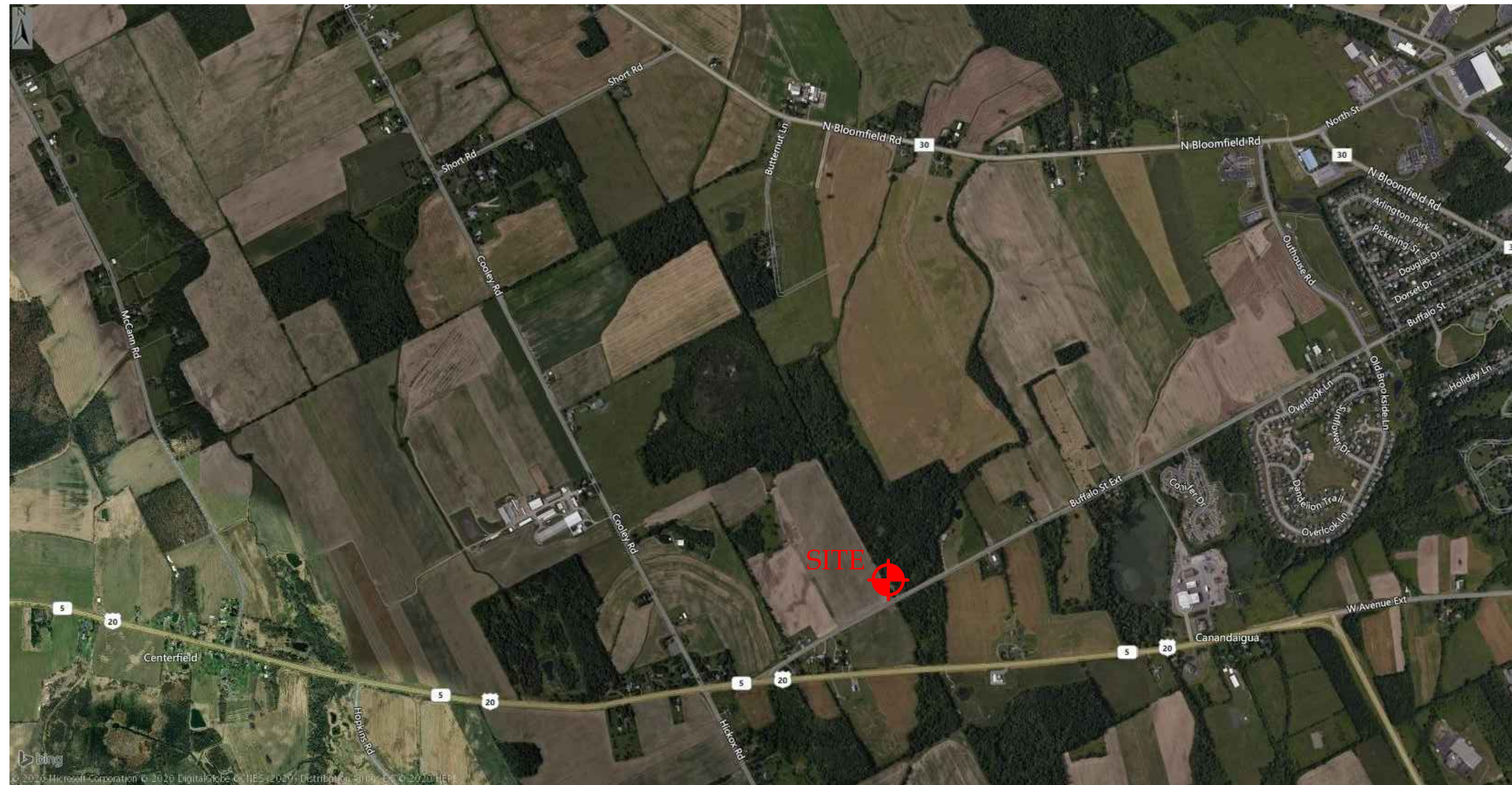


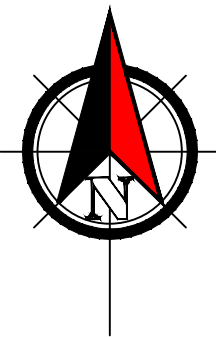
ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR
SINGLE FAMILY HOME CONSTRUCTION
CARSON RESIDENCE
5610 BUFFALO STREET EXTENSION
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK

