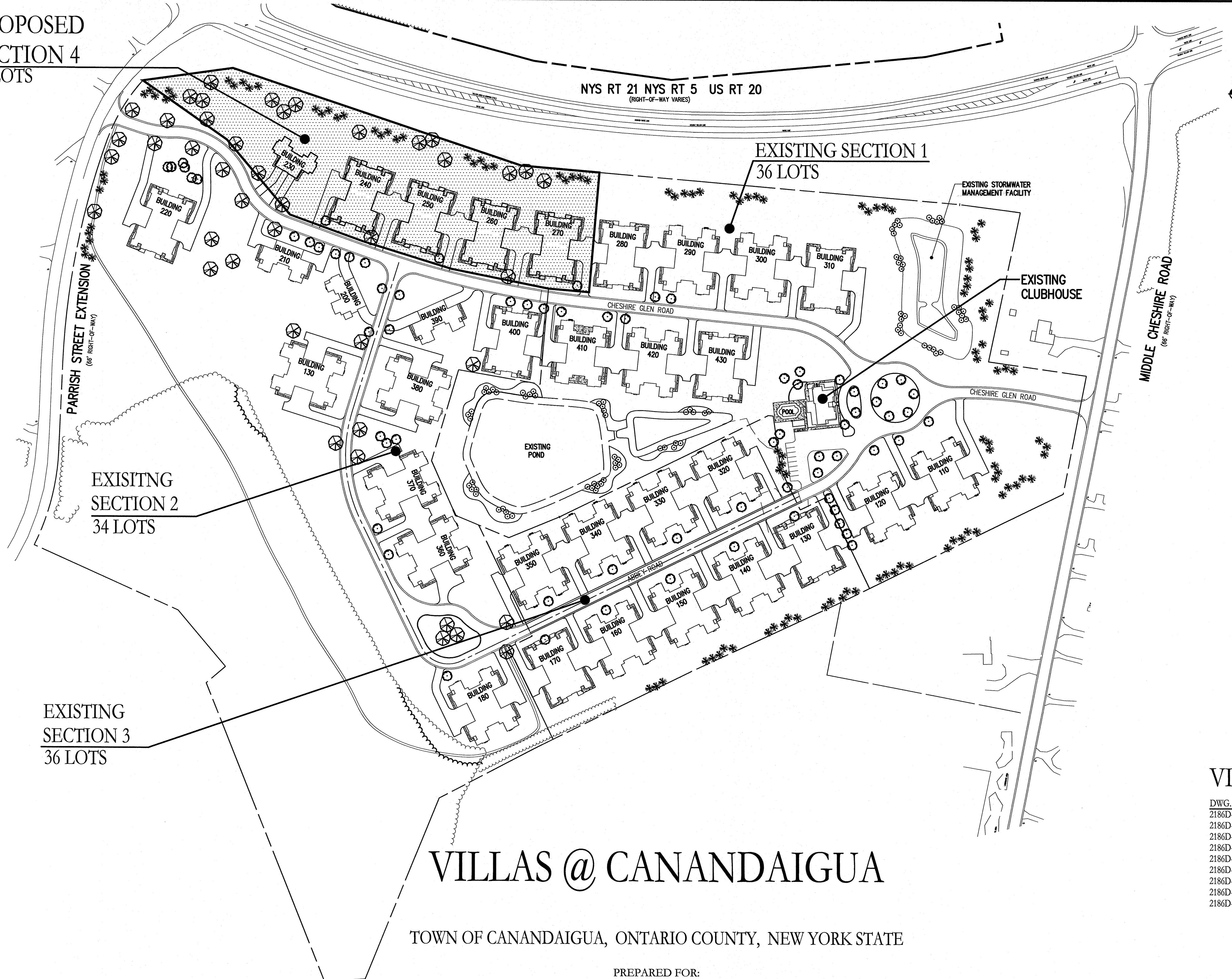


P:\2186D Drawings\Final\2186D Cover Sheet.dwg

PROPOSED
SECTION 4
18 LOTS



EXISTING
SECTION 2
34 LOTS

EXISTING
SECTION 3
36 LOTS

EXISTING SECTION 1
36 LOTS

VILLAS @ CANANDAIGUA

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

PREPARED FOR:
WEGMAN FAMILY (CANANDAIGUA) LLC. XV
550 LATONA ROAD
ROCHESTER, NY 14626

FINAL PLANS - SECTION 4 VILLAS @ CANANDAIGUA

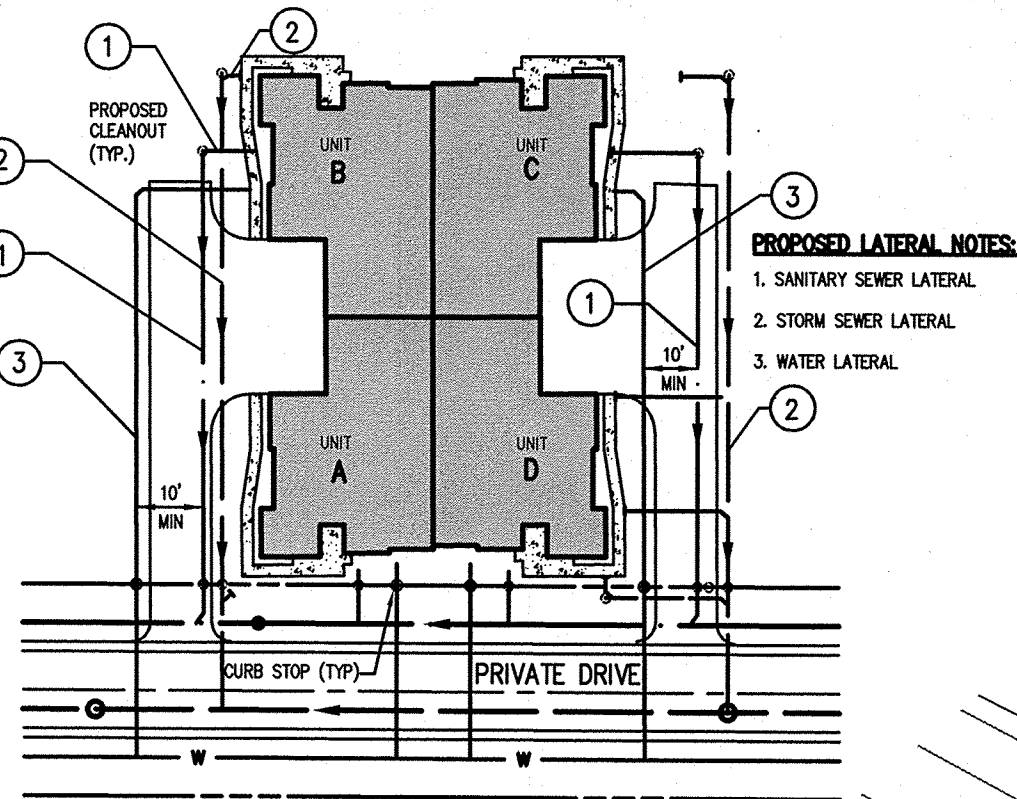
DWG. No.	TITLE
2186D-01	COVER SHEET
2186D-02	SUBDIVISION PLAN
2186D-03	SITE PLAN
2186D-04	UTILITY PLAN
2186D-05	GRADING PLAN
2186D-06	CONSTRUCTION EROSION CONTROL PLAN
2186D-07	LANDSCAPE AND LIGHTING PLAN
2186D-08	DETAIL SHEET (SHEET 1 OF 2)
2186D-09	DETAIL SHEET (SHEET 2 OF 2)

SCALE: 1"=100'

DRAWING NUMBER: 2186D-01
DATED: JANUARY 2018

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM
PHONE 585-377-7360
FAX 585-377-7309

**REFERENCES:**

1. A PLAN ENTITLED "VILLAS @ CANANDAIGUA, FINAL PLAT, SECTION 1 OF THE VILLAS @ CANANDAIGUA LOTS 100A-110D, 120A-120D, 280A-280D, 300A-300D, 310A-310D, 410A-410D, 420A-420D AND 430A-430D, AMENDED SUBDIVISION PLAT," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP No. 31183.
2. A PLAN ENTITLED "VILLAS @ CHESHIRE GLEN, RESUBDIVISION PLAT, LOTS 110A-110D, 120A-120D, OF THE VILLAS AT CANANDAIGUA - PHASE 1," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP No. 31245.
3. A PLAN ENTITLED "VILLAS @ CANANDAIGUA, RESUBDIVISION PLAT OF THE VILLAS @ CANANDAIGUA, SECTION 1 LOTS 280A-280D, 290A-290D, 300A-300D, 410A-410D, 420A-420D AND 430A-430D," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP No. 31562.
4. A PLAN ENTITLED "VILLAS @ CANANDAIGUA, SECTION 1, FINAL HOMEOWNERS ASSOCIATION LANDS TO BE CONVEYED," PREPARED BY BME ASSOCIATES HAVING DRAWING NUMBER 2186A-03 AND LAST REVISED APRIL 26, 2010.
5. A PLAN ENTITLED "VILLAS @ CANANDAIGUA, SECTION 2, FINAL PLAT, SECTION 2 OF THE VILLAS @ CANANDAIGUA LOTS 180A-180D, 190A-190D, 200A-200D, 210A-210D, 220A-220D, 360A-360D, 370A-370D, 380A-380D, 390A-390D, 400A-400D, SUBDIVISION PLAT," PREPARED BY BME ASSOCIATES AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 32486-B.
6. A PLAN ENTITLED "VILLAS @ CANANDAIGUA, SECTION 2, SUBDIVISION OF LANDS TO BE CONVEYED TO THE VILLAS @ CANANDAIGUA HOMEOWNERS ASSOCIATION," PREPARED BY BME ASSOCIATES AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 32486-C.
7. A PLAN ENTITLED "UTILITY EASEMENT, VILLAS AT CANANDAIGUA, SECTION 2," AND DATED AUGUST 16, 2012
8. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

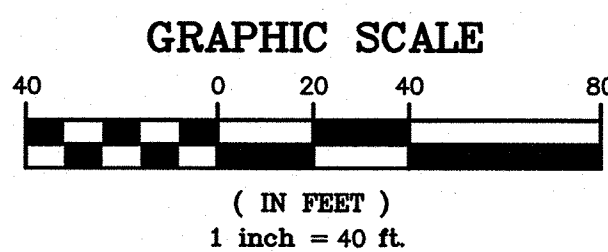
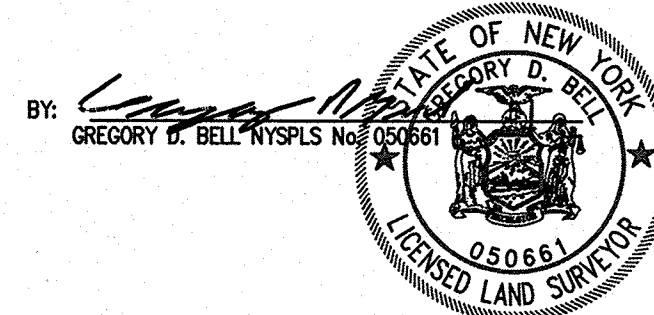
SURVEY NOTES:

1. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, NAD 83, TRANSVERSE MERCATOR PROJECTION, CENTRAL ZONE UTILIZING GPS OBSERVATIONS FROM THE NYSOD REFERENCE NETWORK STATION (NYPF 0032). BOUNDARIES AND MONUMENTS HEREON WERE ESTABLISHED USING PROCEDURES REQUIRED TO ESTABLISH A MAXIMUM RELATIVE POSITIONAL ACCURACY OF 0.05 FEET.

BEARINGS SHOWN HEREON ARE GRID
DISTANCES SHOWN HEREON ARE GROUND
COMBINED FACTOR = 0.99994379274

WE: BME ASSOCIATES CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON DECEMBER 4, 2017 AND FROM THE REFERENCES NOTED HEREON.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED FROM SOURCES OTHER THAN THOSE REFERENCED HEREON.

**SUBDIVISION/SITE NOTES:**

1. EXISTING ZONING: INCENTIVE ZONING
2. TOTAL PROJECT AREA IS 49.8 ACRES± (LOT 5). SECTION 4 TOTAL AREA IS 4.464 ACRES±. HOMEOWNERS ASSOCIATION AREA WITHIN SECTION 4 IS 2.950 ACRES±.
3. PROPOSED USE: ±18 TOWNHOUSE UNITS IN 5 TOWNHOUSE BUILDINGS.
4. APPLICABLE DEVELOPMENT STANDARDS PER THE INCENTIVE ZONING ARE AS FOLLOWS:

	REQUIRED
ALLOWABLE DENSITY	2.66 DU/ACRE
MINIMUM LOT SIZE	1,270 S.F.
MINIMUM LOT FRONTAGE WIDTH	46'
MAXIMUM BUILDING HEIGHT	35'
OVERALL MAXIMUM BUILDING LOT COVERAGE	26.5%

LOT STANDARD SETBACKS:

FRONT	0'
SIDE	0'
REAR	0'

TOWNHOUSE QUAD STRUCTURE SETBACKS:

FRONT	20' FROM E/P OF PRIVATE INTERNAL DRIVE
SIDE	40' MIN. BETWEEN BUILDINGS
REAR	50' FROM EXTERIOR PROPERTY BOUNDARY LINE

5. **PARKING:**
PARKING PROVIDED: 4 SPACES/UNIT (2 GARAGE AND 2 DRIVEWAY) - 72 TOTAL SPACES
6. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
7. BASED UPON THE FIRM COMMUNITY PANEL NUMBER 360598 0015 C (REVISED MARCH 3, 1997) THE SUBJECT PROPERTY IS NOT WITHIN A CURRENTLY MAPPED 100 YEAR FLOODPLAIN.
8. THIS PROPERTY MAY BE NEAR A FARM, AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
9. THE PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH LOCAL LAW 13 OF 2007.
10. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED BY THE TOWN CODE ENFORCEMENT OFFICER OR HIS REPRESENTATIVE PRIOR TO ANY PERMITS BEING ISSUED.
11. THE LAWN SHALL BE ESTABLISHED WITHIN 30 DAYS (OR NOT LATER THAN JUNE 1ST OF THE FOLLOWING CALENDAR YEAR) OF THE FINAL CERTIFICATE OF OCCUPANCY BEING ISSUED.
12. ALL SITE LIGHTING SHALL BE COMPLIANT WITH THE TOWN OF CANANDAIGUA'S LIGHTING REGULATIONS, CHAPTER 105, SECTION 805 OF THE TOWN CODE.
13. IN ACCORDANCE WITH LOCAL LAW 4 OF 2007: NO BUILDING PERMIT SHALL BE ISSUED UNTIL FINAL APPROVAL HAS BEEN GRANTED AND THE PLANNING BOARD CHAIRPERSON HAS SIGNED THE PLANS.

APPROVALS

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

NEW YORK STATE DEPARTMENT OF HEALTH:

LEGEND

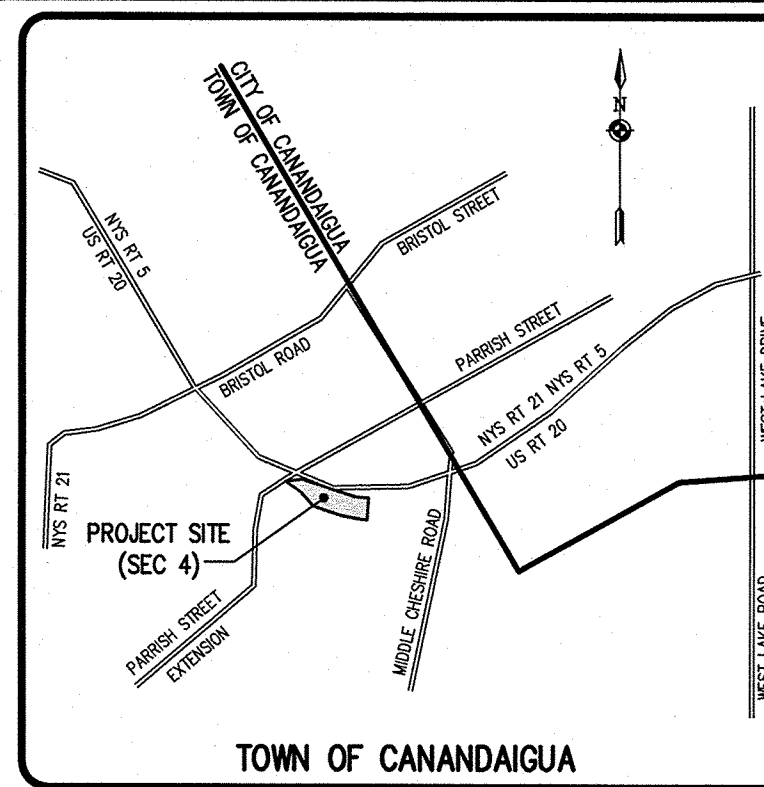
BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE

DEPARTMENT OF HEALTH CONDITIONS OF APPROVAL:

1. THAT THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE COLLECTION AND/OR TREATMENT SHALL BE INSTALLED IN CONFORMITY WITH SAID PLANS.
2. THAT NO LOT OR REMAINING LAND SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE NYSOD GENOVA DISTRICT OFFICE.
3. THAT PLAN APPROVAL IS LIMITED TO 5 YEARS FROM THE APPROVAL DATE. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE NYSOD GENOVA DISTRICT OFFICE BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
4. THAT THE APPROVED PLANS MUST BE FILED WITH THE ONTARIO COUNTY CLERK PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE DATE OF PLAN APPROVAL.
5. THAT ALL LOCAL AND STATE RULES AND REGULATIONS SHALL BE COMPLIED WITH.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 2709 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
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BME ASSOCIATES
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10101 BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360
FAX 585-377-7309
WWW.BMEPCOM



VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT
WEGMAN FAMILY (CANANDAIGUA) LLC, XV
550 LATONA ROAD
ROCHESTER, NY 14626

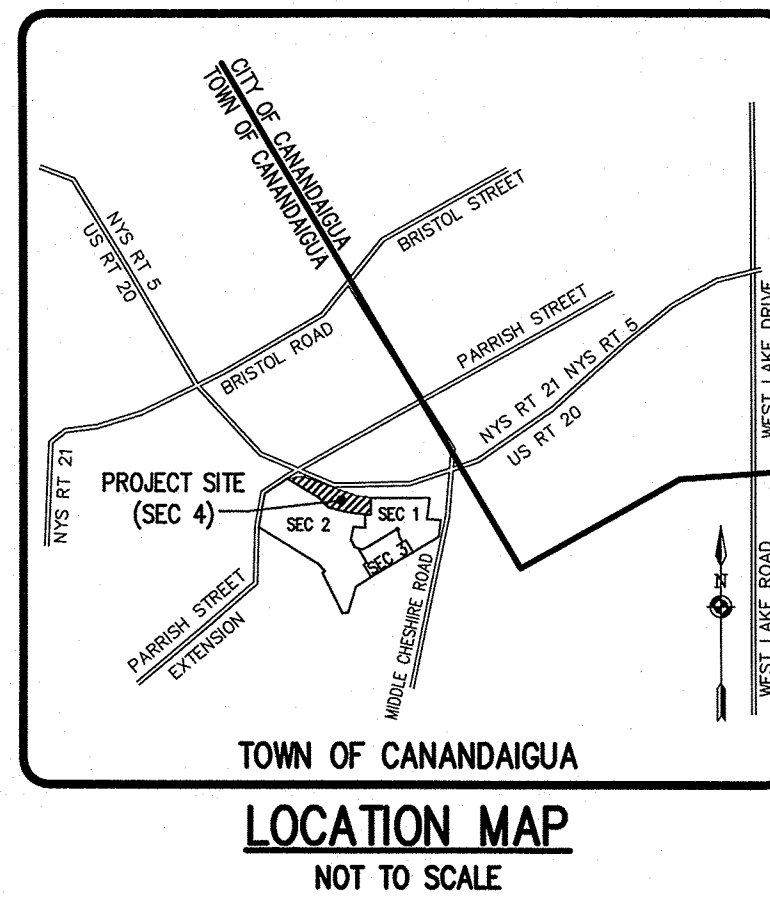
FINAL
SUBDIVISION PLAT

PROJECT MANAGER
R. CANTWELL
PROJECT SURVEYOR
G. BELL
DRAWN BY
K. MOTT
SCALE
1"=40'
DATE ISSUED
JANUARY 2018

PROJECT NO.
2186D
DRAWING NO.
02

**SUBDIVISION/SITE NOTES:**

- EXISTING ZONING: INCENTIVE ZONING
 - TOTAL PROJECT AREA IS 49.8 ACRES (LOT 5). SECTION 4 TOTAL AREA IS 4.464 ACRES. HOMEOWNERS ASSOCIATION AREA WITHIN SECTION 4 IS 2.950 ACRES.
 - PROPOSED USE: 18 TOWNHOUSE UNITS IN 5 TOWNHOUSE BUILDINGS (4 BLDGS WITH 4 UNITS & 1 BLDG WITH 2 UNITS).
 - APPLICABLE DEVELOPMENT STANDARDS PER THE INCENTIVE ZONING ARE AS FOLLOWS:
- | | REQUIRED |
|---------------------------------------|--------------|
| ALLOWABLE DENSITY | 2.66 DU/ACRE |
| MINIMUM LOT SIZE | 1,270 S.F. |
| MINIMUM LOT FRONTAGE WIDTH | 46' |
| MAXIMUM BUILDING HEIGHT | 35' |
| OVERALL MAXIMUM BUILDING LOT COVERAGE | 28.5% |
- LOT STANDARD SETBACKS:**
- | FRONT | 0' |
|-------|----|
| SIDE | 0' |
| REAR | 0' |
- TOWNHOUSE QUAD STRUCTURE SETBACKS:**
- | FRONT | 20' FROM E/P OF PRIVATE INTERNAL DRIVE |
|-------|--|
| SIDE | 40' MIN. BETWEEN BUILDINGS |
| REAR | 50' FROM EXTERIOR PROPERTY BOUNDARY LINE |
- PARKING:**
PARKING PROVIDED: 4 SPACES/UNIT (2 GARAGE AND 2 DRIVEWAY) - 72 TOTAL SPACES
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 - BASED UPON THE FIRM COMMUNITY PANEL NUMBER 360598 0015 C (REVISED MARCH 3, 1997) THE SUBJECT PROPERTY IS NOT WITHIN A CURRENTLY MAPPED 100 YEAR FLOODPLAIN.
 - THIS PROPERTY MAY BE NEAR A FARM, AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
 - THE PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH LOCAL LAW 13 OF 2007.
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED BY THE TOWN CODE ENFORCEMENT OFFICER OR HIS REPRESENTATIVE PRIOR TO ANY PERMITS BEING ISSUED.
 - THE LAWN SHALL BE ESTABLISHED WITHIN 30 DAYS (OR NOT LATER THAN JUNE 1ST OF THE FOLLOWING CALENDAR YEAR) OF THE FINAL CERTIFICATE OF OCCUPANCY BEING ISSUED.
 - ALL SITE LIGHTING SHALL BE COMPLIANT WITH THE TOWN OF CANANDAIGUA'S LIGHTING REGULATIONS, CHAPTER 105, SECTION 805 OF THE TOWN CODE.
 - IN ACCORDANCE WITH LOCAL LAW 4 OF 2007: NO BUILDING PERMIT SHALL BE ISSUED UNTIL FINAL APPROVAL HAS BEEN GRANTED AND THE PLANNING BOARD CHAIRPERSON HAS SIGNED THE PLANS.



Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
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1		

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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FAIRPORT, NEW YORK 14450
WWW.BMECC.COM

PHONE 585-377-7360
FAX 585-377-7309



VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
WEGMAN FAMILY (CANANDAIGUA) LLC, XV
550 LATINA ROAD
ROCHESTER, NY 14626

FINAL SITE PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

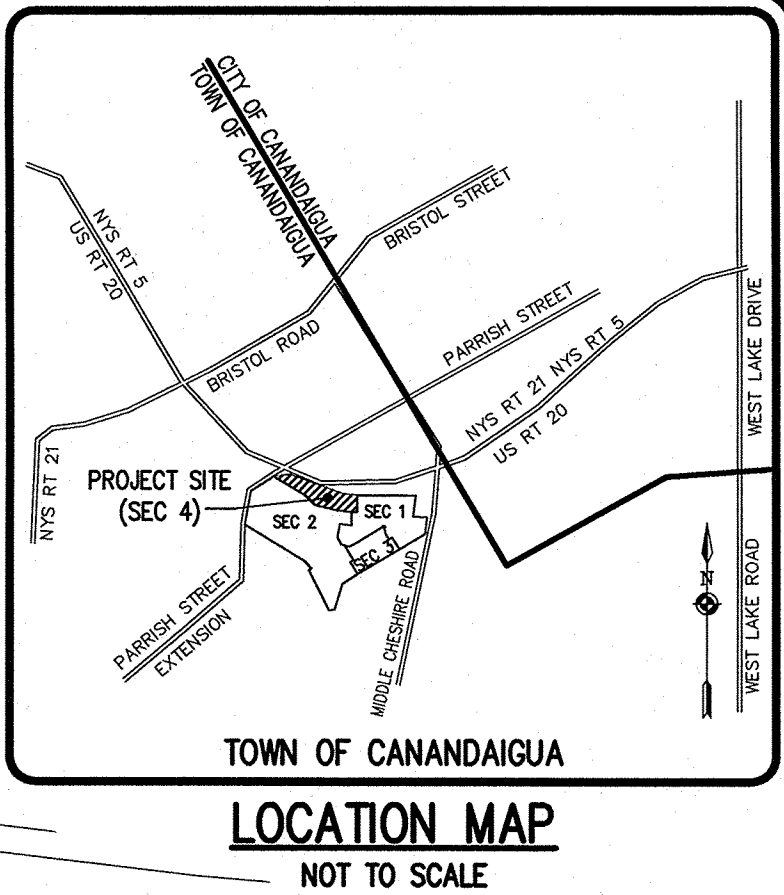
PROJECT MANAGER
R. CANTWELL
PROJECT ENGINEER
L. SHEDROCK
DRAWN BY
Z. GREGG
SCALE 1" = 40'
DATE ISSUED JANUARY 2018
PROJECT NO. 21860
DRAWING NO. 03

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the words "drawing altered," followed by his signature and the date of such alteration, and a specific description of the alteration."

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	REVISIONS	DATE	BY

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FAIRPORT, NEW YORK 14450
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FAX 585-377-7309
WWW.BMEFC.COM



LLAS @ CANANDAIGUA
SECTION 4
CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
WEGMAN FAMILY (CANANDAIGUA) LLC, XV
550 LATONA ROAD
ROCHESTER, NY 14626
FINAL
UTILITY PLAN

FINAL UTILITY PLAN

PROJECT MANAGER	
R. CANTWELL	
PROJECT ENGINEER	
L. SWEDROCK	
DRAWN BY	
Z. GREGG	
SCALE	DATE ISSUED
1" = 40'	JANUARY 2018
PROJECT NO.	

2186D

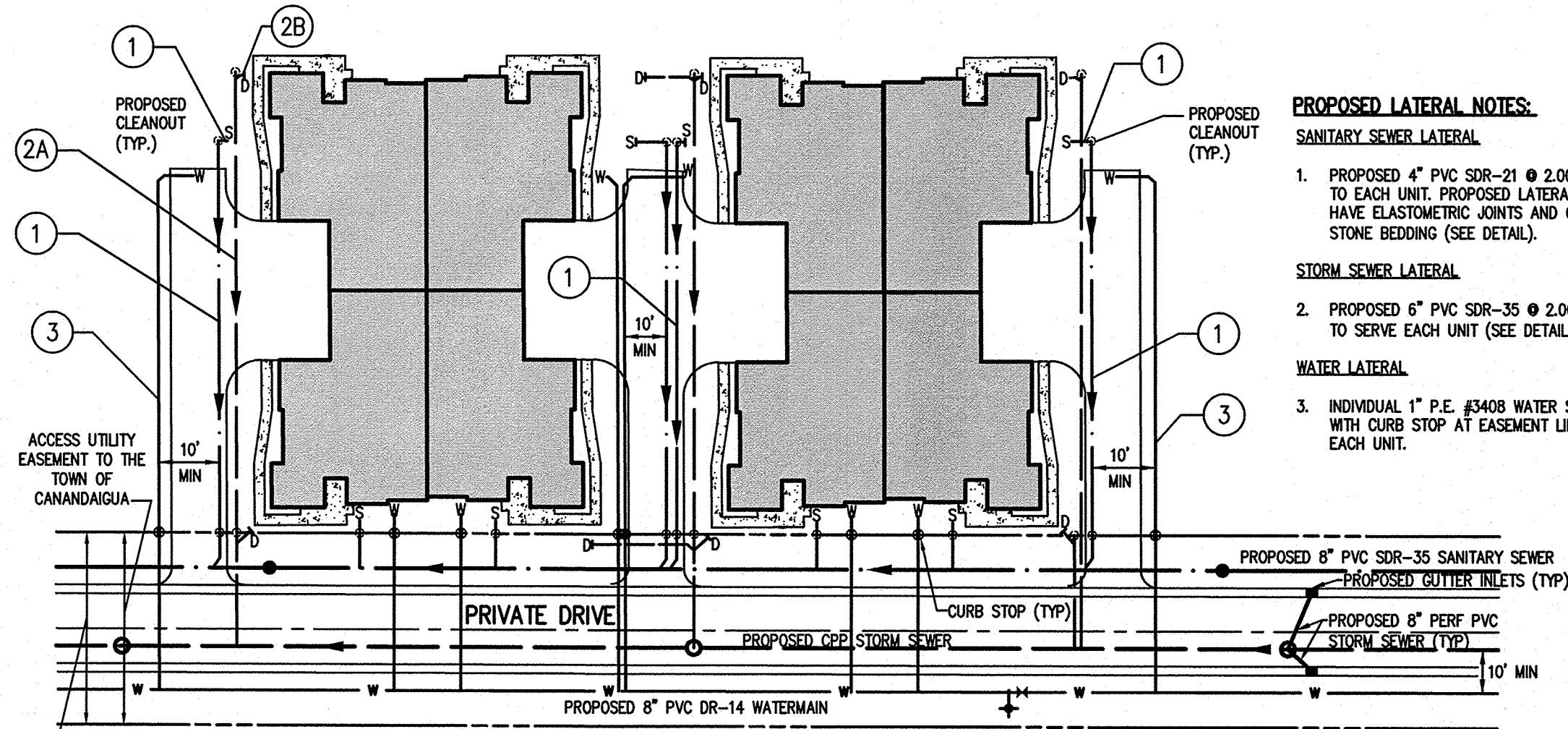
DRAWING NO.

04

UNIT No.	RISER (FT)
230A	3
230B	6
240A	5
240B	6
240C	5
240D	2
250A	5
250B	7
250C	7
250D	4
260A	4
260B	7
260C	6
260D	3
270A	4
270B	7
270C	7
270D	3

SEE DETAIL SHEET, DWG.
2186D-08, FOR SANITARY
SEWER LATERAL RISER DETAIL

BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EX. WATERMAN, HYDRANT AND VALVE
PROP. WATERMAN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
PROPOSED STORM LATERAL
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
PROPOSED SANITARY LATERAL



LATERAL LAYOUT DETAIL

 $1'' = 40'$

SANITARY SEWER LATERAL

1. PROPOSED 4" PVC SDR-21 @ 2.00% MIN TO EACH UNIT. PROPOSED LATERAL TO HAVE ELASTOMETRIC JOINTS AND CRUSHED STONE BEDDING (SEE DETAIL).

STORM SEWER LATERAL

2. PROPOSED 6" PVC SDR-35 @ 2.00% MIN
TO SERVE EACH UNIT (SEE DETAIL).

WATER LATERAL

3. INDIVIDUAL 1" P.E. #3408 WATER SERVICES
WITH CURB STOP AT EASEMENT LINE TO
EACH UNIT.

UTILITY NOTES:

