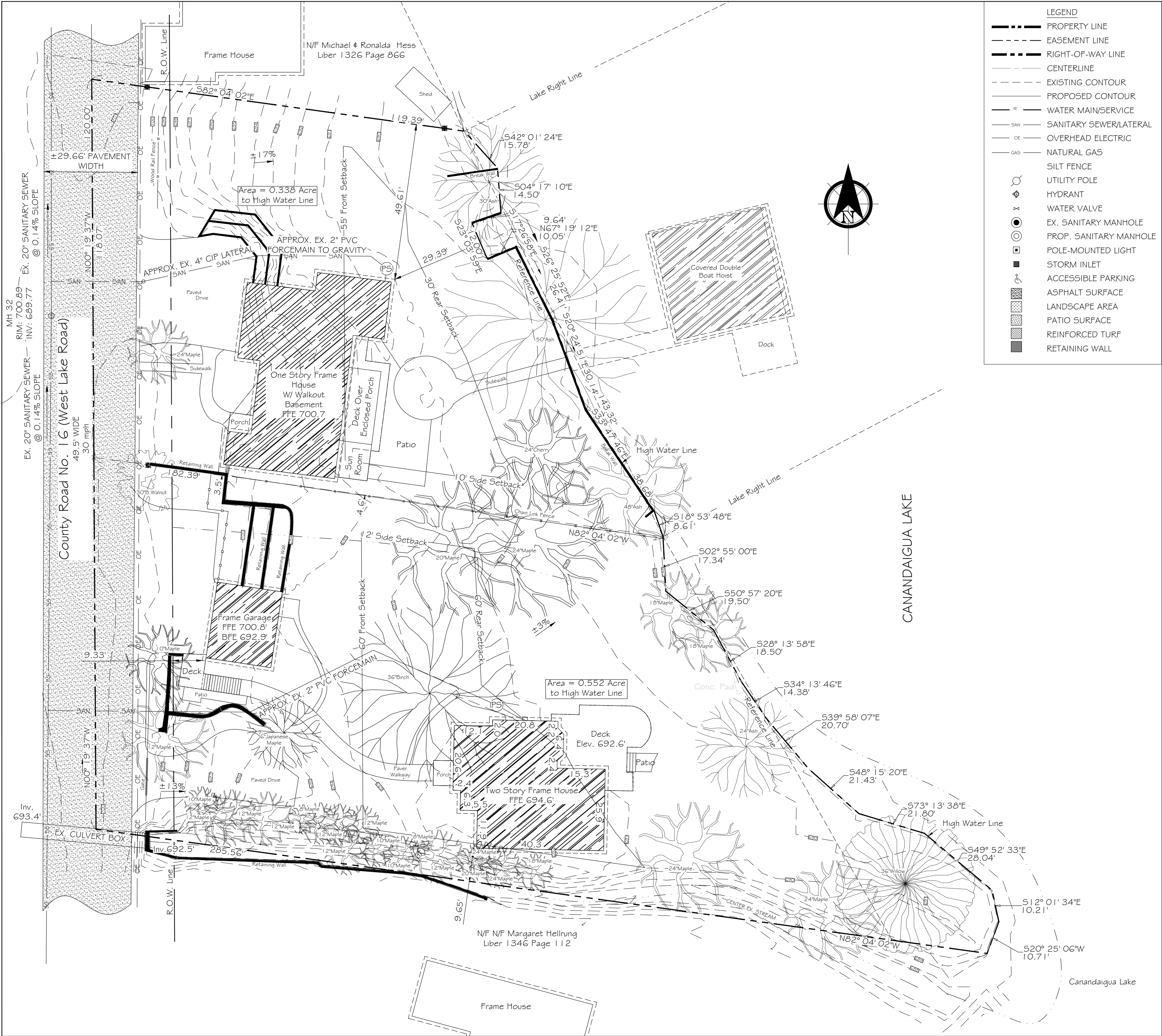
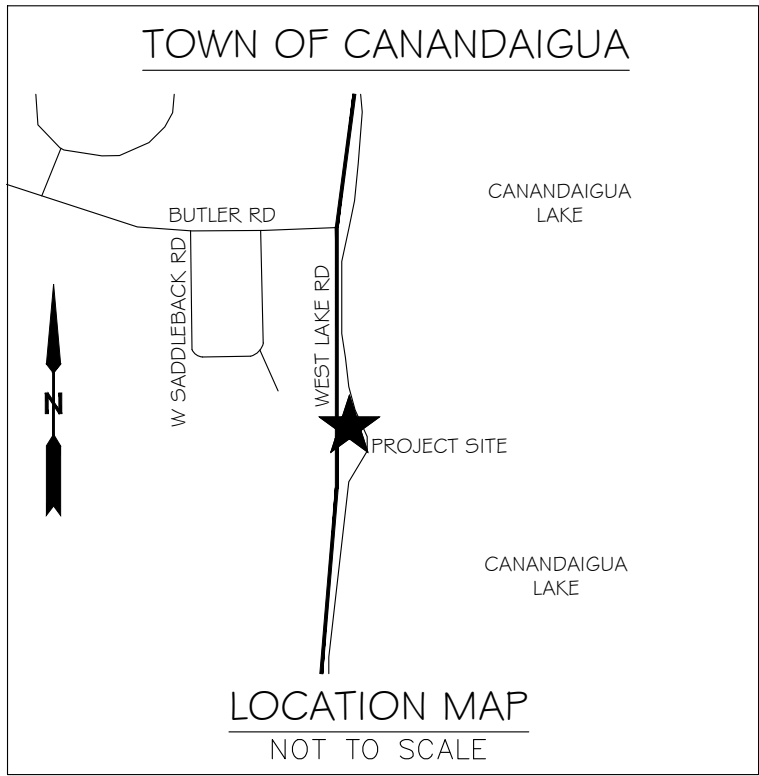




EXISTING SITE
SCALE: 1" = 20'



- LEGEND
- PROPERTY LINE
 - EASEMENT LINE
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - WATER MAIN/SERVICE
 - SANITARY SEWER/LATERAL
 - OVERHEAD ELECTRIC
 - NATURAL GAS
 - SILT FENCE
 - UTILITY POLE
 - HYDRANT
 - WATER VALVE
 - EX. SANITARY MANHOLE
 - PROP. SANITARY MANHOLE
 - POLE-MOUNTED LIGHT
 - STORM INLET
 - ACCESSIBLE PARKING
 - ASPHALT SURFACE
 - LANDSCAPE AREA
 - PATIO SURFACE
 - REINFORCED TURF
 - RETAINING WALL



SURVEY REFERENCE:

"TOPOGRAPHIC SURVEY OF LANDS OF
DAVID AND VALERIE WILCOX
3719 & 3725 COUNTY RD 16"
BY VENEZIA & ASSOC.
DATED NOVEMBER 17, 2016.
NO KNOWN EASEMENTS, DEED RESTRICTIONS OR
OTHER ENCUMBRANCES.

SITE DATA:

ZONING: RESIDENTIAL LAKE DISTRICT (RLD)
LOT SIZE OVER 20,000 SF

TOTAL LOT SIZE = 0.89 ACRES (±51,400 SF)

3719 WEST LAKE ROAD
CANANDAIGUA, NY 14424
T.A. # 113.05-1-28.0
EXISTING BLDG COVERAGE = 17.9%
EXISTING LOT COVERAGE = 32.0%

3725 WEST LAKE ROAD
CANANDAIGUA, NY 14424
T.A. # 113.05-1-29.0
EXISTING BLDG COVERAGE = 9.0%
EXISTING LOT COVERAGE = 19.6%

MINIMUM SIDE SETBACK = 12.00 FT
MINIMUM S SIDE SETBACK = 11.00 FT*
EXISTING S SIDE SETBACK = 9.65 FT
EXISTING N SIDE SETBACK = 49.61 FT
PROPOSED SIDE SETBACK = 44.33 FT

MINIMUM FRONT SETBACK = 60.00 FT
EXISTING FRONT SETBACK = 9.33 FT
PROPOSED FRONT SETBACK = 12.00 FT

MINIMUM REAR SETBACK = 60.00 FT
EXISTING REAR SETBACK = 29.39 FT
PROPOSED REAR SETBACK = 26.00 FT

MAX BUILDING HEIGHT = 26 FT*
PROPOSED BLDG HEIGHT = 25.72 FT

MAX BUILDING COVERAGE = 15.00%
PROPOSED BLDG COVERAGE = 17.99%

MAX LOT COVERAGE = 25.00%
PROPOSED LOT COVERAGE = 26.98%

DISTURBED AREA = 25,438 SF
(±0.58 ACRES)

* PER TOWN OF CANANDAIGUA
DEVELOPMENT OFFICE, BASED ON
EXISTING VARIANCES.

PRELIMINARY
NOT FOR
CONSTRUCTION

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN DATE

TOWN ENGINEER DATE

CITY OF CANANDAIGUA
DIRECTOR OF PUBLIC WORKS DATE

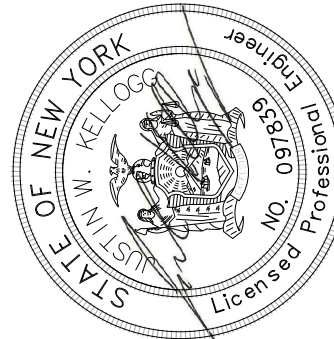
NOTE:
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PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE
PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

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REVISIONS:	NO.	DESCRIPTION	DATE
F	1		
E	2		
D	3		
C	4		
B	5		
A	6		

JOB NO. 18965	BLH	NO.
DRAWN: 3/8/2019	JWK	AS NOTED
CHECKED: 3/8/2019		
SCALE:		

