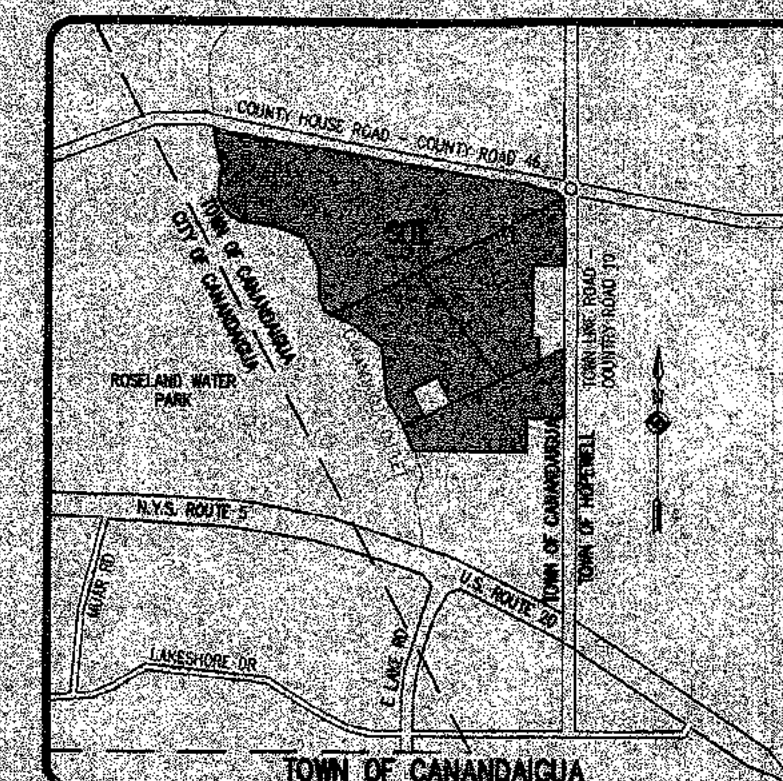


P:\2490 Drawings\2490.dwg Date: 01/17/17



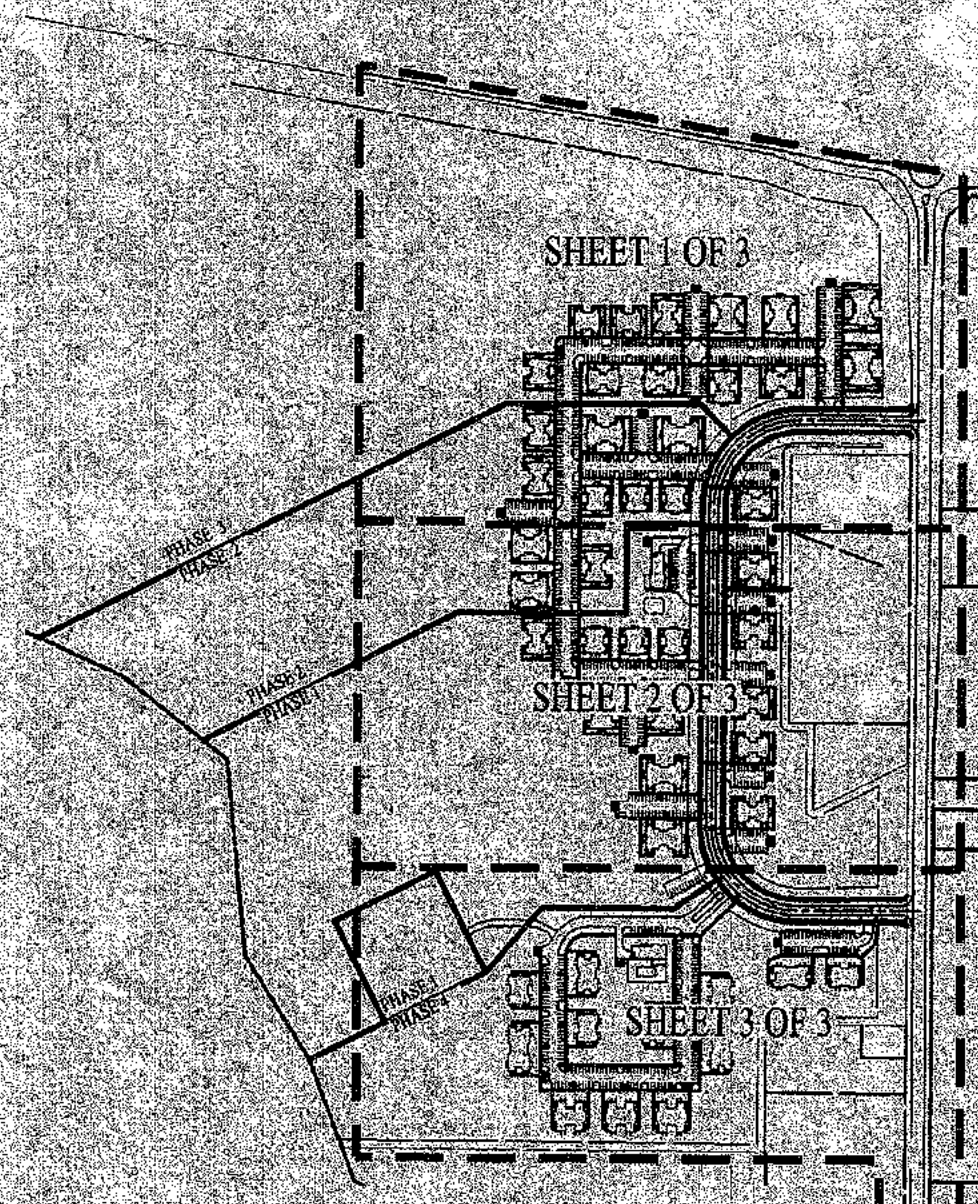
LOCATION MAP
NOT TO SCALE

LOT 3
PROPOSED PHASE 3
96 UNITS
12 APARTMENT BUILDINGS

LOT 2
PROPOSED PHASE 2
96 UNITS
12 APARTMENT BUILDINGS

LOT 1
PROPOSED PHASE 1
96 UNITS
12 APARTMENT BUILDINGS
CLUBHOUSE

LOT 4
PROPOSED PHASE 4
96 MARKET RATE UNITS
12 APARTMENT BUILDINGS
CLUBHOUSE



DRAWING KEY

CREEKVIEW APARTMENTS AT WOODLAND PARK

OVERALL PRELIMINARY PLANS
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

PREPARED FOR
THE DIMARCO GROUP

1950 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

OVERALL PRELIMINARY PLANS CREEKVIEW APARTMENTS AT WOODLAND PARK

DWG. No.	TITLE
2490-01	COVER SHEET
2490-02	EXISTING CONDITIONS
2490-03	LOT LINE ADJUSTMENT PLAT
2490-04	SITE PLAN (SHEET 1 OF 3)
2490-05	SITE PLAN (SHEET 2 OF 3)
2490-06	SITE PLAN (SHEET 3 OF 3)
2490-07	UTILITY PLAN (SHEET 1 OF 3)
2490-08	UTILITY PLAN (SHEET 2 OF 3)
2490-09	UTILITY PLAN (SHEET 3 OF 3)
2490-10	GRADING PLAN (SHEET 1 OF 3)
2490-11	GRADING PLAN (SHEET 2 OF 3)
2490-12	GRADING PLAN (SHEET 3 OF 3)
2490-13	CONSTRUCTION EROSION CONTROL PLAN (SHEET 1 OF 3)
2490-14	CONSTRUCTION EROSION CONTROL PLAN (SHEET 2 OF 3)
2490-15	CONSTRUCTION EROSION CONTROL PLAN (SHEET 3 OF 3)
2490-16	LANDSCAPING PLAN (SHEET 1 OF 4)
2490-17	LANDSCAPING PLAN (SHEET 2 OF 4)
2490-18	LANDSCAPING PLAN (SHEET 3 OF 4)
2490-19	LANDSCAPING PLAN (SHEET 4 OF 4)
2490-20	LIGHTING PLAN (SHEET 1 OF 3)
2490-21	LIGHTING PLAN (SHEET 2 OF 3)
2490-22	LIGHTING PLAN (SHEET 3 OF 3)
2490-23	NOTE SHEET
2490-24	PROFILE SHEET (SHEET 1 OF 2)
2490-25	PROFILE SHEET (SHEET 2 OF 2)
2490-26	DETAIL SHEET (SHEET 1 OF 4)
2490-27	DETAIL SHEET (SHEET 2 OF 4)
2490-28	DETAIL SHEET (SHEET 3 OF 4)
2490-29	DETAIL SHEET (SHEET 4 OF 4)

BME ASSOCIATES
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SCALE: 1"=200'

DRAWING NUMBER: 2490-01
DATED: FEBRUARY 2017
LAST REVISED: JULY 13, 2017

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7368
FAX 585-377-7394

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETHACK LINE
- 100-YEAR FLOODPLAIN
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- PHASE LINE
- WETLANDS
- PHASE 1, FINAL LIMITS

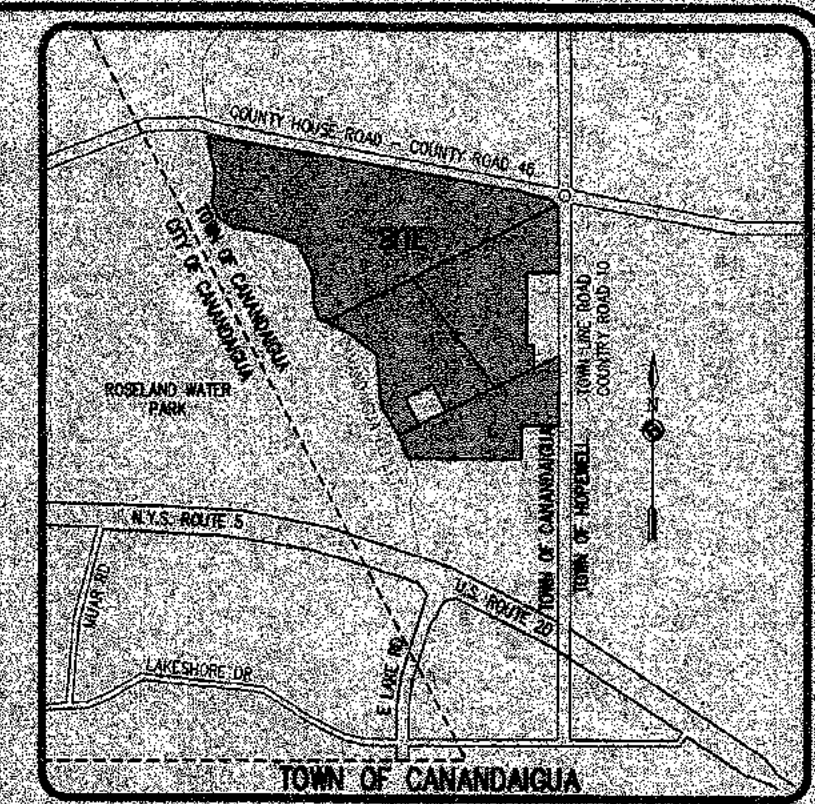
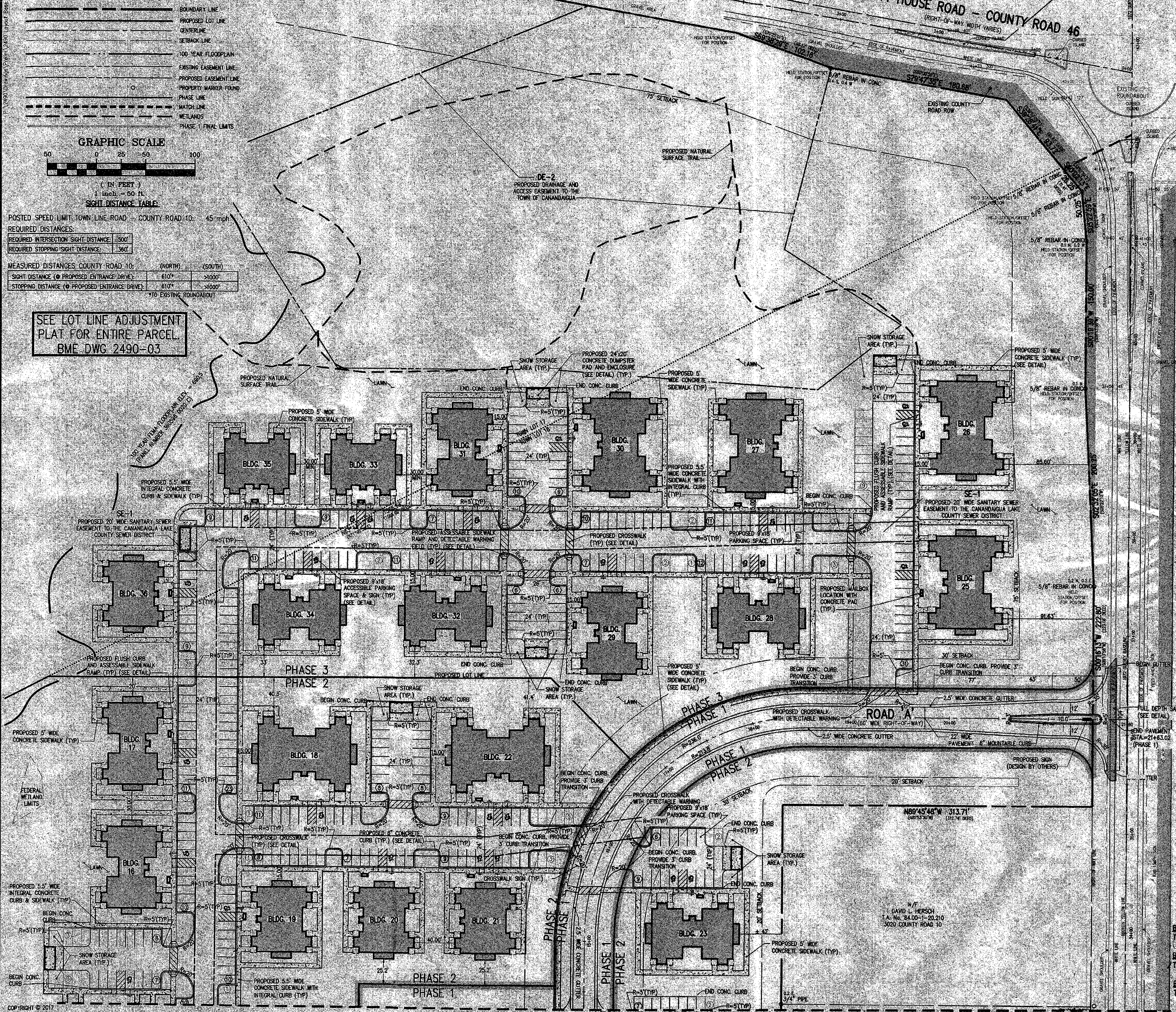
GRAPHIC SCALE



