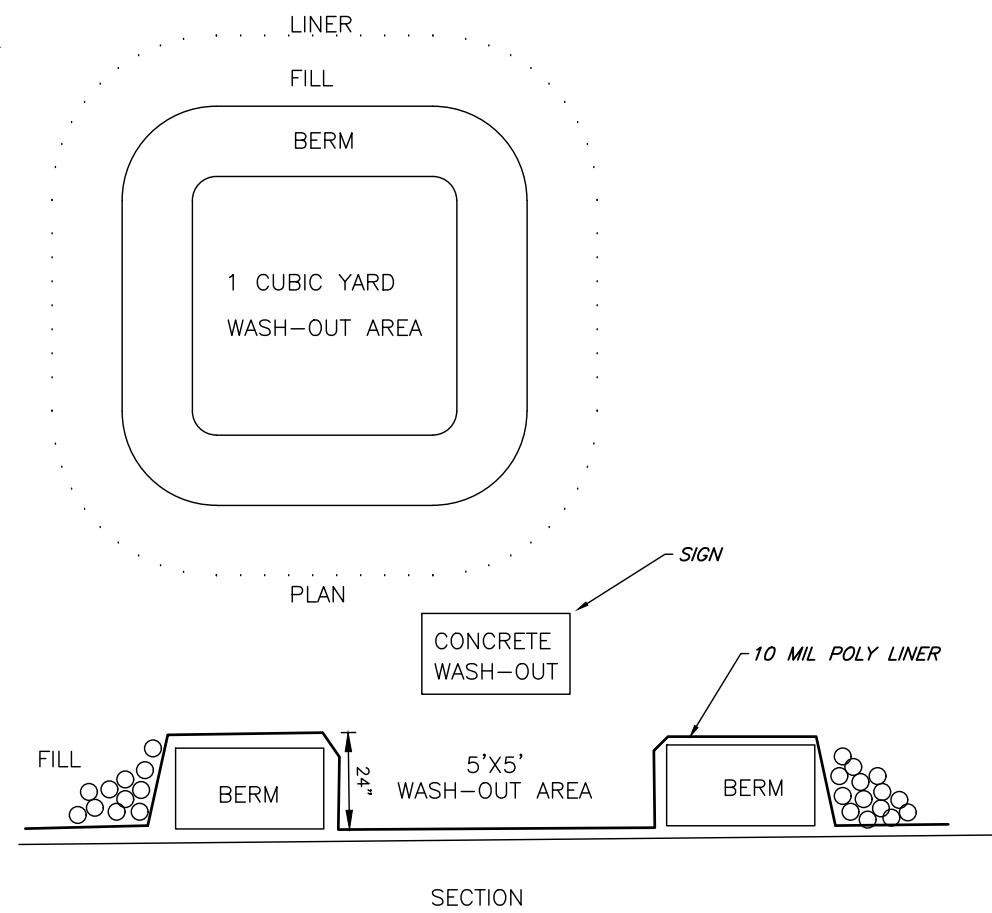
DRAWN BY:	LGR
SIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-214
DATE:	10/20/2022
TAX MAP#:	70.00-1-10.111