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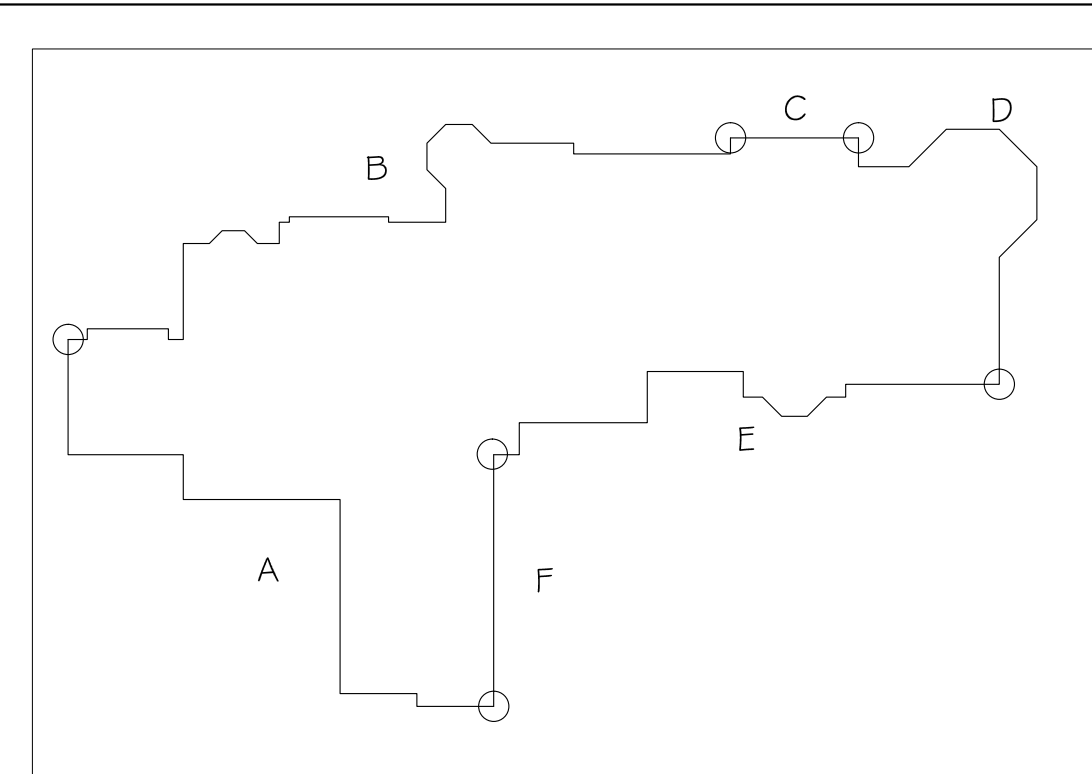
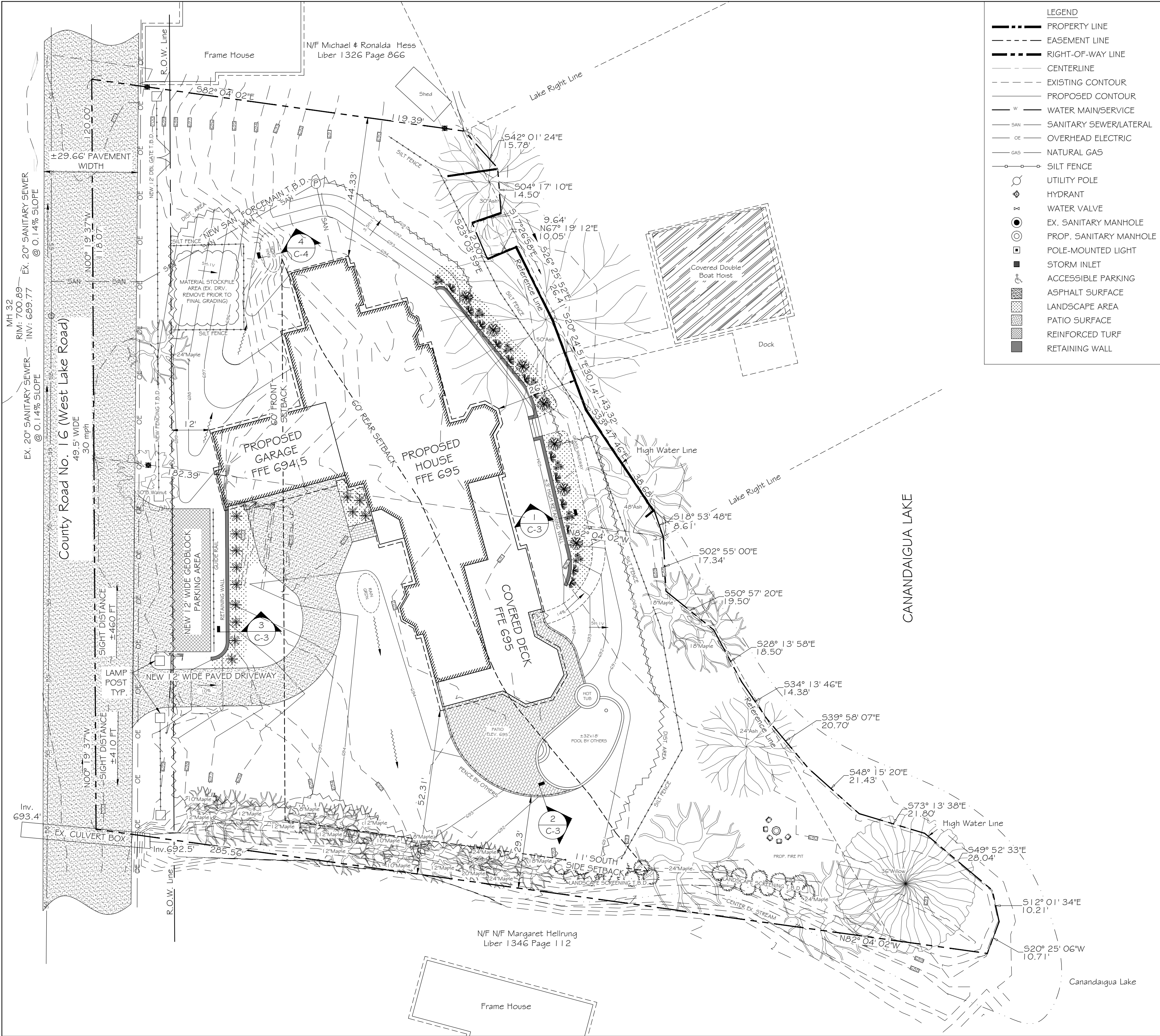


MEAGHER ENGINEERING
CIVIL / STRUCTURAL ENGINEERING
P.O. BOX 76 14584
CANANDAIGUA, NY 14424
PH. 585-924-7430 FAX 585-924-7457

CLIENT: DAVID WILCOX & VALERIE POLISSENI WILCOX
31 HYACINTH LANE
FAIRPORT, NY 14450
PROJECT: WILCOX SITE PLAN
3719 & 3725 W. LAKE RD.
CANANDAIGUA, NY 14424
DRAWING: EXISTING SITE PLAN

DRAWING NO.

C-1
1 of 4



STANDARD NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
- ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
- A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL, MEASURE SAND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
- THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
- THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR. THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
- CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
- ROOF LEADERS SHALL BE TIED INTO UNDERDRAIN AND DIRECTED TO RAIN GARDEN AS SHOWN ON THESE PLANS. UNDERDRAIN SHALL HAVE A MINIMUM OF 2 FT OF COVER IN GRASS AREAS AND 4 FT OF COVER IN DRIVEWAY AREAS.
- NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.
- ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
- ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
 - ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
 - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
 - THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, BAKING OR BACK-BLADING WITH A BULLDOZER.
 - FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTING BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCIES THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:

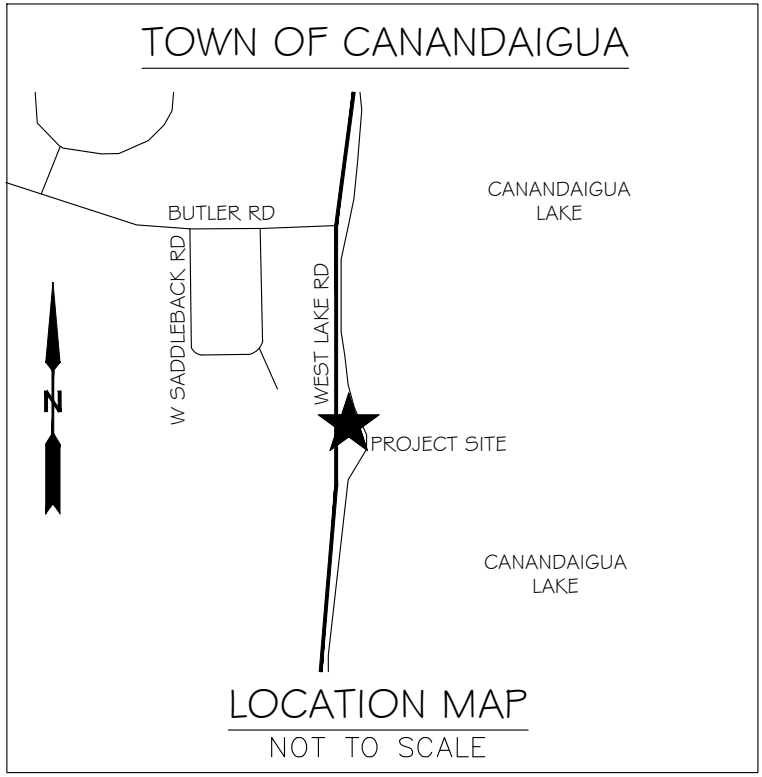
	SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30		0.7
PERENNIAL RYEGRASS	30		0.7
LATE FALL/EARLY WINTER			
CEREAL RYE	100		2.5

 - SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
 - DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFLOIL OR COMMON WHITE CLOVER	8 OR 9	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

 - SEEDING RATE: 6.0 POUNDS PER 1,000 SQUIRE FEET
 - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
 - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "ARROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE
 - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

AVERAGE GRADE					
SIDE	LENGTH (ft)	GRADE 1	GRADE 2	AVE. GRADE (β)	α x β
A	123.83	699	694.5	696.8	86278.6
B	151.56	694.5	694.5	694.5	105258.4
C	20	694.5	695	694.8	13895.0
D	73.64	695	695	695.0	51179.8
E	100.49	695	694.5	694.8	69815.4
F	39.33	694.5	694.5	694.5	27314.7
TOTAL	508.85				353741.9
AVERAGE GRADE = 353742 / 508.85 =				695.2	



SITE DATA:

ZONING: RESIDENTIAL LAKE DISTRICT (RLD)
LOT SIZE OVER 20,000 SF

TOTAL LOT SIZE = 0.89 ACRES (±51,400 SF)

3719 WEST LAKE ROAD
CANANDAIGUA, NY 14424
T.A. # 113.05-1-28.0
EXISTING BLDG COVERAGE = 17.9%
EXISTING LOT COVERAGE = 32.0%

3725 WEST LAKE ROAD
CANANDAIGUA, NY 14424
T.A. # 113.05-1-29.0
EXISTING BLDG COVERAGE = 9.0%
EXISTING LOT COVERAGE = 19.6%

MINIMUM SIDE SETBACK = 12.00 FT
MINIMUM S SIDE SETBACK = 11.00 FT*
EXISTING S SIDE SETBACK = 9.65 FT
EXISTING N SIDE SETBACK = 49.61 FT
PROPOSED SIDE SETBACK = 44.33 FT

MINIMUM FRONT SETBACK = 60.00 FT
EXISTING FRONT SETBACK = 9.33 FT
PROPOSED FRONT SETBACK = 12.00 FT

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MAX BUILDING HEIGHT = 26 FT*
PROPOSED BLDG HEIGHT = 25.72 FT

MAX BUILDING COVERAGE = 15.00%
PROPOSED BLDG COVERAGE = 17.99%

MAX LOT COVERAGE = 25.00%
PROPOSED LOT COVERAGE = 26.98%

DISTURBED AREA = 25,438 SF (±0.58 ACRES)

* PER TOWN OF CANANDAIGUA DEVELOPMENT OFFICE, BASED ON EXISTING VARIANCES.

NOTICE OF PROJECT NEAR FARM OPERATIONS

IT IS THE POLICY OF THE TOWN OF CANANDAIGUA TO CONSERVE, PROTECT, AND ENCOURAGE THE DEVELOPMENT AND IMPROVEMENT OF AGRICULTURAL LAND FOR THE PRODUCTION OF FOOD AND OTHER PRODUCT AND ALSO FOR ITS NATURAL ECOLOGICAL VALUE. THIS NOTICE IS TO INFORM PROSPECTIVE GRANTEE THAT THE PROPERTY THEY ARE ABOUT TO ACQUIRE LIES PARTIALLY, WHOLLY OR WITHIN 500' OF EITHER AN AGRICULTURAL DISTRICT OF LAND FOR WHICH AN INDIVIDUAL COMMITMENT HAS BEEN RECEIVED PURSUANT TO SECTION 305 OF 306 OF THE AGRICULTURAL AND MARKET LAW OF THE STATE OF NEW YORK, AND THAT FARMING ACTIVITIES MAY OCCUR ON SUCH PROPERTY. SUCH FARMING ACTIVITIES MAY INCLUDE BUT NOT LIMITED TO ACTIVITIES THAT CAUSE NOISE, DUST AND ODORS.

PRELIMINARY
NOT FOR
CONSTRUCTION

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE
CITY OF CANANDAIGUA DIRECTOR OF PUBLIC WORKS	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

!! CALL !!
BEFORE
YOU DIG, DRILL OR BLAST

1-800-962-7962 or 811

IN ACCORDANCE WITH UFPO (UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION), CONTRACTORS MUST NOTIFY ALL UTILITIES IN THE AREA TWO (2) WORKING DAYS BEFORE EXCAVATION.

IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL SEWER AND WATER DEPARTMENTS WITHIN THE PROJECT AREA.