SHEET INDEX:

C-0 COVER SHEET
C-1 SITE PLAN



AERIAL LOCUS
NOT TO SCALE



GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- PROPOSED LIGHTING TO BE COORDINATED WITH THE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
- ELEVATIONS REFERENCE NAVD88 DATUM
- PORTION OF LANDS OF LOT 2 FALL WITHIN THE TOWN OF CANANDAIGUA NRI DISTRICT (FORESTED AREAS)
- FLOOD ZONES X PER COMMUNITY PANEL NO. 360598 0015 C LAST DATED MARCH 3, 1997.
- FARM NOTE:
THIS PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION IS LOCATED WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION.
RESIDENTS SHOULD BE AWARE THAT SUCH FARM OPERATIONS MAY GENERATE DUST, ODOR, SMOKE, NOISE, VIBRATION AND OTHER ACTIVITIES WHICH MAY NOT BE COMPATIBLE WITH RESIDENTIAL USE OF THE PROPERTY.

ZONING CHART

TOWN OF CANANDAIGUA
ZONING DISTRICT: AGRICULTURAL RURAL RESIDENTIAL DISTRICT
(AR-2)

	REQUIRED	EXISTING	PROVIDED
MIN LOT AREA (AREA TO ROW)	2 ACRES	30 ACRES	NO CHANGE
MIN LOT WIDTH	200'	383.88'	NO CHANGE
MIN FRONT YARD SETBACK	60'	N/A	793.4'
MIN SIDE YARD SETBACK	25'	N/A	148.2'
MIN REAR YARD SETBACK	40'	N/A	445.5'
MAX BUILDING HEIGHT	35 FT	N/A	35 FT MAX
MAX BUILDING COVERAGE	20%	N/A	0.5%
SITE DISTURBANCE	39,000 SQ FT		

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE

HIGHWAY SUPERINTENDENT DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

" Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

" Copyright 2020" Venezia & Associates. All rights reserved unauthorized duplication is a violation of all applicable laws"



5120 Laura Lane

Legend

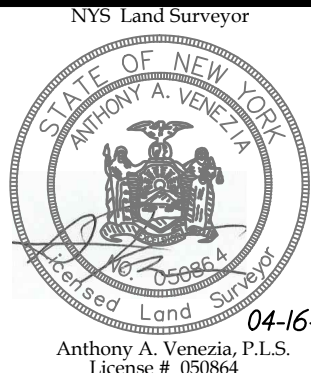
✕ Iron pin or pipe found	▲ P.K. nail found
✕ Iron pin set	▲ P.K. nail set
⊙ Drill hole	▣ Concrete Monument
— Utility pole	⊕ Benchmark
— E/T	— Utility lines
— E/T	— ROW line
—	— Property lines

Canandaigua New York, 14424

Centerline

Revisions

NO.	Date	Description	By
1	4/16/2020	ADDRESS PER PRC COMMENTS (4-13-2020)	AAV



www.veneziasurvey.com

Drawing Title:

SITE PLAN

CARSON RESIDENCE

5610 Buffalo Street Extension

Town of Canandaigua

County of Ontario

State of New York

File# 18099

Scale 1" = 20'

T.m. # 83.00-1-38.200

Date: 3/23/2020

Sheet:

C-0

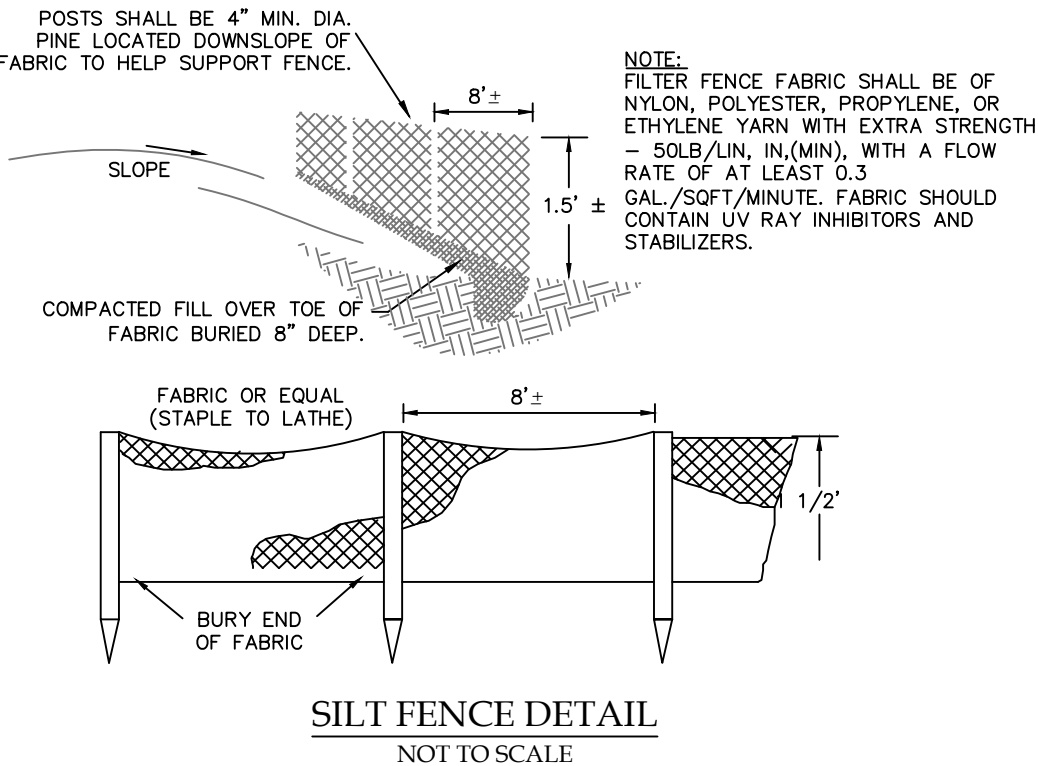
(585)396-3267

Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

TOWN OF CANANDAIGUA STANDARD NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
- ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN M54 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
- A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
- THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
- THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (M54).
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICE.
- CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED. INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
- ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
- NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.
- ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
- ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
 - ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
 - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
 - THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER.
 - FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:
 - SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
 - DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
 - SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
 - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
 - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
 - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.



SITE PREPARATION & EARTHWORK SEQUENCE

- SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN. INSTALL CONSTRUCTION ENTRANCE. ESTABLISH STAGING AREAS AND SOIL STOCKPILE AREAS.
- ESTABLISH PROPOSED DRIVEWAY AREA AND HOUSE BUILDING PAD PER SITE PLAN. INSTALL NEW UTILITY SERVICE CONNECTIONS.
- INSTALL FOUNDATION/BASEMENT, GRADE, STABILIZE DRIVEWAY.
- BEGIN HOUSE FRAMING.
- REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.

NOTES:
ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.



5120 Laura Lane Canandaigua New York, 14424

LEGEND

- | | | | |
|---------|-------------|-----|----------------|
| — W — | PROP. WATER | --- | SILT FENCE |
| — S — | PROP. SEWER | --- | EXIST. CONTOUR |
| — D — | PROP. DRAIN | --- | PROP. CONTOUR |
| — E — | PROP. ELECT | --- | PROPERTY LINE |
| — T — | PROP. TEL | --- | CENTERLINE |
| — GAS — | PROP. GAS | LP | LIGHT POLE |
| 900.3 x | SPOT GRADE | ⊗ | DRAIN MANHOLE |
| | | ⊕ | CATCH BASIN |
| | | ⊖ | SEWER MANHOLE |
| | | ⊙ | WATER VALVE |
| | | ⊘ | HYDRANT |
- PROPOSED EROSION MAT

Revisions			
NO.	Date	Description	By
1	4/16/2020	ADDRESS PER PRC COMMENTS (4-13-2020)	AAV



Drawing Title:

SITE PLAN

CARSON RESIDENCE
5610 Buffalo Street Extension
Town of Canandaigua
County of Ontario State of New York