SIGHT DISTANCE TABLE

POSTED SPEED LIMIT TOWN LINE ROAD - COUNTY ROAD 10	45 mph
REQUIRED INTERSECTION SIGHT DISTANCE	300'
REQUIRED STOPPING SIGHT DISTANCE	360'
MEASURED DISTANCES COUNTY ROAD 10:	
(NORTH)	(SOUTH)
SIGHT DISTANCE (O PROPOSED ENTRANCE DRIVE)	610'
STOPPING DISTANCE (O PROPOSED ENTRANCE DRIVE)	610'

SEE LOT LINE ADJUSTMENT
PLAT FOR ENTIRE PARCEL
BME DWG 2490-03



LOCATION MAP
NOT TO SCALE

AFFORDABLE HOUSING UNITS

- 1 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,600 S.F.
- 2 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,900 S.F.
- 3 BDRM / 1 BATH
8 UNITS PER BUILDING
±5,400 S.F.

SITE NOTES

- TOTAL PARCEL SIZE: ± 140.18 ACRES
- EXISTING ZONING: (GO) COMMUNITY COMMERCIAL
PROPOSED ZONING: (MCO) MIXED OVERLAY DISTRICT 3
- PROPOSED USE:
30 AFFORDABLE LIVING APARTMENT BUILDINGS (8 UNITS/BUILDING) = 240 UNITS TOTAL
ONE (1) CLUBHOUSE FOR AFFORDABLE LIVING APARTMENTS
12 MARKET RATE APARTMENT BUILDINGS (8 UNITS/BUILDING) = 96 UNITS TOTAL
ONE (1) CLUBHOUSE FOR MARKET RATE APARTMENTS
PHASE 1: 96 APARTMENT UNITS AND CLUBHOUSE
PHASE 2: 96 APARTMENT UNITS
PHASE 3: 48 MARKET RATE APARTMENTS AND CLUBHOUSE
TOTAL: 240 APARTMENT UNITS

SETBACKS	REQUIRED	PROPOSED
FRONT	75' FROM COUNTY ROAD	75' FROM COUNTY ROAD ROW 30' FROM INTERNAL DEDICATED ROAD
REAR	20'	20'
SIDE	20'	20'
MAX. BUILDING HT.	35'	35'
MIN. DISTANCE BETWEEN BUILDINGS	N/A	30'
SETBACK FROM BUILDING TO END OF PAVEMENT	25'	15' (PRIVATE PAVEMENT)
MAX. BLOCK COVERAGE	35%	40%
DENSITY	N/A	2.74 UNITS/ACRE
REQUIRED OPEN SPACE	40%	40% MINIMUM

PARKING REQUIREMENTS	STALL SIZE	PROPOSED
STALLS REQUIRED	10' x 20'	8' x 18'
SPACES REQUIRED	2 SPACES / UNIT (TWO SPACES)	367 APARTMENT SPACES INCLUDING 376 APART SPACES 11 CLUBHOUSE SPACES 24 LANDSCAPED SPACES MARKET RATE: 2 SPACES / UNIT 202 PARKING SPACES INCLUDING 182 APART SPACES 10 CLUBHOUSE SPACES 20 LANDSCAPED SPACES AT LANDSCAPED SPACES PROVIDED (INCLUDES 65 ACCESSIBLE SPACES)

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND NEW YORK STATE AGENCIES (UNLESS OTHERWISE NOTED).
- UTILITY DRAINAGE ALONG COUNTY ROAD 10 AND COUNTY ROAD 46 TO BE MAINTAINED. OWNER TO FURNISH AND PLACE OVERLAY PPE (IF REQUIRED) OF A SIZE AND TYPE AT A LINE AND GRADE TO BE DETERMINED BY THE ONTARIO COUNTY DPW.
- BASED UPON THE TOWN COMMUNITY PANEL NUMBER: 300009.0000 (REVISED MARCH 3, 1997) THE SUBJECT PROPERTY IS WITHIN A CURRENTLY MAPPED 100-YEAR FLOODPLAIN.
- THIS PROPERTY MAY BE NEAR A FARM AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
- NECESSARY APPROVALS AND PERMITS NEED TO BE OBTAINED FROM THE TOWN OF CANANDAIGUA, ONTARIO COUNTY DPW, ITS DEPARTMENT OF HEALTH, NYS DEC AND CANANDAIGUA-ROCHESTER WATER DEPARTMENT.
- A COUNTY HIGHWAY WORK POINT IS REQUIRED FOR ALL WORK PROPOSED WITHIN THE COUNTY ROAD TO RIGHT-OF-WAY.

APPROVALS

BY: *[Signature]* DATE: 10/07/17
TOWN ENGINEER
BY: *[Signature]* DATE: 1-31-18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON
BY: *[Signature]* DATE: 11/6/17
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

REVISION	DATE	BY
1	7/15/17	MGB
2	8/23/17	JPS
3	8/23/17	MGB
4	8/23/17	MGB
5	8/23/17	MGB
6	8/23/17	MGB

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ROCHESTER, NEW YORK 14620
WWW.BMECON.COM

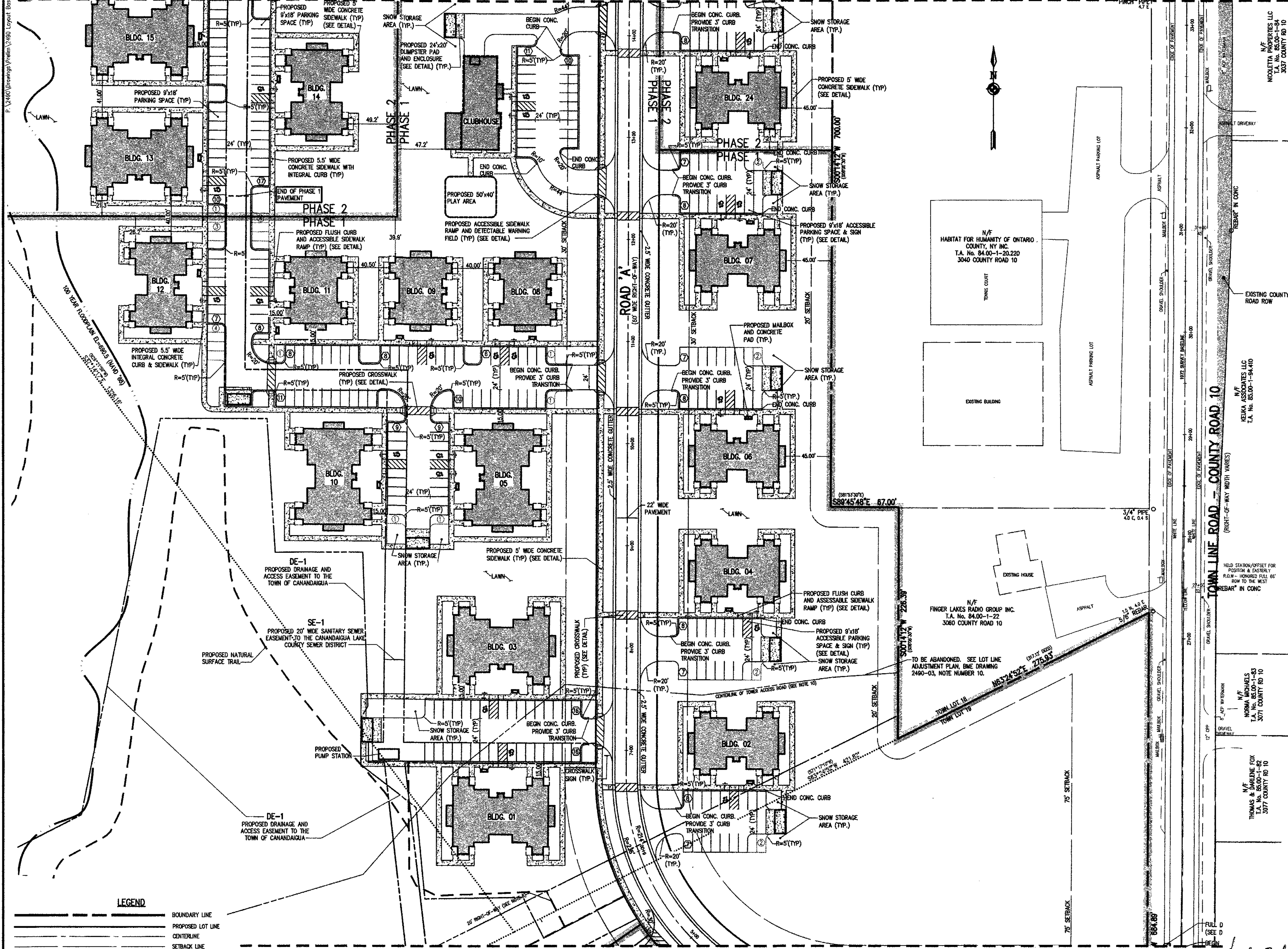


CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
1950 BRIDGTON HERBERT TOWN LINE ROAD
ROCHESTER, NEW YORK 14620
OVERALL PRELIMINARY SITE PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: TOWN OF CANANDAIGUA
DRAWING TITLE: OVERALL PRELIMINARY SITE PLAN
PROJECT MANAGER: M. JANDAY, P. E.
PROJECT ENGINEER: M. BOZOLJESKI
DRAWN BY: J. CREGG
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
DRAWING NO.: 04
(SHEET 1 OF 3)

P. 2490 Drawings (Vermont 2490) Layout Base.dwg

MATCHLINE - SEE BME DWG 2490-04

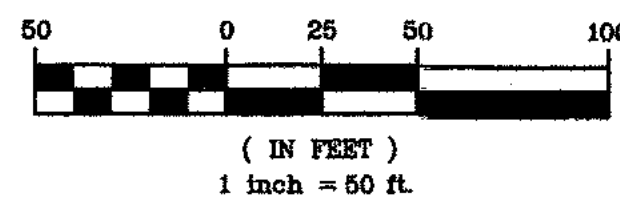


MATCHLINE - SEE BME DWG 2490-06

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- 100 YEAR FLOODPLAIN
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- PHASE LINE
- MATCH LINE
- PHASE 1 FINAL LIMITS

GRAPHIC SCALE



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LOCATION MAP
NOT TO SCALE

AFFORDABLE HOUSING UNITS



1 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,600 S.F.

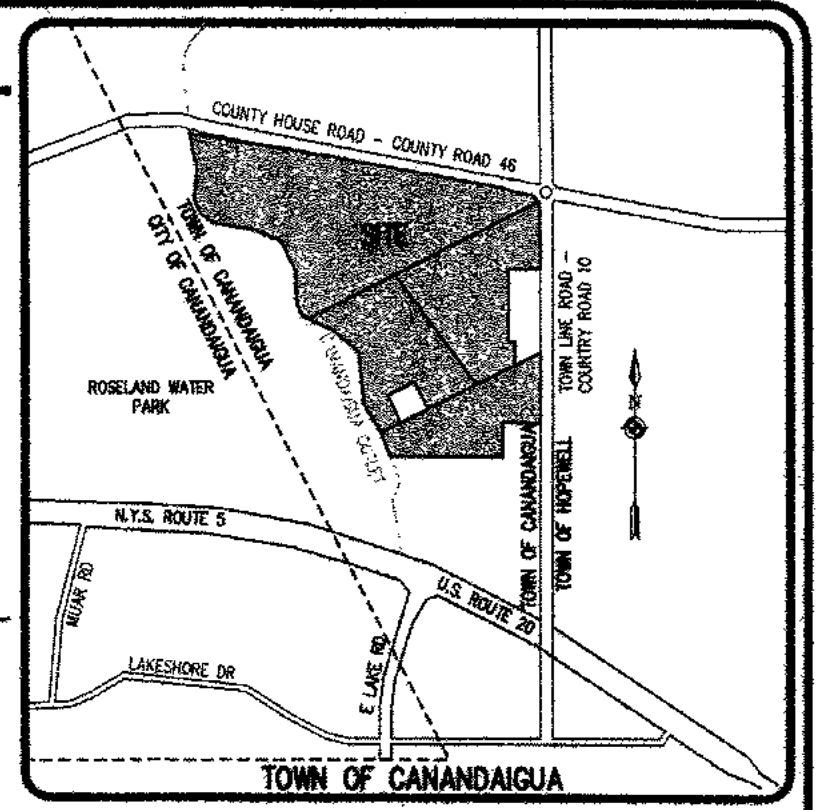


2 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,900 S.F.