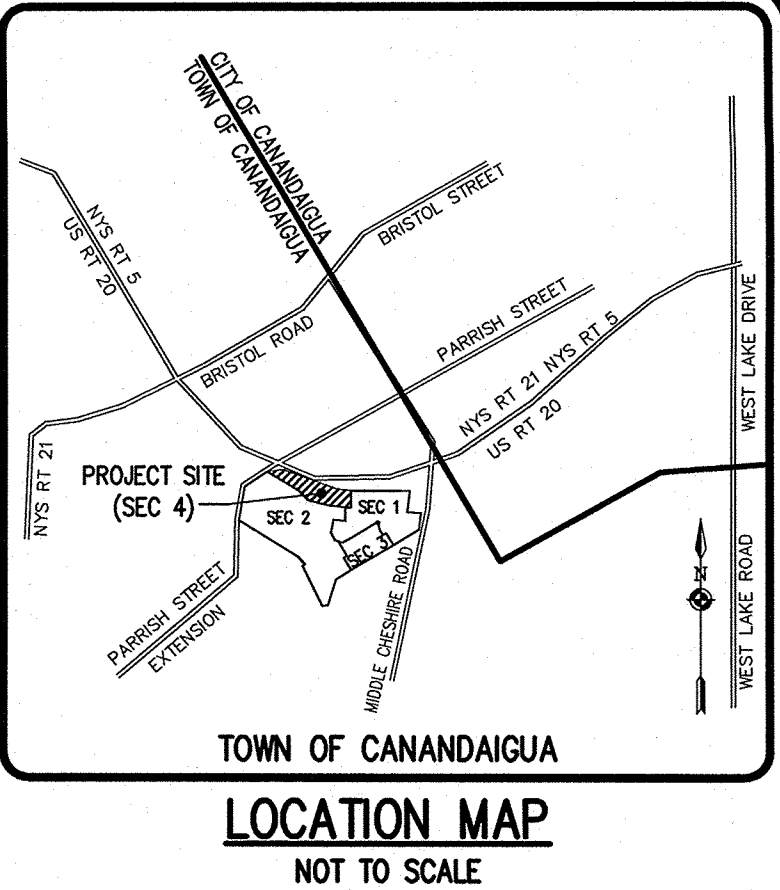
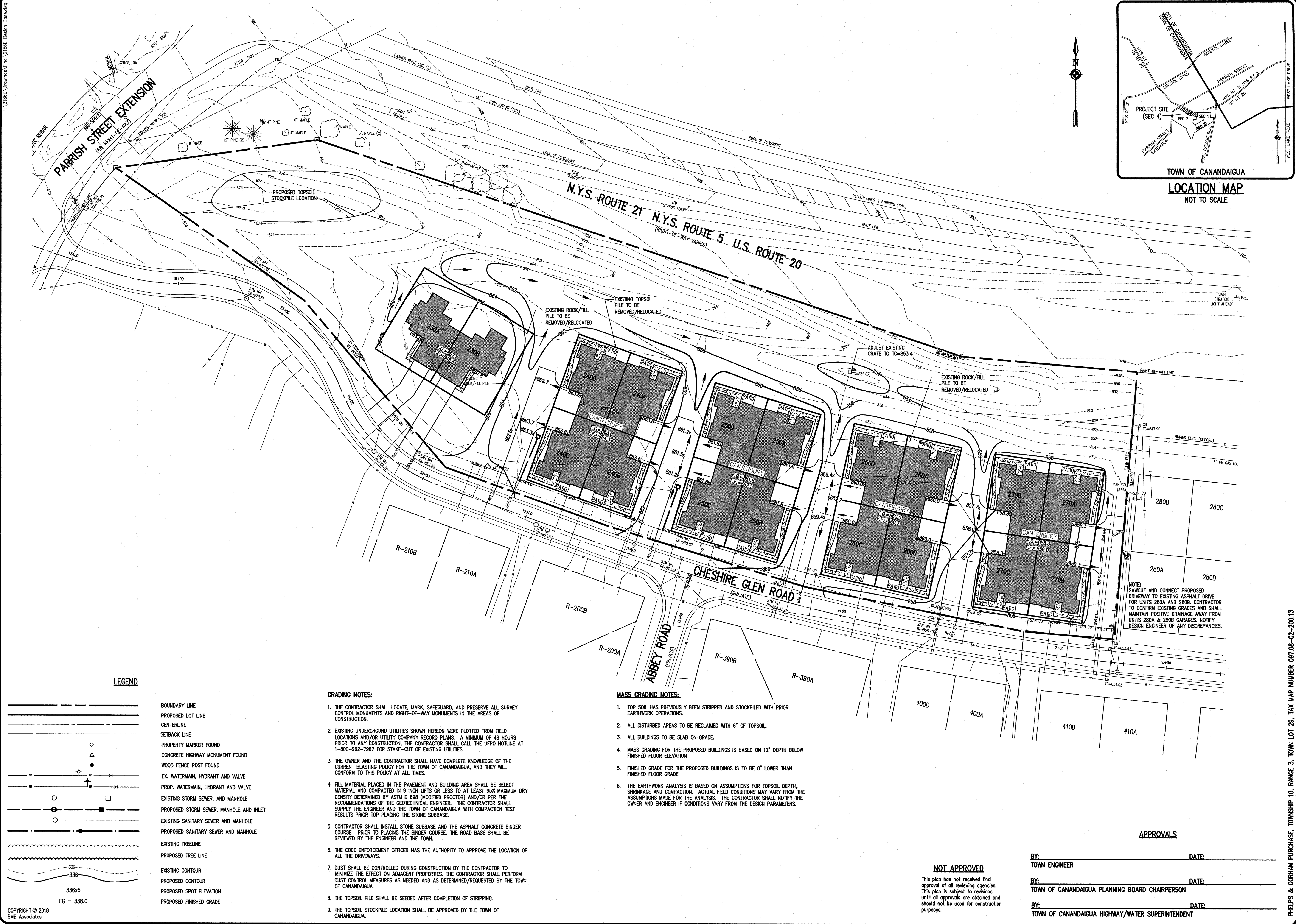
1. THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF CANANDAIGUA AS THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
2. BUILDINGS SHOWN ON THESE DRAWINGS ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS. FINAL ELEVATIONS ARE DEPENDENT ON TYPE OF TOWNHOUSE CONSTRUCTED.
3. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
4. EXISTING UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE 411 HOTLINE AT (1 800) 962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
5. WATERMAINS AND APPURTENANCES WERE TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA WATER DEPARTMENT.
6. WATER SERVICES SHALL BE 1" PE #4710.
7. STORM SEWER PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE)
STORM SEWER LATERALS TO BE 6" SDR-35.
8. SANITARY SEWER LATERALS TO BE 4" SDR-21.
9. ALL PROPOSED, DEDICATED FACILITIES ARE TO BE PROVIDED WITH EASEMENTS FOR ACCESS AND MAINTENANCE.

10. HYDRANT FLOW DATA:

STATIC PRESSURE: 162 PSI
FLOW @ 137 PSI: 1400 GPM
LOCATION: HYDRANT NORTH OF CHESHIRE GLEN ROAD ENTRANCE ON MIDDLE CHESHIRE.
ELEVATION: 830±
DATE: FEBRUARY 2008

STATIC PRESSURE: 126 PSI
FLOW @ 62 PSI: 1,550 GPM
LOCATION: HYDRANT NORTH OF ABBEY ROAD ENTRANCE ON PARRISH STREET EXTENSION
ELEVATION: 876±
DATE: FEBRUARY 2008

11. EXISTING FARM TILES ENCOUNTERED DURING EARTHWORK SHALL BE CONNECTED TO THE PROPOSED STORM DRAINAGE SYSTEM.
12. WATER SERVICE CURB BOXES TO BE INSTALLED AT THE EASEMENT LINE.
13. WATER SERVICE CURB STOPS TO BE INSTALLED AT FINISH GRADE.
14. UNITS SHALL HAVE PRESSURE REDUCING VALVES WITHIN EACH BUILDING
15. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONNECTION OF PROPOSED UTILITIES. OWNER AND ENGINEER TO BE NOTIFIED OF ANY DISCREPANCY.
16. WATERMAIN TO BE TURNED OFF BEFORE TAPPING. CONTRACTOR TO COORDINATE AS NECESSARY.
17. ALL APPENDAGES FOR THE WATERMAIN WILL REQUIRE SHOP DRAWINGS TO BE SUBMITTED AND REVIEWED BY THE HIGHWAY SUPERINTENDENT AND DESIGN ENGINEER BEFORE PURCHASING OF MATERIALS.
18. THE CONTRACTOR WILL FAMILIARIZE THEMSELVES WITH THE DESIGN STANDARDS THE TOWN HAS SET FORTH FOR ROAD, WATER AND STORM REQUIREMENTS.
19. INSPECTION BY THE HIGHWAY DEPARTMENT OF THE STORM SEWER LATERALS WILL BE REQUIRED BEFORE BACK FILLING OF TRENCH.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
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BME ASSOCIATES
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10 LIFT BRIDGE LANE EAST
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PHONE 516-377-7340
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VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
WESMAN FAMILY (CANANDAIGUA) LLC, NY
550 LATONA ROAD
ROCHESTER, NY 14626

FINAL GRADING PLAN
PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER: R. CANTWELL
PROJECT ENGINEER: L. SWEDROCK
DRAWN BY: Z. GREGG
SCALE: 1" = 40'
DATE ISSUED: JANUARY 2018
PROJECT NO.: 21860
DRAWING NO.: 05

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- WOOD FENCE POST FOUND
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE

GRADING NOTES:

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-982-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE TOWN OF CANANDAIGUA, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED IN 9 INCH LIFTS OR LESS TO AT LEAST 95% MAXIMUM DRY DENSITY DETERMINED BY ASTM D 698 (MODIFIED PROCTOR) AND/OR PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE TOWN OF CANANDAIGUA WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER AND THE TOWN.
- THE CODE ENFORCEMENT OFFICER HAS THE AUTHORITY TO APPROVE THE LOCATION OF ALL THE DRIVEWAYS.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PERFORM DUST CONTROL MEASURES AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
- THE TOPSOIL PILE SHALL BE SEEDED AFTER COMPLETION OF STRIPPING.
- THE TOPSOIL STOCKPILE LOCATION SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA.

MASS GRADING NOTES:

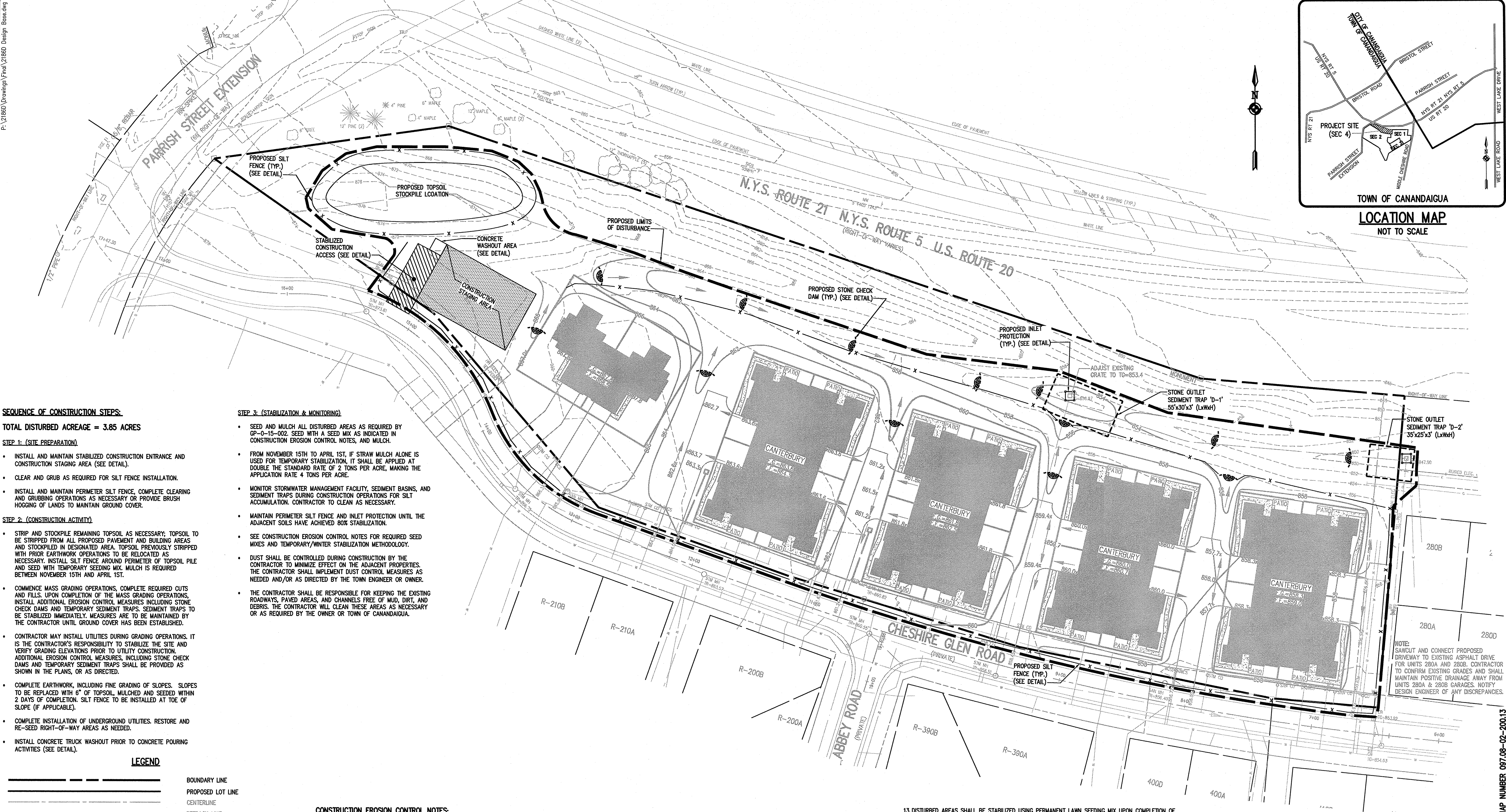
- TOP SOIL HAS PREVIOUSLY BEEN STRIPPED AND STOCKPILED WITH PRIOR EARTHWORK OPERATIONS.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH 6" OF TOPSOIL.
- ALL BUILDINGS TO BE SLAB ON GRADE.
- MASS GRADING FOR THE PROPOSED BUILDINGS IS BASED ON 12" DEPTH BELOW FINISHED FLOOR ELEVATION.
- FINISHED GRADE FOR THE PROPOSED BUILDINGS IS TO BE 6" LOWER THAN FINISHED FLOOR GRADE.
- THE EARTHWORK ANALYSIS IS BASED ON ASSUMPTIONS FOR TOPSOIL DEPTH, SHRINKAGE AND COMPACTION. ACTUAL FIELD CONDITIONS MAY VARY FROM THE ASSUMPTIONS MADE FOR THE ANALYSIS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF CONDITIONS VARY FROM THE DESIGN PARAMETERS.

NOT APPROVED

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APPROVALS

BY: TOWN ENGINEER DATE:
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE:
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE:



SEQUENCE OF CONSTRUCTION STEPS:

TOTAL DISTURBED ACREAGE = 3.85 ACRES

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE REMAINING TOPSOIL AS NECESSARY; TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. TOPSOIL PREVIOUSLY STRIPPED WITH PRIOR EARTHWORK OPERATIONS TO BE RELOCATED AS NECESSARY. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS AND TEMPORARY SEDIMENT TRAPS. SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDING WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	WOOD FENCE POST FOUND
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	TEMPORARY INTERCEPTOR SWALE

STEP 3: (STABILIZATION & MONITORING)

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-15-002. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
- MONITOR STORMWATER MANAGEMENT FACILITY, SEDIMENT BASINS, AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

CONSTRUCTION EROSION CONTROL NOTES:

- THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT ONLY INCLUDES EROSION & SEDIMENT CONTROLS. THIS SWPPP CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE PLANS FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-15-002 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWNS) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MUST REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS (30 CALENDAR DAYS)
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

8. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.			
9. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.			
10. ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL. PLEASE REVIEW WITH PROJECT MANAGER.			
11. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.			
12. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:			
THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:			
ANNUAL RYEGRASS	LBS./ACRE	LBS./1000 SQ. FT.	
PERENNIAL RYEGRASS	40	1	
OATS	40	1	
WHITE CLOVER (+ INOCULANT)	4	0.1	
SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.			

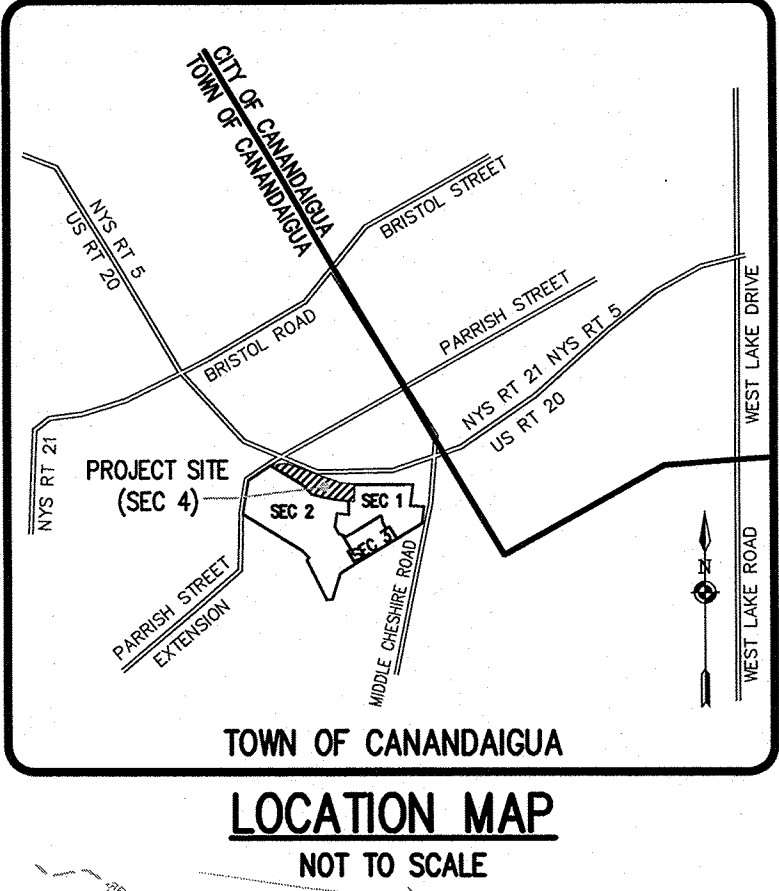
13. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION.			
PERENNIAL RYE GRASS	LBS./ACRE	% BY PURITY	% GERM.
RED FESCUE	35	85	85
KENTUCKY BLUEGRASS	30	97	80
		85	80
SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.			
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER			
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.			
14. ALL SEEDING AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDING. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDING.			
15. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.			
16. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES AS SHOWN ON THE PLAN DETAIL FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.			
17. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.			
18. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-15-002.			

