

LOCUS MAP N.T.S.

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
2. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
3. PROPOSED LIGHTING TO BE COORDINATED WITH THE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.

SEWER CONNECTION NOTES

1. OWNER TO ENSURE CAPACITY IS AVAILABLE IN EXISTING SEPTIC SYSTEM FOR CONNECTION OF NEW BUILDING.
2. CONTRACTOR TO CONFIRM ALL EXISTING INVERTS AT RELOCATED PUMP CHAMBER, SEPTIC TANK AND EFFLUENT PUMP CHAMBER PRIOR TO CONNECTIONS. ELEVATIONS SHALL BE REPORTED TO THE DESIGN ENGINEER FOR REVIEW AND RECORD.

EROSION CONTROL NOTES - GENERAL

1. INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING EXCAVATION WORK.
2. PROVIDE TEMPORARY DIVERSION SWALES TO INTERCEPT SURFACE RUNOFF AND TO DIRECT IT AWAY FROM DISTURBED AREAS.
3. MAINTAIN TEMPORARY EROSION AND SILTATION CONTROL MEASURES DURING CONSTRUCTION PERIOD UNTIL FINAL GRADING, LANDSCAPING AND PERMANENT EROSION CONTROL IS COMPLETED. ESTABLISH VEGETATION ON EXPOSED AREAS AS SOON AS PRACTICABLE BUT NO LATER THAN 7 DAYS AFTER SOIL DISTURBANCE ACTIVITY CEASES.
4. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ONLY AFTER RECEIVING AUTHORIZATION FROM THE TOWN OF CANANDAIGUA.
5. DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN (15) DAYS PRIOR TO THE START OF GRADING OR CONSTRUCTION ACTIVITY.
6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

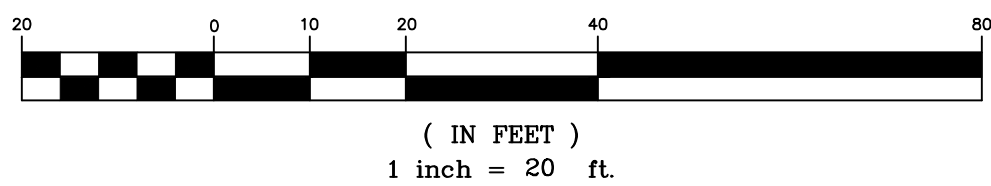
Property Owner:
Daniel J. Jr & Laurie D. Hoffend
4853 County Road 16
Canandaigua, NY 14424

Construction timeline = 4-8 months start to completion

Engineer Legend

- 700--- EXISTING CONTOUR
- 700— PROPOSED CONTOUR
- EXISTING PROPERTY LINE
- ROADWAY CENTERLINE
- X 712.50 PROPOSED SPOT ELEVATION
- PROPOSED DIVERSION SWALE (TEMPORARY)
- SILT FENCE (TEMPORARY)
- CHECK DAM
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED ELECT/TEL
- PROPOSED STORM DRAIN
- PROPOSED EROSION MAT

GRAPHIC SCALE



FOR PERMITTING ONLY



5120 Laura Lane

Canandaigua New York, 14424

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. SEQUENCE - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE- CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.
 - IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBANCE AREA AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.

3. PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING

- SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS/ACRE	LBS/1,000 SQ. ACRES
SPRING/SUMMER/EARLY FALL	
ANNUAL RYE GRASS	30
PERENNIAL RYEGRASS	30
LATE FALL/EARLY WINTER	
CEREAL RYE	100
	2.5

- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION.

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

- SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TRACKIFIER.
- STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED 'AROSTOCK' WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
 - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENT IN THE AREAS OF CONSTRUCTION.

5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND /OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EVALUATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/ OR DIRECTED BY THE TOWN OF CANANDAIGUA.

7. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.

8. ROOF LEADERS SHALL BE CONNECTED TO STORM SEWERS, UNLESS OTHERWISE NOTED.

9. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS.

10. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.

11. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.

12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/ REQUESTED BY THE TOWN OF CANANDAIGUA.

14. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

15. INCIDENTAL DISTURBANCES OUTSIDE THE PROPERTY FOOTPRINT WILL BE STABILIZED AND RESTORED TO ORIGINAL OR BETTER CONDITION.