3 BDRM / 1 BATH
8 UNITS PER BUILDING
±5,400 S.F.

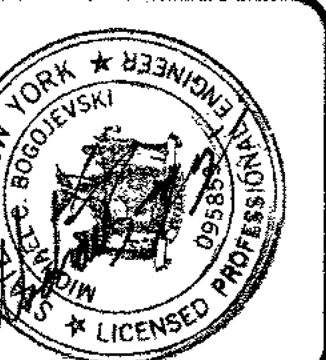
SEE SITE PLAN
(SHEET 1 OF 3) FOR SITE
NOTES. BME DWG 2490-04



Drawing Alteration
The following is an excerpt from the
New York State Education Law Article
149 Section 7209 and applies to this
drawing:
"It is a violation of this law for any
person, unless he is acting under the
direction of a licensed professional
engineer or land surveyor to alter any
item in any way if on item bearing the
seal of an engineer or land surveyor is
altered, the altering engineer or land
surveyor shall file to the State the said
alteration, and the notation 'altered by' followed
by the signature and the date of such
alteration, and a specific description
of the alteration."

NO.	REVISIONS	DATE	BY
1	REVISED PER TOWN AND MCB COMMENTS	2/14/17	MB
2	REVISED PER TOWN AND MCB COMMENTS	6/23/17	ZPG
3	REVISED PER TOWN AND MCB COMMENTS	6/23/17	MB
4	REVISED PER TOWN AND MCB COMMENTS	7/13/17	MB
5	REVISED PER PLANNING BOARD AND MCB GROUP COMMENTS	7/13/17	MB
6			
7			

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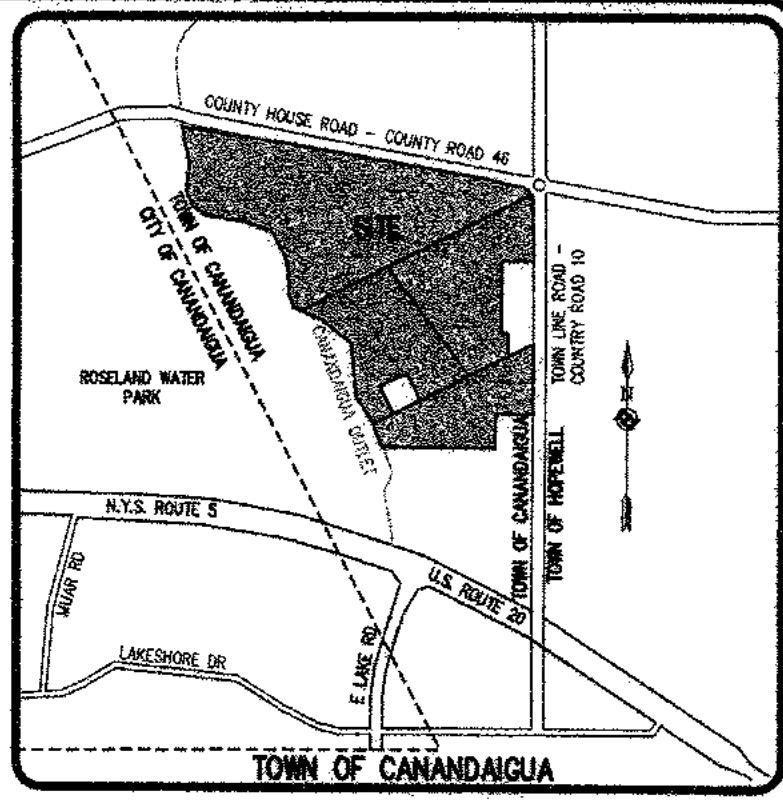
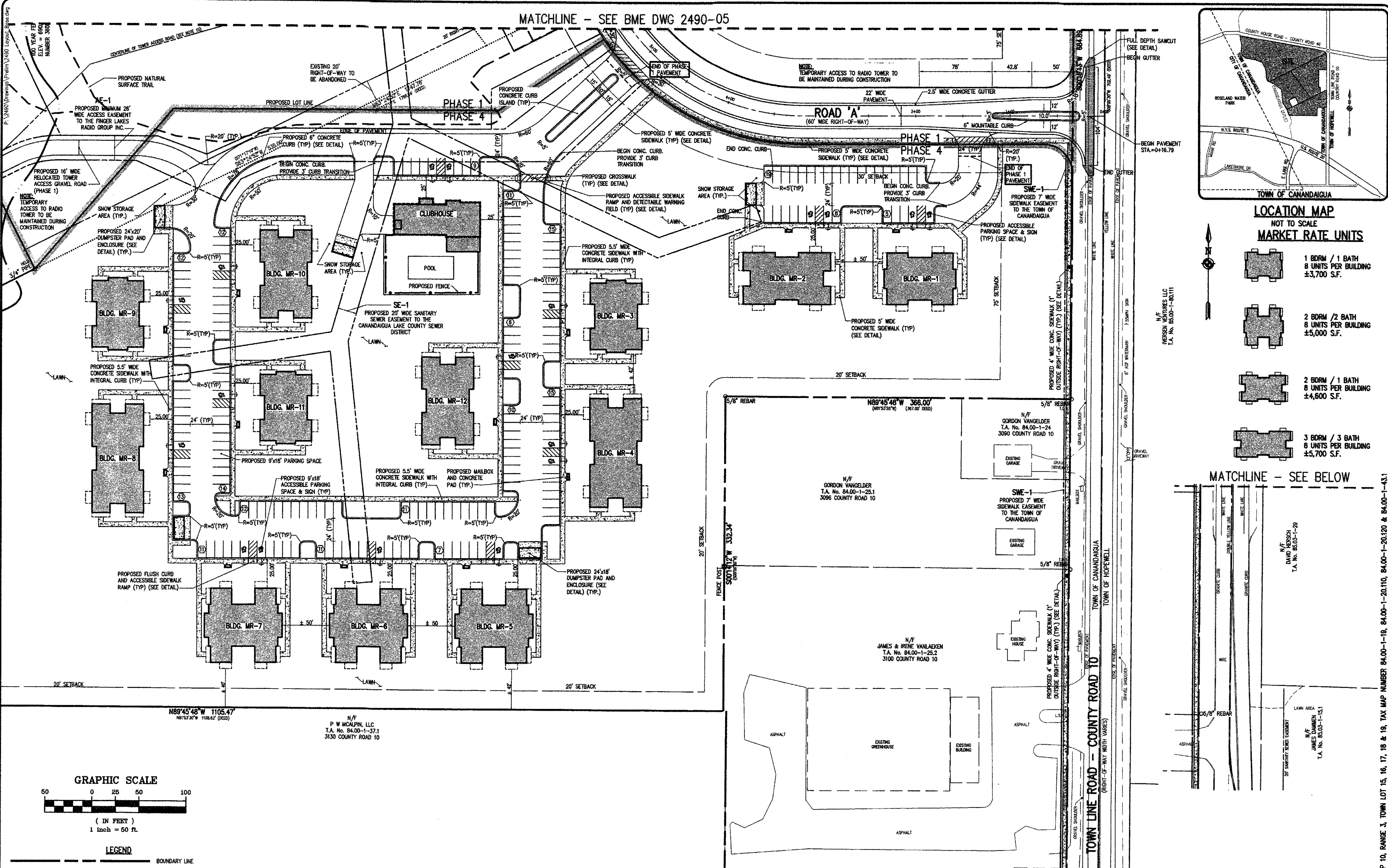
**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE DINARDO GROUP
1850 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
SITE PLAN

PROJECT	LOCATION	CLIENT	DRAWING TITLE
---------	----------	--------	---------------

PROJECT MANAGER	M. JANDA/P. VARS
PROJECT ENGINEER	M. BOGUSKI
DRAWN BY	Z. GREGG
SCALE	DATE ISSUED
1"=50'	FEBRUARY 2017
PROJECT NO.	2490

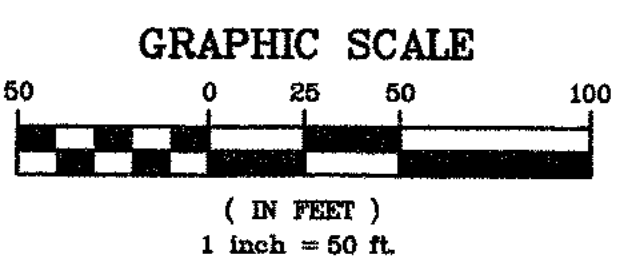
DRAWING NO. 2490
(SHEET 2 OF 3)

APPROVALS
TOWN ENGINEER: [Signature] DATE: 10/31/17
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON: [Signature] DATE: 1-31-18
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT: [Signature] DATE: 11/2/17



NOT TO SCALE
MARKET RATE UNITS

- 1 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,700 S.F.
- 2 BDRM / 2 BATH
8 UNITS PER BUILDING
±5,000 S.F.
- 2 BDRM / 1 BATH
8 UNITS PER BUILDING
±4,600 S.F.
- 3 BDRM / 3 BATH
8 UNITS PER BUILDING
±5,700 S.F.



LEGEND

---	BOUNDARY LINE
---	PROPOSED LOT LINE
---	CENTERLINE
---	SETBACK LINE
---	100 YEAR FLOODPLAIN
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	PROPERTY MARKER FOUND
---	PHASE LINE
---	MATCH LINE
---	PHASE 1 FINAL LIMITS

SIGHT DISTANCE TABLE

POSTED SPEED LIMIT TOWN LINE ROAD - COUNTY ROAD 10: 45 mph

REQUIRED DISTANCES:	
REQUIRED INTERSECTION SIGHT DISTANCE:	500'
REQUIRED STOPPING SIGHT DISTANCE:	360'
MEASURED DISTANCES COUNTY ROAD 10:	
SIGHT DISTANCE (@ PROPOSED ENTRANCE DRIVE):	(NORTH) >1000' (SOUTH) >1000'
STOPPING DISTANCE (@ PROPOSED ENTRANCE DRIVE):	(NORTH) >1000' (SOUTH) >1000'

SEE UTILITY PLAN
(SHEET 3 OF 3) FOR
CONTINUATION OF SIDEWALK.
BME DWG 2490-09

SEE SITE PLAN
(SHEET 1 OF 3) FOR SITE
NOTES. BME DWG 2490-04

APPROVALS

BY: *[Signature]* DATE: 1/3/16
TOWN ENGINEER

BY: *[Signature]* DATE: 1-31-18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: *[Signature]* DATE: 1/24/18
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any plan in any way if it on item bearing the seal of an engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