PROPOSED SITE
SCALE: 1" = 20'

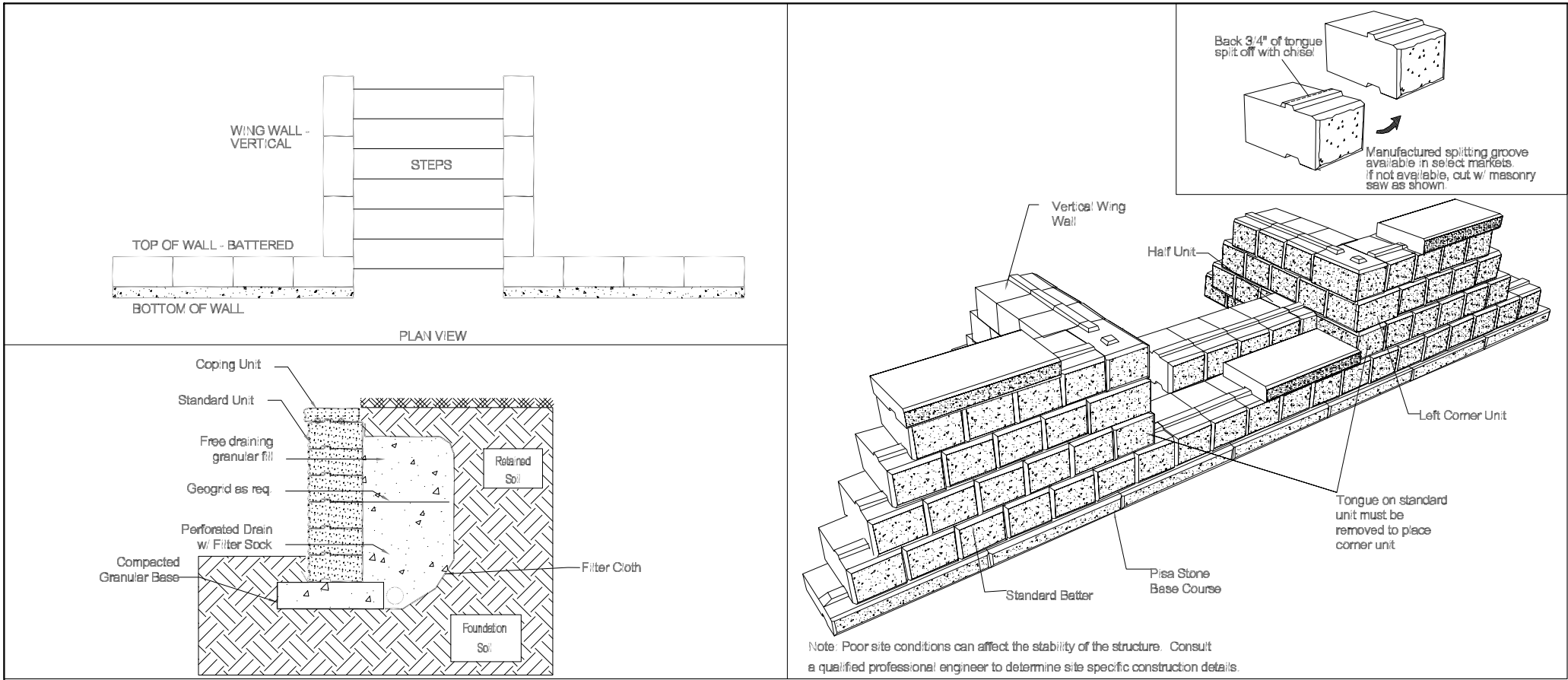


GENERAL & UTILITY NOTES

- DEVELOPER SHALL PROVIDE FOR EROSION CONTROL BARRIERS WHERE NEEDED DURING CONSTRUCTION. EROSION CONTROL SHALL NOT BE REMOVED UNTIL APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA.
- PROPOSED USE - SINGLE FAMILY DWELLING.
- ROADWAY DRAINAGE ALONG RTE. 54 TO BE MAINTAINED AS NECESSARY.
- THE ACCURACY OF EXISTING UTILITIES SHOWN HEREON IS NOT GUARANTEED. EXISTING UTILITIES SHOWN ARE PLOTTED FROM FIELD SURVEY DATA AND RECORD MAP INFORMATION. THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURES TO PROTECT EXISTING UTILITIES.
- ALL UTILITIES SHALL BE UNDERGROUND. CONTRACTOR TO PROVIDE AS-BUILT RECORDS TO THE BUILDING INSPECTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT ALL SURVEY MONUMENTATION.
- FILL AREAS TO BE IMMEDIATELY SEEDED TO PREVENT EROSION.
- SAFE AND CONTINUOUS TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNER DRIVEWAYS, SERVICE AND PUBLIC ROADS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION.
- ALL TOPSOIL STRIPPED SHALL BE STOCKPILED AND REMAIN ONSITE UNTIL PROJECT IS COMPLETED OR UNTIL INSURANCE OF A MINIMUM SEED BED OF 4 INCHES OF TOPSOIL IS PROVIDED.
- MATERIAL BROUGHT TO THE SITE SHALL BE CLEAN FILL, FREE OF ORGANICS, WASTES, AND FROZEN MATERIAL.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES PRIOR TO COMMENCING EARTHWORK OPERATIONS.
- ALL CONSTRUCTION SHALL CONFORM WITH ALL FEDERAL, STATE, AND LOCAL CONSTRUCTION STANDARDS.
- ROOF LEADERS TO DISCHARGE TO SPLASH BLOCK.
- EXISTING SEPTIC SYSTEM SHALL BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL STANDARDS.
- THE CONDITION OF THE EXISTING DOMESTIC WATER SOURCE SHALL BE VERIFIED BY THE CONTRACTOR AND TESTED FOR PATHOGENS, CONTAMINATION, MINERALS, OR OTHER POLLUTANTS. THE ENGINEER OF RECORD SHALL BE NOTIFIED IF AN ALTERNATIVE DOMESTIC WATER SOURCE IS REQUIRED. MAINTAIN A MINIMUM 100 FT SEPARATION BETWEEN THE NEW SEPTIC SYSTEM AND DOMESTIC WATER SOURCE.
- CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ADEQUATE SHORING OF ONGOING CONSTRUCTION. ALL CONSTRUCTION OPERATIONS SHALL BE IN COMPLIANCE WITH "THE BUILDING CODE OF NEW YORK STATE", THE UNIFORM BUILDING CODE, OSHA, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
- THIS PROJECT IS WITHIN 500' OF AN AGRICULTURAL DISTRICT.
- EXISTING WATER SERVICE SHALL BE INSPECTED BY CONTRACTOR AND COORDINATED WITH CITY OF CANANDAIGUA PUBLIC WORKS PRIOR TO CONNECTION.
- ALL NEW SITE LIGHTING SHALL BE DARK SKY COMPLIANT.
- PROPOSED LANDSCAPING T.B.D. BY OTHERS.

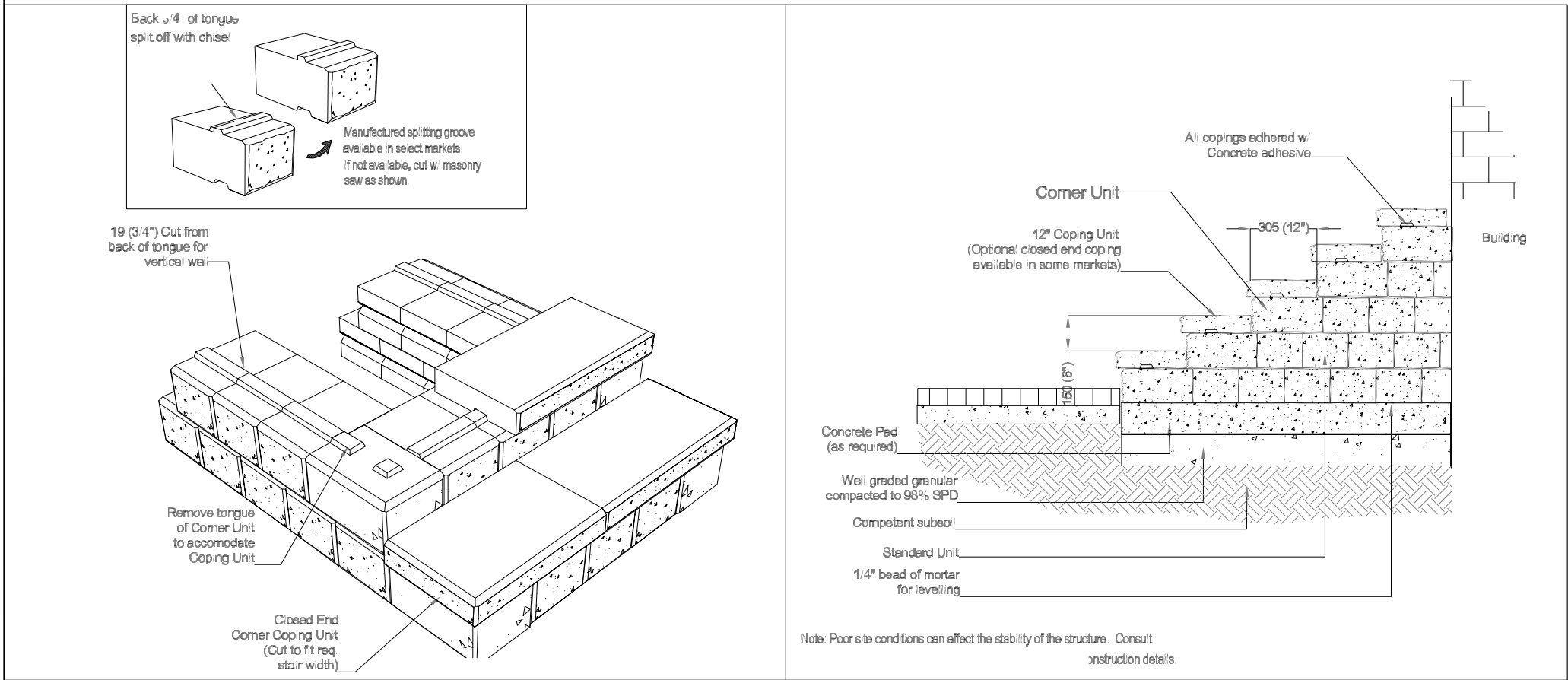
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	DATE:	3/8/2019		E
	CHECKED:	JWK		D
	DATE:	3/8/2019		C
	SCALE:	AS NOTED	PRC COMMENTS	A
			NO.	DESCRIPTION
				DATE
				3/4/19



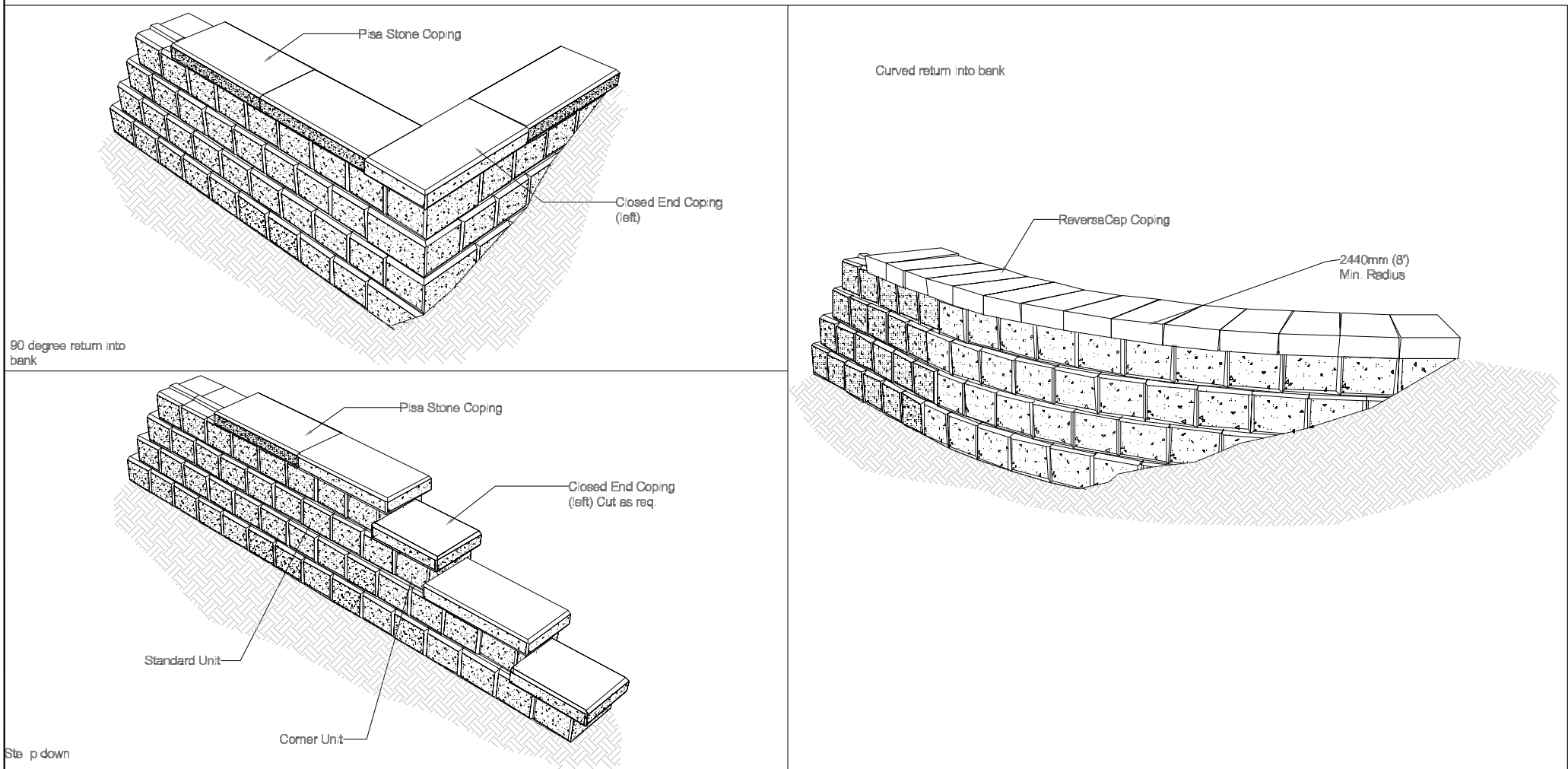
VERTICAL WING WALL DETAIL

SCALE: N.T.S.