NOT APPROVED

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APPROVALS

BY: _____	DATE: _____
TOWN ENGINEER	
BY: _____	DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON	
BY: _____	DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT	



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

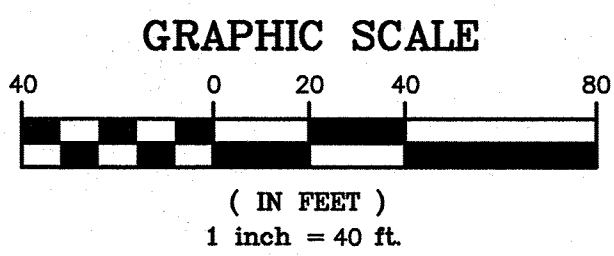
REVISIONS	DATE	BY
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10 LIFT BRIDGE LANE EAST
RAKERIDGE, NEW YORK 14450
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PHONE 585-977-7940
FAX 585-977-7309



VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
HEGMAN FAMILY (CANANDAIGUA) LLC, JV
550 LATINA ROAD
ROCHESTER, NY 14626
FINAL
CONSTRUCTION EROSION CONTROL PLAN

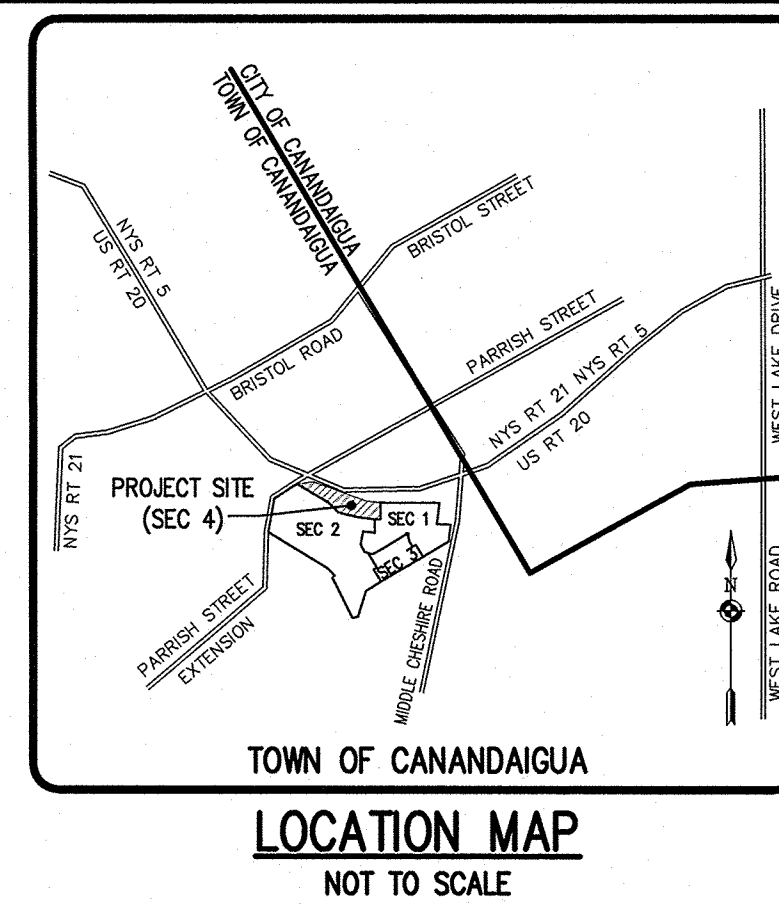
PROJECT MANAGER: R. CANTWELL
PROJECT ENGINEER: L. SWEDROCK
DRAWN BY: Z. GREGG
SCALE: 1" = 40'
DATE ISSUED: JANUARY 2018
PROJECT NO.: 21860
DRAWING NO.: 06

**LIGHTING LEGEND:**

☼ DENOTES LOCATION OF 84" POLE AND LUMINAIRE.

LIGHTING NOTES:

1. LIGHT POLE, BASE AND LUMINAIRE TO BE PROVIDED AT EACH DRIVEWAY ENTRANCE.
2. FIXTURE TO BE ACCOLADE SERIES BY CRAFTMADE LIGHTING MODEL #7345-05 WITH BLACK PAINT FINISH, 3-C LAMPS AND MAXIMUM WATTAGE OF 60 WATTS.
3. POLE TO BE ACCOLADE SERIES BY CRAFTMADE LIGHTING MODEL #28994-05 WITH BLACK PAINT FINISH, PHOTO CONTROL AND OUTLET ON EACH POLE. TOTAL HEIGHT OF POLE ±84" (LUMINAIRE HEIGHT TO BE ±72").
4. A MINIMUM OF 5' SEPARATION DISTANCE BETWEEN POLE LIGHTING LOCATIONS AND UTILITIES IS TO BE MAINTAINED.
5. FOR BUILDING MOUNTED LIGHTING INFORMATION REFER TO ARCHITECTURAL DRAWINGS.
6. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.



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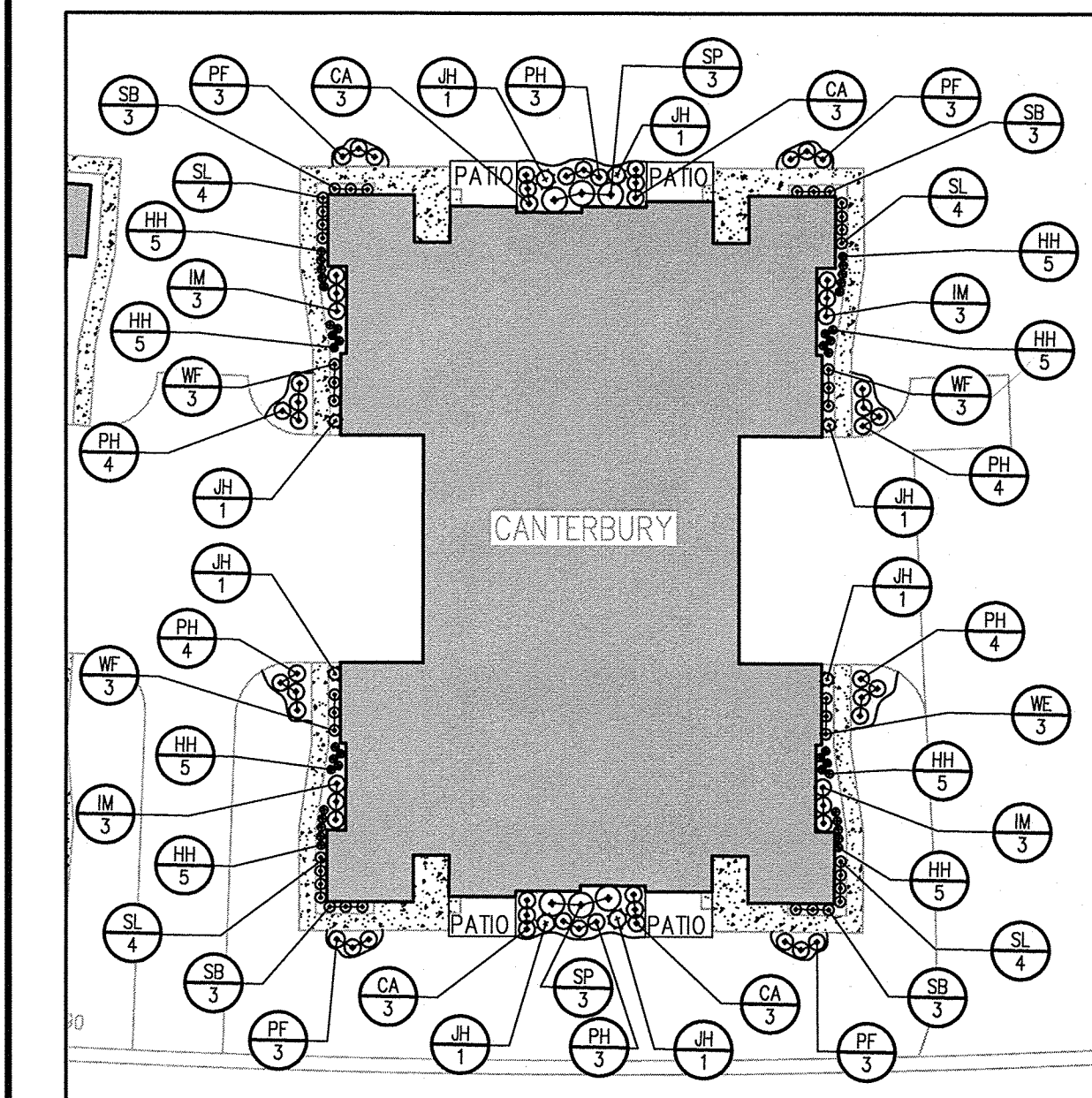
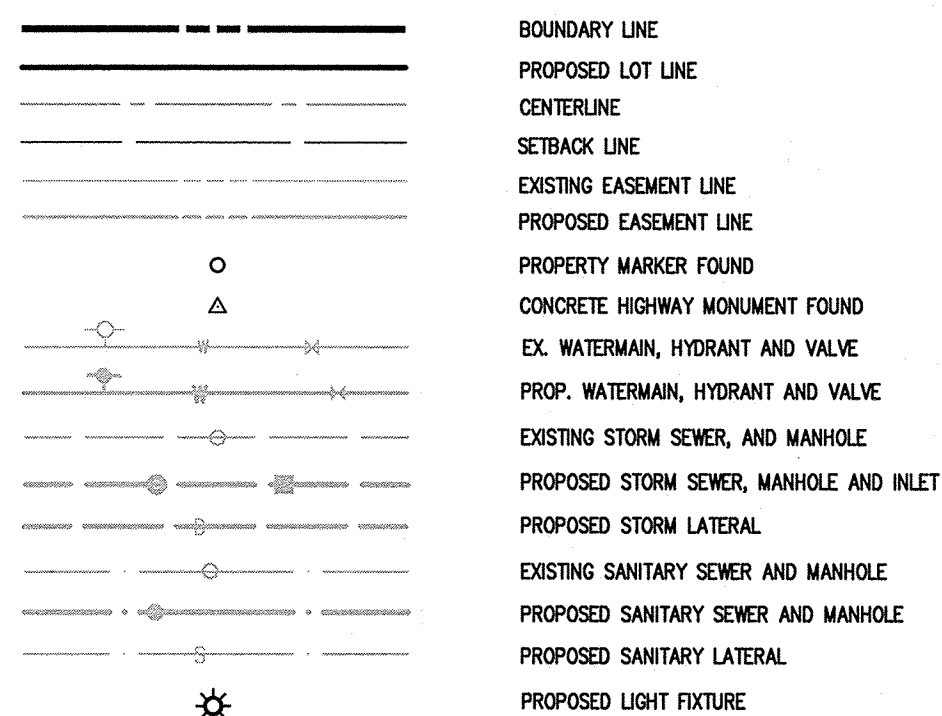


VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
WESMAN FAMILY (CANANDAIGUA) LLC, XV
550 LATONA ROAD
ROCHESTER, NY 4626

PROJECT: VILLAS @ CANANDAIGUA
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: WESMAN FAMILY (CANANDAIGUA) LLC, XV
DRAWING TITLE: LANDSCAPE AND LIGHTING PLAN

PROJECT MANAGER: R. CANTWELL
PROJECT ENGINEER: L. SWEDROCK
DRAWN BY: L. ROCKCASTLE
SCALE: 1" = 40'
PROJECT NO.: 2186D
DRAWING NO.: 07

PHILIPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 29, TAX MAP NUMBER 097.08-02-200.13

**LEGEND****SECTION 4 PLANT MATERIALS LIST**

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
13	AC	Abies concolor	Concolor Fir	5'	B&B	
3	AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" cal	B&B	
2	CCF	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	1 1/2" cal	B&B	
1	CI	Crataegus inermis 'Crusader'	Crusader Thornless Hawthorn	1 1/2" cal	B&B	
6	CL	Cladrastis kentukea	American Yellowwood	2 1/2" cal	B&B	
3	GT	Gleditsia tri. inermis	Thornless Honey Locust	2" cal	B&B	
6	LT	Liriodendron tulipifera	Tulip Poplar	2" cal	B&B	
8	PG	Picea glauca	White Spruce	5'	B&B	
10	PO	Picea omorika	Serbian Spruce	5'	B&B	
3	QR	Quercus rubra	Red Oak	2" cal	B&B	

PLANT MATERIALS LIST FOR RESIDENTIAL BUILDINGS

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
12	CA	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	18" sprd.	cont.	
40	HH	Hemerocallis 'Hyperion'	Hyperion Daylily	#1	cont.	
12	IM	Ilex meserveae 'Blue Prince/Princess'	Blue Prince/Princess Holly	18" sprd.	cont.	One male per building for pollination
8	JH	Juniperus chinensis 'Hetzii Columnaris'	Hetzli Columnar Juniper	#3	B&B	
12	PF	Potentilla fruticosa 'Tangerine'	Tangerine Potentilla	24-30" sprd.	cont.	
22	PH	Pennisetum A. 'Hameln'	Hameln Fountain Grass	#2 cont.	cont.	
12	SB	Spiraea x bumalda 'Gold Flame'	Gold Flame Spirea	15" sprd.	cont.	
16	SL	Spiraea japonica 'Little Princess'	Little Princess Spirea	15" sprd.	cont.	
6	SP	Syringa patula 'Miss Kim'	Miss Kim Lilac	#3	cont.	
12	WF	Weigela florida 'Midnight Wine'	Midnight Wine Weigela	15" sprd.	cont.	

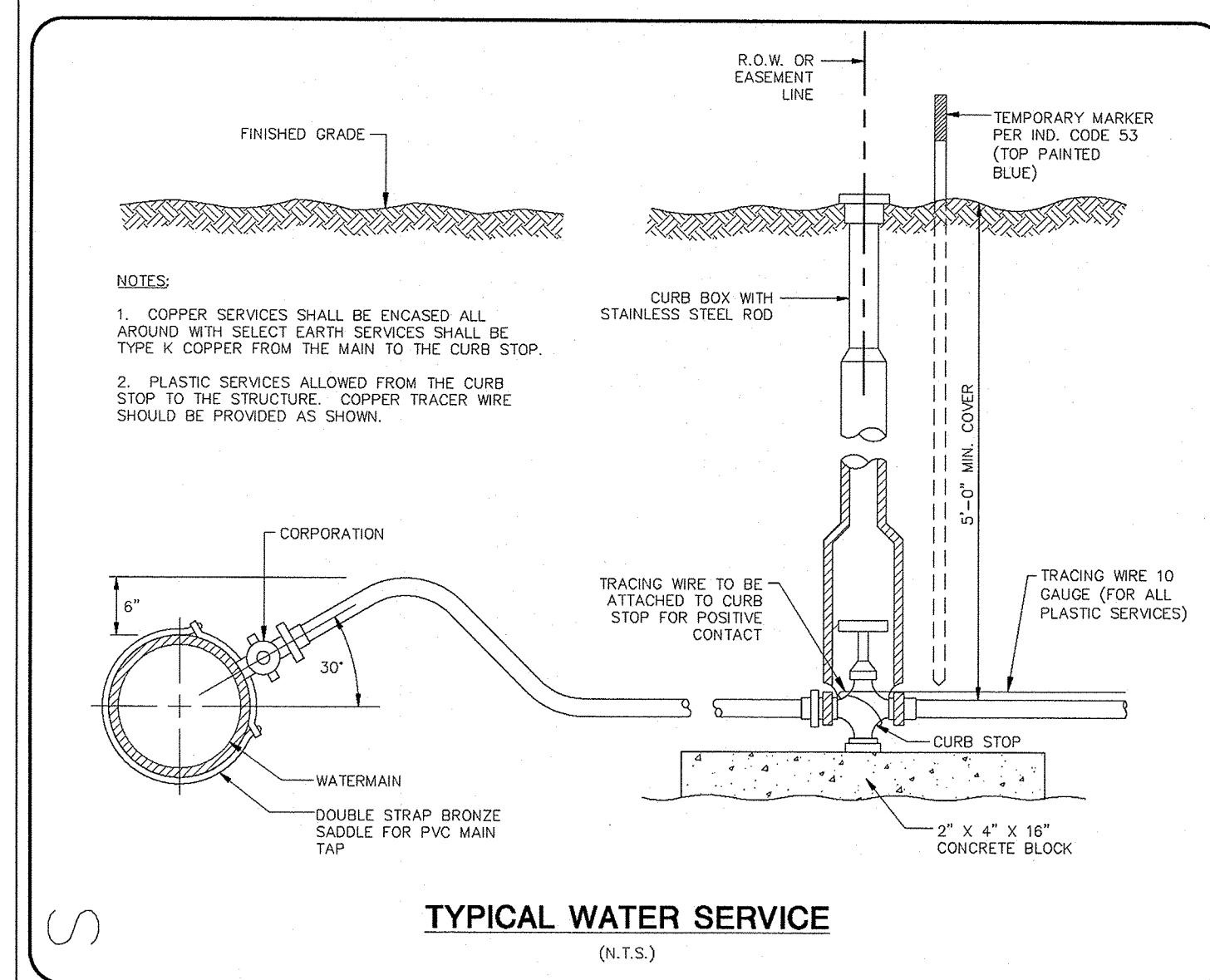
SEE DETAIL SHEET (1 OF 2)
BME DWG 2186D-09 FOR
LANDSCAPE NOTES AND
PLANTING DETAILS

NOT APPROVED

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APPROVALS

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON
BY: _____ DATE: _____
TOWN ENGINEER
BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

