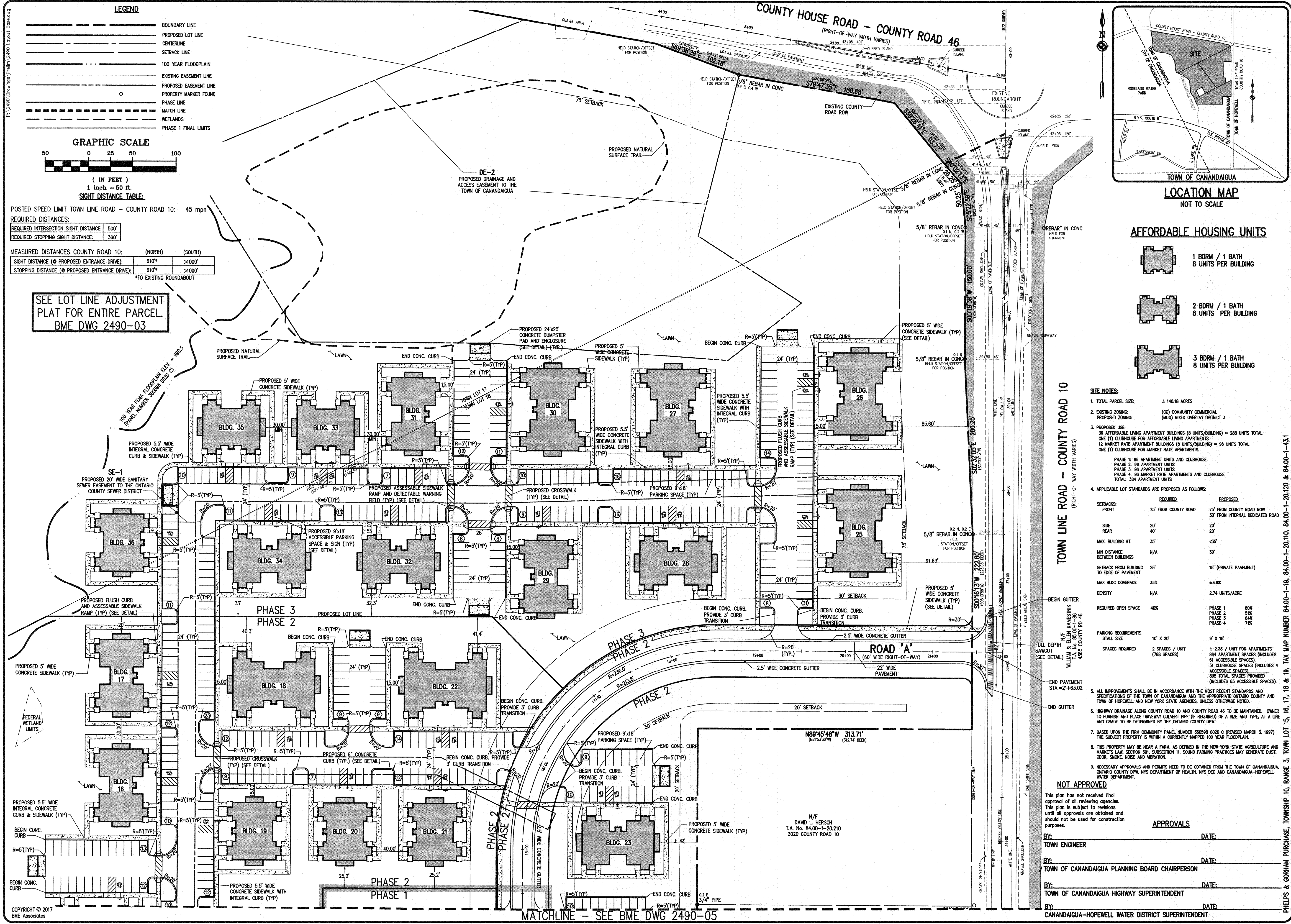




AFFORDABLE HOUSING UNITS

- 1 BDRM / 1 BATH
8 UNITS PER BUILDING
- 2 BDRM / 1 BATH
8 UNITS PER BUILDING
- 3 BDRM / 1 BATH
8 UNITS PER BUILDING

- SITE NOTES**
- TOTAL PARCEL SIZE: ± 140.18 ACRES
 - EXISTING ZONING: (CC) COMMUNITY COMMERCIAL (AU) MIXED OVERLAY DISTRICT 3
 - PROPOSED USE:
 - 30 AFFORDABLE LIVING APARTMENT BUILDINGS (8 UNITS/BUILDING) = 288 UNITS TOTAL
 - ONE (1) CLUBHOUSE FOR AFFORDABLE LIVING APARTMENTS
 - 12 MARKET RATE APARTMENT BUILDINGS (8 UNITS/BUILDING) = 96 UNITS TOTAL
 - ONE (1) CLUBHOUSE FOR MARKET RATE APARTMENTS
 - APPLICABLE LOT STANDARDS ARE PROPOSED AS FOLLOWS:

REQUIRED	PROPOSED
SETBACKS: FRONT	75' FROM COUNTY ROAD
SETBACKS: REAR	30' FROM INTERNAL DEDICATED ROAD
SETBACKS: SIDE	20'
MAX. BUILDING HT.	35'
MIN. DISTANCE BETWEEN BUILDINGS	N/A
SETBACK FROM BUILDING TO EDGE OF PAVEMENT	25'
MAX. BLDG COVERAGE	35%
DENSITY	N/A
REQUIRED OPEN SPACE	40%
PARKING REQUIREMENTS	10' X 20'
SPACES REQUIRED	3 SPACES / UNIT (768 SPACES)
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND TOWN OF HOPWELL AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 - BASED UPON THE FIRM COMMUNITY PANEL NUMBER 380586 0020 C (REVISED MARCH 3, 1997) THE SUBJECT PROPERTY IS WITHIN A CURRENTLY MAPPED 100 YEAR FLOODPLAIN.
 - THIS PROPERTY MAY BE NEAR A FARM AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, COOR, SMOKE, NOISE AND VIBRATION.
 - NECESSARY APPROVALS AND PERMITS NEED TO BE OBTAINED FROM THE TOWN OF CANANDAIGUA, ONTARIO COUNTY OF NY, NYS DEPARTMENT OF HEALTH, NYS DEC AND CANANDAIGUA-HOPWELL WATER DISTRICT.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: TOWN ENGINEER DATE: _____

BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____

BY: TOWN OF CANANDAIGUA HIGHWAY SUPERINTENDENT DATE: _____

BY: CANANDAIGUA-HOPWELL WATER DISTRICT SUPERINTENDENT DATE: _____

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing.

It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

NO.	DATE	BY
1	2/14/17	REG
2		
3		
4		
5		
6		
7		

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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FAX: 585-577-7389
WWW.BMEPC.COM