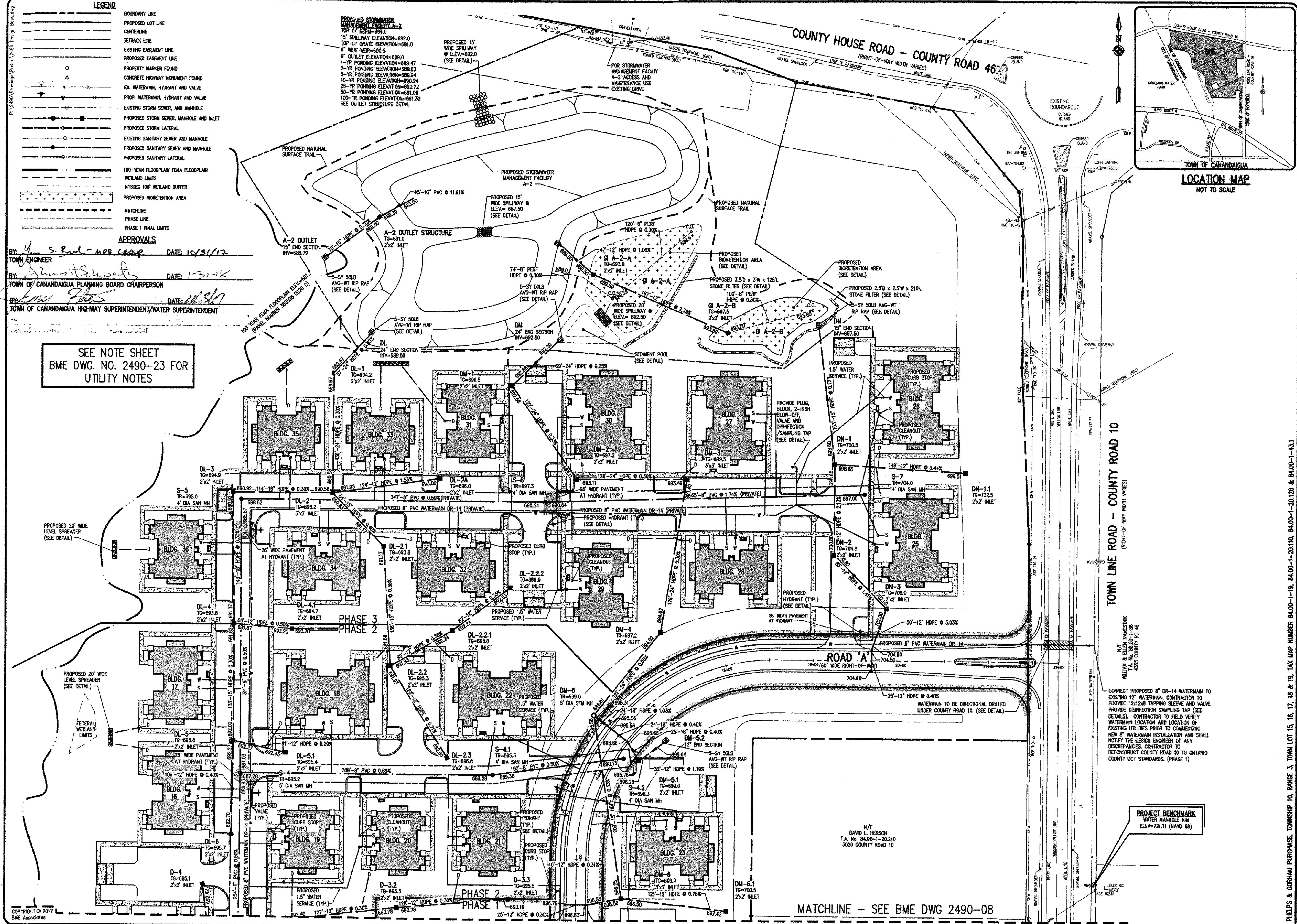
NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
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PHONE: 585-377-5860
FAX: 585-377-5265
10117 BURGESS LANE EAST
TOWN OF CANANDAIGUA, NY 14830
WWW.BME-CD.COM

NEW YORK STATE ENGINEER
DANIEL BOGOLJEVSKI
T.A. No. 85.03-1-451
LICENSED PROFESSIONAL

CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE DUNAGH GROUP
1950 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY SITE PLAN

PROJECT MANAGER: M. JANDA/P. VARS
PROJECT ENGINEER: M. BOGOLJEVSKI
DRAWN BY: Z. GREGG
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
DRAWING NO.: 06
(SHEET 3 OF 3)



- LEGEND**
- BOUNDARY LINE
 - PROPOSED LOT LINE
 - CENTERLINE
 - SETBACK LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - PROPERTY MARKER FOUND
 - CONCRETE HIGHWAY MONUMENT FOUND
 - EX. WATERMAIN, HYDRANT AND VALVE
 - PROPOSED WATERMAIN, HYDRANT AND VALVE
 - EXISTING STORM SEWER AND MANHOLE
 - PROPOSED STORM SEWER, MANHOLE AND INLET
 - PROPOSED STORM LATERAL
 - EXISTING SANITARY SEWER AND MANHOLE
 - PROPOSED SANITARY SEWER AND MANHOLE
 - PROPOSED SANITARY LATERAL
 - 100-YEAR FLOODPLAIN FEMA FLOODPLAIN
 - WETLAND LIMITS
 - NYSDEC 100' WETLAND BUFFER
 - PROPOSED BIOTRETION AREA
 - MATCHLINE
 - PHASE LINE
 - PHASE 1 FINAL LIMITS

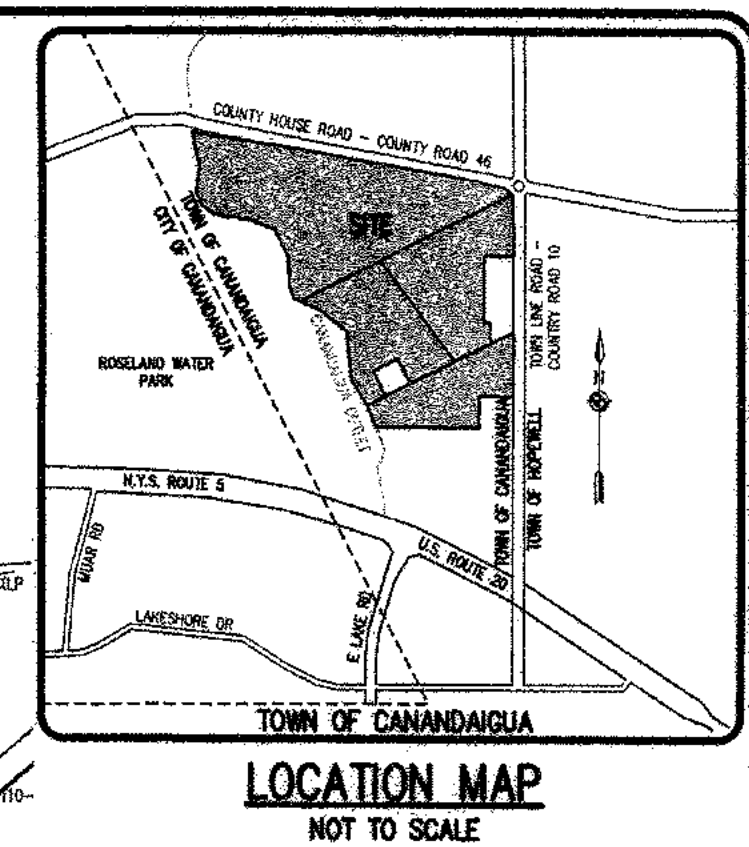
APPROVALS

BY: *[Signature]* DATE: 10/31/12
TOWN ENGINEER

BY: *[Signature]* DATE: 1/31/13
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

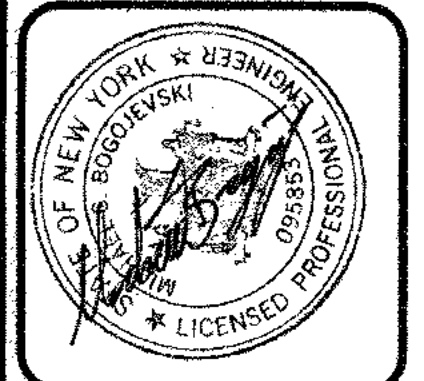
BY: *[Signature]* DATE: 11/3/17
TOWN OF CANANDAIGUA HIGHWAY SUPERINTENDENT/WATER SUPERINTENDENT

SEE NOTE SHEET
BME DWG. NO. 2490-23 FOR
UTILITY NOTES



NO.	DATE	BY	REVISIONS
1	12/1/12	MB	REVISED PER TOWN AND MRC COMMENTS
2	1/31/13	ZPC	REVISED PER TOWN AND MRC COMMENTS
3	6/5/17	MB	REVISED PER TOWN AND MRC COMMENTS
4	7/13/17	MB	REVISED PER TOWN AND MRC COMMENTS
5			
6			
7			

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FAIRPORT, NEW YORK 14450
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FAX: 516-377-7369
WWW.BMEPC.COM

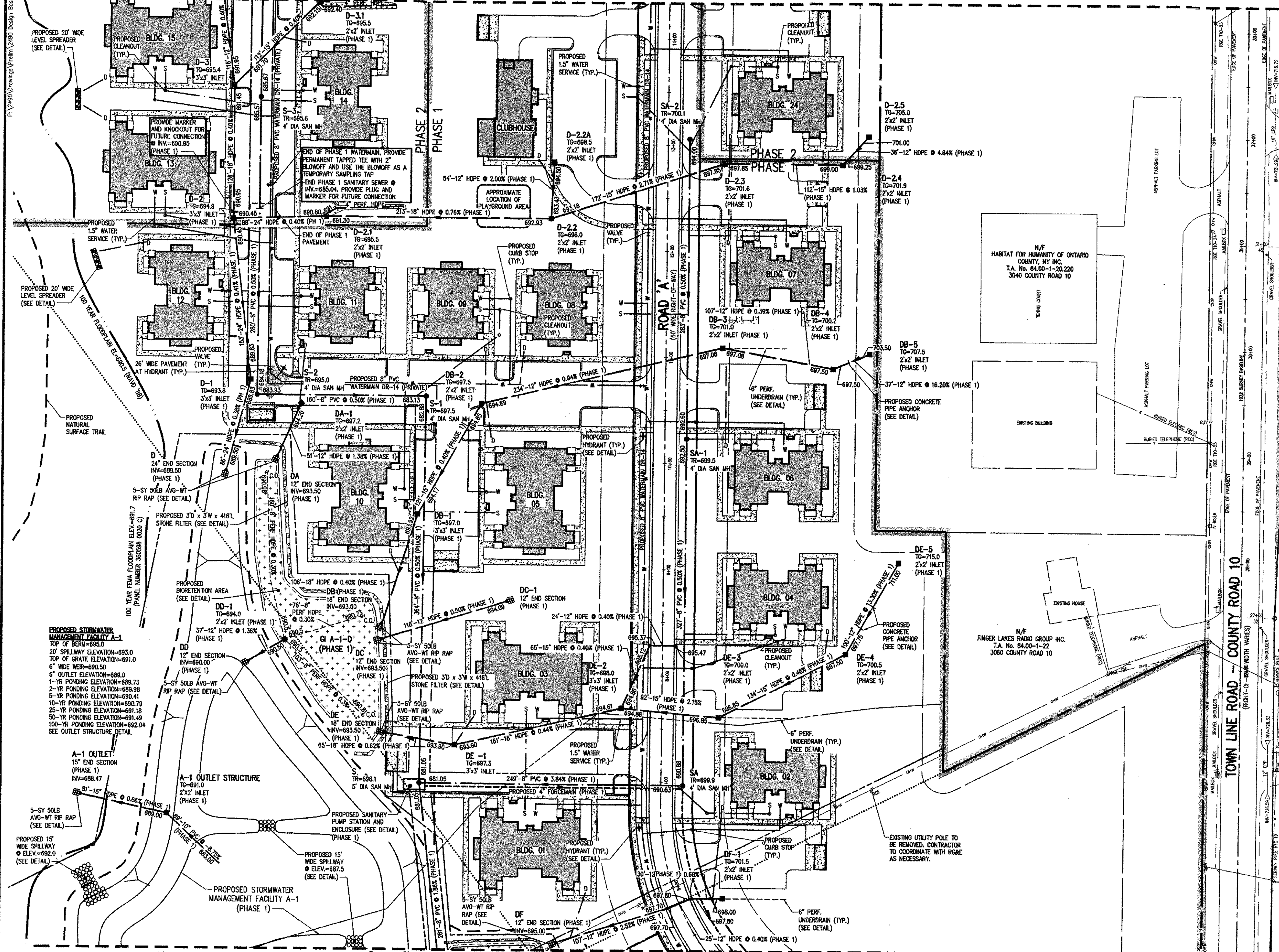


CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE CHARMER GROUP
1950 BUCKINGHAM ROAD
ROCHESTER, NEW YORK 14623

OVERALL PRELIMINARY UTILITY PLAN

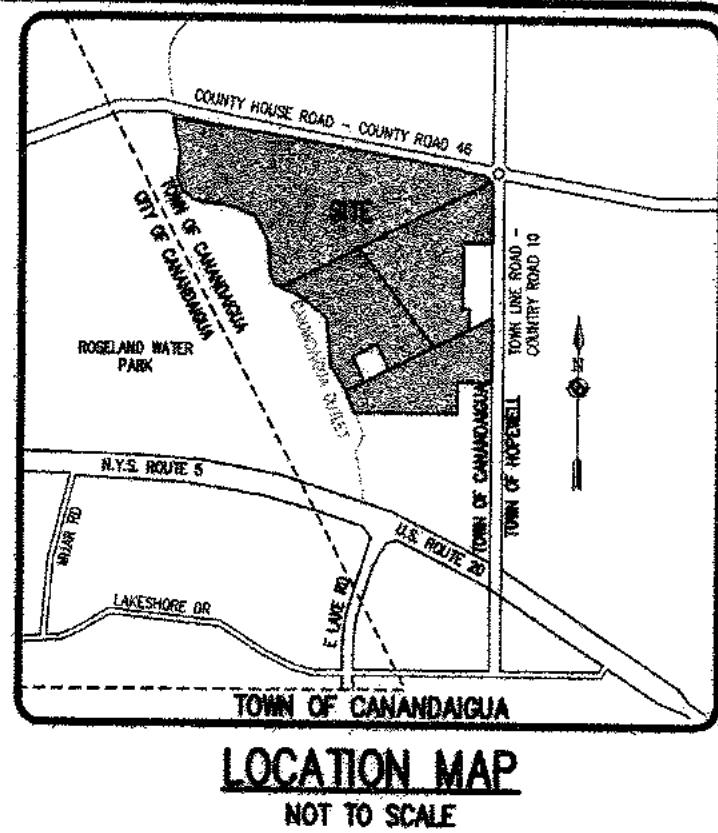
PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE CHARMER GROUP
PROJECT MANAGER: M. JANDA/R. VARS
PROJECT ENGINEER: M. BOGOSJEVSKI
DRAWN BY: R. GLITCH
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
DRAWING NO.: 07
(SHEET 1 OF 3)

MATCHLINE - SEE BME DWG 2490-07



MATCHLINE - SEE BME DWG 2490-09

SEE NOTE SHEET
BME DWG. NO. 2490-23 FOR
UTILITY NOTES



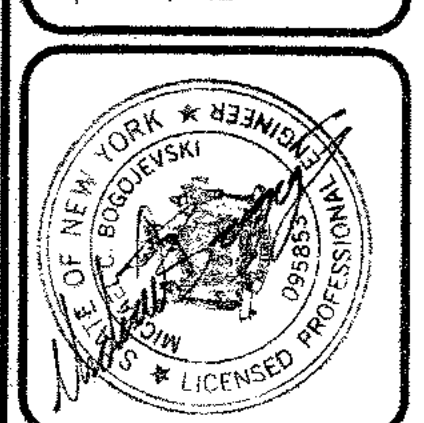
PHASE 1 STORM SEWER

PHASE 1 SANITARY SEWER

Drawing Attention
The following is an extract from the
New York State Education Law
Article 135 Section 2209 and applies to this
drawing:
"It is the duty of the board of education
to see that no person is employed as a
surveyor or land surveyor to do any
work in any way, if an item bearing the
seal of an engineer or land surveyor is
used, the drawing or plan is not valid
and the person who uses it is liable
by his signature and the date of such
alteration, and a specific description of
the alteration."