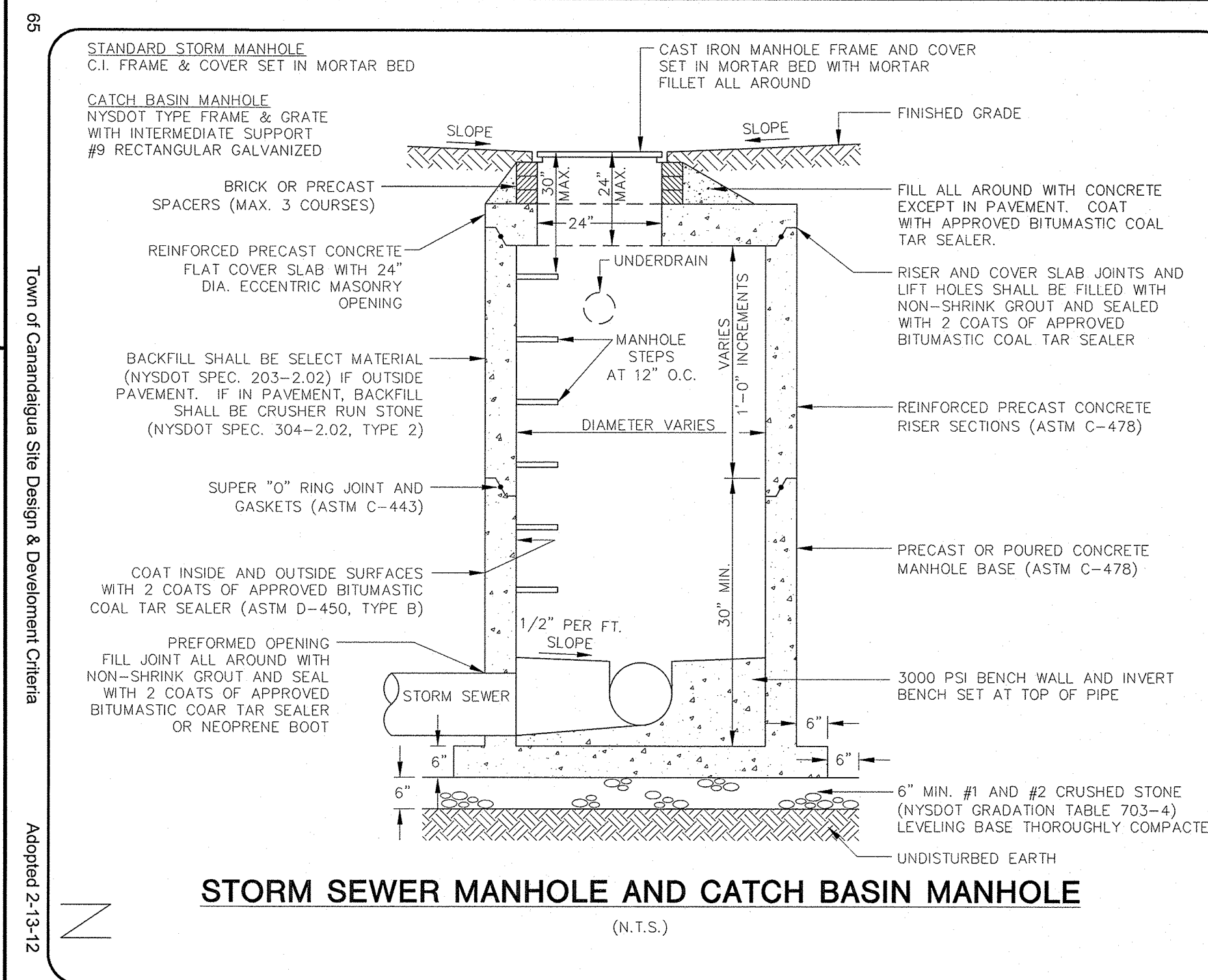
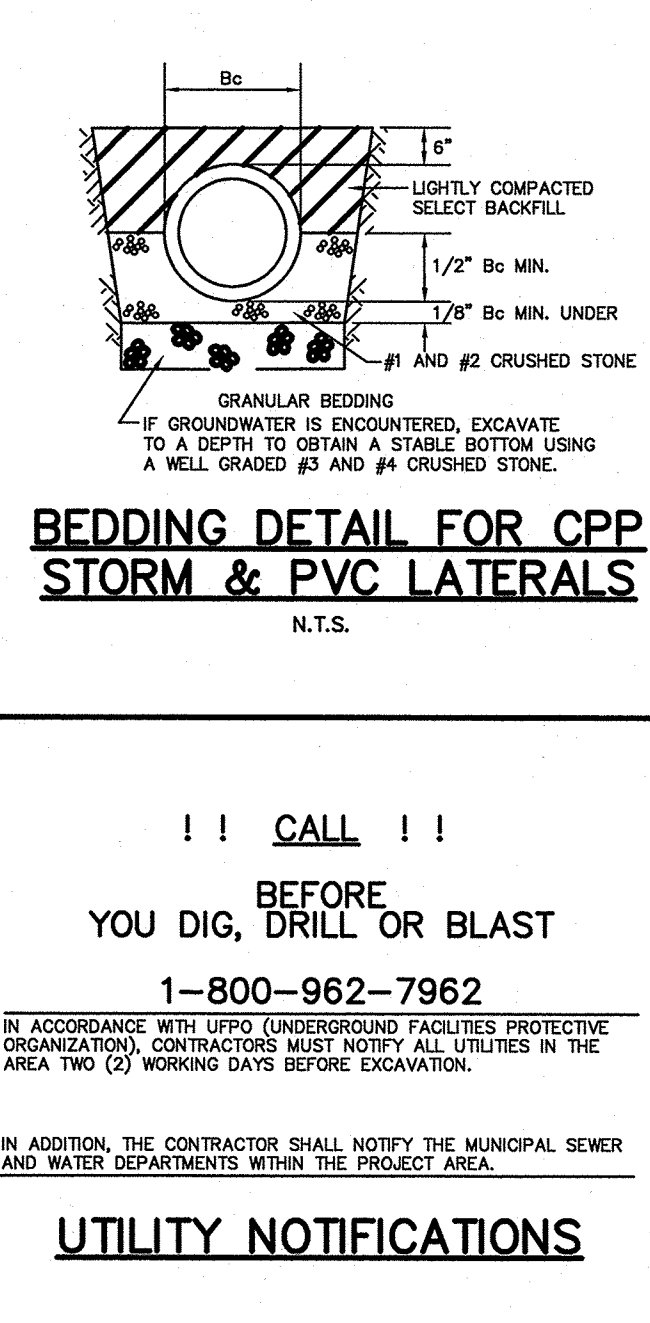
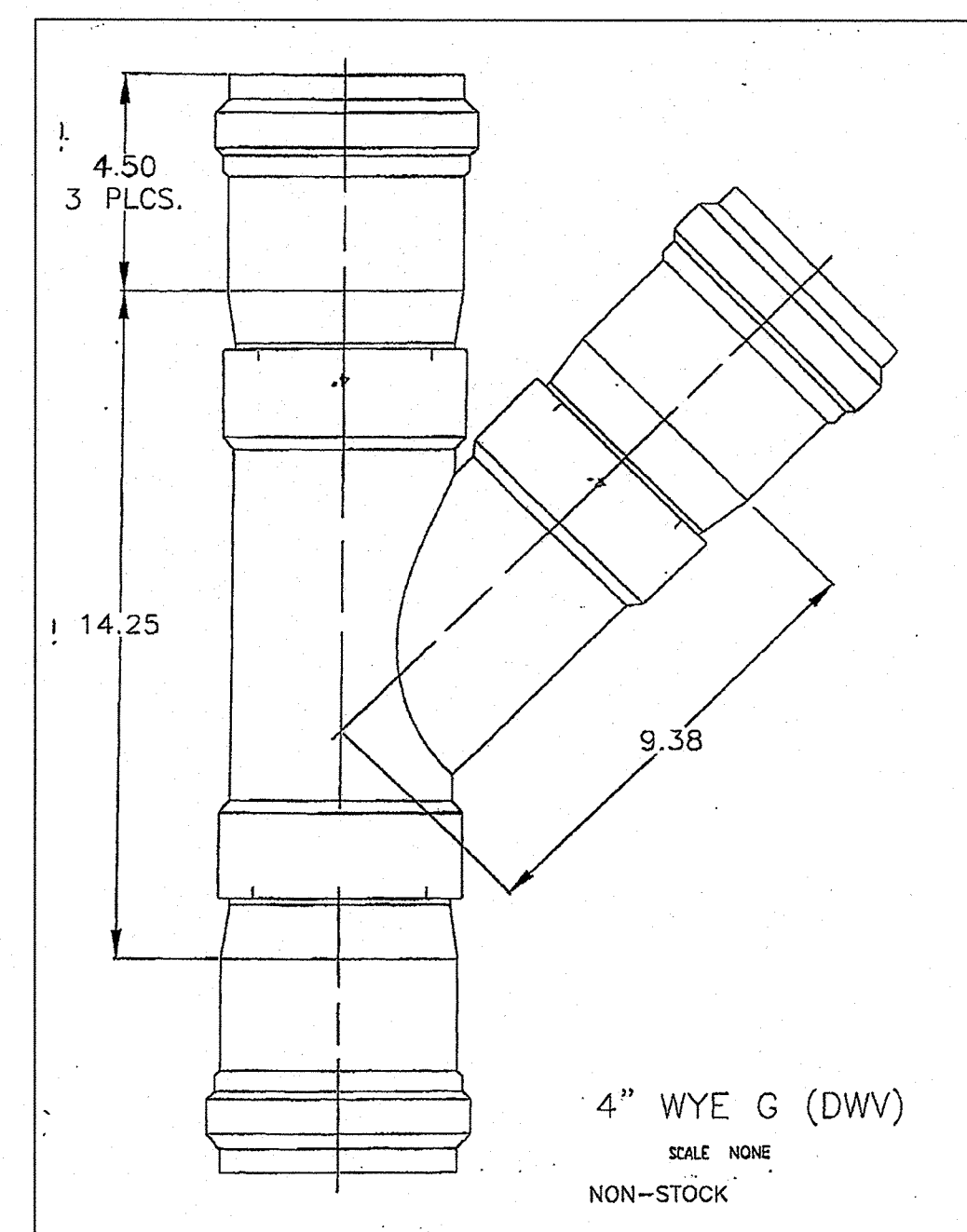
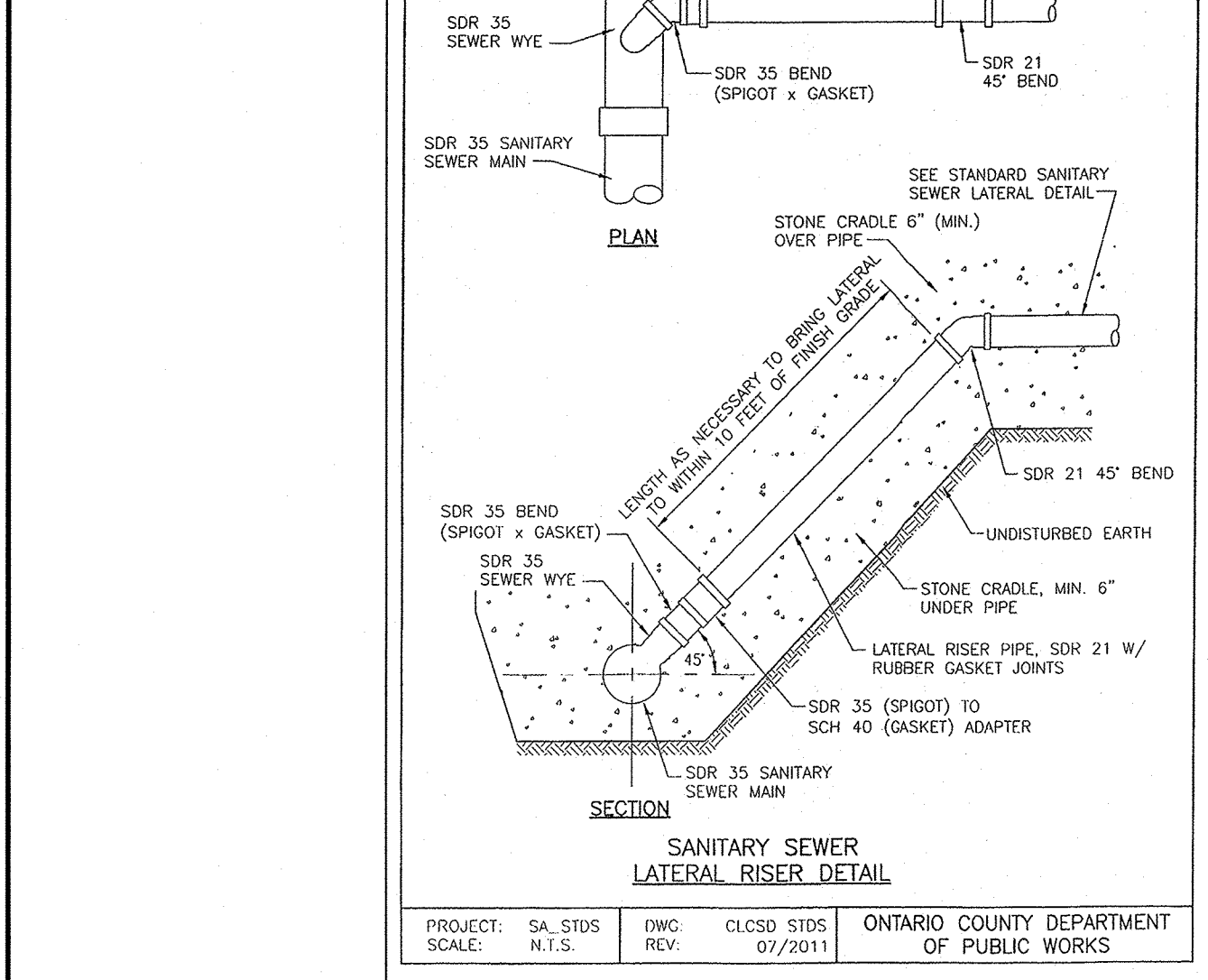
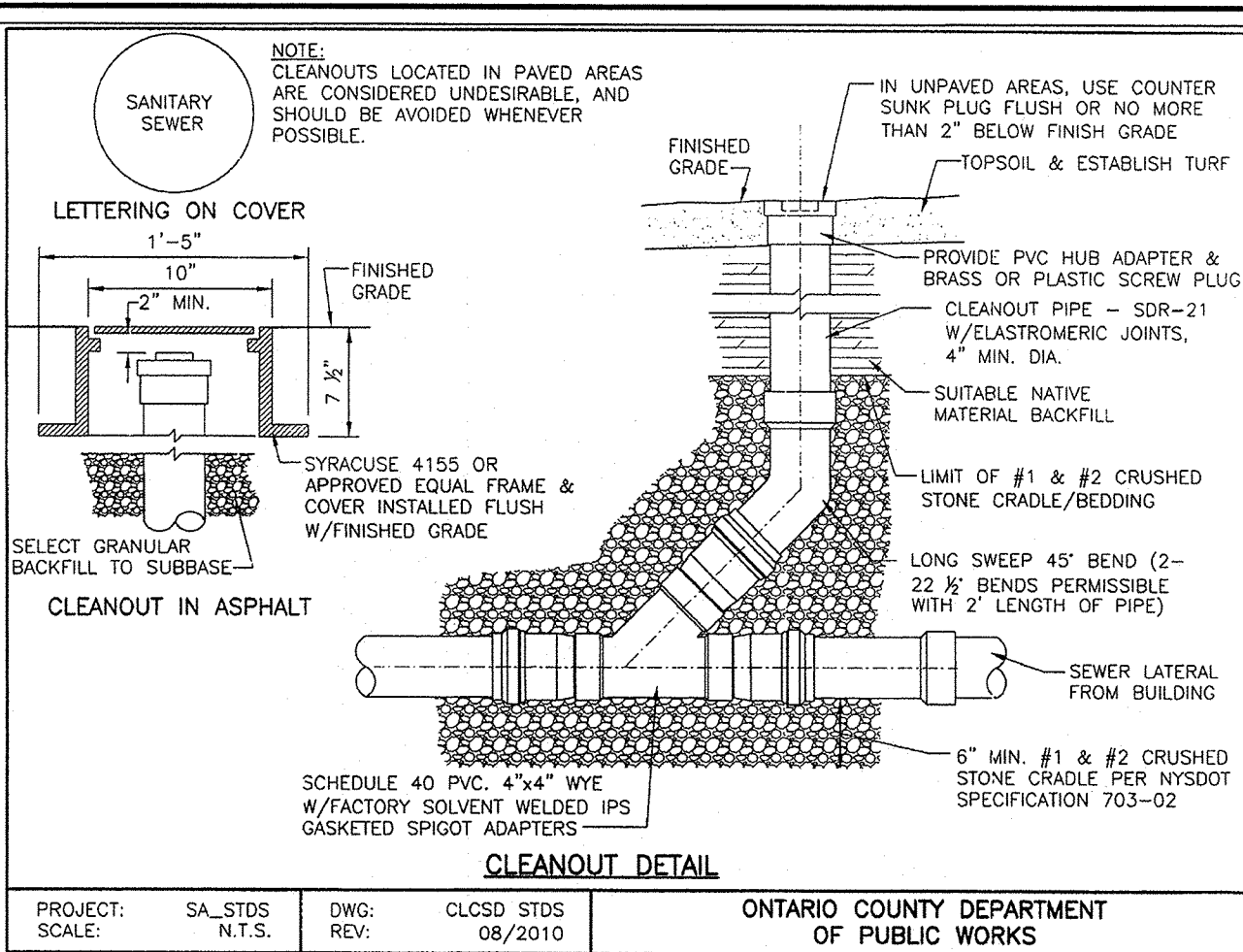
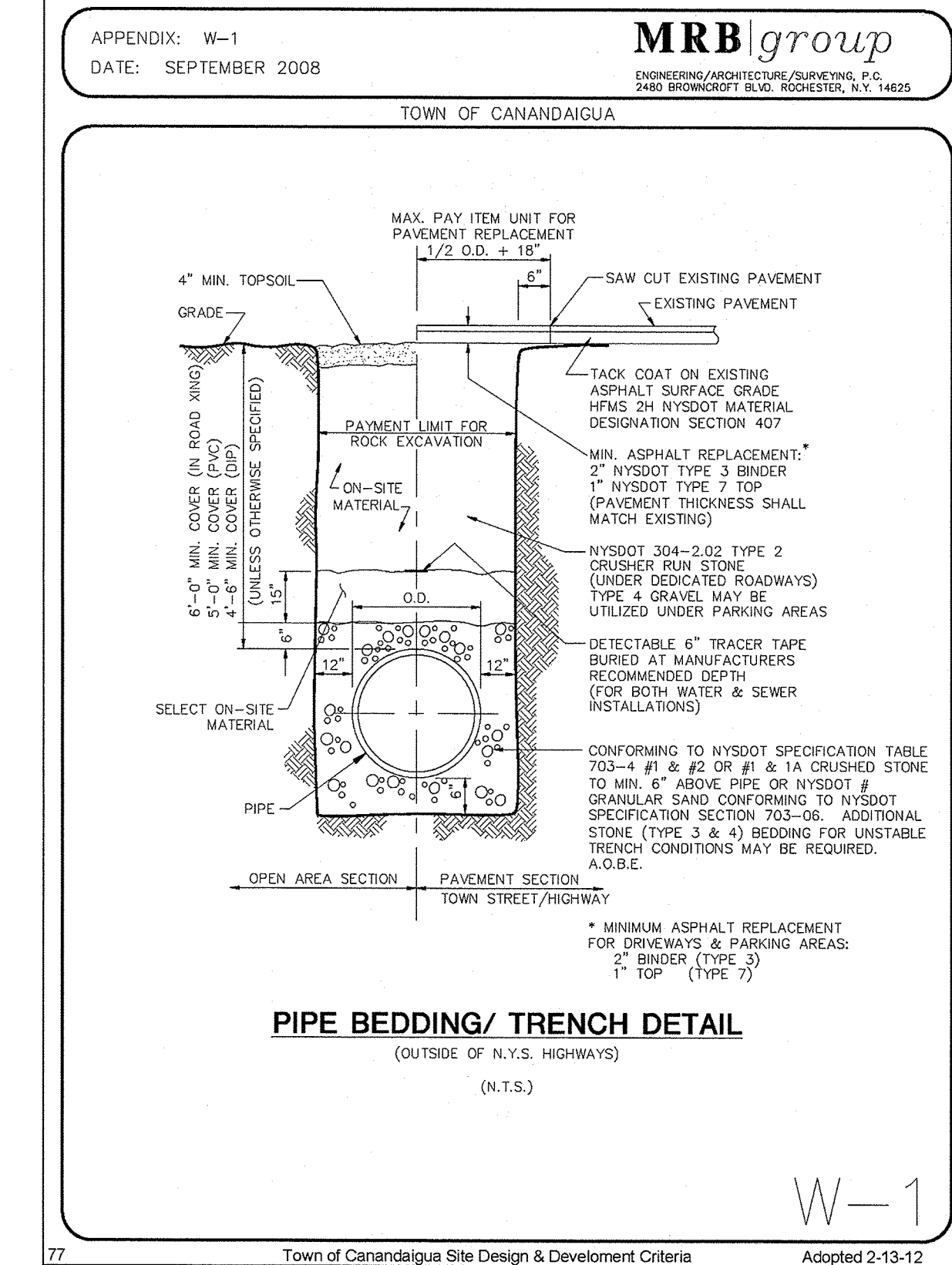
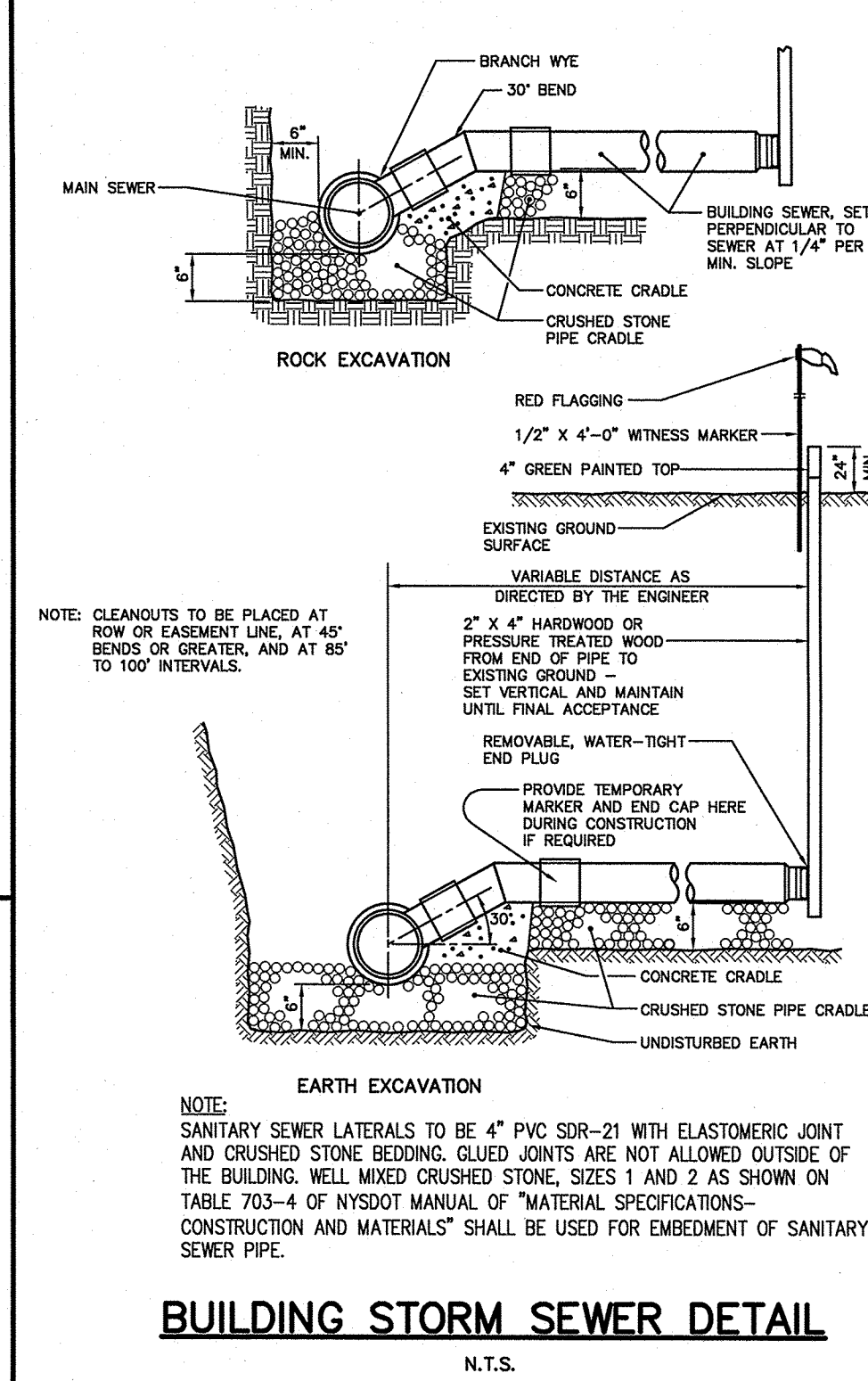
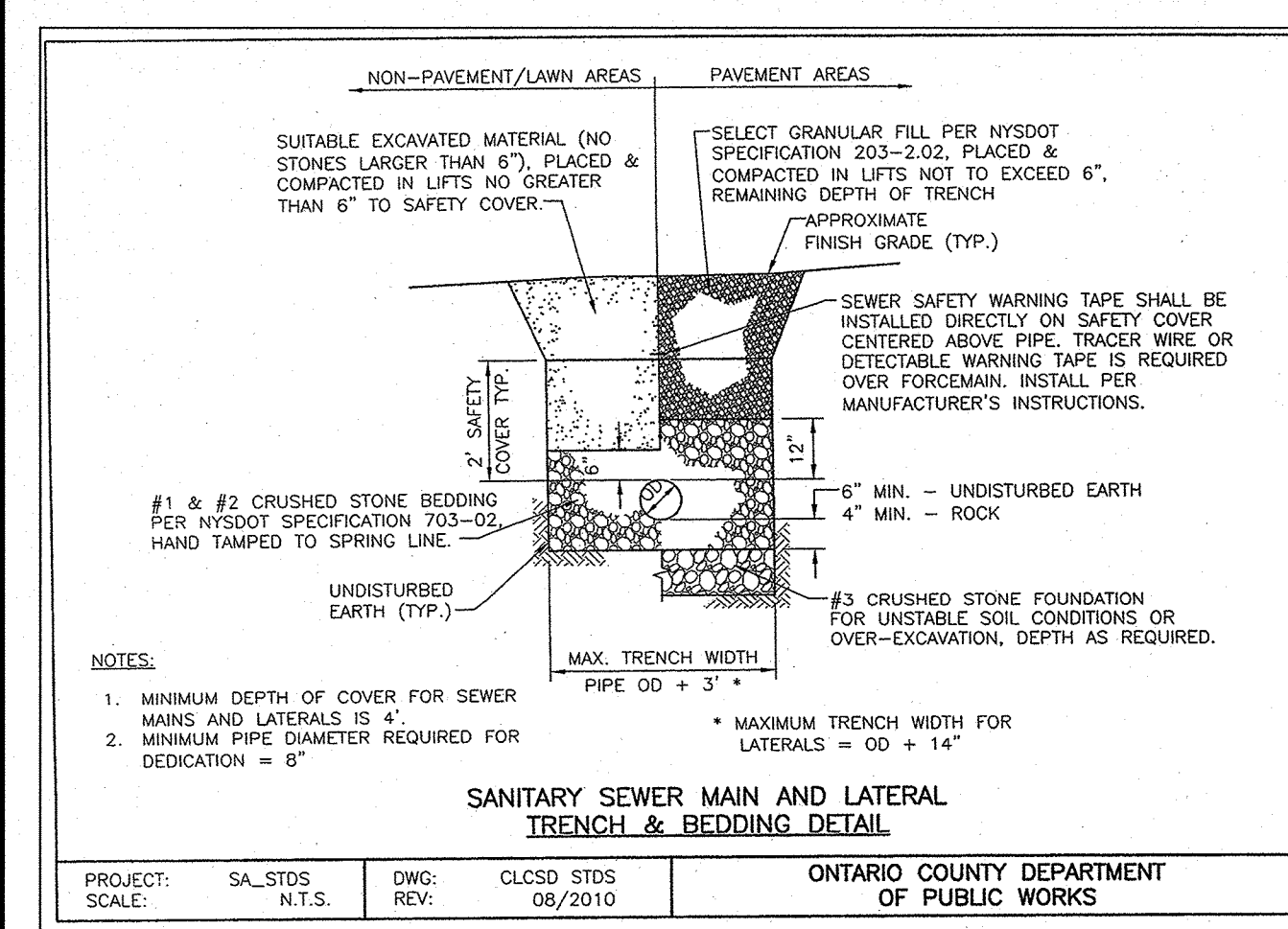
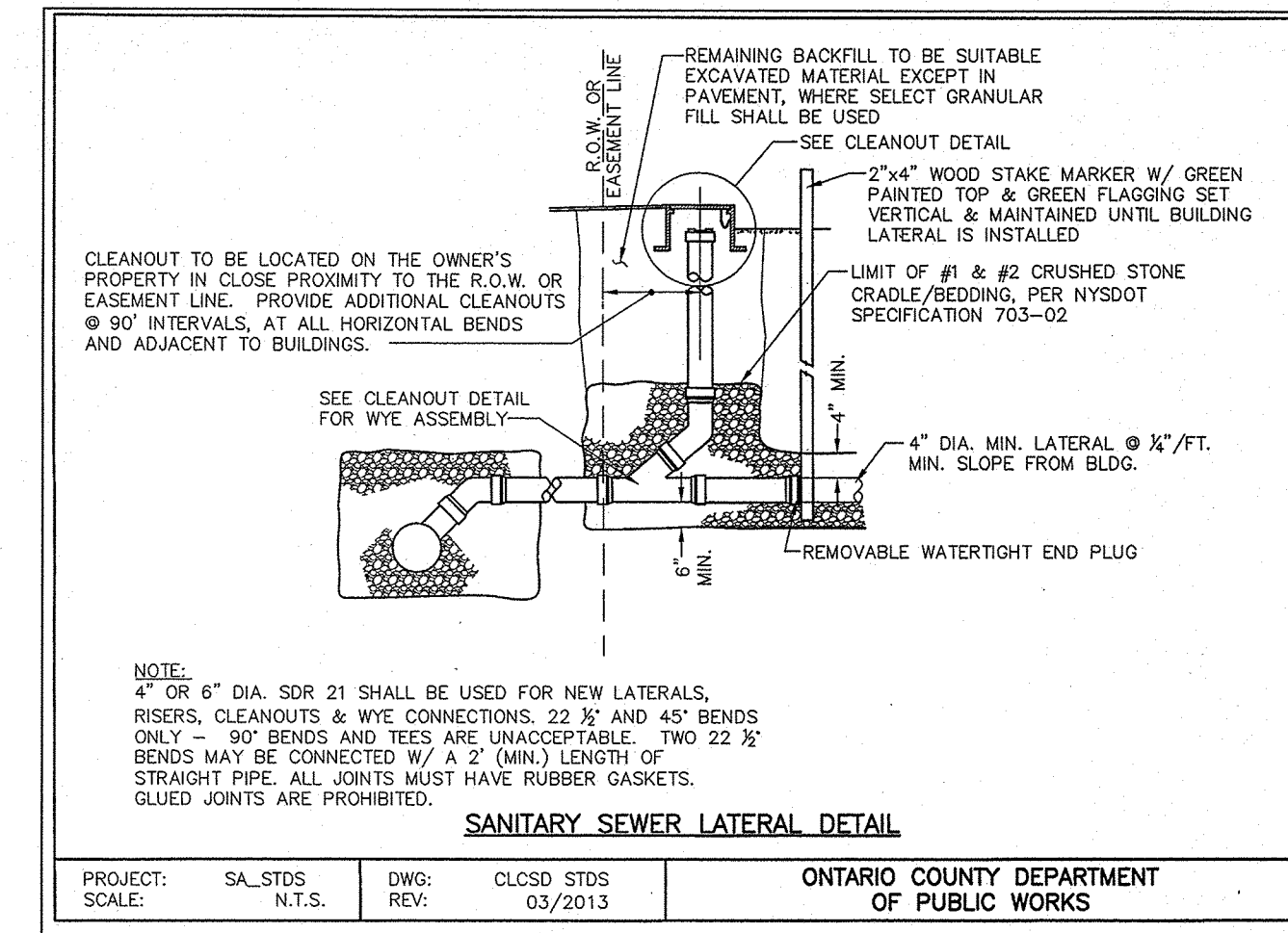