CANANDAIGUA FAMILY APARTMENTS

PROJECT: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

LOCATION: THE BIRMGROVE GROUP
1850 BRIGHTON PARKWAY, TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

CLIENT: TOWN OF CANANDAIGUA

DRAWING TITLE: OVERALL PRELIMINARY AND PHASE 1 FINAL SITE PLAN

PROJECT MANAGER: M. JANDA/P. VARS

PROJECT ENGINEER: M. BOGOJEVSKI

DRAWN BY: Z. GREGG

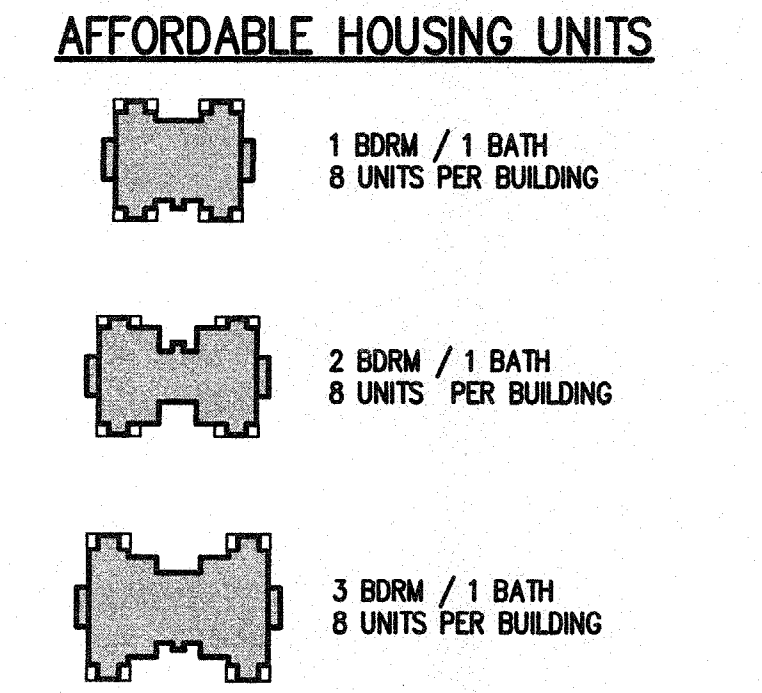
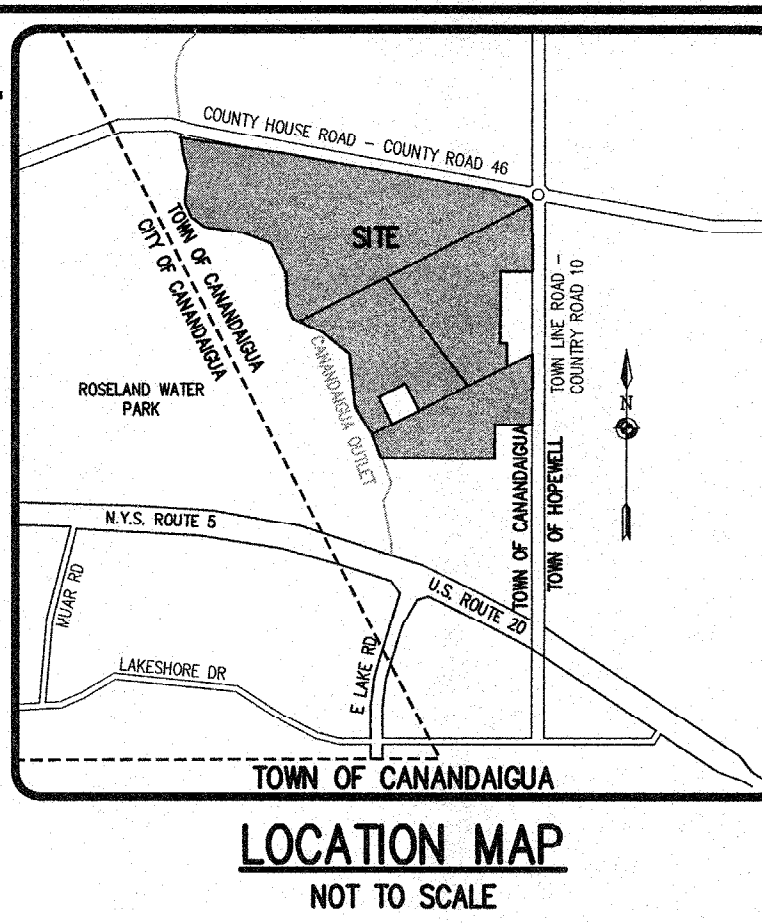
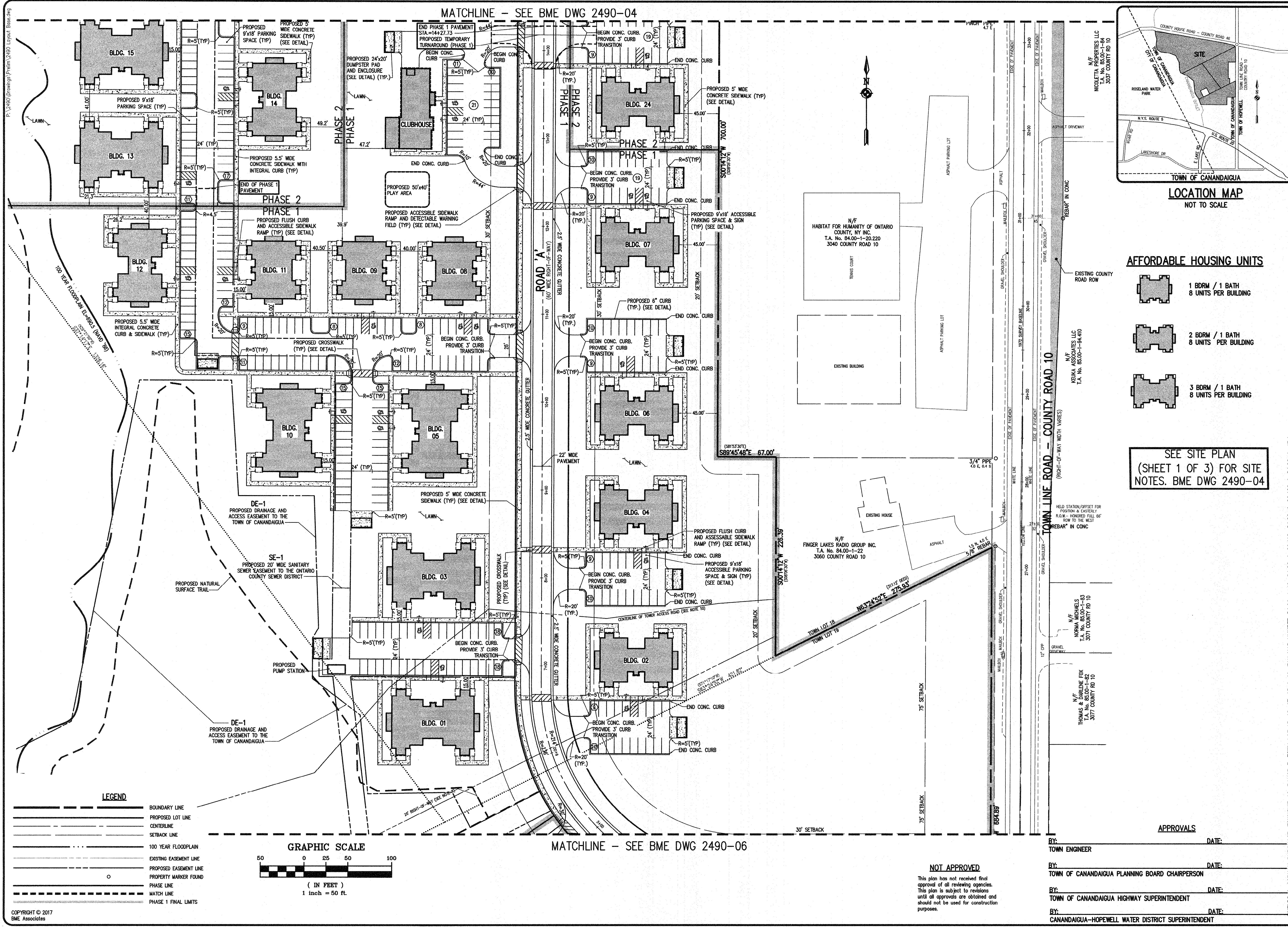
SCALE: 1"=50'