101



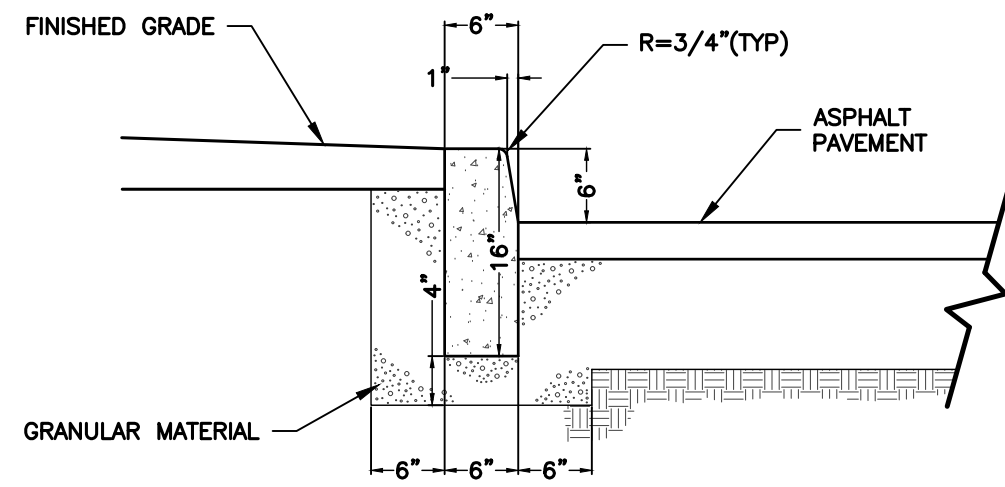
1 TYPICAL SWALE CROSS SECTION

- NOTES:
1. SWALES SHALL BE SMOOTH GRADED AND LIGHTLY COMPACT.
 2. SWALES SHALL BE MOWABLE WITH STANDARD PUSH MOWER.
 3. SWALES SHALL NOT BE FORMED IN MUD OR SATURATED SOILS. UNACCEPTABLE SOILS SHALL BE REMOVED AND REPLACED WITH 6" OF CLEAN TOPSOIL PRIOR TO SEEDING AND STABILIZATION.
 4. SWALE SHALL BE SEEDED AND STABILIZED WITH STRAW BLANKET/JUTE FABRIC NETTING STAPLED AS PER MANUFACTURES RECOMMENDATIONS.



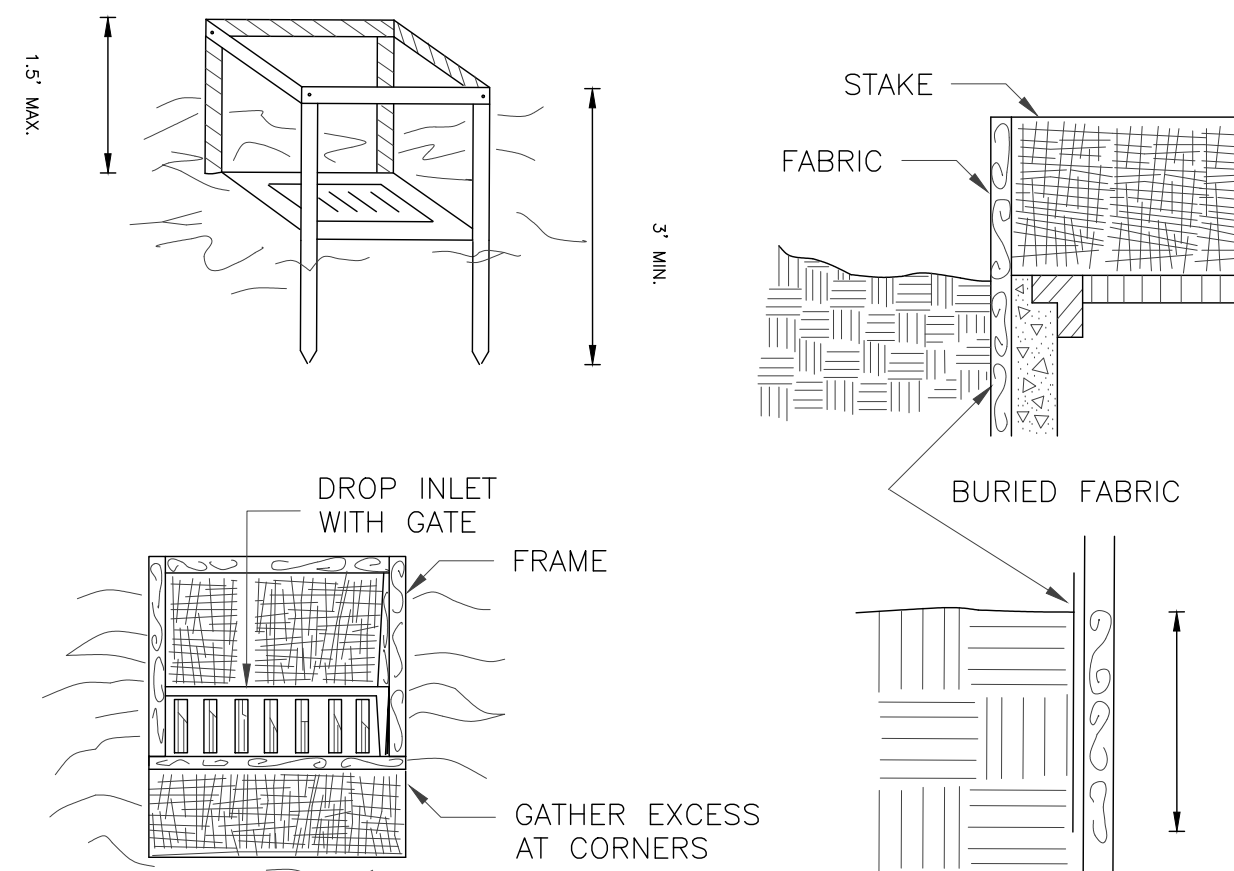
- NOTES:
- 1) INSPECT WASH-OUT DAILY.
 - 2) REMOVE DEBRIS AFTER REACHING 50% CAPACITY