SITE PREPARATION & EARTHWORK SEQUENCE

1. SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN.
2. TEMPORARILY DISCONNECT AND CAP ALL UTILITY LINES, AND PLACE PROTECTION FENCING AROUND REMAINING EQUIPMENT BE LEFT ON SITE.
3. REMOVE NECESSARY TREES IN THE AREA OF PROPOSED GARAGE.
4. CUT IN PROPOSED DRIVEWAY AND GARAGE BUILDING PAD PER SITE PLAN. PLACE TEMPORARY GRAVEL.
5. CONSTRUCT GARAGE.
6. REPLACE AND/OR REINSTALL ANY SILT FENCING AND EROSION CONTROL MEASURES AROUND THE PROPERTY AS NECESSARY.

NOTES:

- ANY STEEP SLOPE (3H:1V OR STEEPER) DISTURBANCE IS TO BE PROTECTED WITH STRAW MULCH OR AN EROSION CONTROL BLANKET IF NOT WORKED FOR THREE (3) DAYS OR MORE.

ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.

NYS Professional Engineer



Revisions

NO.	Date	Description	By

NYS Land Surveyor



Drawing Title:

SITE GRADING AND UTILITY PLAN

Site Plan Prepared For:

Daniel J. Jr & Laurie D. Hoffend

Showing Land

4853 County Road 16

Town of Canandaigua

County of Ontario

State of New York

(585)396-3267

Fax. No. (585) 396-0131

www.veneziasurvey.com

E-mail rocco@veneziasurvey.com

File# 15219

Sheet 1 of 2

T.m. # 140.18-1-6.00

Scale 1"= 20'