(585)396-3267

Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

File# 18099

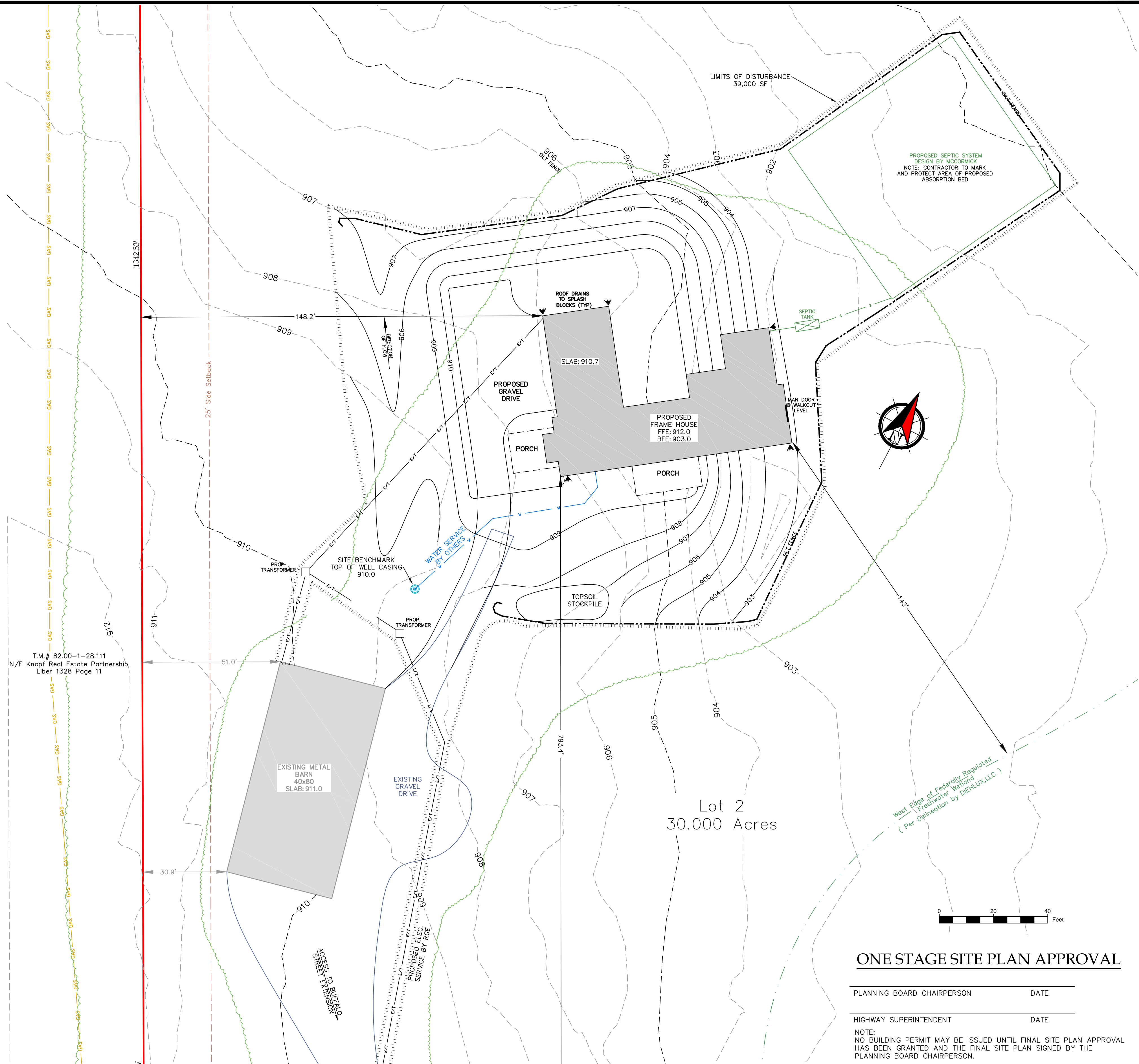
Scale 1" = 20'