3 CONCRETE WASH-OUT



7 GRANITE CURB

2"x4" WOOD FRAME

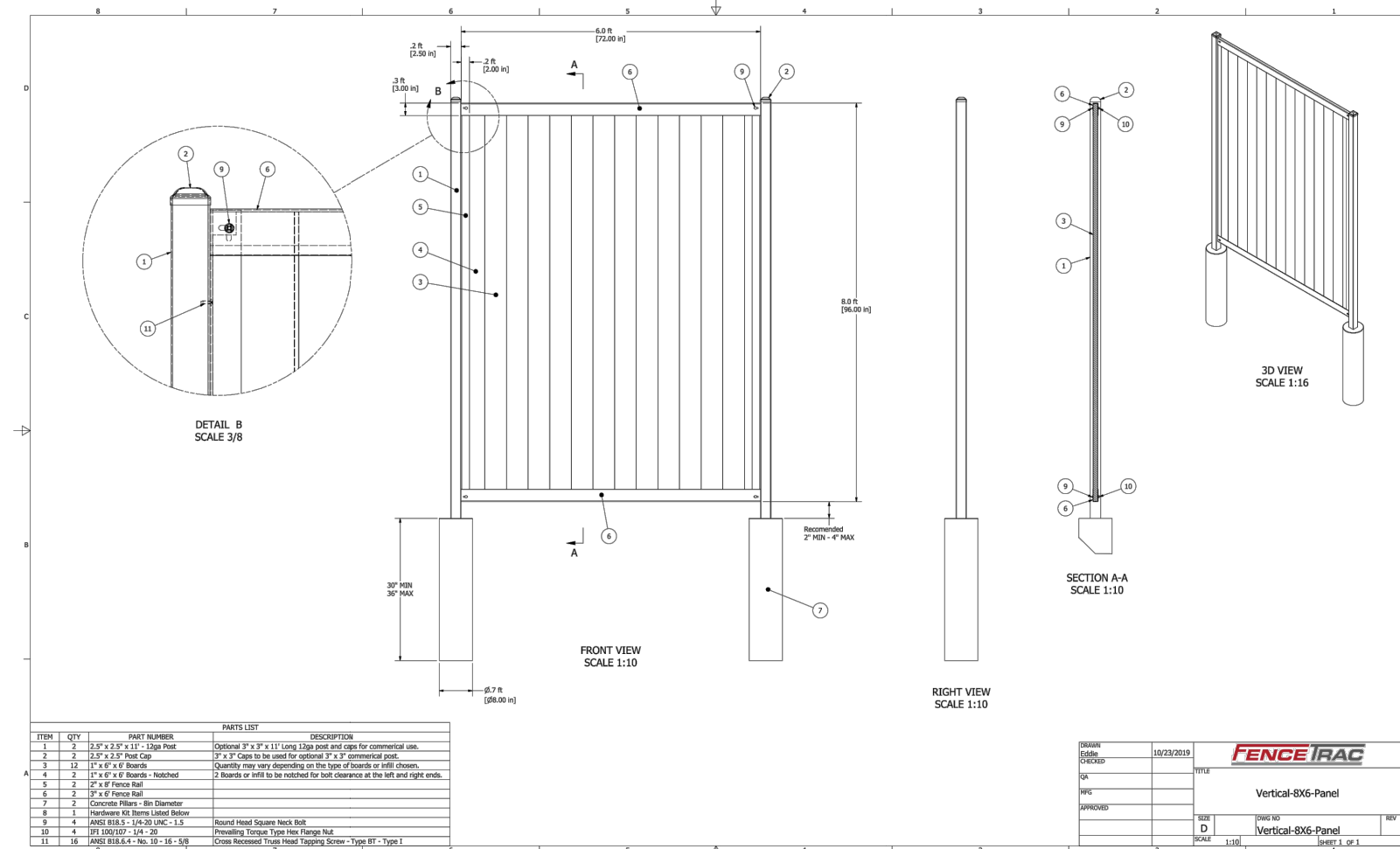


CONSTRUCTION SPECIFICATIONS

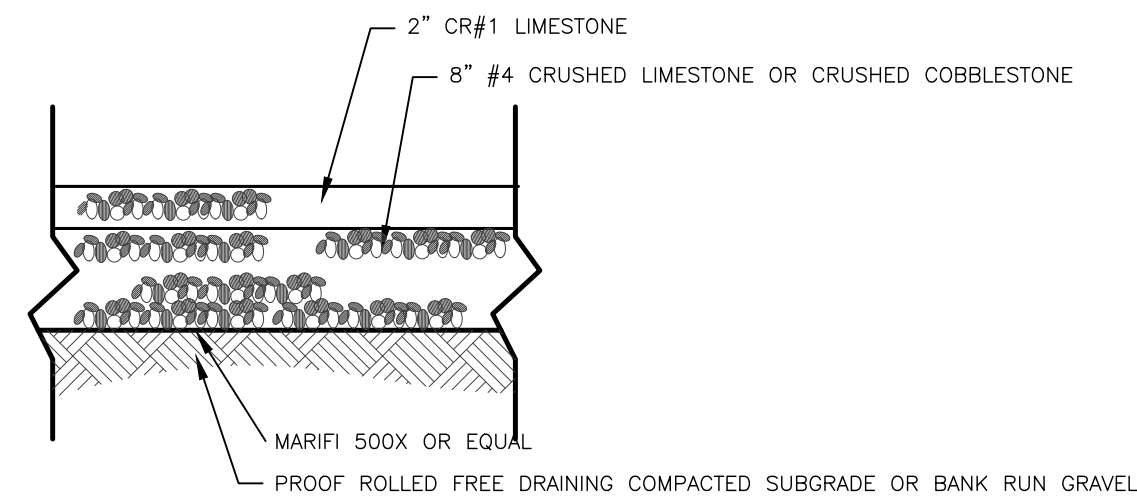
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. SILT FENCE SHOULD BE PROVIDED WITH J-HOOK ENDS.