APPENDIX: S
DATE: JUNE 2000

TOWN OF CANANDAIGUA

MRB group
ENGINEERING/ARCHITECTURE/SURVEYING, P.C.
2480 BROWN CROFT BLVD. ROCHESTER, N.Y. 14626

Ontario County Department of Public Works

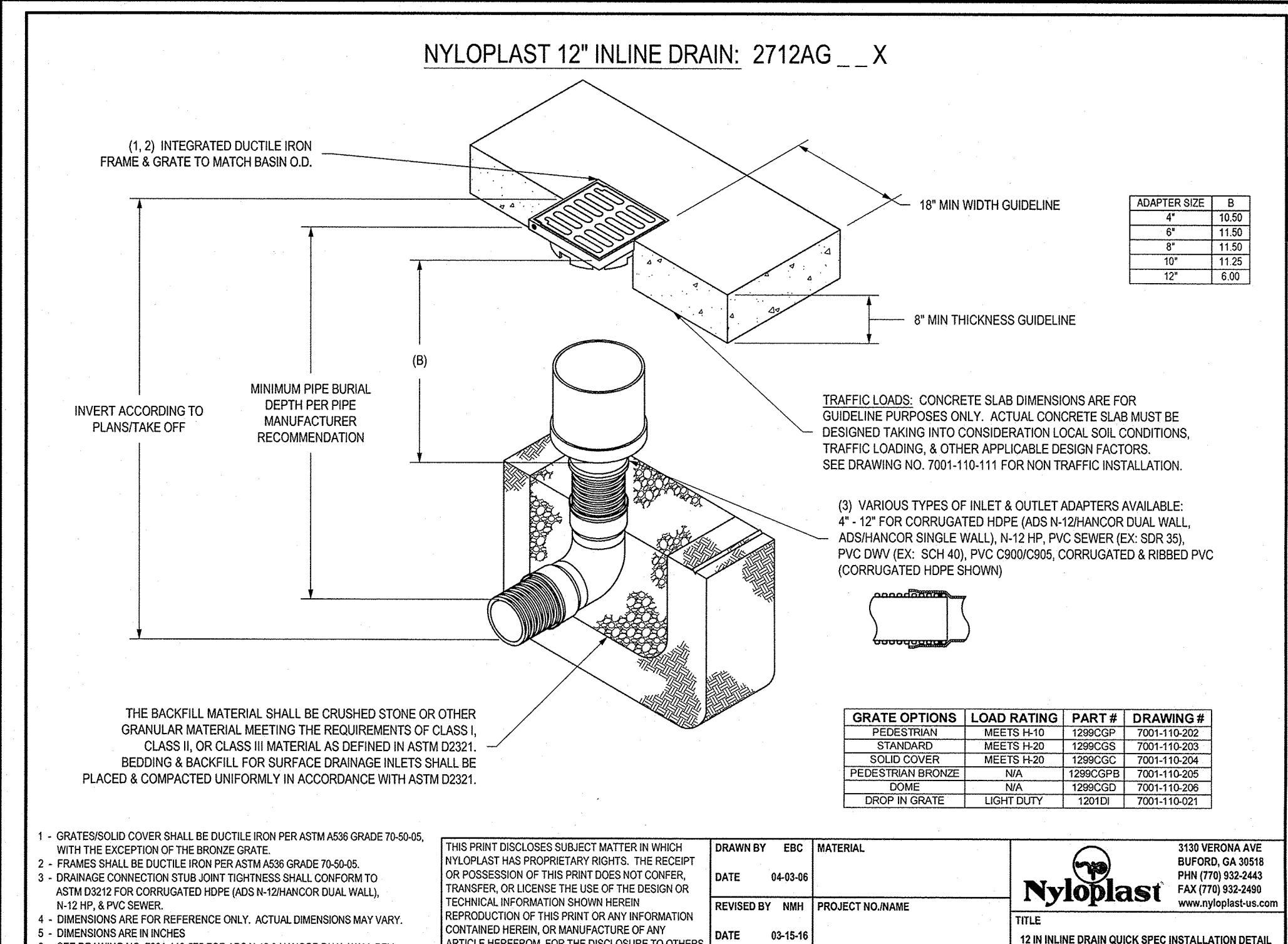


APPENDIX: N
DATE: JUNE 2000

TOWN OF CANANDAIGUA

MRB group
ENGINEERING/ARCHITECTURE/SURVEYING, P.C.
2480 BROWN CROFT BLVD. ROCHESTER, N.Y. 14626

Ontario County Department of Public Works



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550 LATINA ROAD
ROCHESTER, NY 14626