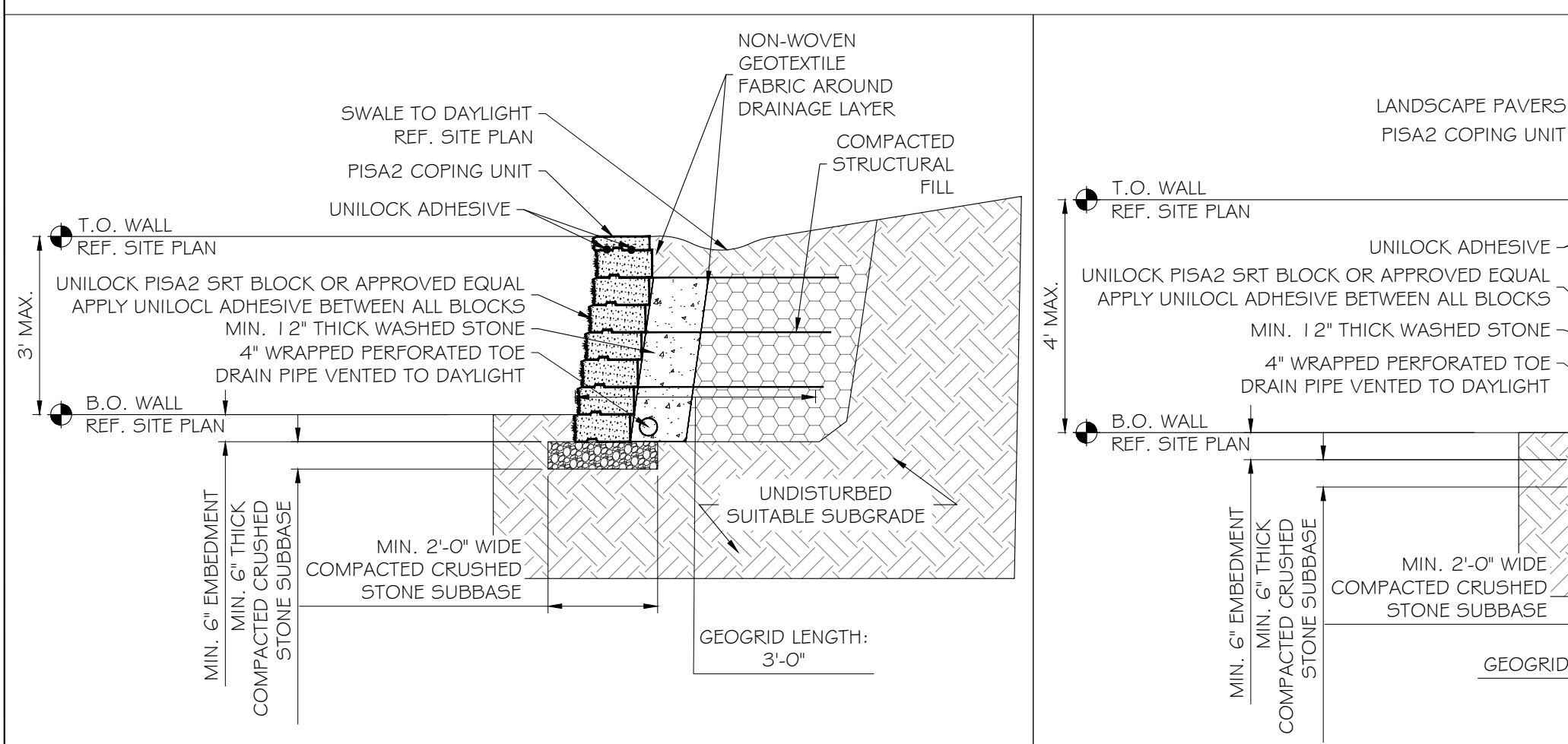
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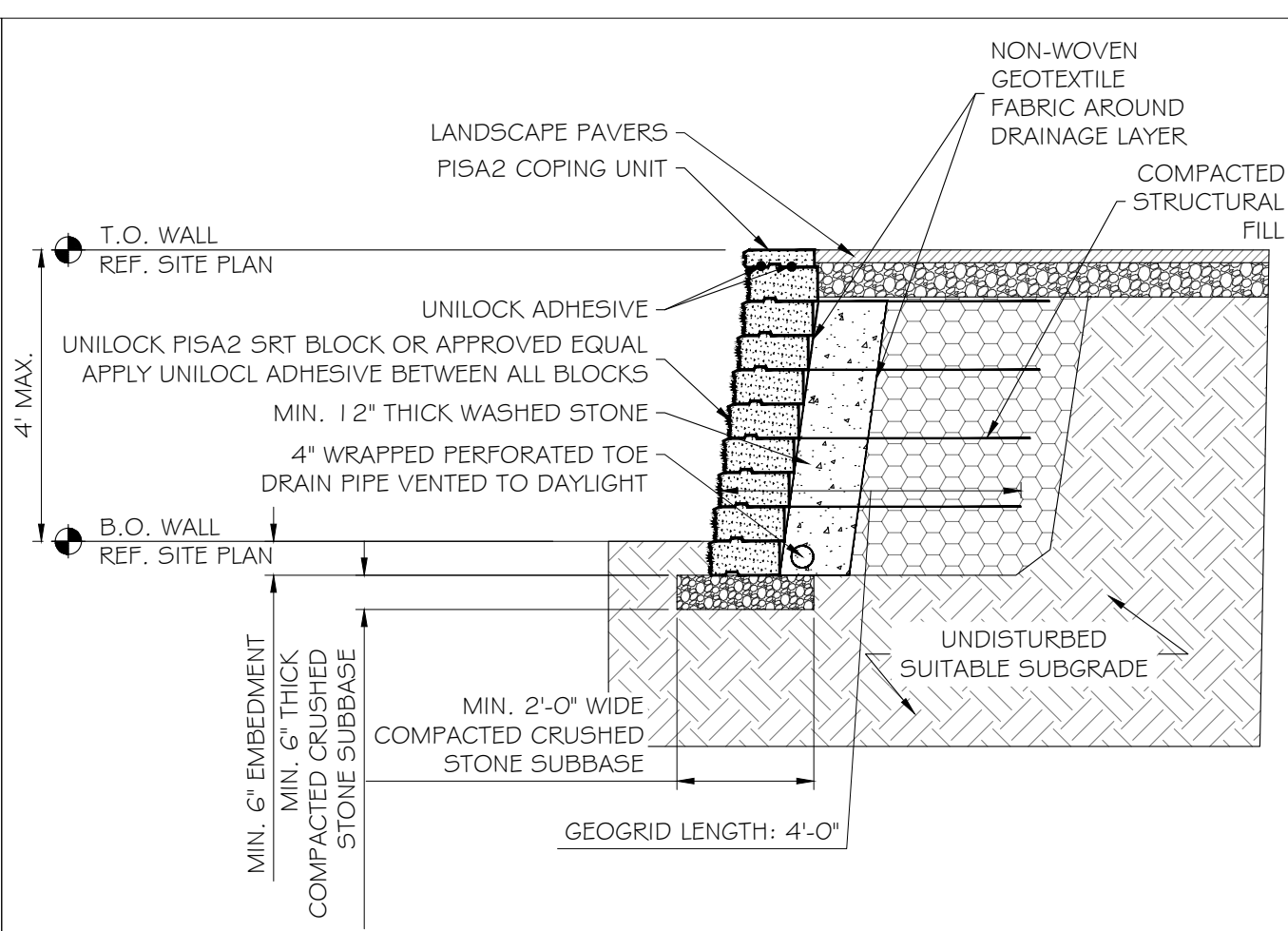
WALL ENDS

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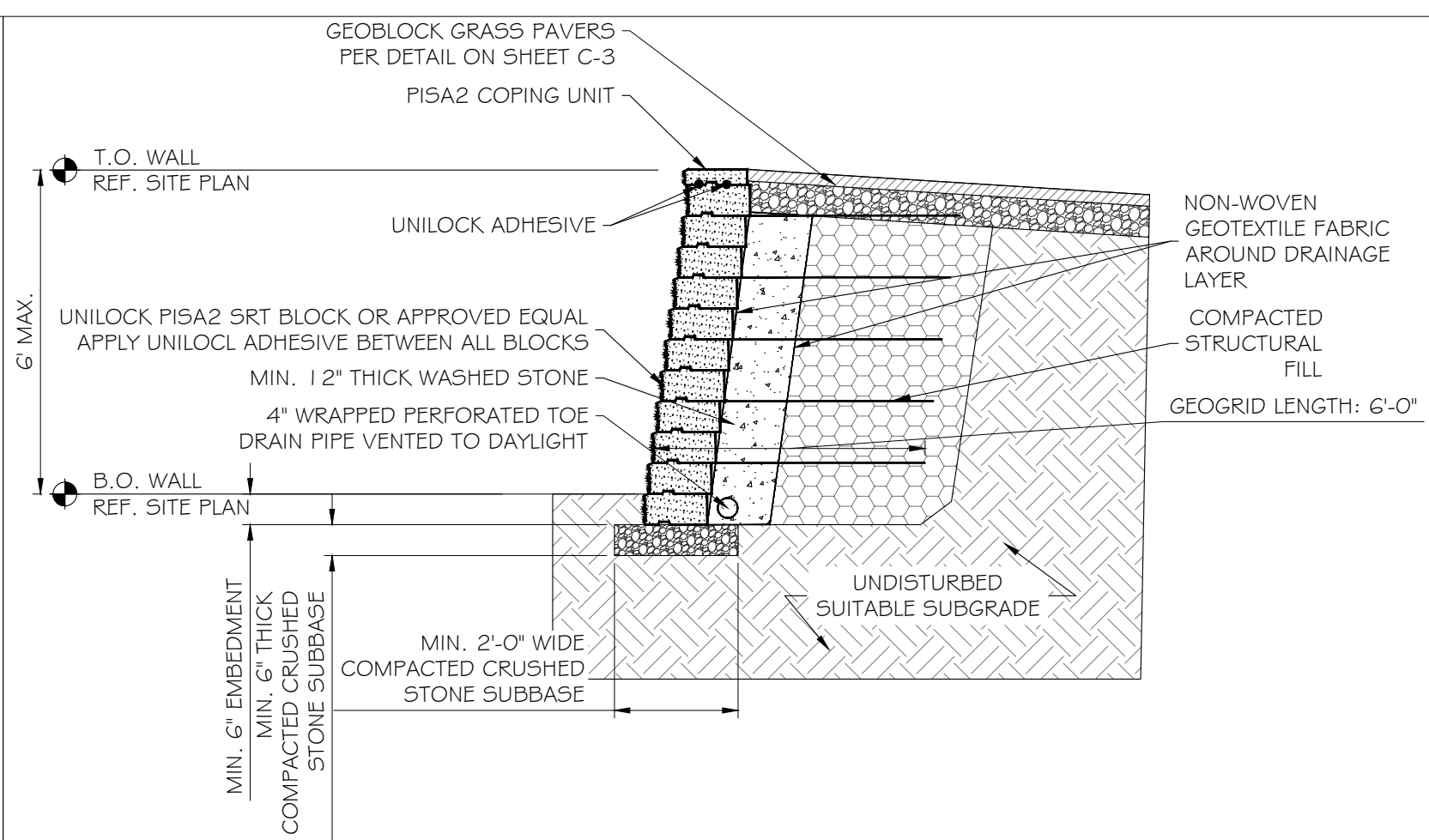
① LAKESIDE RETAINING WALL SECTION