DATE ISSUED: FEBRUARY 2017

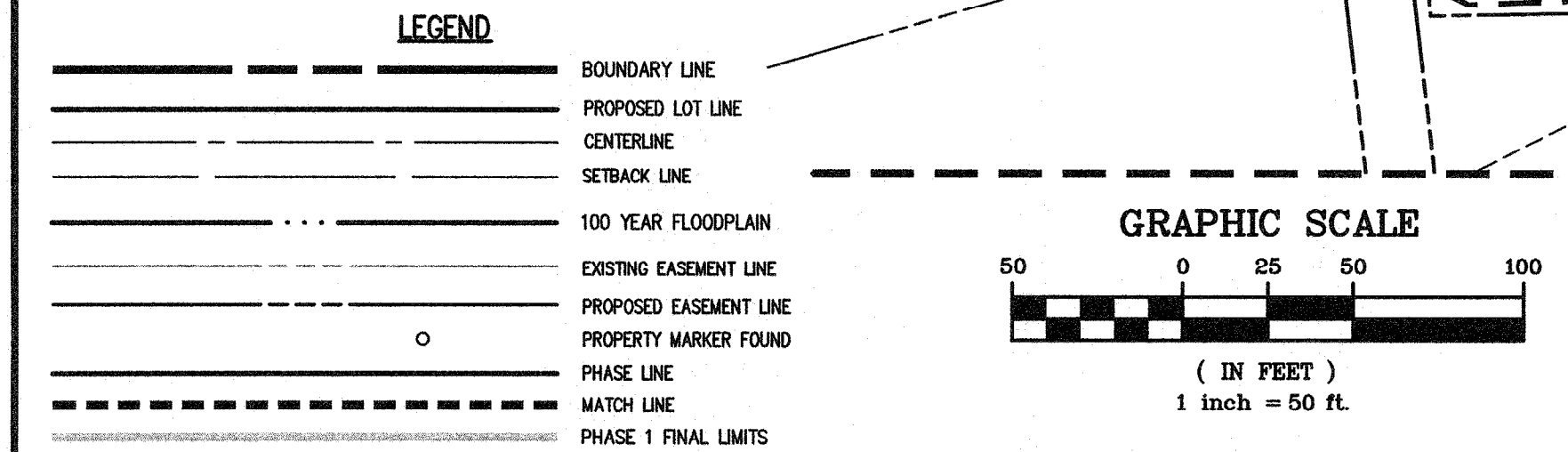
PROJECT NO.: 2490

DRAWING NO.: 04

(SHEET 1 OF 3)