MAXIMUM DRAINAGE AREA 1 ACRE

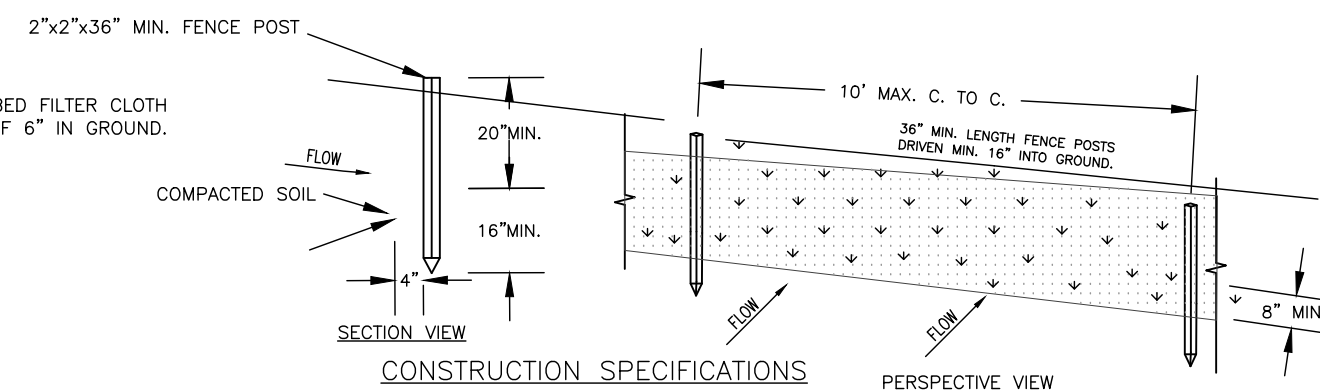
5 FILTER FABRIC DROP INLET PROTECTION



9 FENCE DETAIL

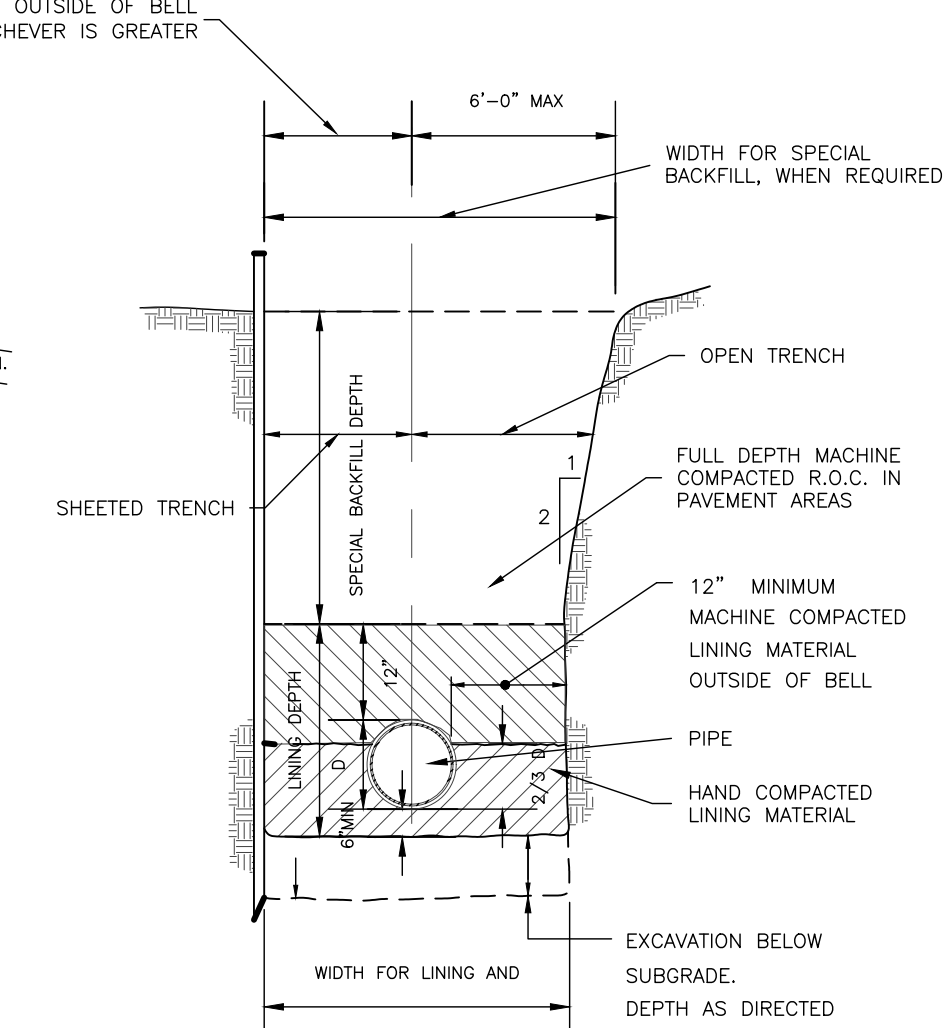