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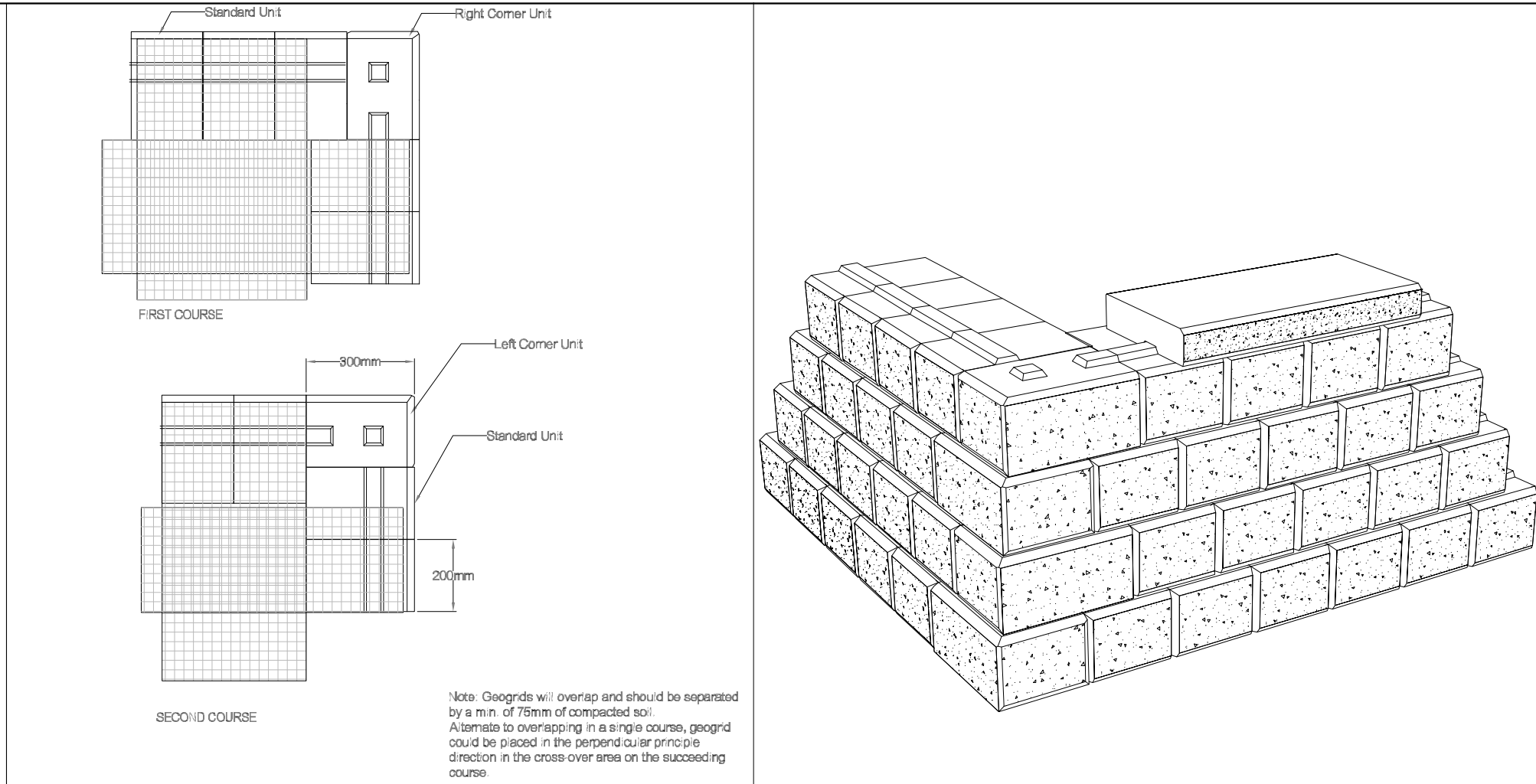
② POOLSIDE RETAINING WALL SECTION

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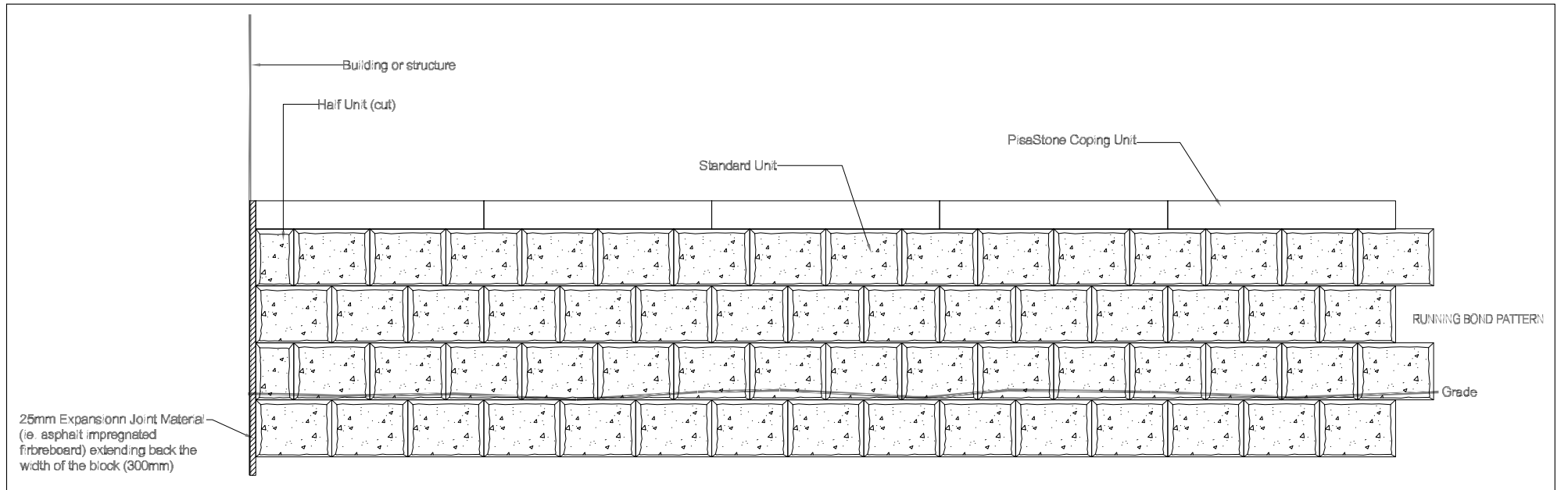
③ ROADSIDE RETAINING WALL SECTION

SCALE: N.T.S.



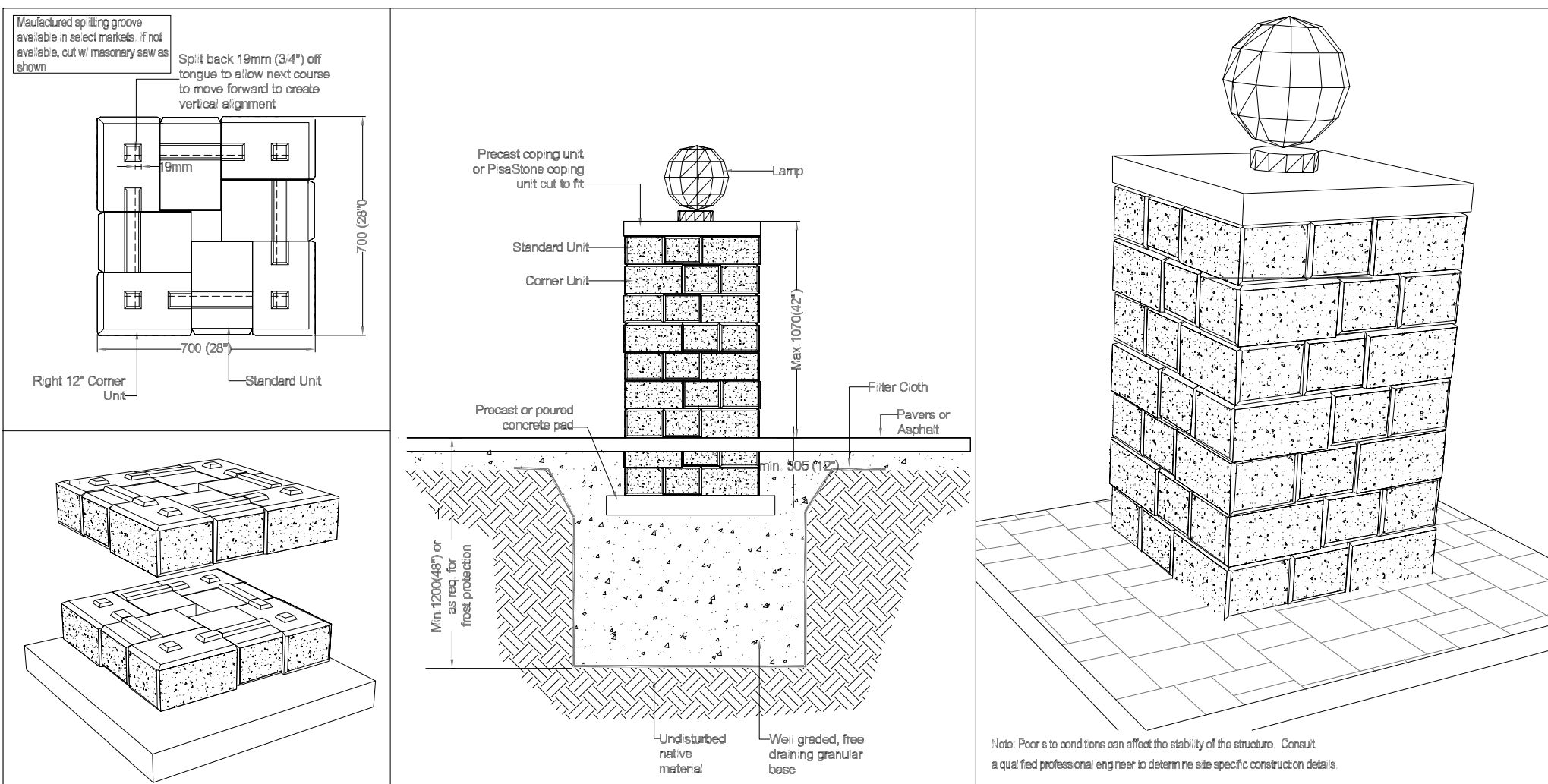
90 DEG. OUTSIDE CORNER 12" (300mm) CORNER UNIT

SCALE: N.T.S.