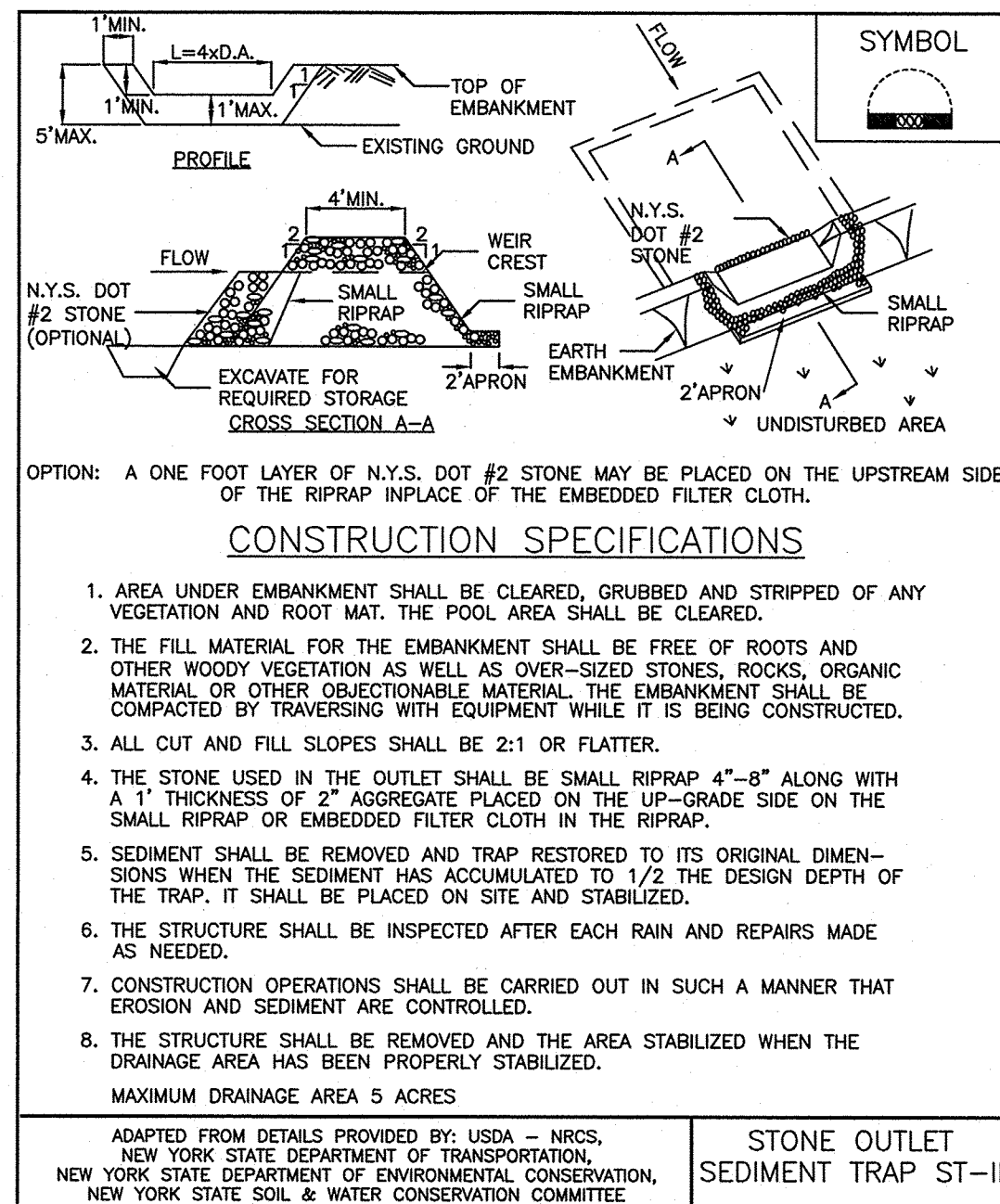
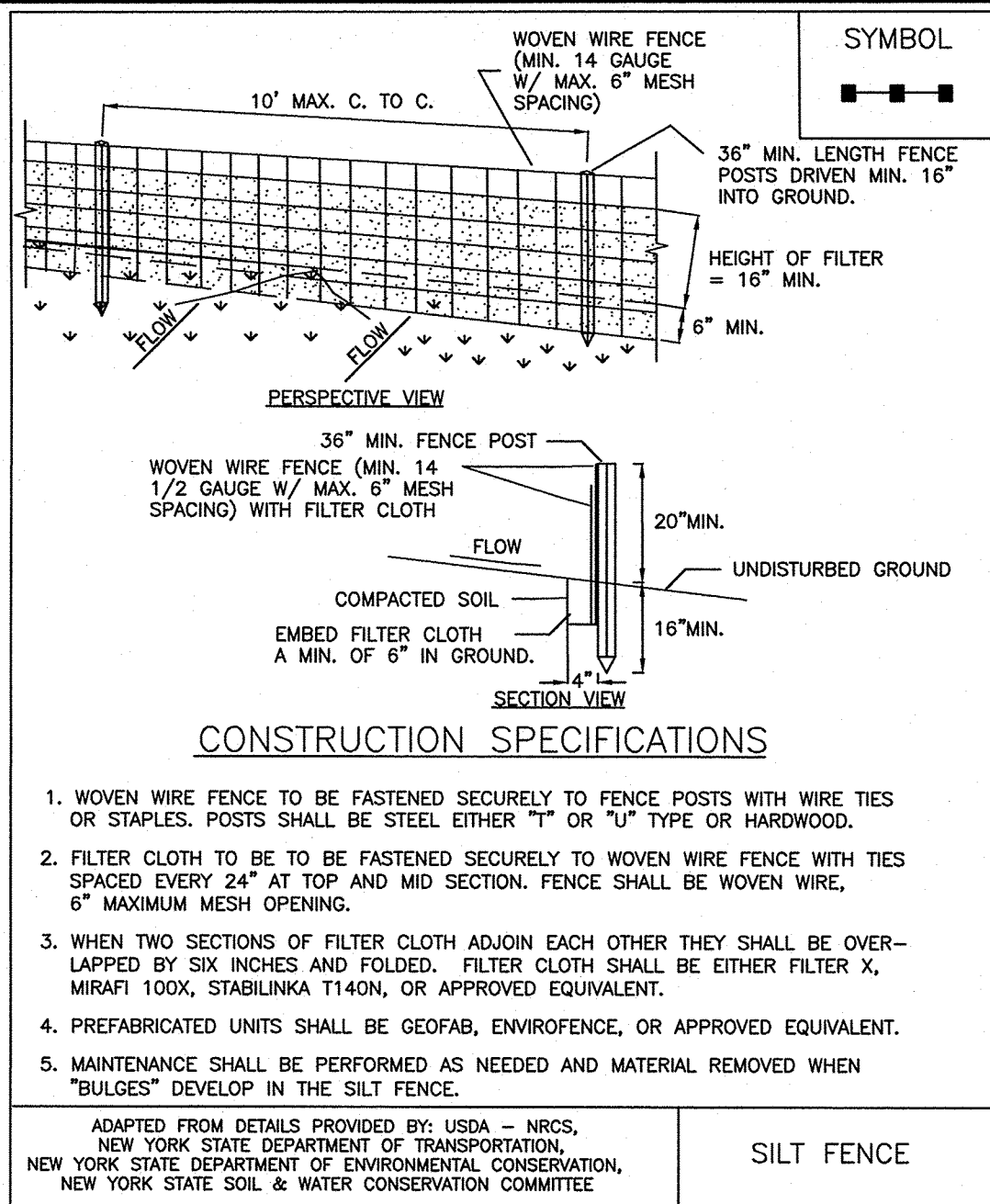
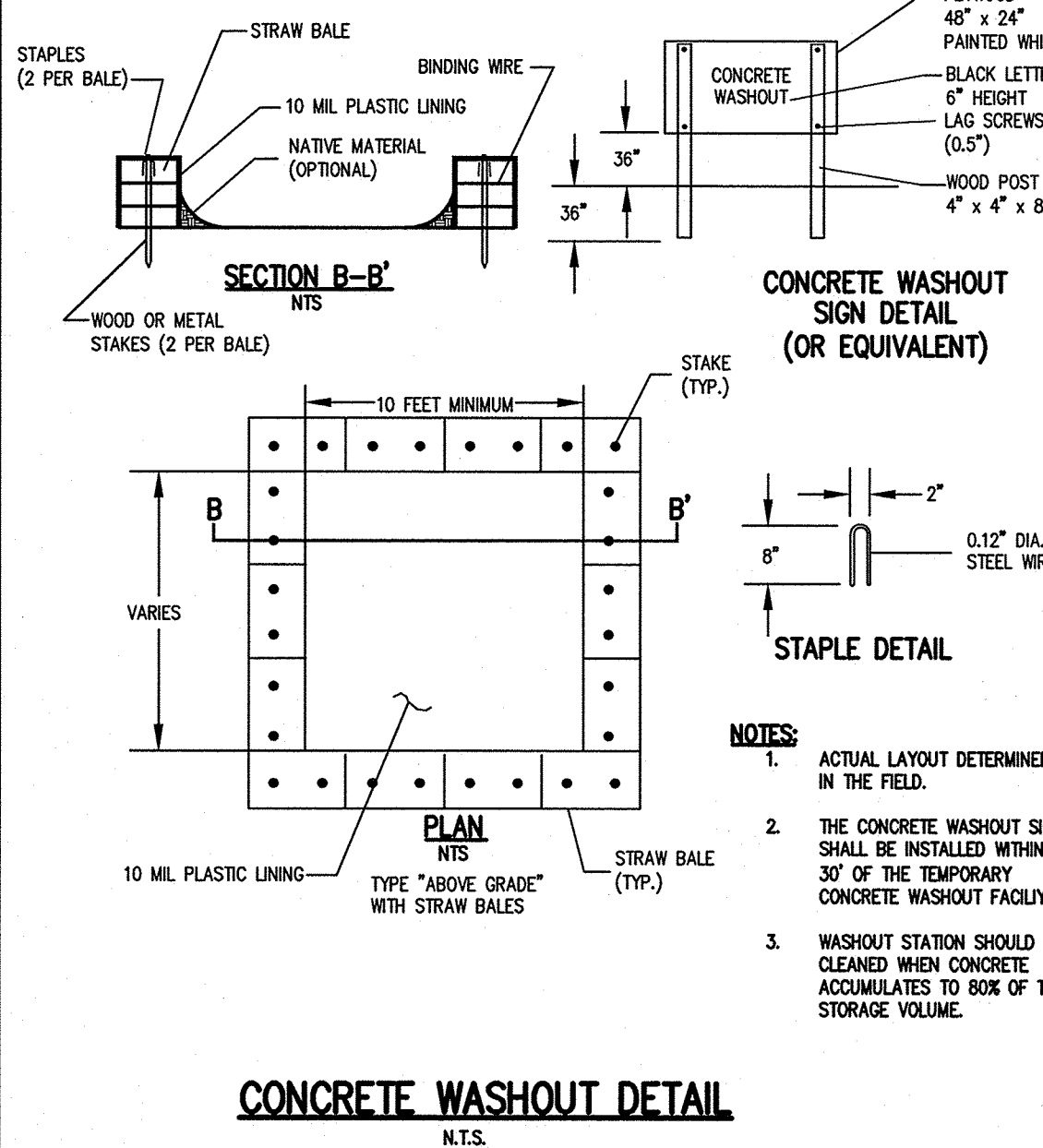
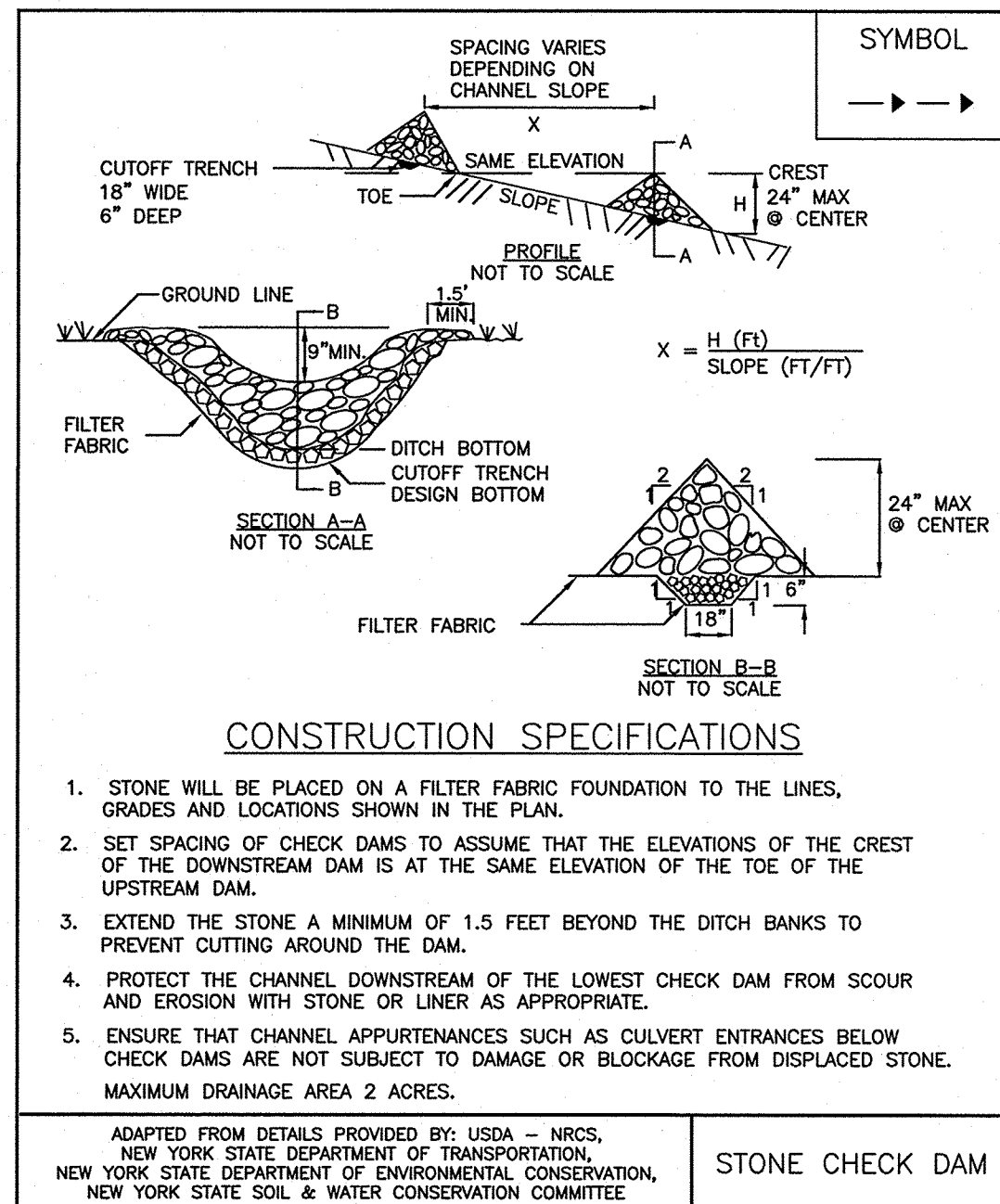
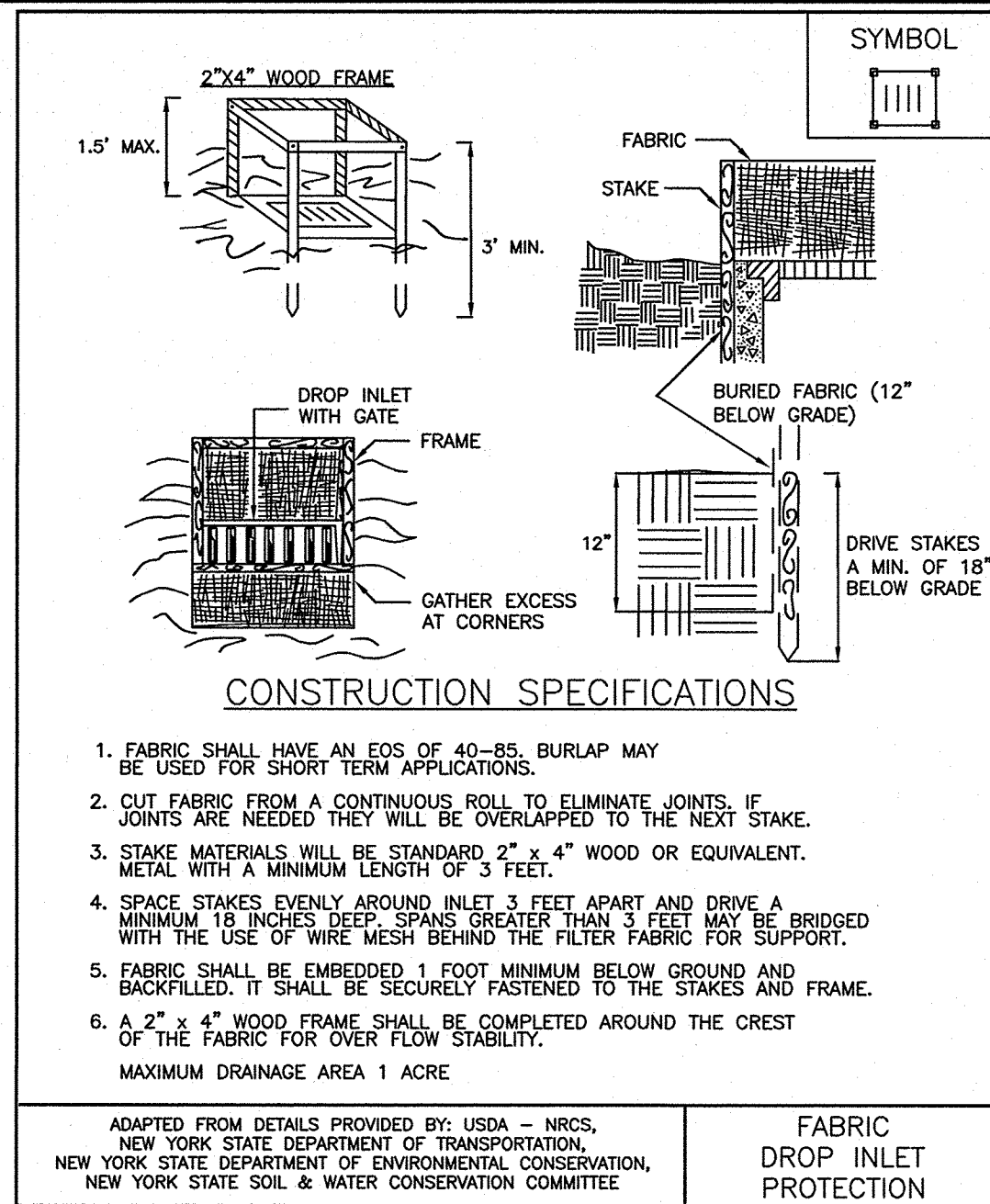
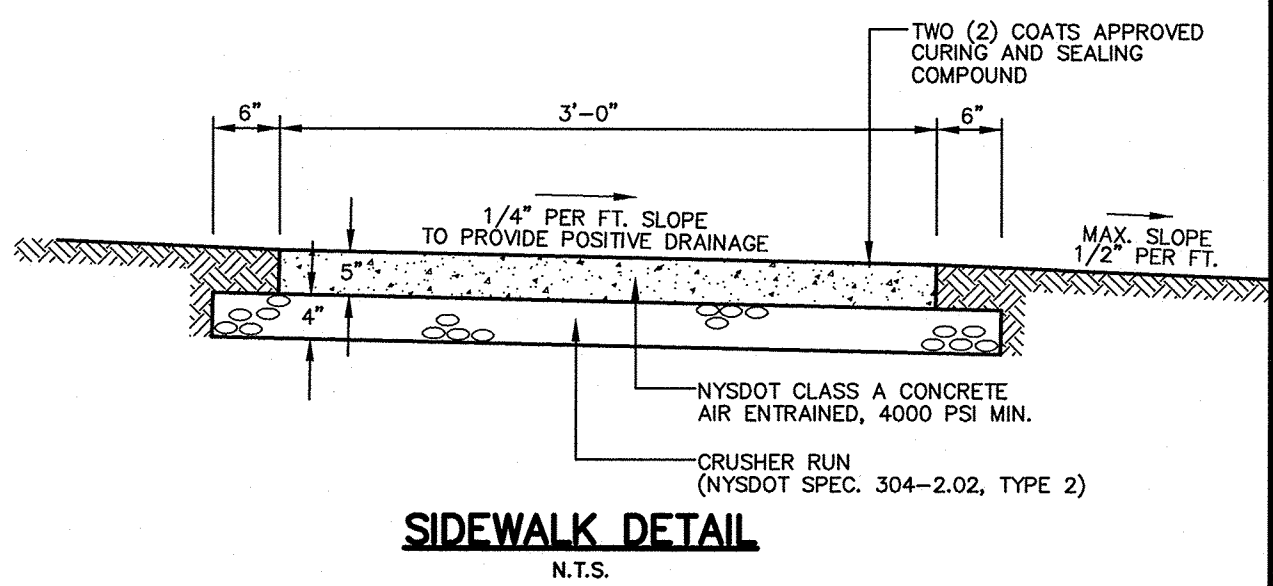
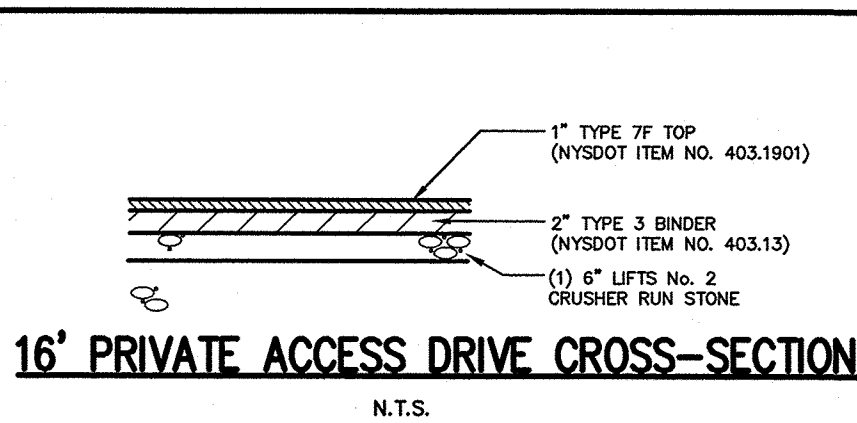
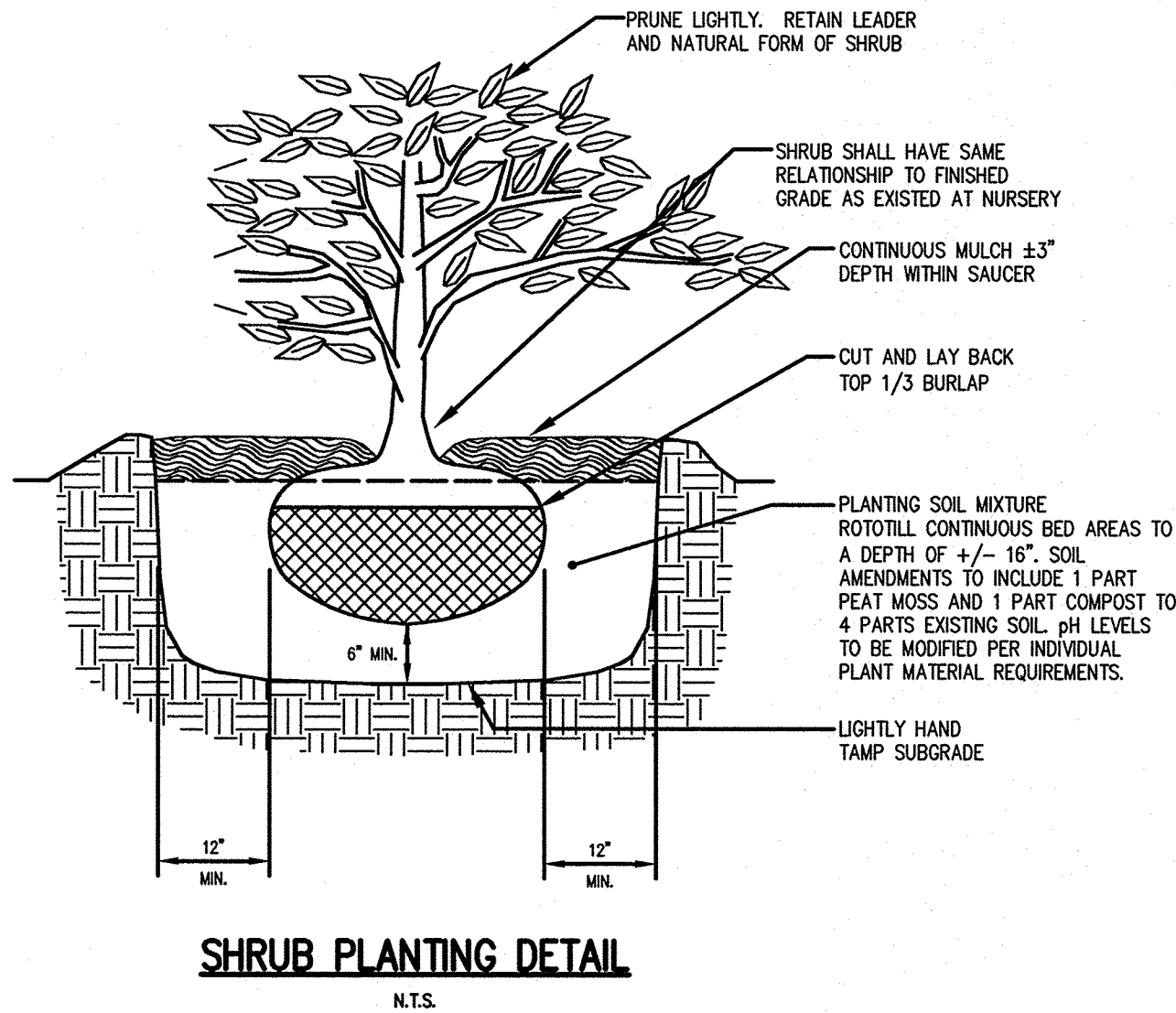
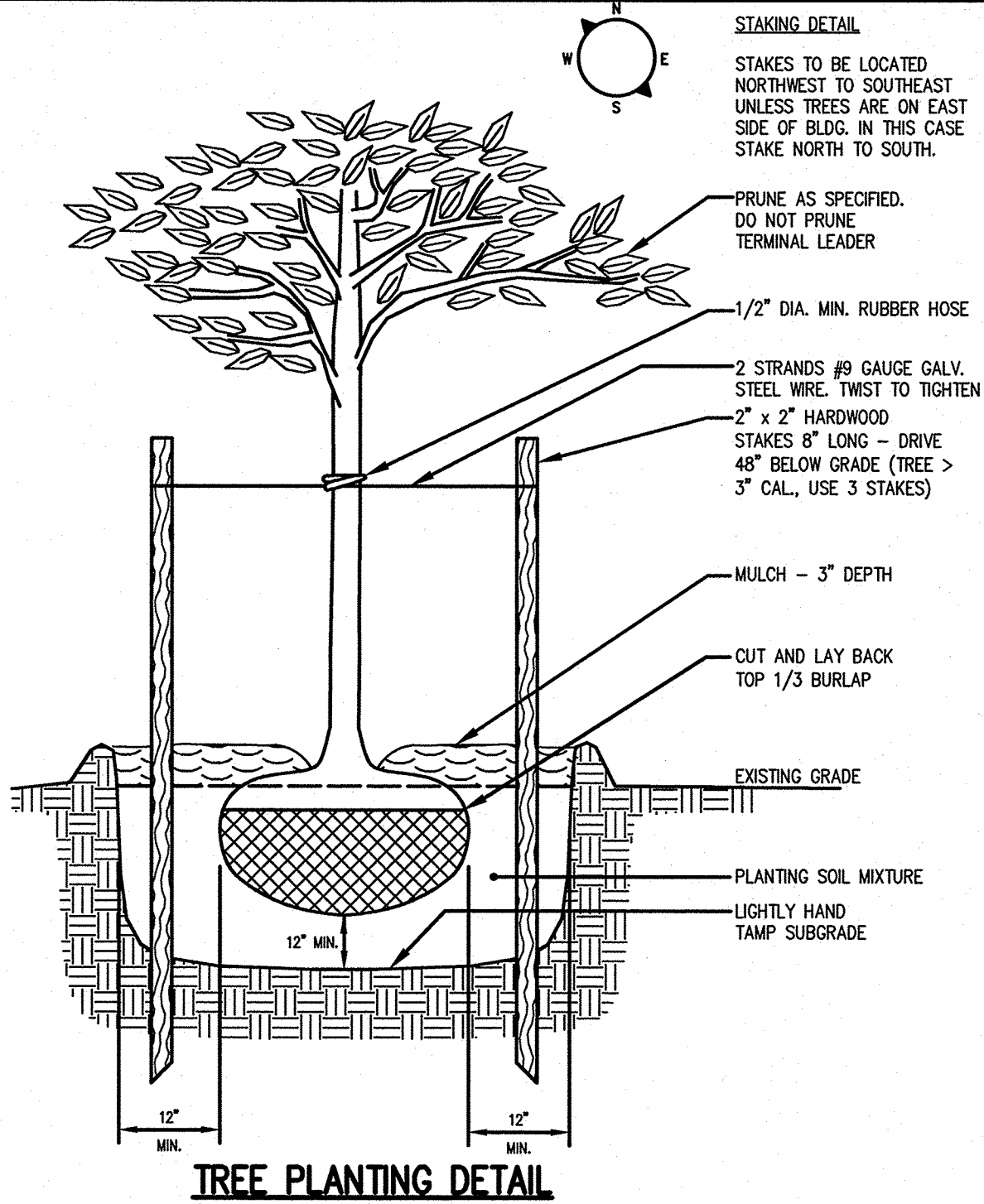
PROJECT MANAGER
R. CANTWELL
PROJECT ENGINEER
L. SIEDROCK
DRAWN BY
Z. GREGG
SCALE
N.T.S.
DATE ISSUED
JANUARY 2018