SEE SITE PLAN
(SHEET 1 OF 3) FOR SITE
NOTES. BME DWG 2490-04



NOT APPROVED

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APPROVALS

BY: TOWN ENGINEER DATE: _____

BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____

BY: TOWN OF CANANDAIGUA HIGHWAY SUPERINTENDENT DATE: _____

BY: CANANDAIGUA-HOPEWELL WATER DISTRICT SUPERINTENDENT DATE: _____

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BME Associates

Drawing Alteration

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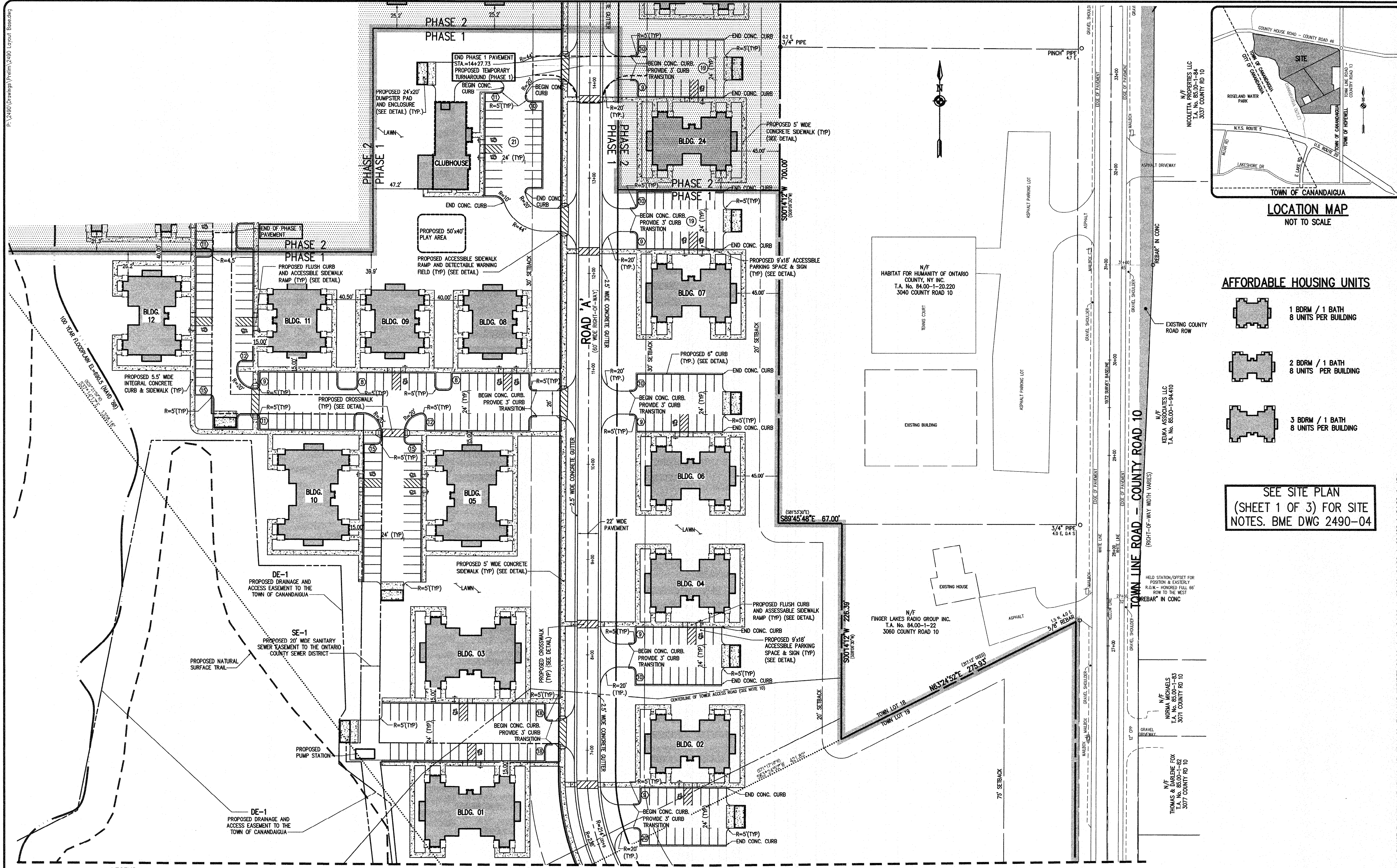
NO.	REVISION	DATE	BY
1	REVISED PER PRC MEETING	2/14/17	PRG
2			
3			
4			
5			
6			
7			