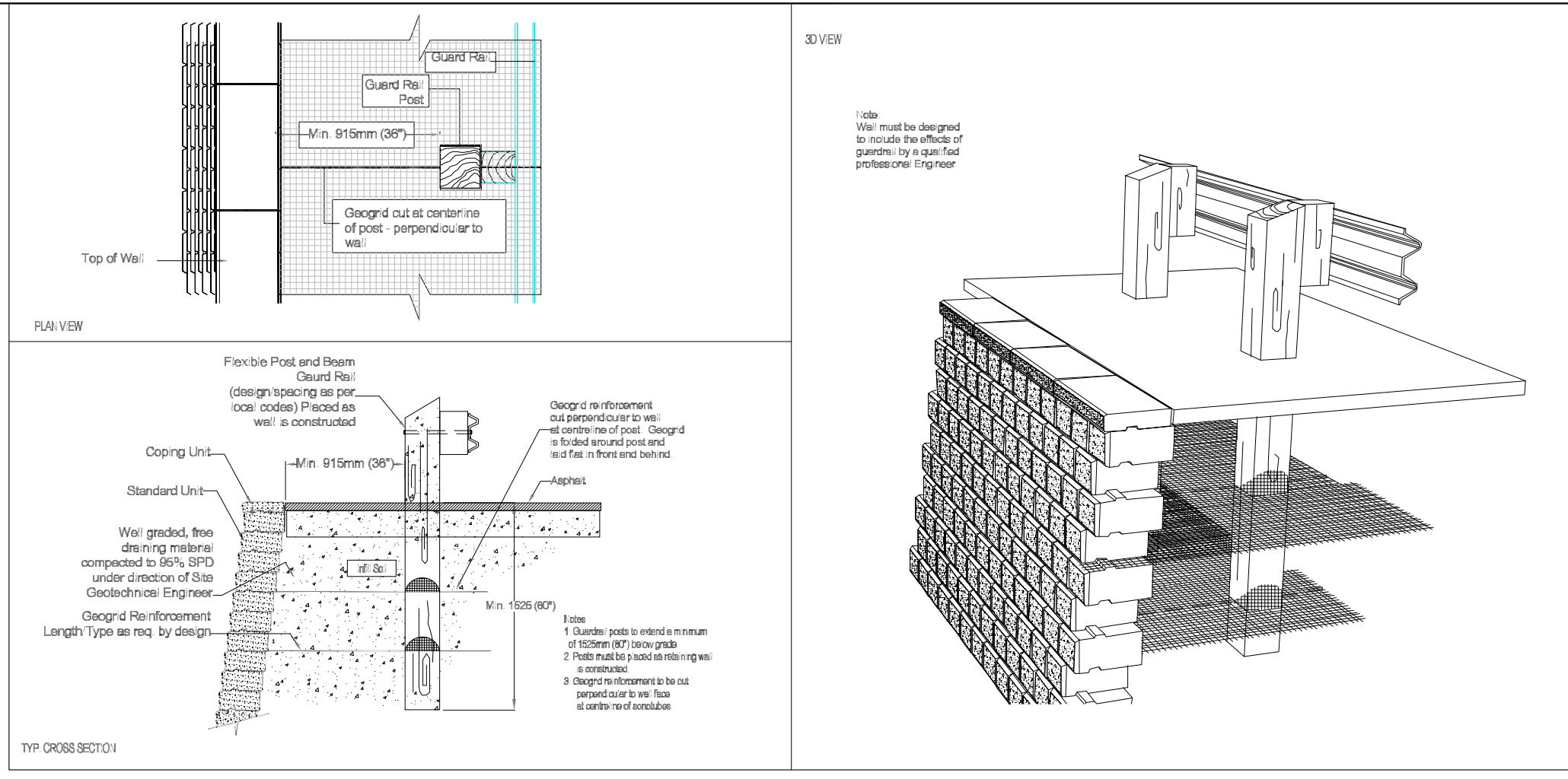
ABUTTING EXISTING STRUCTURES

SCALE: N.T.S.



LAMP POST WIDE

SCALE: N.T.S.



GRAVITY WALL W/ FLEXIBLE POST BEAM AND TRAFFIT BARRIER

SCALE: N.T.S.

TAPER METHOD OF LAYOUT

TAPER METHOD OF LAYOUT IS NOT RECOMMENDED WITH CORNER ANGLES LESS THAN 80° OR GREATER THAN 100°. NOR IS IT RECOMMENDED FOR DRIVEWAYS WITH A DRIVEWAY OFFSET (OUTER TRAVEL LANE + PAVED SHOULDER) LESS THAN 16', UNLESS IT CAN BE FIELD VERIFIED THAT THE DRIVEWAY ENTRANCE WIDTH WILL ACCOMMODATE THE VEHICLES THAT USE THE DRIVEWAY ON A REGULAR BASIS.

- STEP 1 - SCRIBE A LINE (LAYOUT LINE) OFFSET THE APPROPRIATE 'LAYOUT DISTANCE' (SEE TABLE 1) FROM THE INSIDE EDGE OF THE OUTERMOST OF TRAVEL LANE.
- STEP 2 - LOCATE THE TAPER LAYOUT POINT, WHICH IS AT THE INTERSECTION OF THE EDGE OF DRIVEWAY AND THE LAYOUT LINE.
- STEP 3 - SCRIBE A 1:1 (SEE TABLE 1) TAPER FROM THE LAYOUT POINT TO THE EDGE OF PAVEMENT (WITH 'T' BEING PERPENDICULAR TO THE EDGE OF TRAVEL LANE).
- STEP 4 - FIND THE DRIVEWAY OPENING LIMIT POINT WHICH IS WHERE THE TAPER INTERSECTS THE EDGE OF PAVEMENT.
- STEP 5 - REPEAT STEPS 1 - 4 FOR THE OTHER SIDE OF THE DRIVEWAY OPENING.

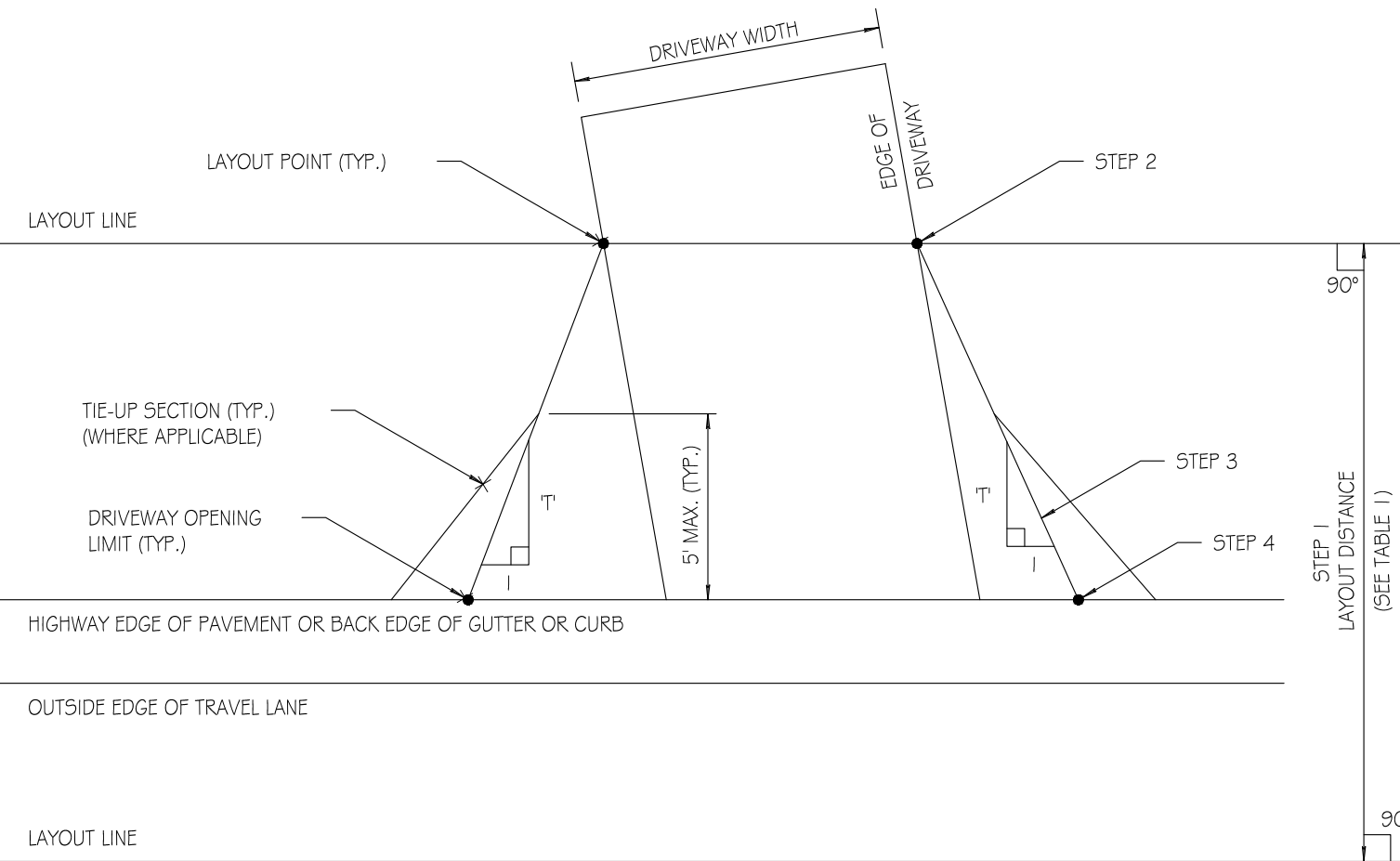
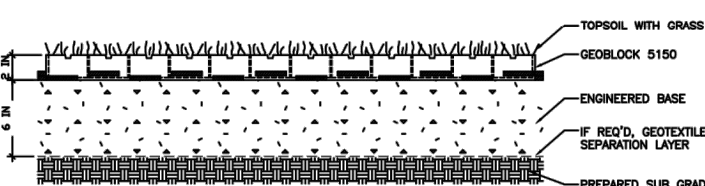


TABLE 1 TAPER METHOD VALUES		
DRIVEWAY CLASSIFICATION	DRIVEWAY TAPER (1:1) (SEE NOTE 1)	LAYOUT DISTANCE (SEE NOTE 2)
RESIDENTIAL	1:2	25 FT.
MINOR COMMERCIAL	1:1-1/2	41 FT.

9/12/14
REVISED

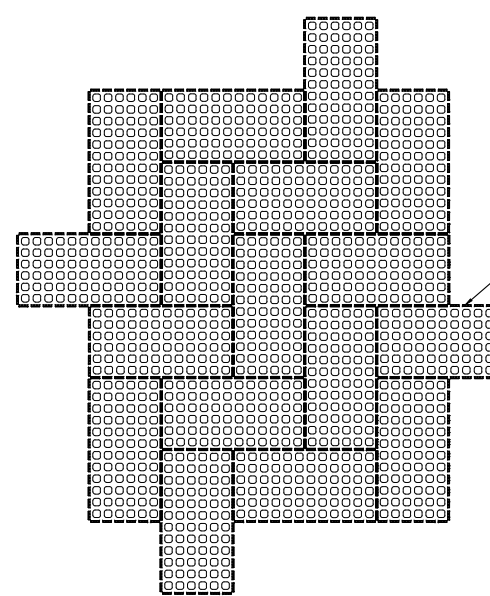
- NOTES :
1. HEADER CURB FOR RESIDENTIAL DRIVEWAYS SHOULD NOT EXCEED 24" UNLESS MATCHING EXISTING OPENING WIDTH (UP TO 30').
 2. LAYOUT DISTANCE IS MEASURED FROM THE INSIDE EDGE OF OUTERMOST TRAVEL LANE (FOR A MULTI-LANE ROADWAY), OR FROM THE CENTERLINE OF A TWO-LANE ROADWAY.

DRIVEWAY TAPER LAYOUT
VALID FOR RESIDENTIAL OR MINOR COMMERCIAL DRIVEWAYS
(FOR THE VALUE OF 'T' SEE TABLE 1)
NOT TO SCALE



GEOBLOCK SECTION

SCALE: N.T.S.



GEOBLOCK TYP. LAYOUT HARRINGBONE PATTERN

SCALE: N.T.S.