PROJECT NO.
21860
DRAWING NO.
08
(SHEET 1 OF 2)

LANDSCAPE NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LAST SECTION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z601.1.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
4. PER CLSD REQUIREMENTS AND THE TOWN OF CANANDAIGUA'S SITE DESIGN AND DEVELOPMENT CRITERIA, PROPOSED TREES SHALL NOT BE WITHIN TEN (10) FEET OF ANY SANITARY SEWER LINE AND SHALL BE A MINIMUM OF FIVE (5) FEET FROM ANY STORM SEWER LINE, WATER LINES, AND/OR THE EDGE OF ANY EASEMENT.
5. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM OVERHEAD UTILITIES TO THE PLANT BALL.
6. PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
7. STAKE TREES IMMEDIATELY AFTER PLANTING (REFER TO DETAIL).
8. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS "3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100% SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNMULCH MIXED AND FREE FROM DELETERIOUS MATERIAL.
9. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
 - A. LAWN SEED MIXTURE BE PROVIDED AS FOLLOWS:

	% BY HEIGHT	% BY PURITY	% GERM
'PENNFINE' & 'MORNING STAR'	40	85	85
PERENNIAL RYE GRASS			
'PENNLAWN' RED RESCUE	20	97	80
'BARON' & 'MIDNIGHT'			
KENTUCKY BLUEGRASS	40	85	80
 - SEEDING RATE: 6.0 LBS PER 1,000 SF.
 - MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
 - STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.
 - MULCH: HAY AS SPECIFIED AT TWO TONS PER ACRE WITH TACKIFIER AS SPECIFIED.
10. REFER TO THE CONSTRUCTION EROSION CONTROL PLAN, BME DRAWING #2186C-06 FOR FURTHER SEEDING REQUIREMENTS (SUCH AS TEMPORARY SEEDING AND SPECIALIZED SEEDING MIXES).
11. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW BY OWNER PRIOR TO PLANTING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE.
13. A MINIMUM TWO YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE TO TOWN OF CANANDAIGUA.



SEDIMENT TRAP VOLUMES

DESIGNATION	DRAINAGE AREA/ DISTURBED AREA TO INLET	REQUIRED SEDIMENT TRAP VOLUME (3,600 S.F./AC.)	TRAP DIMENSIONS* (L x W x D)	PROVIDED SEDIMENT TRAP VOLUME
D-1	1.27 Ac.	2,423 C.F.	55'x30'x3'	4,950 C.F.
D-2	0.67 Ac.	2,148 C.F.	35'x25'x3'	2,625 C.F.

*TRAP DIMENSIONS PRESENTED AS GUIDANCE FOR CONTRACTOR ONLY. ACTUAL DIMENSIONS MAY VARY BASED UPON FIELD CONDITIONS. HOWEVER, MINIMUM "REQ'D SEDIMENT TRAP VOLUME" MUST BE PROVIDED.

[illegible]

BME ASSOCIATES
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VILLAS @ CANANDAIGUA
SECTION 4
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK S. S. XV
MEGHAN FAMILY (CANANDAIGUA) LLC, XV
550 LATONA ROAD
ROCHESTER, NY 14626

**FINAL
DETAIL SHEET**

PROJECT MANAGER	
R. CANTWELL	
PROJECT ENGINEER	
L. SWEDROCK	
DRAWN BY	
Z. GREGG	
SCALE	DATE ISSUED
NTS	JANUARY 2018
PROJECT NO.	
2186D	
DRAWING NO.	
09	
(SHEET 2 OF 2)	