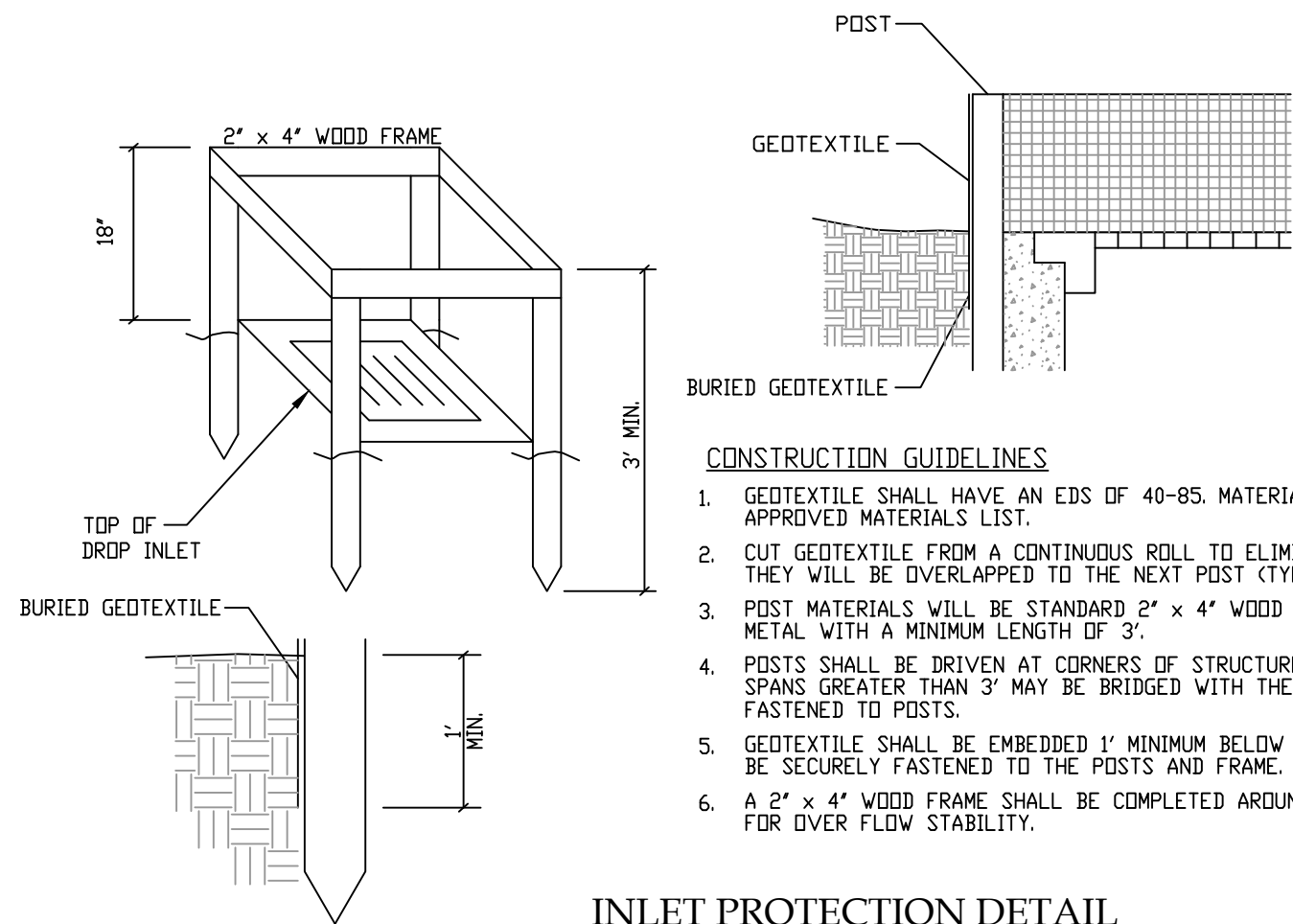
03/15/19

FINAL SITE PLAN APPROVAL

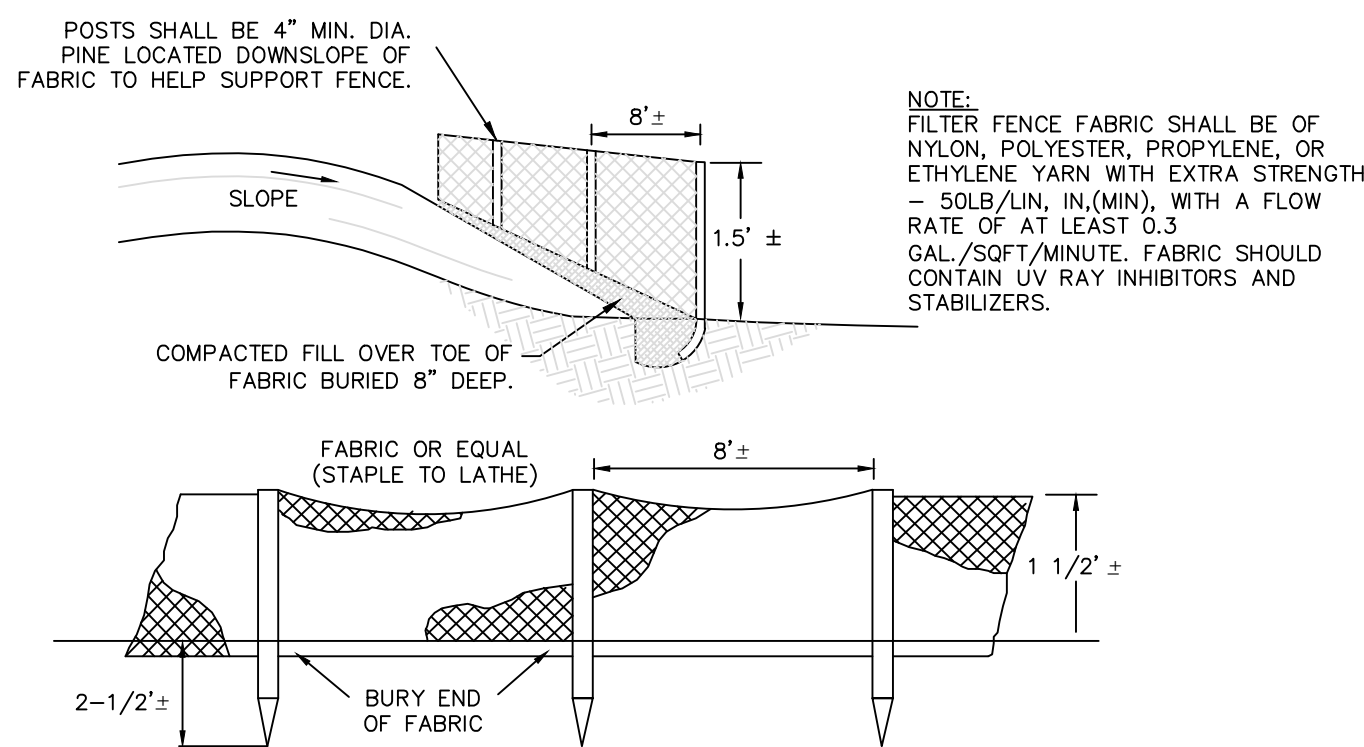
PLANNING BOARD CHAIRPERSON DATE

TOWN ENGINEER DATE

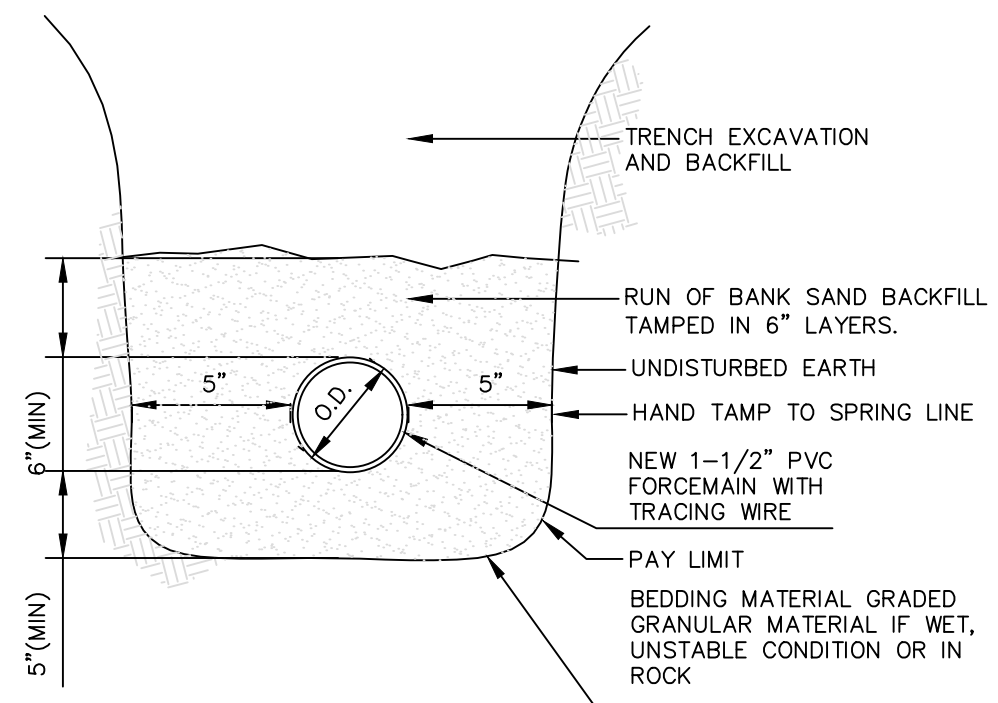
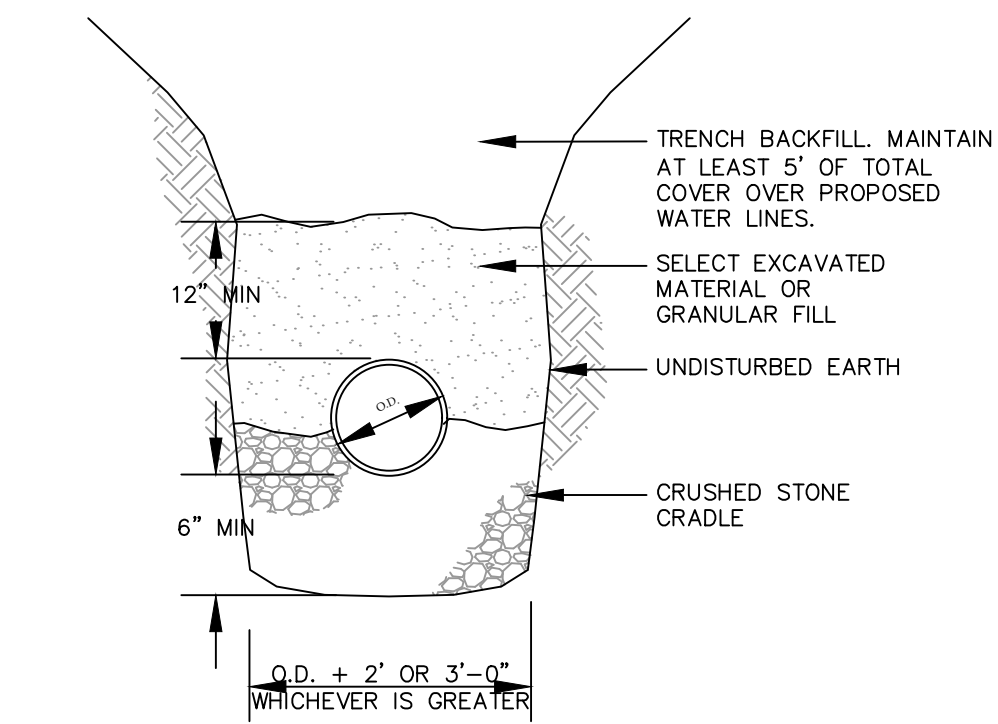