PRELIMINARY NOT FOR CONSTRUCTION

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN ENGINEER _____ DATE _____

CITY OF CANANDAIGUA
DIRECTOR OF PUBLIC WORKS _____ DATE _____

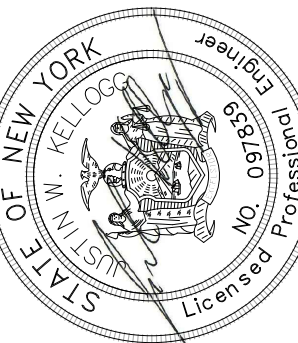
NOTE:
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PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE
PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

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JOB NO.	18965	BLH	DATE	3/8/2019	JMK	CHECKED	DATE	3/8/2019	SCALE	AS NOTED	NO.	DESCRIPTION	DATE
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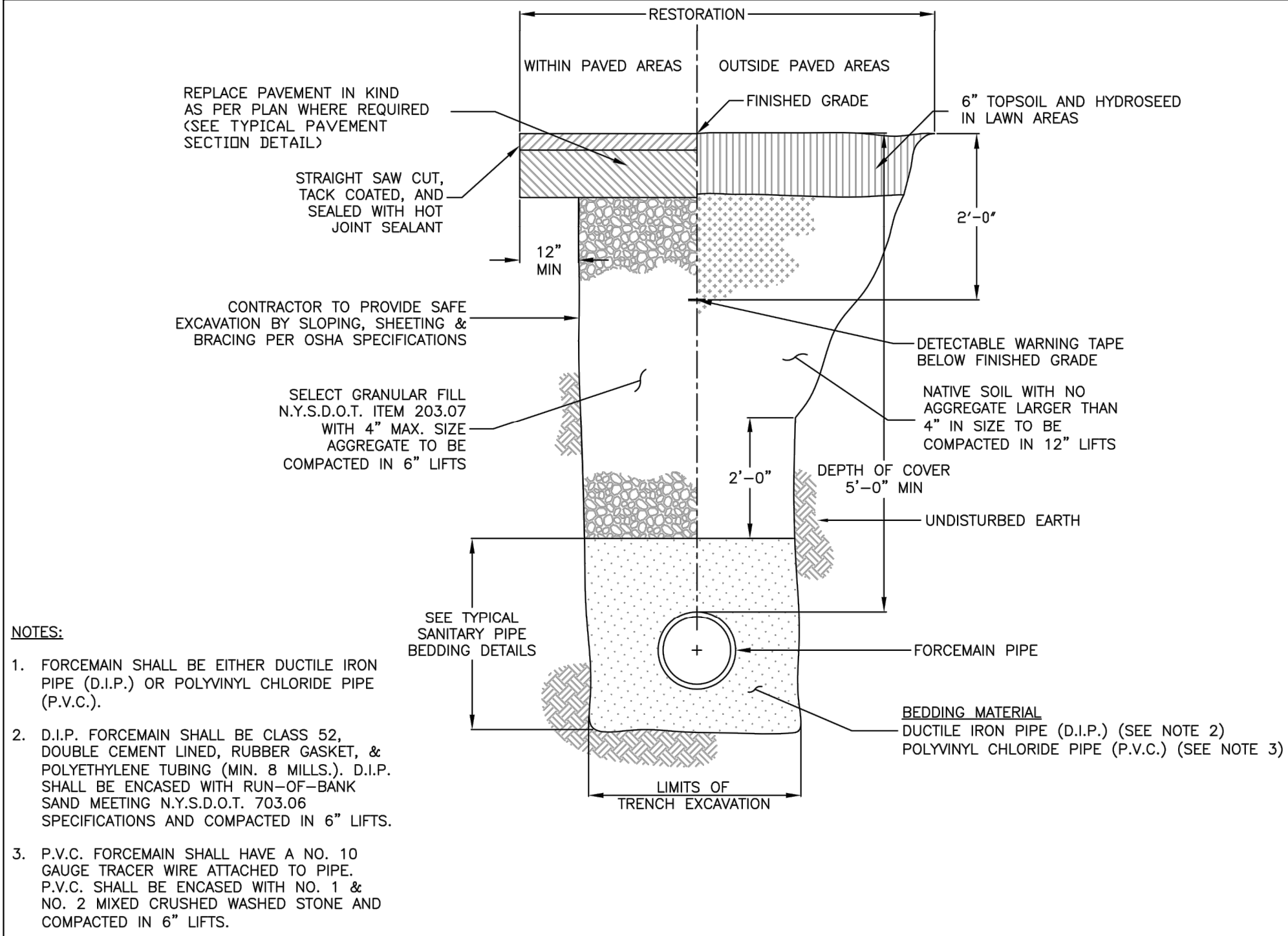
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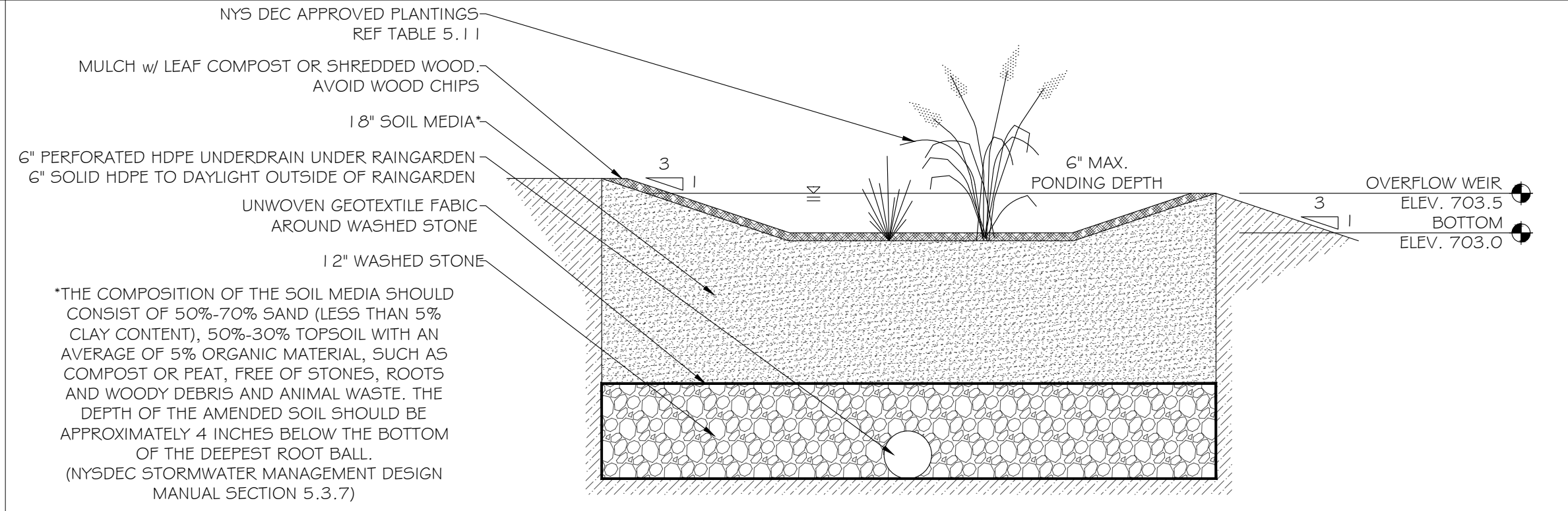
MEAGHER ENGINEERING
CIVIL / STRUCTURAL ENGINEERING
10 BOX 76 14584
VY
PH. 585-924-7430 FAX 585-924-7457

CLIENT: DAVID WILCOX & VALERIE POLISSINI WILCOX
31 HYACINTH LANE
FAIRPORT, NY 14450
PROJECT: WILCOX SITE PLAN
3719 & 3725 W. LAKE RD.
CANANDAIGUA, NY 14424
NOTES & DETAILS

DRAWING NO.
C-3
3 of 4



SANITARY FORCEMAIN TRENCH
SCALE: NOT TO SCALE



④ RAIN GARDEN SECTION
SCALE: N.T.S.

New York State Stormwater Management Design Manual
Chapter 5: Green Infrastructure Practices
Section 5.3 Green Infrastructure Techniques

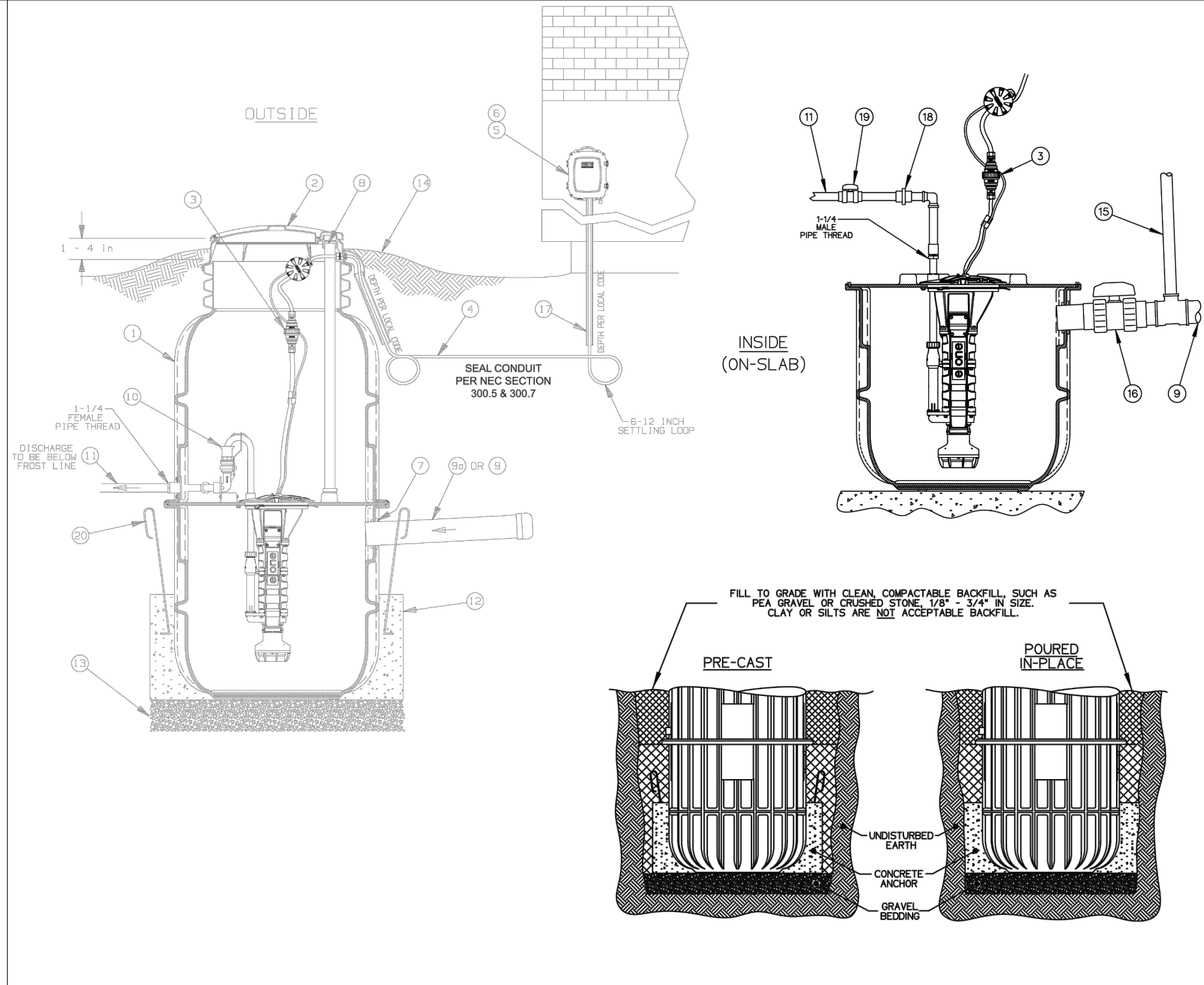
Table 5.11 Suggested Rain Garden Plant List	
Shrubs	Herbaceous Plants
Witch Hazel	Cinnamon Fern
Hamamelis virginiana	Osmunda cinnamomea
Winterberry	Cutleaf Coneflower
Ilex verticillata	Rudbeckia laciniata
Arrowwood	Scirpus cyperinus
Viburnum dentatum	New England Aster
Brook-side Alder	Aster novae-angliae
Alnus serrulata	Fox Sedge
Red-Osier Dogwood	Carex vulpinoidea
Cornus stolonifera	Sweet Pepperbush
Sweet Pepperbush	Spotted Joe-Pye Weed
Clethra alnifolia	Eupatorium maculatum
	Switch Grass
	Panicum virgatum
	Great Blue Lobelia
	Lobelia siphatica
	Wild Bergamot
	Monarda fistulosa
	Red Milkweed
	Asclepias incarnate
Adapted from NYSDM Bioretention Specifications, Bannerman, Brooklyn Botanic Garden.	

