



May 15, 2020

39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

Mr. Eric Cooper  
Town of Canandaigua  
5440 Routes 5 & 20 West  
Canandaigua NY 14424

Re: 4841 W Lake Rd  
Town of Canandaigua, County of Ontario

Dear Eric,

On behalf of our client, Steven Day, we are submitting revised plans of the above referenced project for your review. These revisions incorporate the changes requested by the Planning Review Committee at their meeting on May 11, 2020 and provided to Marathon Engineering on May 12, 2020. With the revisions made as requested, we are requesting that this application be placed on the Planning Board agenda of June 19, 2012 for site plan approval.

While the majority of the comments have been addressed without issue, a waiver is requested for two requirements pursuant to Town Code § 220-65(L).

The first waiver is in regards to the Site Design and Development Criteria, Article IV, Section D (Vertical Alignment); specifically, the requirement that the driveway does not have a slope in excess of 15% and that a leveling area is provided adjacent to the right-of-way having a maximum slope of 3% and a minimum length of 30'.

The main component of this project is the installation of a new septic system to replace an aging, inefficient system. The new system has been designed and approved by the Ontario County Soil and Water Conservation District and a specialty design has been used to best fit the difficult topography of the property and to protect and preserve Canandaigua Lake. In order to excavate and place the septic tank and pump tank for the new system, the existing retaining wall and the driveway behind it must be removed to provide access for construction equipment.

The reconstruction of the driveway at the natural grade of the property, without the retaining wall, is advantageous for several reasons. First, future maintenance of the septic system components will be easier, such as pumping of the septic tank and pump tank or replacement of pump tank components in case of failure. Secondly, access around the main house is improved as having a retaining wall restricts access to and from the driveway to only one route. Thirdly, reconstruction of the retaining wall would add a significant cost to the project that could potentially make it not feasible to continue.

The proposed design is keeping the original driveway geometry and slope for the first 25' from the edge of the road. This current configuration has had no negative impact on the safety of the driveway and is in character with other driveways in the area and along Canandaigua Lake.

*Going the distance for you.*

4841 W Lake Rd  
Site Plan Waiver Request  
05/15/2020

The maximum slope of the proposed driveway is 17%, marginally greater than the required 15%. This residence is seasonal use and this slope will not be a concern during the winter months. A landing area having a slope of 5% is provided in the parking area of the driveway for ease of loading and unloading vehicles.

The second waiver request is in regards to the requirement for sight distance, for both existing and proposed conditions, to be included on the plans. The location of the driveway is not changing in any way, and as previously mentioned, the geometry and slope of the proposed driveway is not being changed from the existing driveway geometry and slope. As the geometry is not changing, there will be no change in the sight distance for the driveway and obtaining the measurement and analyzing the data will add another unnecessary cost to the project.

A request was made to address the drainage to the neighboring property to the south. Under existing conditions, the runoff from the driveway makes its way to the existing drainage swale to the south which also takes drainage from across West Lake Road. This is an, existing, well-established swale designed for stormwater conveyance. This project adds minimal additional impervious area and therefore minimal additional stormwater runoff. This runoff under proposed conditions is being directed to the same swale as under existing conditions, with only the location of it entering the swale being changed.

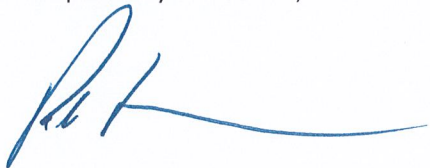
#### Enclosures

Enclosed is the following information to aid in your review:

- 1 copy of this Letter
- 3 copies of the Site Plans.

We look forward to presenting this project to the Planning Boards on June 24, 2020. In the meantime, if you have any questions, or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



Peter Gorman  
MARATHON ENGINEERING

cc: Steven Day