2 TYPICAL GRAVEL DRIVE SECTION

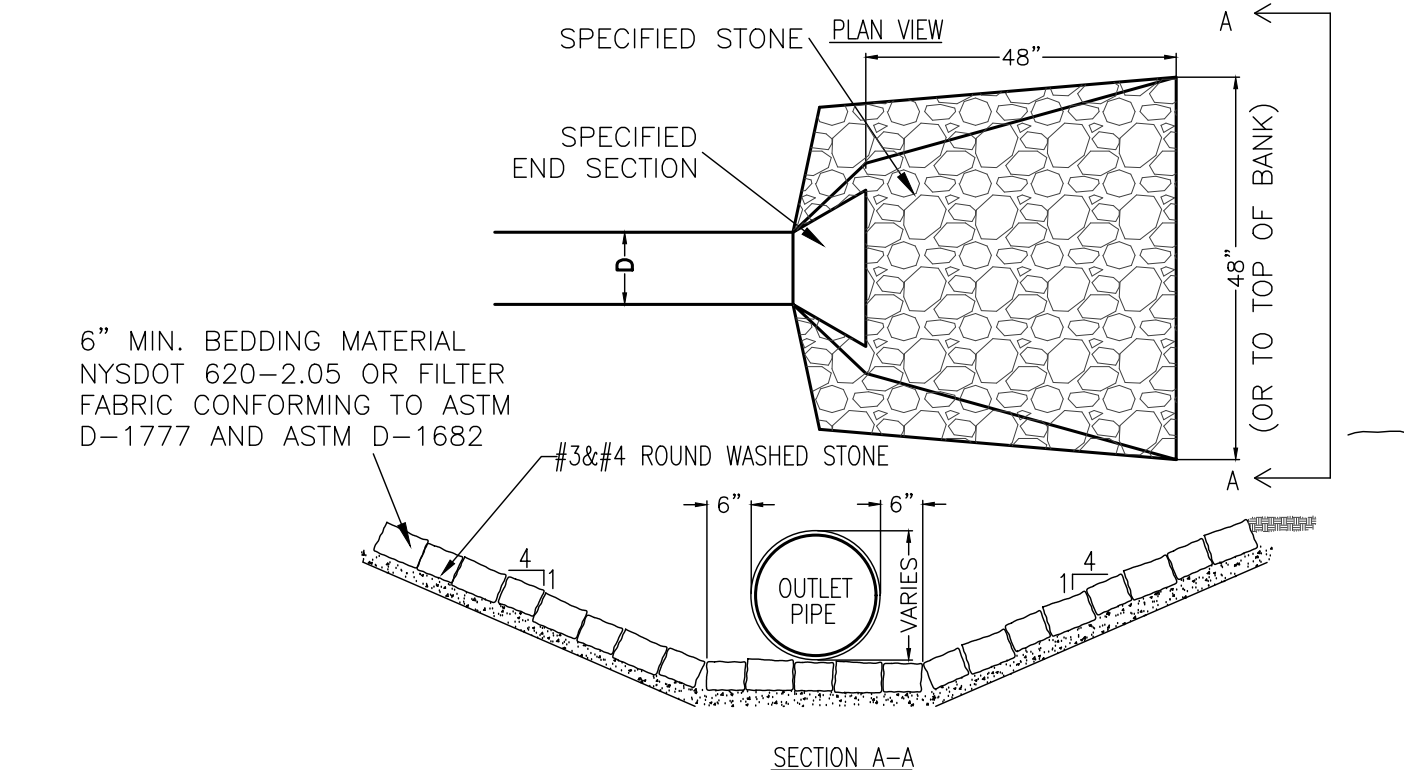


3 TYPICAL SILT FENCE DETAIL

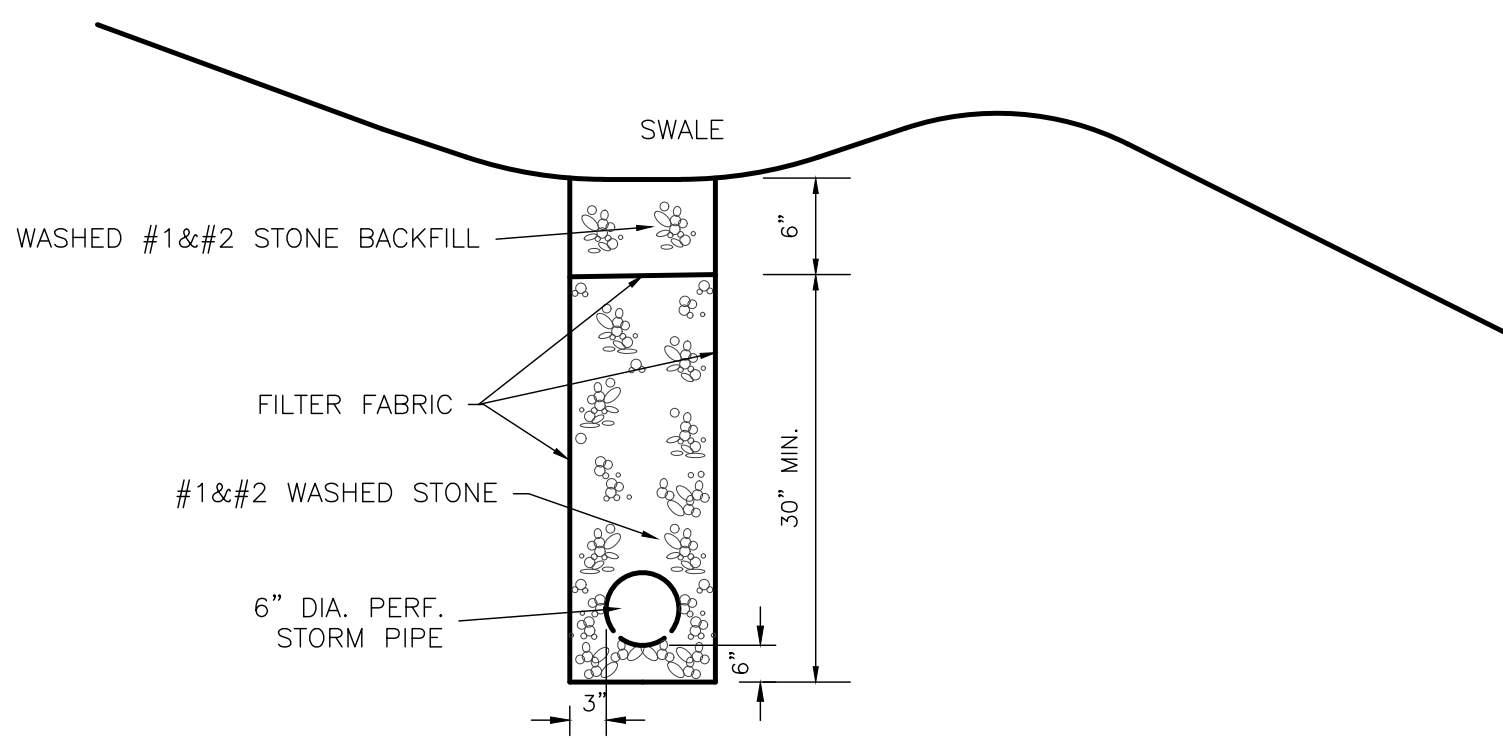
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO POSTS WITH STAPLES.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILUNA 1140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. SILT FENCE SHOULD BE PROVIDED WITH J-HOOK ENDS.