PUMP STATION FEATURES

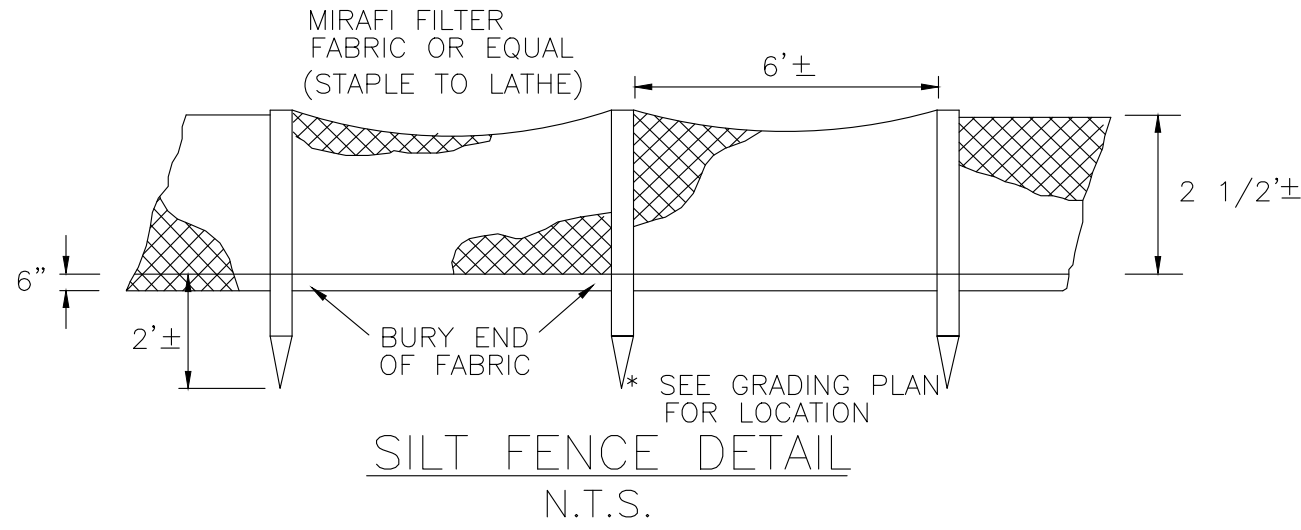
- GRINDER PUMP BASIN
- ACCESSWAY COVER
- ELECTRICAL QUICK DISCONNECT (EQD)
- POWER AND ALARM CABLE
- ALARM PANEL
- ALARM DEVICE
- INLET
- WET WELL VENT
- GRAVITY SERVICE LINE
- DISCHARGE VALVE
- DISCHARGE LINE
- 6.1 CF CONCRETE BALLAST w/ ANCHORS PER MANUF.
- 6" ROUND STONE AGGREGATE BEDDING
- FINISHED GRADE - 1" TO 4" BELOW LID w/ POSITIVE SLOPE AWAY FROM UNIT
- VENT
- VALVE
- CONDUIT
- UNION
- VALVE
- REBAR

EROSION CONTROL NOTES

- NO FILLING, CONSTRUCTION, OR STORING OF MATERIALS ON SITE WILL BE ALLOWED UNTIL EROSION CONTROL MEASURES ARE IN PLACE AS SHOWN, DESCRIBED AND DETAILED ON THIS SHEET.
- NO PAYMENT REQUESTS WILL BE ACCEPTED UNLESS THE EROSION CONTROL MEASURE REQUIREMENTS STIPULATED ON THIS PLAN HAVE BEEN ADHERED TO.
- EROSION CONTROL MEASURES ARE TO BE TO THE SATISFACTION OF THE NYSDEC, THE TOWN OF CANANDAIGUA AND THEIR ENGINEER.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1 (800) 962-7962 FOR STAKEOUT OF EXISTING UTILITIES.
- EROSION CONTROL DEVICES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR PER THE SPECIFICATIONS UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA AND THEIR ENGINEER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCE THAT HAS BECOME CLOGGED, INOPERABLE OR DAMAGED. SILT FENCE SHALL BE INSPECTED DAILY FOR REPLACEMENT. REPLACEMENT WILL BE AS NECESSARY OR AS DIRECTED BY THE TOWN OF CANANDAIGUA AND THEIR ENGINEER.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO ALLOW SILT RUNOFF ONTO ADJOINING PROPERTIES OR CANANDAIGUA LAKE. THIS MAY INCLUDE THE USE OF INTERCEPTOR SWALES, STRAW WATTLES AND/OR CRUSHED STONE FILTERS. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR CLEANING THE ADJACENT STREETS. CUTTERS AND/OR DOWNSTREAM STORM SEWERS ARE NECESSARY OR AS DIRECTED BY THE TOWN OF CANANDAIGUA AND THEIR ENGINEER.
- DISTURBED AREAS ARE TO BE SEEDED UPON COMPLETION OF THE EARTHWORK AND GRADING.
- SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL.



PUMP STATION DETAILS
FROM E/ONE TYP. INSTALLATION INSTRUCTIONS
SCALE: NOT TO SCALE



ANTICIPATED CONSTRUCTION SEQUENCE:

- INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. SILT FENCE).
- PROTECT VEGETATION TO REMAIN.
- CLEAR AND REMOVE VEGETATION FROM SITE WHERE NECESSARY.
- CONSTRUCT SWALES, RAIN GARDEN, AND INSTALL DRAINAGE INLETS AND STORM PIPING.
- CONSTRUCT HOUSE STRUCTURE AND RETAINING WALLS.
- INSPECT ALL EROSION CONTROL DEVICES DAILY AND REPAIR AS NECESSARY.
- RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
- REMOVE EROSION CONTROL MEASURES AS AREAS REESTABLISH WITH GROUND COVER.
- IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBED AREAS AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.

*ANTICIPATED START DATE: FALL 2019

PRELIMINARY
NOT FOR
CONSTRUCTION

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN DATE

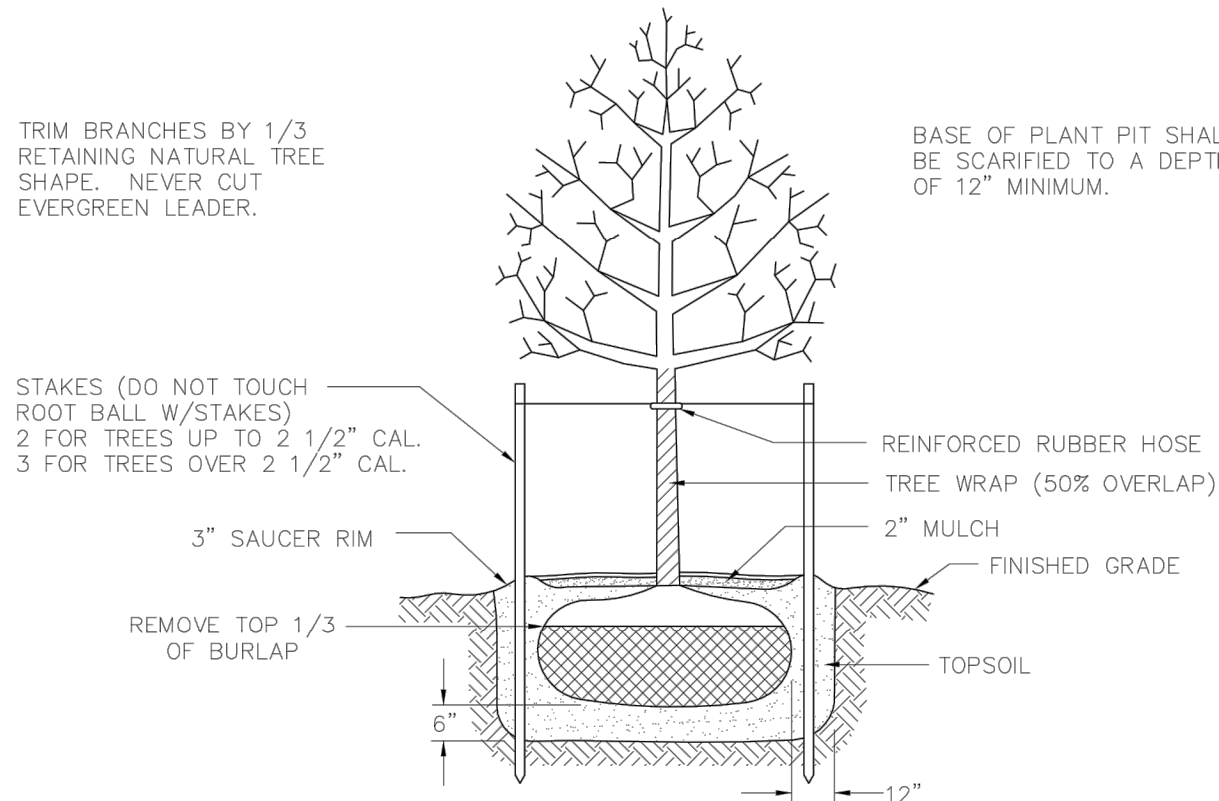
TOWN ENGINEER DATE

CITY OF CANANDAIGUA
DIRECTOR OF PUBLIC WORKS DATE

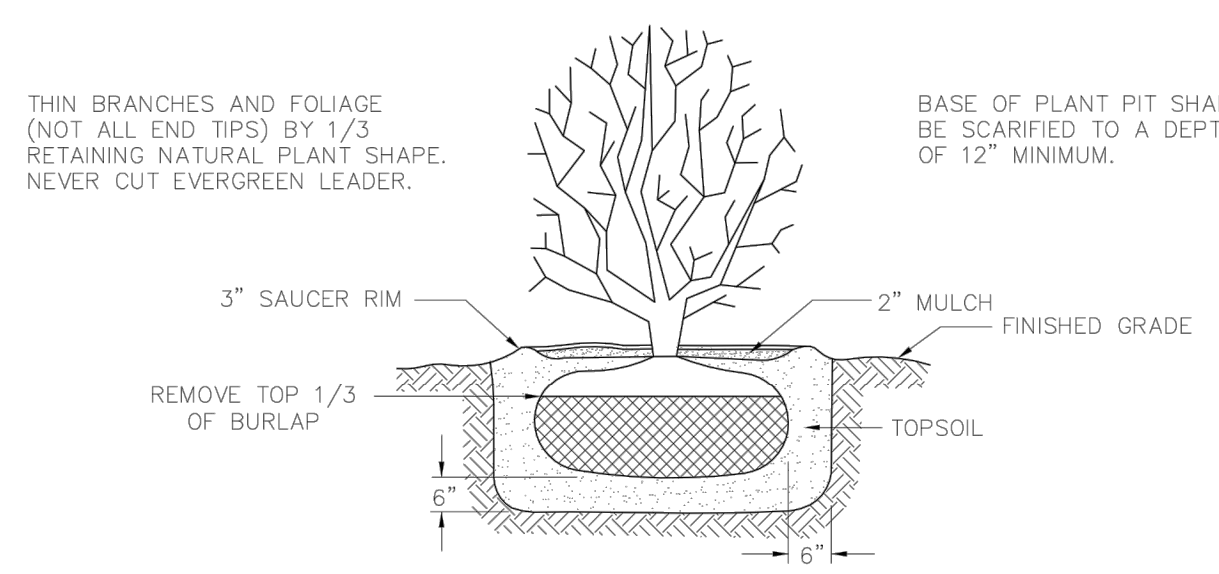
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NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

SANITARY LATERAL NOTES:
ALL PROJECTS

- ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
- NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FROM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
- DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
- THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
- LATERALS SHALL BE MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR BASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
- SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF TEN FEET FROM ANY EXISTING OR PROPOSED WATERMAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER/LATERAL TO THE OUTSIDE OF THE WATERMAIN). IN CASES WHERE THE MAIN OR LATERAL CROSSES A WATERMAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE EIGHTEEN INCHES (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN JOINTS.
- THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DISTRICT.
- FLOOR DRAINS IN BASEMENTS OR GARAGES ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT PROHIBITS GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CIRCLE.
- LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
- ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.



TYPICAL TREE PLANTING DETAIL
N.T.S.



TYPICAL SHRUB PLANTING DETAIL
N.T.S.

FF

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