NO.	DATE	REVISIONS
1	7/15/17	REVISED PER PLANNING BOARD AND MRS COMMENTS
2	6/23/17	REVISED PER TOWN PLANNING BOARD COMMENTS
3	6/23/17	REVISED PER TOWN AND MRS COMMENTS
4	2/14/17	REVISED PER PRC MEETING

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WWW.BMEPCON.COM



**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE DIMARCO GROUP
1950 BRIGHTON RD.
ROCHESTER, NEW YORK 14625
OVERALL PRELIMINARY
UTILITY PLAN

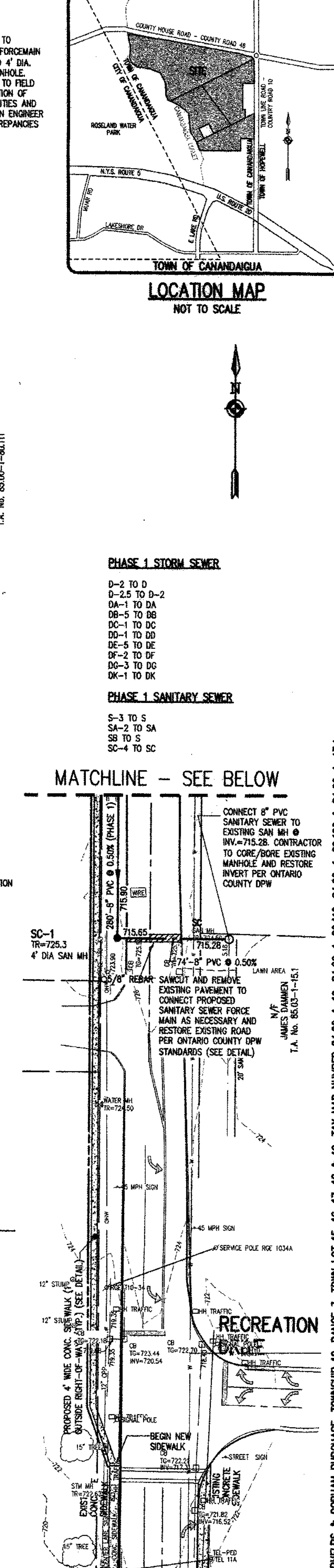
APPROVALS

BY: *[Signature]* DATE: 10/31/17
TOWN ENGINEER

BY: *[Signature]* DATE: 1-31-18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: *[Signature]* DATE: 11/8/17
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

PROJECT MANAGER
M. JANDA/P. VARS
PROJECT ENGINEER
M. BOGOSJEVSKI
DRAWN BY
R. GLITCH
SCALE
1"=50'
DATE ISSUED
FEBRUARY 2017
PROJECT NO.
2490
DRAWING NO.
08
(SHEET 2 OF 3)



PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER			
M. JANDA/P. VARS			
PROJECT ENGINEER			
M. BOSQUEVSKI			
DRAWN BY			
R. GLITCH			
SCALE		DATE ISSUED	
1"=50'		FEBRUARY 2017	
PROJECT NO.			
2490			
DRAWING NO.			
09			
(SHEET 3 OF 3)			

LEGEND

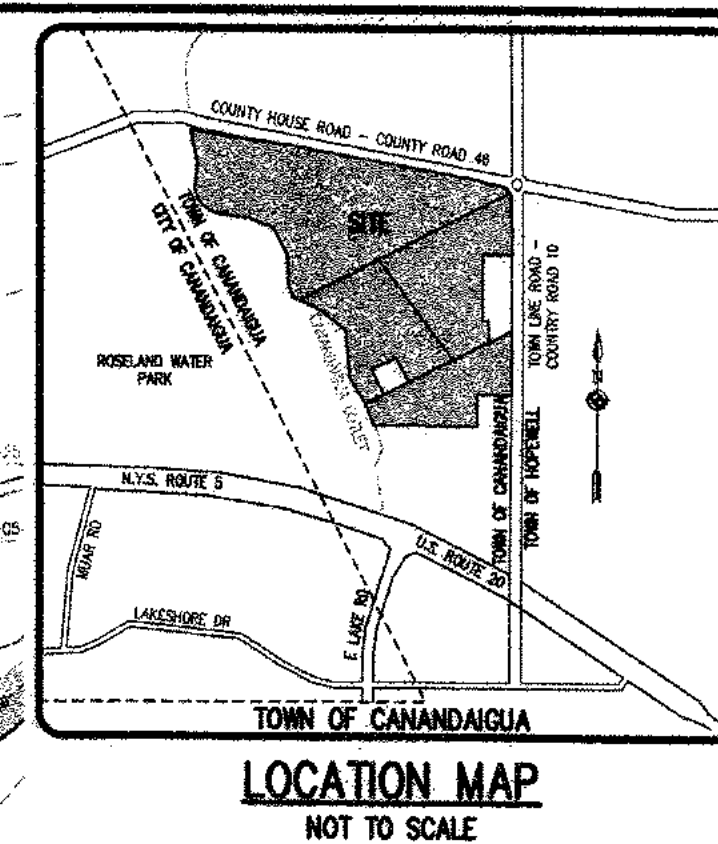
BOUNDARY LINE	PROPOSED LOT LINE
CENTERLINE	SETBACK LINE
PROPERTY MARKER FOUND	CONCRETE HIGHWAY MONUMENT FOUND
WOOD FENCE POST FOUND	EX. WATERMAIN, HYDRANT AND VALVE
EX. WATERMAIN, HYDRANT AND VALVE	PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE	PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE	PROPOSED SANITARY SEWER AND MANHOLE
EXISTING TREE LINE	PROPOSED TREE LINE
EXISTING CONTOUR	PROPOSED CONTOUR
PROPOSED SPOT ELEVATION	PROPOSED FINISHED GRADE
100-YEAR FLOODPLAIN FEMA FLOODPLAIN	WETLAND LIMITS
HYSDOC 100' WETLAND BUFFER	PROPOSED BIOTENTION AREA
MATCHLINE	PHASE LINE
PHASE 1 FINAL LIMITS	

APPROVALS

BY: *[Signature]* DATE: 10/31/17
TOWN ENGINEER
BY: *[Signature]* DATE: 1-3-18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON
BY: *[Signature]* DATE: 1/3/18
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

PROPOSED STORMWATER
MANAGEMENT FACILITY A-2
TOP OF BENCH=695.0
15' SPILLWAY ELEVATION=695.0
TOP OF GRATE ELEVATION=691.0
6" WIDE WEIR=690.5
OUTLET ELEVATION=689.0
1-YR PONDING ELEVATION=689.47
2-YR PONDING ELEVATION=689.63
5-YR PONDING ELEVATION=689.84
10-YR PONDING ELEVATION=690.24
25-YR PONDING ELEVATION=690.72
50-YR PONDING ELEVATION=691.46
100-YR PONDING ELEVATION=691.32
SEE OUTLET STRUCTURE DETAIL

COUNTY HOUSE ROAD - COUNTY ROAD 46
(RIGHT-OF-WAY WIDTH VARIES)



SEE NOTE SHEET
BME DWG. NO. 2490-23 FOR
GRADING NOTES

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 JEFFERSON LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7460
FAX 585-377-7399
WWW.BMEPC.COM



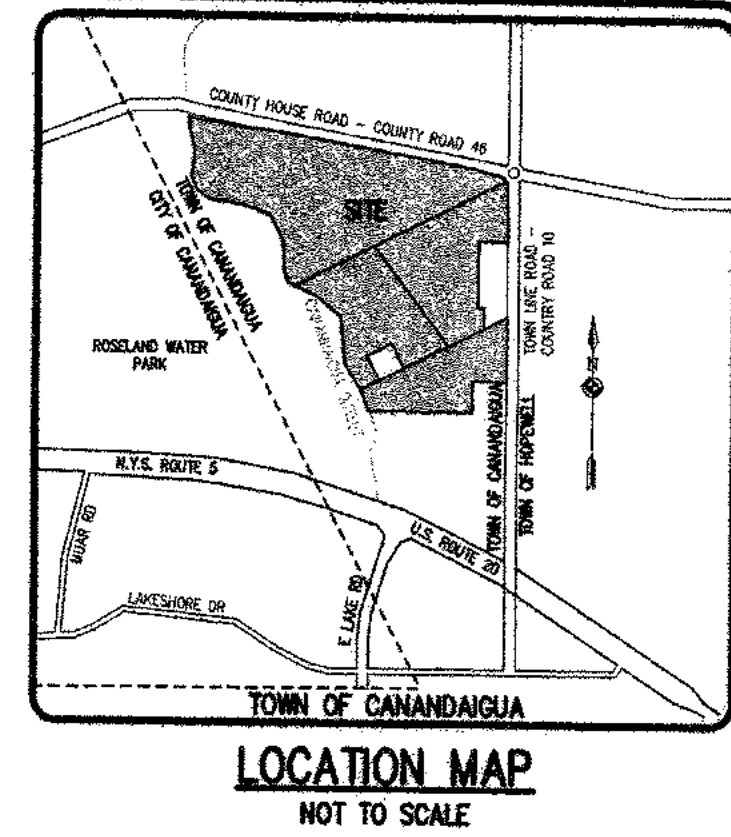
**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE DIMARCO GROUP
1850 BROOKFIELD AVE
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
GRADING PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE DIMARCO GROUP
1850 BROOKFIELD AVE
ROCHESTER, NEW YORK 14623
DRAWING TITLE: OVERALL PRELIMINARY GRADING PLAN
PROJECT NO.: 2490
DRAWING NO.: 10
(SHEET 1 OF 3)

PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-19, 84.00-1-20, 84.00-1-20.10 & 84.00-1-43.1



SEE NOTE SHEET
BME DWG. NO. 2490-23 FOR
GRADING NOTES



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 160, Section 7209 and applies to the following:

It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing or any plan or any item bearing the signature of an engineer or land surveyor or alter the drawing, engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

		DATE	BY
1	REVISED PER PRC MEETING	2/14/17	PRC
2	REVISED PER TOWN AND MIB COMMENTS	6/5/17	MIB
3	REVISED PER TOWN PLANNING BOARD COMMENTS	6/23/17	PRC
4	REVISED PER PLANNING BOARD AND MIB COMMENTS	7/13/17	MIB
5			
6			

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10 LIET BRIDGE LANE EAST
FAIRPORT, NEW YORK 11460
WWW.BMEPCOM

PHONE 516-377-7360
FAX 516-577-7309



TOWN OF CANADAMAGUA, ONTARIO COUNTY, NEW YORK STATE
WOODLAND PARK
 THE DIMARCO GROUP
 1950 BRIGHTON HENRIETTA TOWN LINE ROAD
 ROCHESTER, NEW YORK 14623
 OVERALL PRELIMINARY
GRADING PLAN

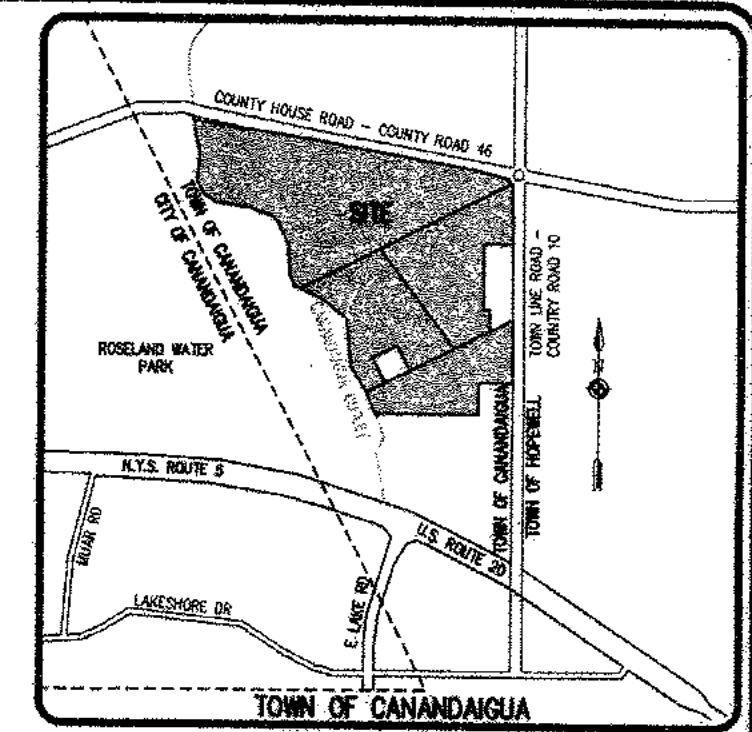
CT MANAGER	
IDA/P. VARS	
CT ENGINEER	
GOJEVSKI	
BY	
ICH	
DATE ISSUED	
FEBRUARY 2017	
CT NO.	
2490	
IG NO.	