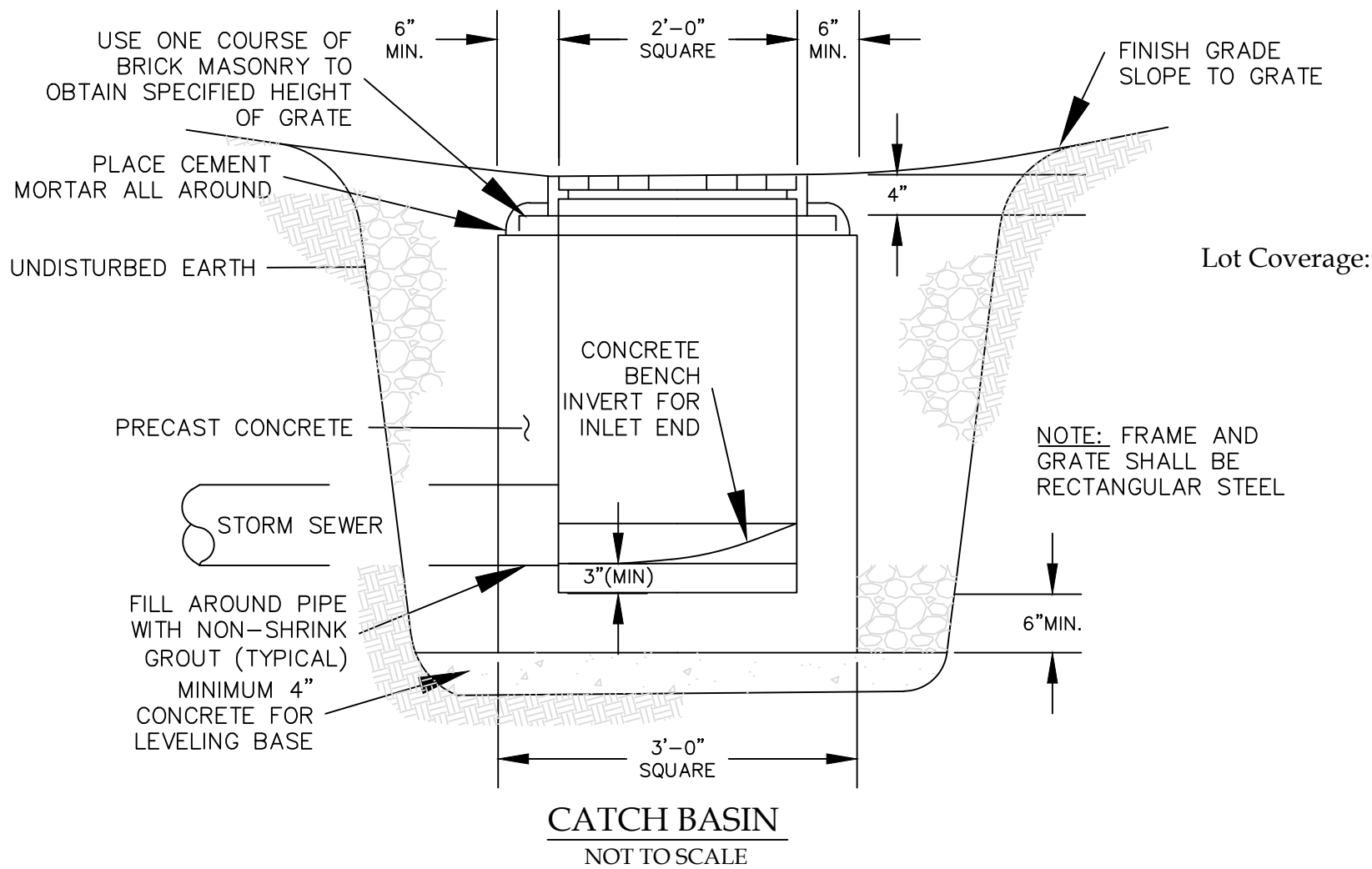
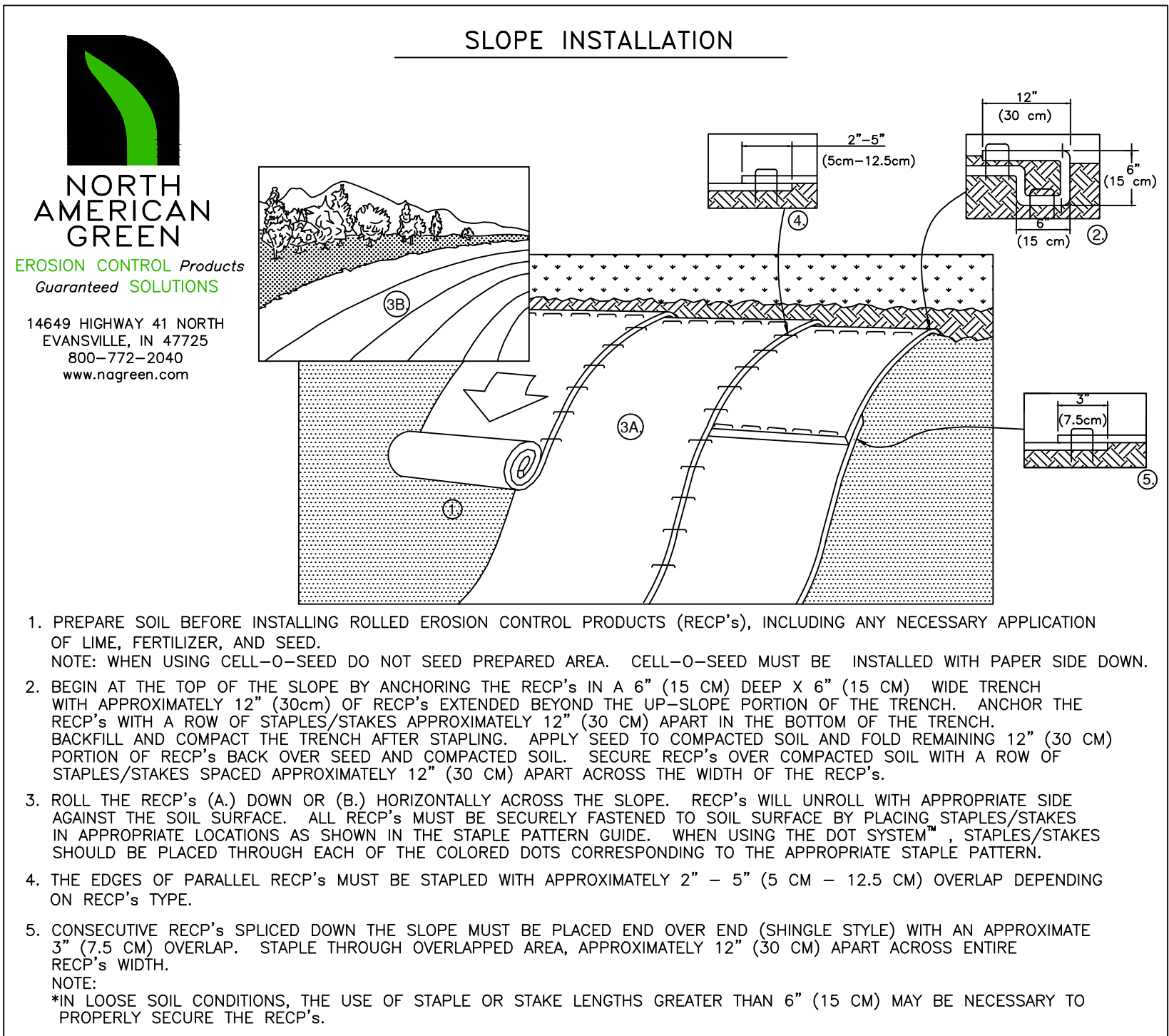
NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



INLET PROTECTION DETAIL
N.T.S.



SILT FENCE DETAIL
NOT TO SCALE



PIPE BEDDING DETAIL - WASTEWATER FORCEMAIN
NOT TO SCALE

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE

TOWN ENGINEER DATE

NOTE:
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Sheet 2 of 2

T.m. # 140.18-1-6.00

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FOR PERMITTING ONLY

VENEZIA
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title:

Site Plan Prepared For:

SITE AND UTILITY DETAILS

Daniel J. Jr & Laurie D. Hoffend

Showing Land

at

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