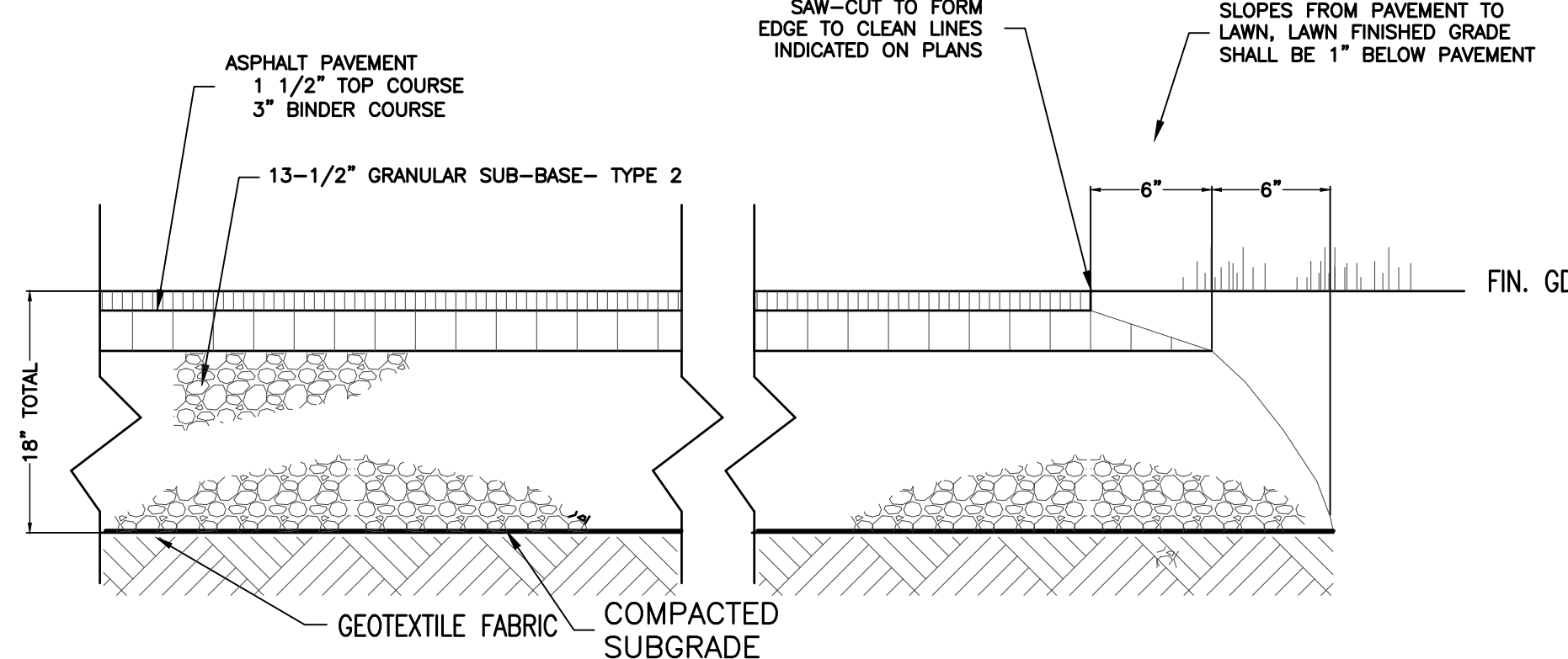
4 UTILITY TRENCH DETAIL



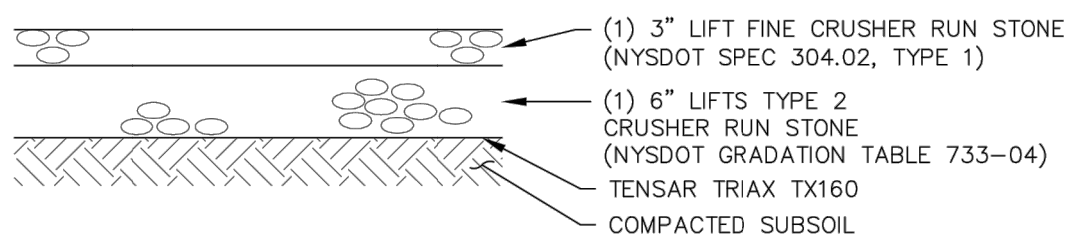
6 TYPICAL STONE OUTLET PROTECTION



8 TYPICAL CURTAIN DRAIN SECTION

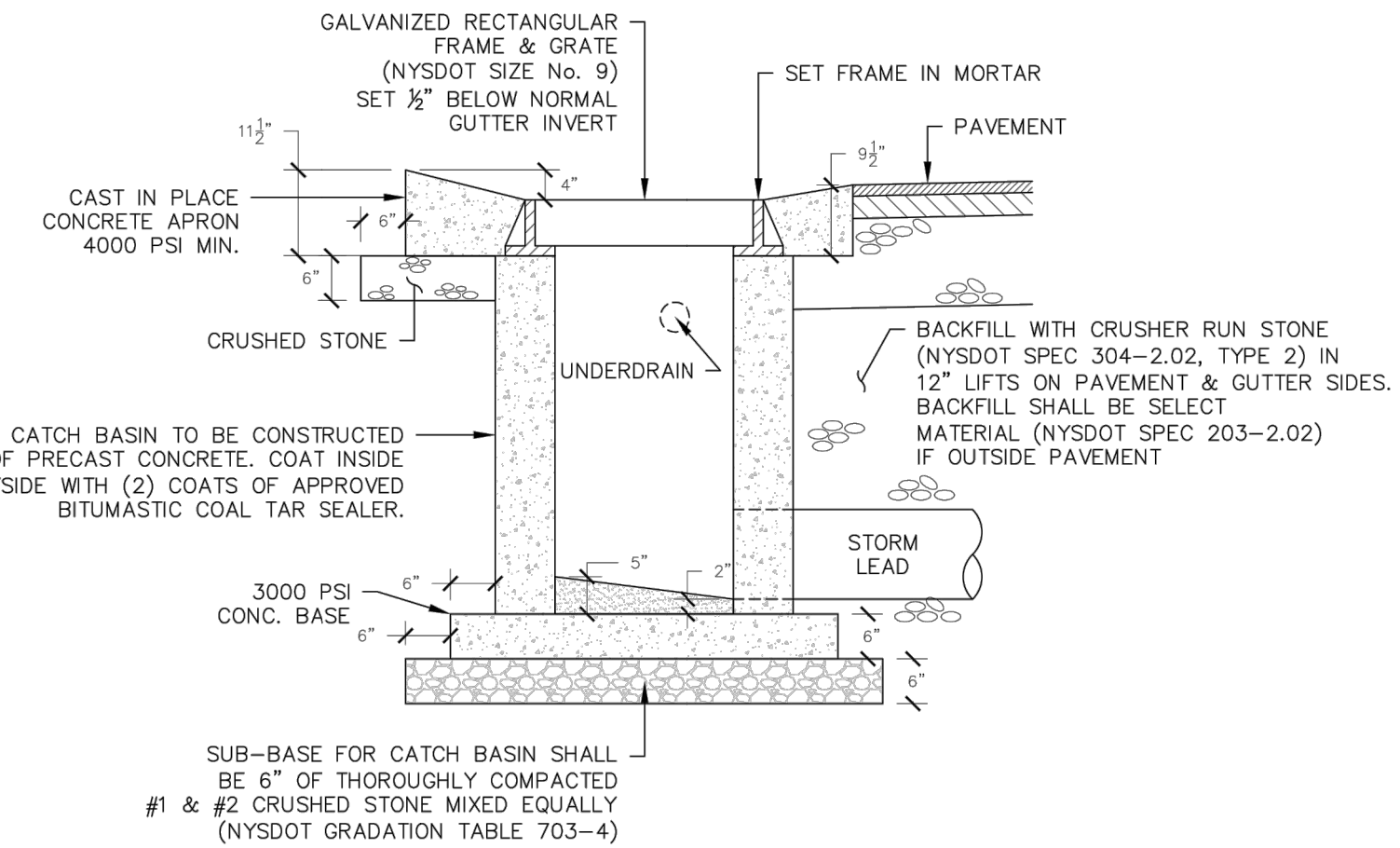


9 ASPHALT PAVEMENT



- NOTES:
1. ALL DEPTHS DIMENSIONS ARE COMPACTED THICKNESS.
 2. PAVEMENT THICKNESS MAY VARY AS REQUIRED BY TOWN ENGINEER
 3. IF THE SUBGRADE IS FOUND TO HAVE TOO HIGH A MOISTURE CONTENT OR PUMPING FINES, A LIGHTWIGHT NON-WOVEN GEOTEXTILE IS TO BE USED DIRECTLY UNDER THE GEOGRID LAYER.

PAVEMENT CROSS SECTION



TOWN OF CANANDAIGUA

CATCH BASIN DETAIL



REVISIONS AND APPROVALS	
NO	DATE / DESCRIPTION OF REVISION OR APPROVAL

SITE PLAN OF LAND OF
GEMCOLE PROPERTIES, INC.
SHOWING LAND IN:
2495 BRICKYARD ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

DRAWING TITLE: DETAILS	
DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-214
DATE:	12/1/2022
TAX MAP#:	70.00-1-10.111