11

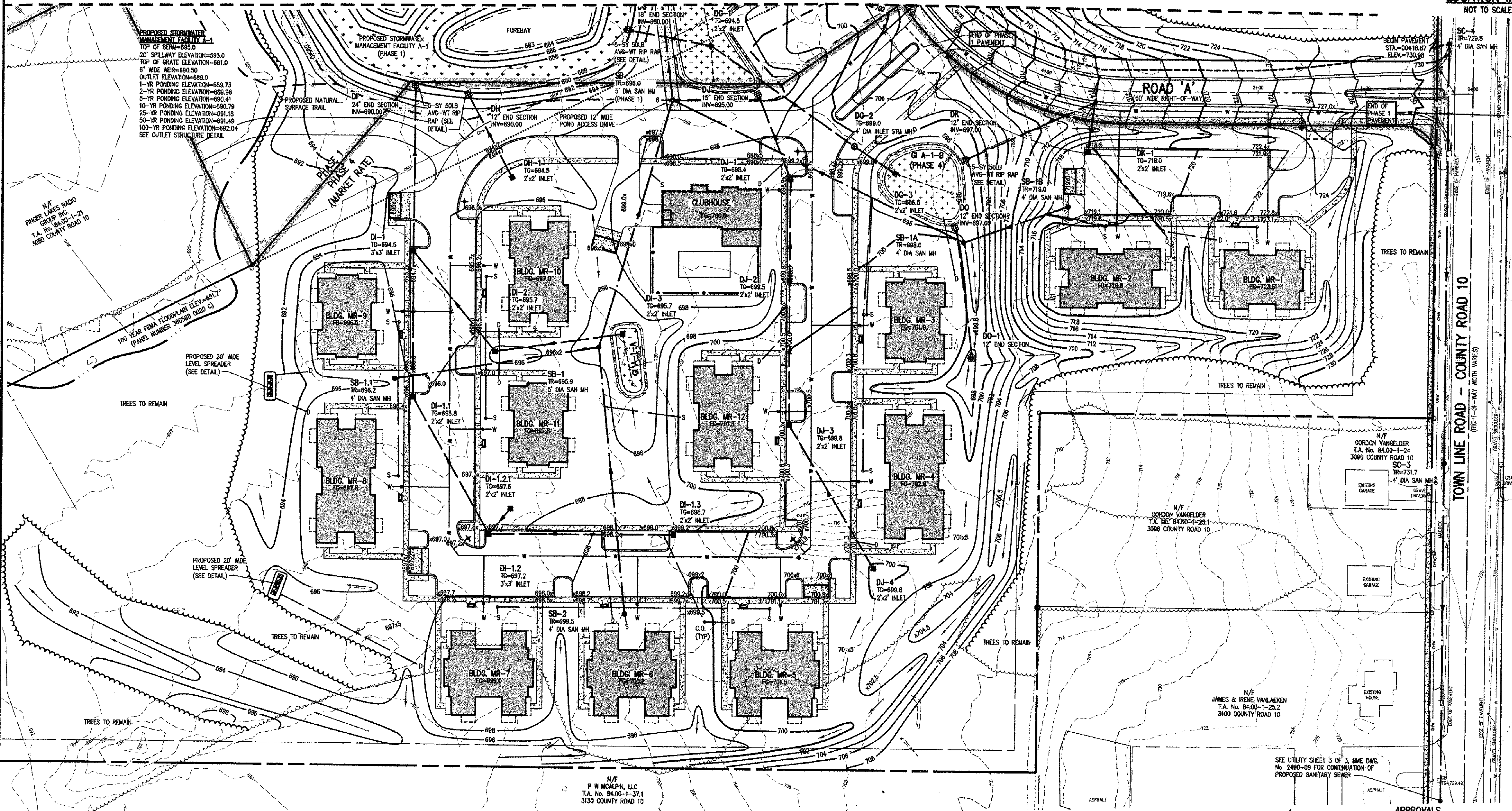
LEGEND

	BOUNDARY LINE		EXISTING TREE LINE
	PROPOSED LOT LINE		PROPOSED TREE LINE
	CENTERLINE		EXISTING CONTOUR
	SETBACK LINE		PROPOSED CONTOUR
	PROPERTY MARKER FOUND		PROPOSED SPOT ELEVATION
	CONCRETE HIGHWAY MONUMENT FOUND		PROPOSED FINISHED GRADE
	WOOD FENCE POST FOUND		100-YEAR FLOODPLAIN FEMA FLOODPLAIN
	EX. WATERMAIN, HYDRANT AND VALVE		WETLAND LIMITS
	PROP. WATERMAIN, HYDRANT AND VALVE		NYSDOT 100' WETLAND BUFFER
	EXISTING STORM SEWER AND MANHOLE		PROPOSED BIOTENTION AREA
	PROPOSED STORM SEWER, MANHOLE AND INLET		MATCHLINE
	EXISTING SANITARY SEWER AND MANHOLE		PHASE LINE
	PROPOSED SANITARY SEWER AND MANHOLE		PHASE 1 FINAL LIMITS

MATCHLINE - SEE BME DWG 2490-11



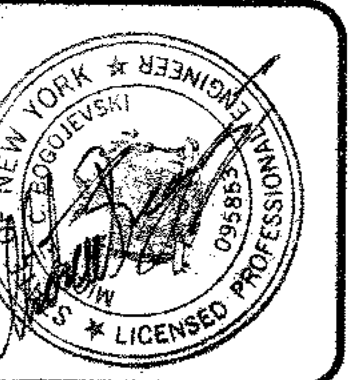
LOCATION MAP
NOT TO SCALE



Drawing Attention
The following is an extract from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the drawing and/or plan and the seal of the engineer or land surveyor shall be deemed to be altered by the signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
1	2/14/17	MB	REVISED PER TOWN AND MB COMMENTS
2	6/23/17	MB	REVISED PER TOWN AND MB COMMENTS
3	7/15/17	MB	REVISED PER PLANNING BOARD AND MB COMMENTS
4			
5			
6			
7			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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ROCHESTER, NEW YORK 14609
PHONE: 585.977.7040
FAX: 585.977.7309
WWW.BMEPC.COM



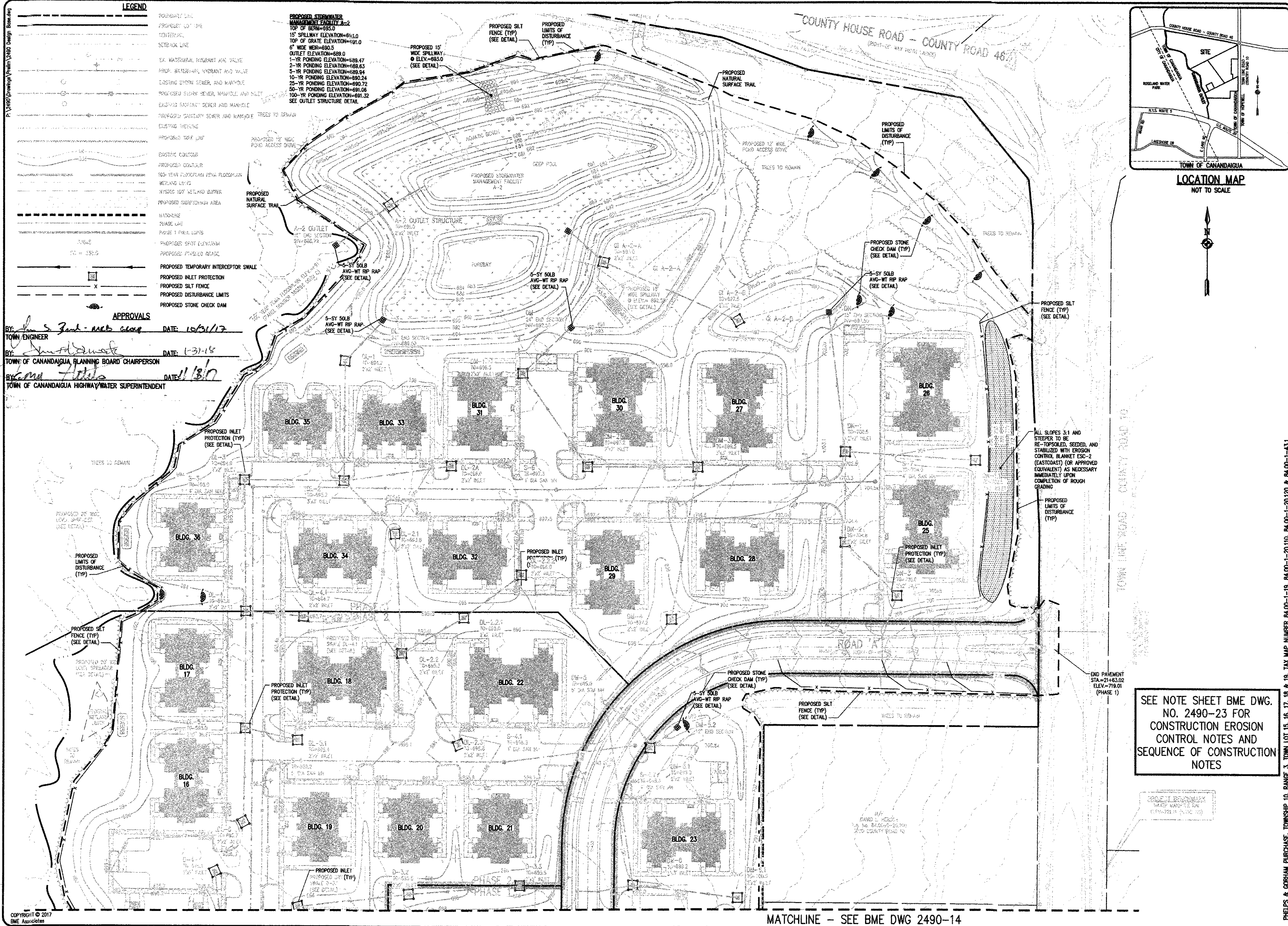
CREEKVIEW APARTMENTS AT WOODLAND PARK
PROJECT
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE DIMARCO GROUP, 1850 BRISTOL TOWN LINE ROAD, ROCHESTER, NEW YORK 14625
OVERALL PRELIMINARY GRADING PLAN

PROJECT MANAGER: M. JANDA/P. VARS
PROJECT ENGINEER: M. BOGOSJEVSKI
DRAWN BY: R. GLITCH
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
DRAWING NO.: 12
(SHEET 3 OF 3)

SEE NOTE SHEET
BME DWG. NO. 2490-23 FOR
GRADING NOTES

SEE UTILITY SHEET 3 OF 3, BME DWG. NO. 2490-09 FOR CONTINUATION OF PROPOSED SANITARY SEWER

APPROVALS
BY: *[Signature]* DATE: 10/31/17
TOWN ENGINEER
BY: *[Signature]* DATE: 1-31-18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON
BY: *[Signature]* DATE: 11/3/17
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

[illegible]

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ENGINEERS • SURVIVORS • LANDSCAPE ARCHITECTS



PROJECT	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	TOWN OF CANNADAGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT	THE DIMARCO GROUP 1950 WEST 10TH AVENUE ROAD ROCHESTER, NEW YORK 14625
DRAWING TITLE	OVERALL PRELIMINARY CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER	
M. JANDA/P. VARS	
PROJECT ENGINEER	
M. BOGOJEVSKI	
DRAWN BY	
R. GUTCH	
SCALE	DATE ISSUED
1"=50'	FEBRUARY 1977
PROJECT NO.	
2490	
DRAWING NO.	
13	
(SHEET 1 OF 3)	

BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
WOOD FENCE POST FOUND
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
EXISTING TREELINE
PROPOSED TREE LINE

Diagram illustrating the proposed wetland restoration project layout, showing various limits and features:

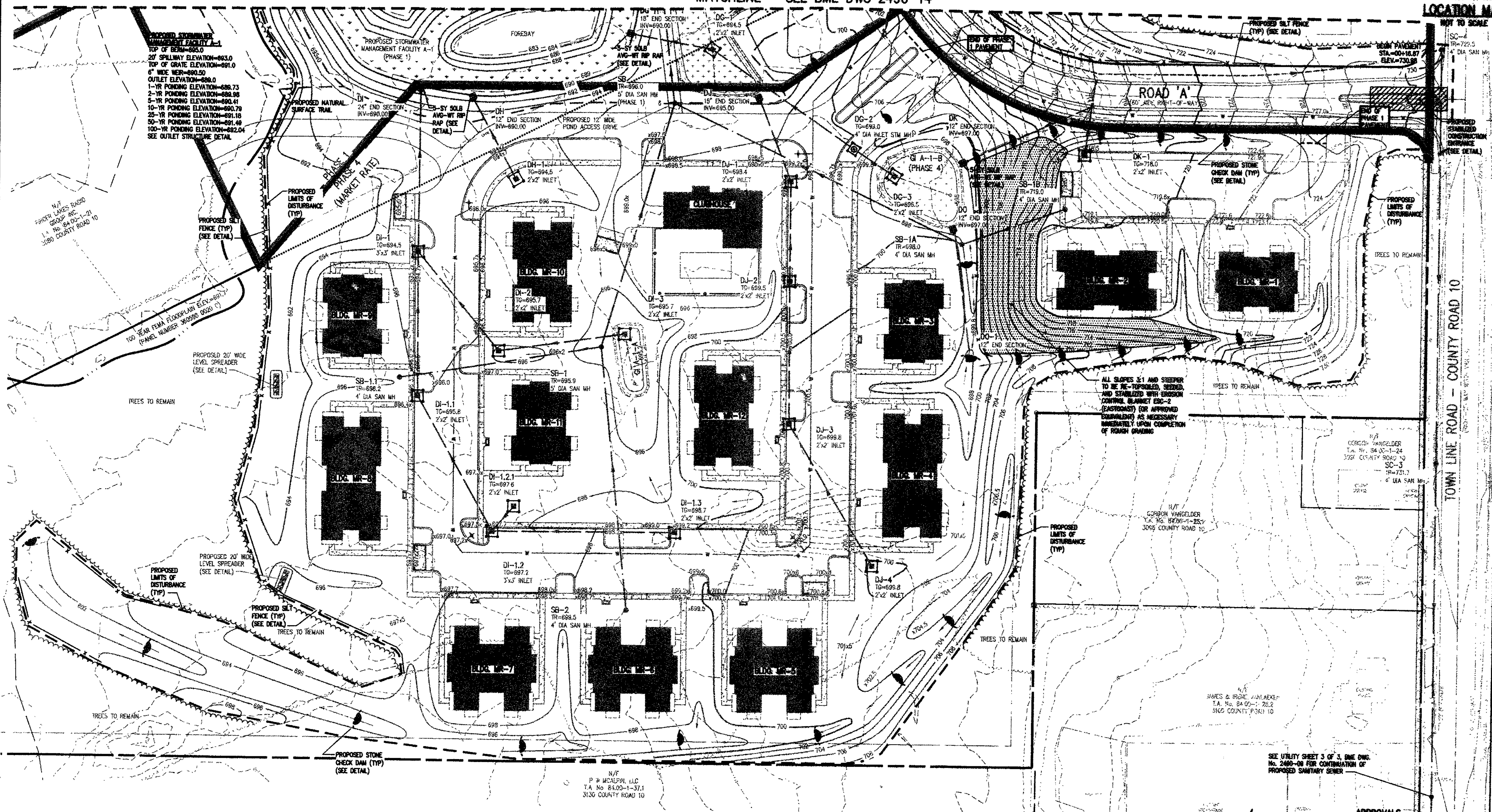
- PHASE 1 FINAL LIMITS
- 100-YEAR FLOODPLAIN FEMA 1
- WETLAND LIMITS
- HYSDCC 100' WETLAND BUFFER
- PROPOSED BIOPREVENTION AREA
- WATCHLINE
- PHASE LINE
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED TEMPORARY INTERIOR SPURLE
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED DISTURBANCE LIMITS
- PROPOSED STONE CHECK DAM

Additional labels and dimensions shown in the diagram:

- 336.5
- FG = 338.0
- X

PHASE 1 FINAL LIMITS
100-YEAR FLOODPLAIN FEMA FLOODPLAIN
WETLAND LIMITS
HYSDOC 100' WETLAND BUFFER
PROPOSED BORENTRENTION AREA
MATCHLINE
PHASE LINE
PROPOSED SPOT ELEVATION
PROPOSED FINISHED GRADE
PROPOSED TEMPORARY
INTERCEPT SWALE
PROPOSED INLET
PROTECTION
PROPOSED SILT FENCE
PROPOSED DISTURBANCE
LIMITS
PROPOSED STONE CHECK

MATCHLINE - SEE BME DWG 2490-14



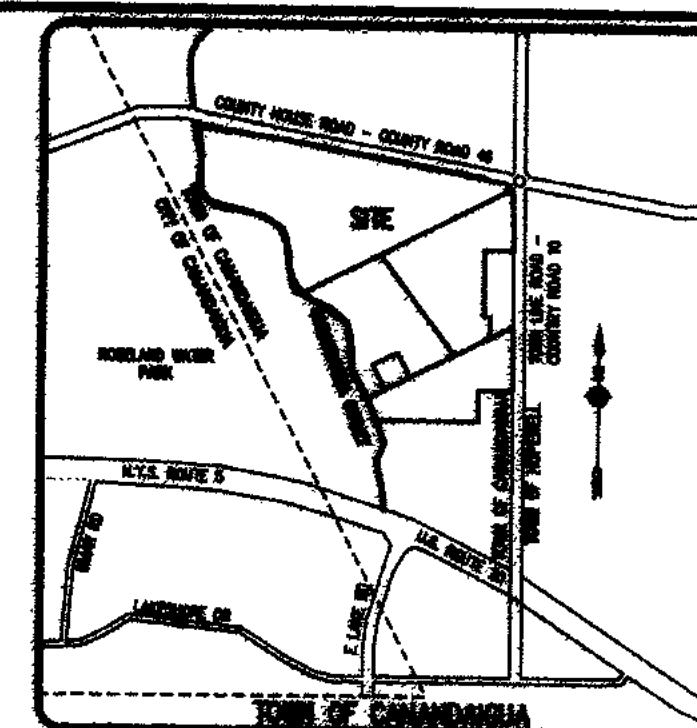
SEE NOTE SHEET BME DWG. NO.
2490-23 FOR CONSTRUCTION EROSION
CONTROL NOTES AND SEQUENCE OF
CONSTRUCTION NOTES

APPROVALS

BY: *[Signature]* DATE: *10/11/17*
TOWNSHIP ENGINEER

BY: *[Signature]* DATE: *13/1/18*
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: *[Signature]* DATE: *11/18/17*
TOWN OF CANANDAIGUA HIGHWAY WATER SUPERINTENDENT



Drawing Attention

The following is an excerpt from the New York State Education Law Article 145 Section 7208 and applies to this drawing.

"It is a violation of this law for any person, whether he is acting under the direction of a licensed professional engineer or land surveyor to either: an) assist in any way, if on item bearing seal of an engineer or land surveyor attached, the drawing engineer or land surveyor shall affix to the item his or her the notation 'drawn by' followed by his signature and the date of use of drawing, and a specific description of the drawing."

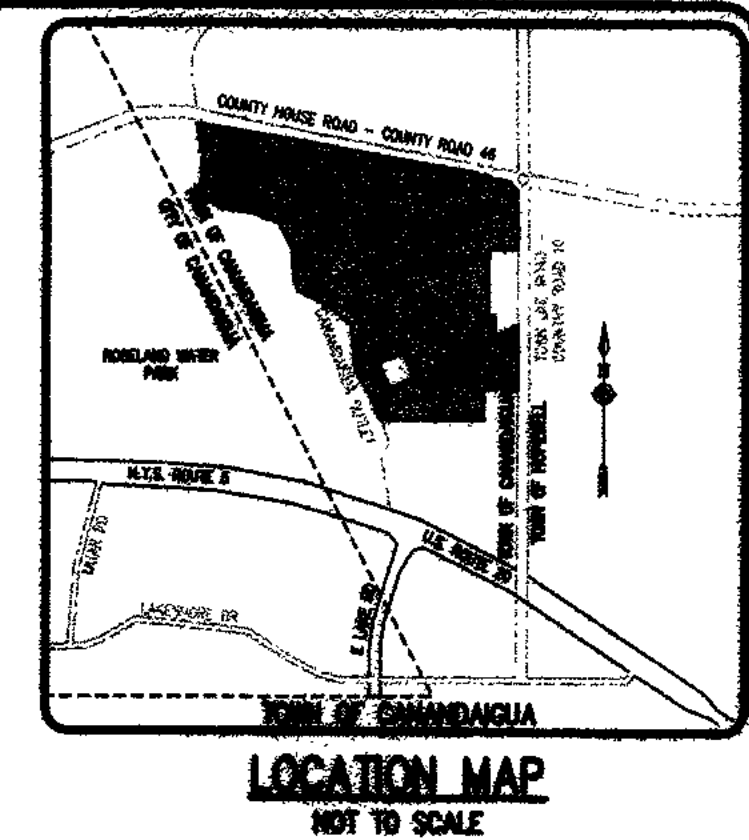
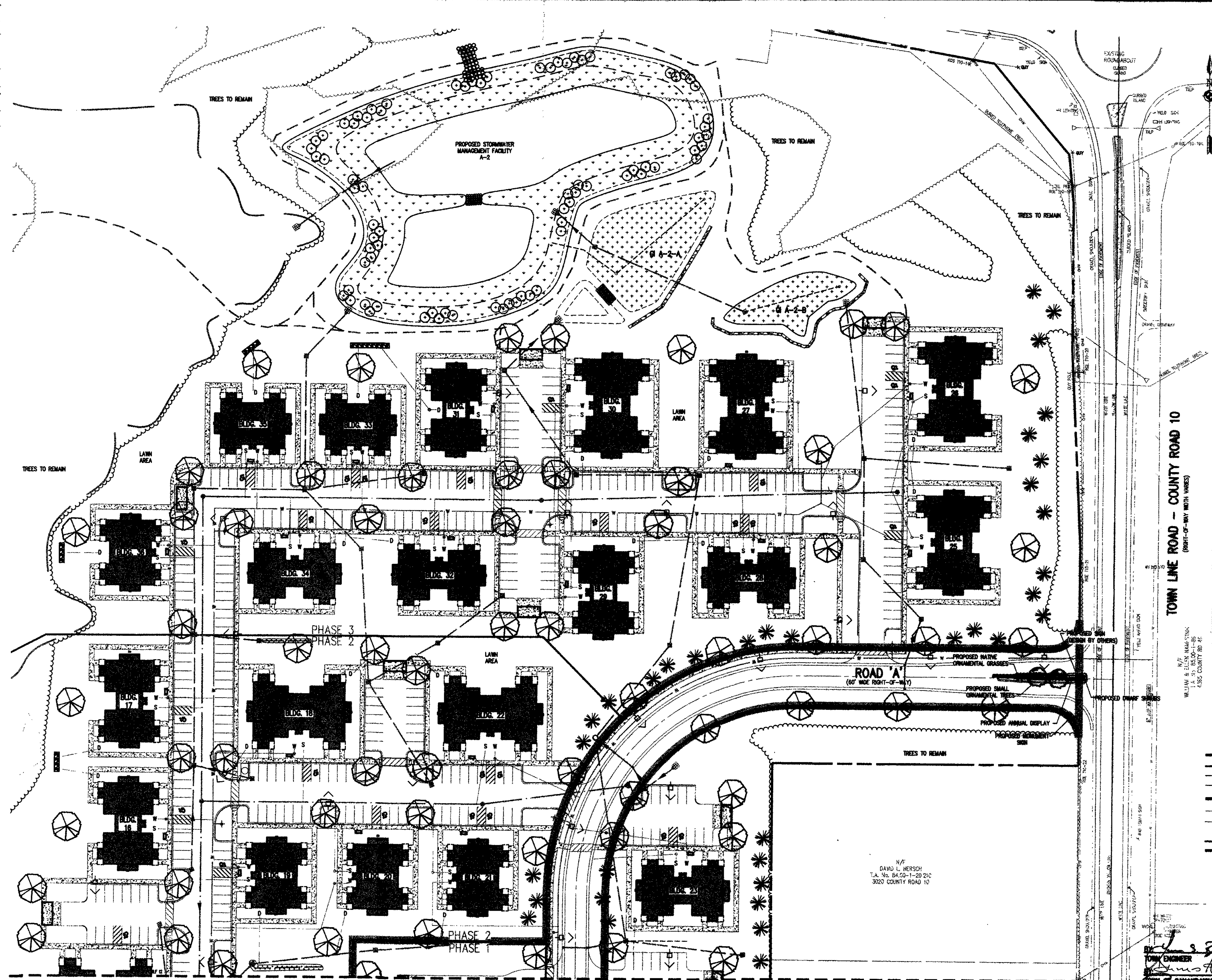
7							
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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS



**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
IN THE TOWN OF CANTON, CANTON TOWNSHIP, CANTON COUNTY, NEW YORK STATE
THE TOWN OF CANTON, CANTON TOWNSHIP, CANTON COUNTY, NEW YORK STATE
1960 BRIGHTON HENNETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
CONSTRUCTION EROSION
CONTROL PLAN

PROJECT MANAGER
M. JANDA/P. VARS
PROJECT ENGINEER
M. BOGOJEWSKI
DRAWN BY
R. GLITCH
SCALE
1"=50'
PROJECT NO.
24
DRAWING NO.