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10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

SEAL OF NEW YORK STATE
JACOB J. BOGOSJEVSKI
LICENSED PROFESSIONAL ENGINEER
NO. 10000

CANANDAIGUA FAMILY APARTMENTS
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE ENMARCO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY AND PHASE 1 FINAL
SITE PLAN

PROJECT: PROJECT MANAGER: M. JANDA/P. VARS
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE ENMARCO GROUP
DRAWING TITLE: OVERALL PRELIMINARY AND PHASE 1 FINAL
DRAWING NO.: 2490
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
(SHEET 2 OF 3)



LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- 100 YEAR FLOODPLAIN
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- PHASE LINE
- MATCH LINE
- PHASE 1 FINAL LIMITS

GRAPHIC SCALE

50 0 25 50 100

(IN FEET)

1 inch = 50 ft.

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MATCHLINE - SEE BME DWG 2490-06A

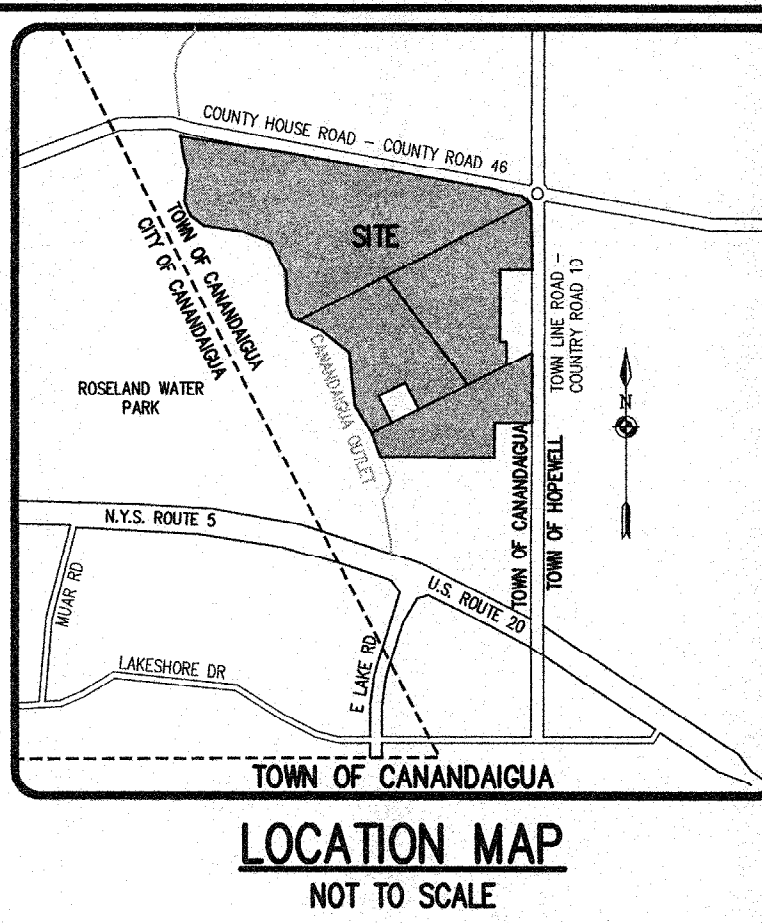
NOT APPROVED

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AFFORDABLE HOUSING UNITS

- 1 BDRM / 1 BATH
8 UNITS PER BUILDING
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8 UNITS PER BUILDING
- 3 BDRM / 1 BATH
8 UNITS PER BUILDING

SEE SITE PLAN (SHEET 1 OF 3) FOR SITE NOTES. BME DWG 2490-04



APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY SUPERINTENDENT

BY: _____ DATE: _____
CANANDAIGUA-HOPEWELL WATER DISTRICT SUPERINTENDENT

REVISIONS	DATE	BY

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

PHONE: 585-377-7340
FAX: 585-377-7309
WWW.BMEPCOM



CANANDAIGUA FAMILY APARTMENTS

PROJECT: _____
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE DIMARCO GROUP
1950 BRIGHTON HERIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

PHASE 1 FINAL SITE PLAN LIMITS

PROJECT MANAGER
M. JANDA/P. VARS

PROJECT ENGINEER
M. BOGOJEVSKI

DRAWN BY
Z. GREGG

SCALE
1"=50'

DATE ISSUED
FEBRUARY 2017

PROJECT NO.
2490

DRAWING NO.
05A
(SHEET 1 OF 2)