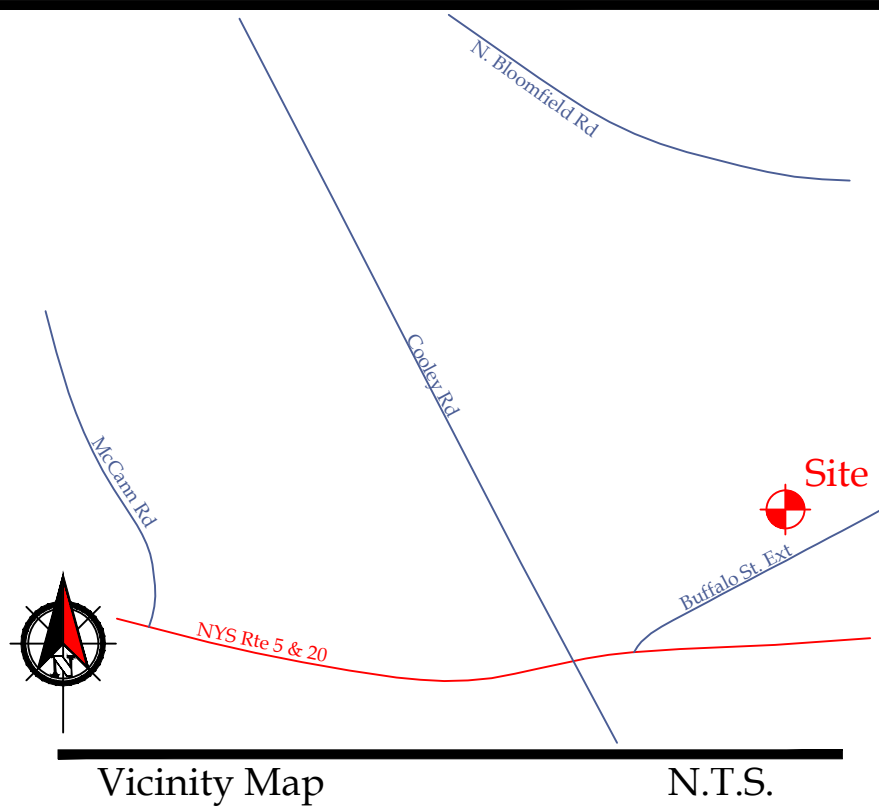
T.m. # 83.00-1-38.200

Date: 3/23/2020

Sheet:

C-1





Site Details:
Existing Zoning is Agricultural Rural Residential District (AR-2)
Minimum Lot Size: 2 Acres
Minimum Lot Width: 200 FT
Front Setback: 60 FT.
Rear Setback: 40 FT.
Side Setback: 25 FT.
Maximum Building Height = 35 FT.
Maximum Building Coverage on Lot = 20%

Contours derived from NAVD88 Datum

Flood Zones X Per Community Plan
No. 360598 0015 C Last Dated March 3, 1997.

Portion of Lands of Lot 2 fall within The Town of Canandaigua
NRI District (Forested Areas)

N/F Knopf Real Estate Partnership
Liber 1328 Page 11
T.M.# 82.00-1-28.111

N/F Jay Gilfus
Liber 1263 Page 292
T.M.#83.00-1-33.110

N/F Outhouse Estate
Liber 1274 Page 636
T.M.# 83.00-1-35.100

N/F Stephen E. Doane
Liber 986 Page 328
T.M.#83.00-1-27.210

Lot 1
N/F Shannon M. & Robert W. Jr. Chevier
Liber 1446 Page 996
T.M.# 83.00-1-38.100

Farm note: This property which is the subject of this subdivision is located within an agricultural district containing a farm operation. residents should be aware that such farm operations may generate dust, odor, smoke, noise, vibration and other activities which may not be compatible with residential use of the property.



5120 Laura Lane

Legend

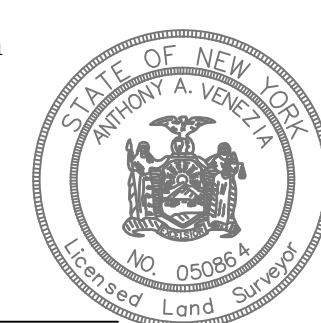
- Iron pin or pipe found
- Iron pin set
- Drill hole
- Utility pole
- Utility lines
- R.O.W. line
- Property lines
- Centerline

Revisions			
NO.	Date	Description	By

This is to certify that I am a
Licensed Land Surveyor and that this plan
was completed on 04/16/2020
from notes of an instrument survey
performed on 06/13/2018

Anthony A. Venezia
License No. 050864

signed 04-16-2020



CARSON RESIDENCE

Showing Land
at
5610 Buffalo Street Extension
Town of Canandaigua
County of Ontario State of New York
(585)396-3267 Fax. No. (585) 396-0131 E-mail rocco@veneziasurvey.com

T.m. # 83.00-1-38.200
Scale 1"= 75'
File# 18099

www.veneziasurvey.com

E-mail rocco@veneziasurvey.com