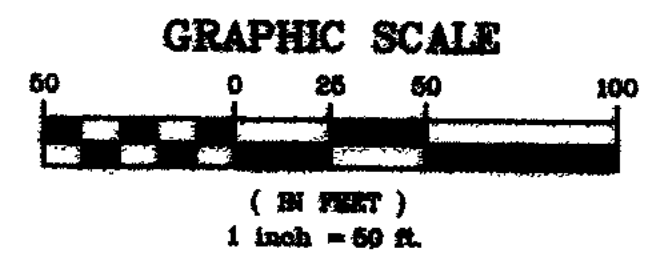
- PLANT KEY**
- SHADE TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - LARGE DEC. SHRUBS
 - PERENNIAL GRASS

SEE BME DRAWING #2490-17 FOR PHOSPHOROUS NOTES

SEE BME DRAWING #2490-17 FOR LANDSCAPE NOTES AND PLANT MATERIAL SPECIES LIST

SEE BME DRAWING #2490-19 FOR FOUNDATION PLANTING PLAN

SEE BME DRAWING #2490-18 FOR PLANTING DETAILS



- LEGEND**
- BOUNDARY LINE
 - PROPOSED LOT LINE
 - CENTERLINE
 - SETBACK LINE
 - 100-YEAR FLOODPLAIN
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - PROPERTY MARKER FOUND
 - PHASE LINE
 - MATCH LINE

TOWN LINE ROAD - COUNTY ROAD 10
(RIGHT-OF-WAY WITH VARIES)

N/E
DAVID L. HERSH
T.A. No. 94-00-1-20-210
3020 COUNTY ROAD 10

APPROVALS

DATE: 10/24/17

DATE: 1-31-18

DATE: 11/8/17

ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-577-7240
FAX 585-577-7289
WWW.BMEPCOM

REGISTERED LANDSCAPE ARCHITECT
NEW YORK
001814

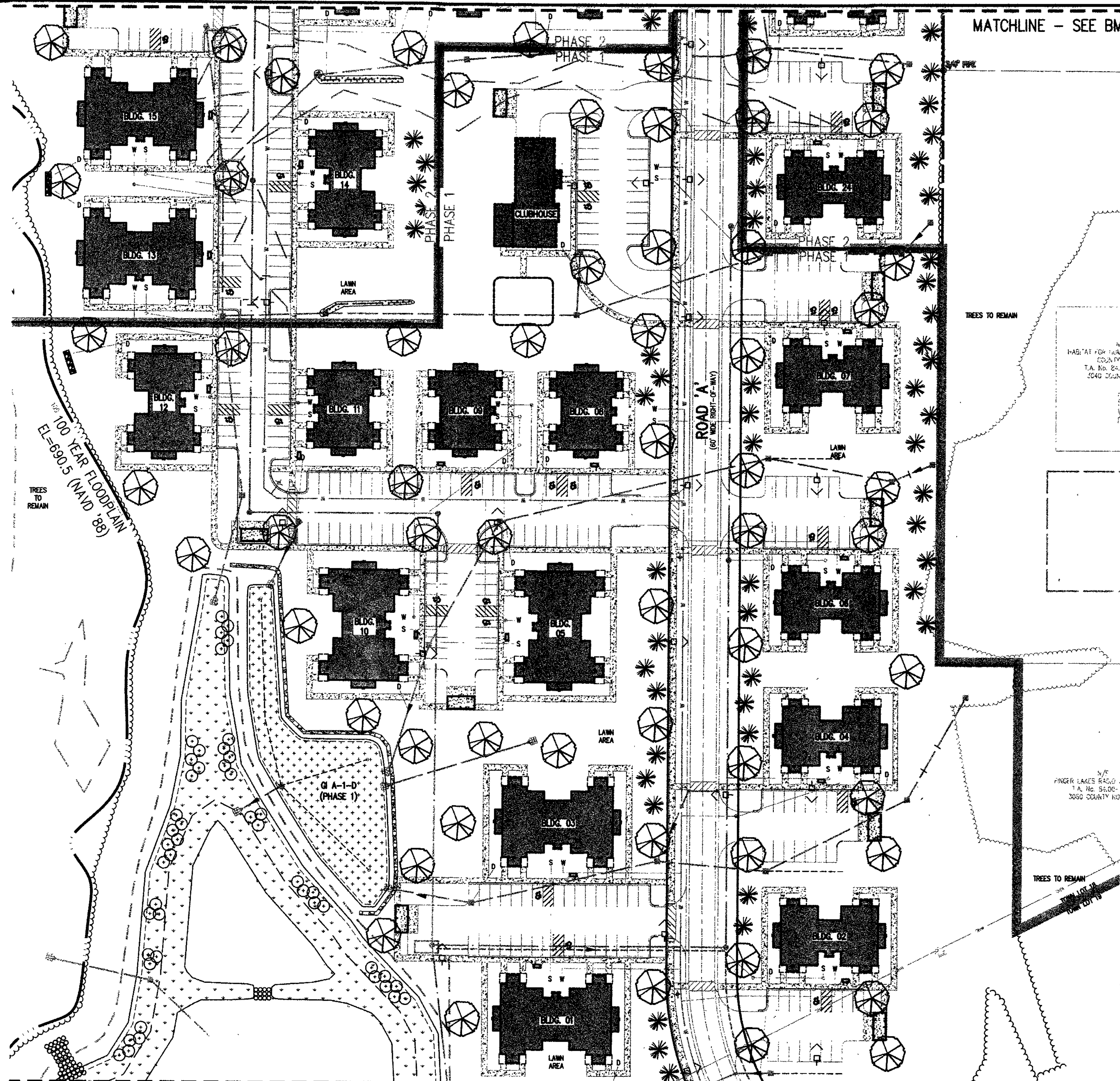
CREEKVIEW APARTMENTS AT WOOLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE CHARTER GROUP
1950 BRISTOL HERBERTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

OVERALL PRELIMINARY LANDSCAPE PLAN

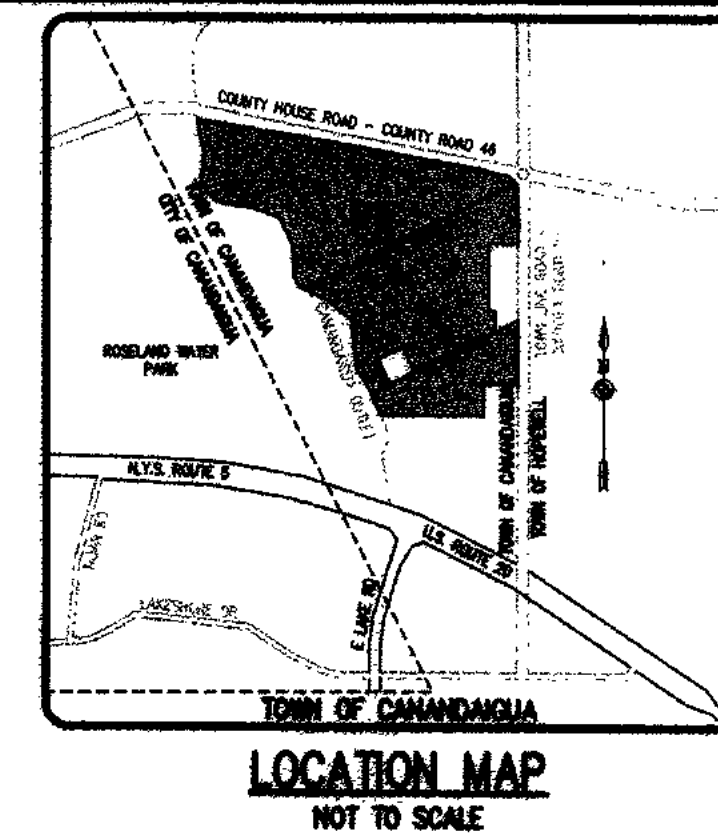
PROJECT MANAGER
M. JANDA/P. VARS
PROJECT ENGINEER
M. BODZEVSKI
DRAWN BY
L. ROCKCASTLE
SCALE
1"=50'
DATE ISSUED
FEBRUARY 2017
PROJECT NO.
2490
DRAWING NO.
16
(SHEET 1 OF 3)

REVISIONS

NO.	DATE	BY	REVISIONS
1	2/14/17	RC	REVISED PER PRC MEETING
2	2/14/17	RC	REVISED PER PRC MEETING
3	6/23/17	LJR	REVISED PER TOWN PLANNING BOARD COMMENTS
4	7/13/17	MB	REVISED PER PLANNING BOARD AND INFO GROUP COMMENTS



MATCHLINE - SEE BME DWG 2490-16



Drawing Attention

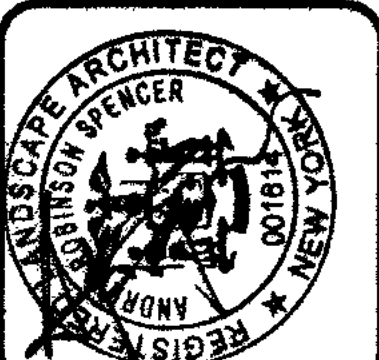
The following is an excerpt from the New York State Education Law Article 146 Section 7208 and applies to the drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to either or them in any way, if on them bearing seal of an engineer or land surveyor obtained, the affixing engineer or land surveyor shall file to the firm his or her and the notation 'drawn by' followed by his signature and the date of said signature and a specific description of the drawing."

7					
6					
5					
4					
3	RENSED PER PLANNING BOARD AND MRS GROUP COMMENTS	7/13/17	MCB		
2	RENSED PER TOWN PLANNING BOARD COMMENTS	6/22/17	LAR		
1	RENSED PER TOWN AND MRS COMMENTS	6/5/17	LUR		
	RENSED PER PRC MEETING	2/14/17	RRS		
	REVISIONS	DATE	BY		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 11460
PHONE 562-377-7560
FAX 562-377-7369
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**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANADAPURG, ONTARIO COUNTY, NEW YORK STATE

THE DIMARCO GROUP
1650 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

**OVERALL PRELIMINARY
LANDSCAPE PLAN**

PROJECT	LOCATION	CLIENT	DRAWING TITLE
---------	----------	--------	---------------

PROJECT MANAGER
M. JANDA/P. VARS
PROJECT ENGINEER
M. BOGOWEJSKI
DRAWN BY
L. ROCKCASTLE
SCALE DATE ISSUED
1"=50' FEBRUARY 2017
PROJECT NO.

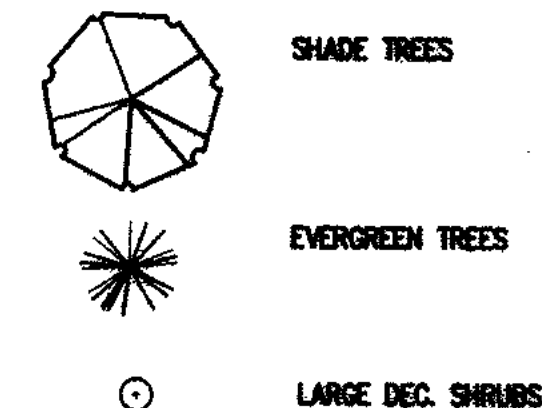
2490

DRAWING NO.

17
(SHEET 2 OF 3)

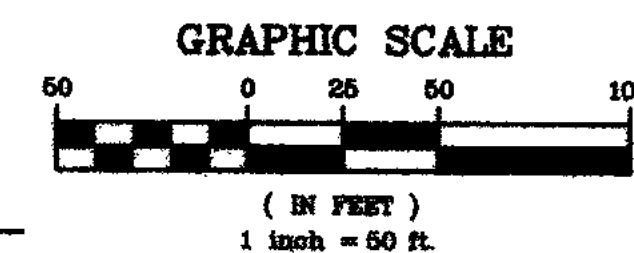
- PHOSPHOROUS NOTES:**
1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.
- LANDSCAPE NOTES:**
1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 4. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
 5. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
 6. PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
 7. STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
 8. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FLOWINGS: 100 % SHREPPED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
 9. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
- | | % BY WEIGHT | % BY PURITY | % GERMIN |
|--------------------------------------|-------------|-------------|----------|
| "DEPEL", "CITATION" & "MORNING STAR" | | | |
| PERENNIAL RYE GRASS | 40 | 85 | 85 |
| "JAMESTOWN", "FORTRESS", "ENSLAVA" | | | |
| RED FESCUE | 20 | 97 | 80 |
| "BARON" & "MIDNIGHT" | | | |
| KENTUCKY BLUEGRASS | 40 | 85 | 80 |
- SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT 20 TONS PER ACRE, OR WOOD FIBER MULCH
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
- PLEASE REFER TO BME DRAWING # 2490-23 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS E. : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.
10. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STATEMENT OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE.
 12. A MINIMUM 1 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.
 13. UNLESS OTHERWISE SPECIFIED BY THE PARKS AND RECREATION DEPARTMENT, ALL DECIDUOUS TREE SPECIES AND THEIR CULTIVARS AND VARIETIES, SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERMEN STANDARDS AND BE AT LEAST TWO TO FOUR INCHES DBH, SIX INCHES ABOVE GROUND LEVEL, AND AT LEAST EIGHTY TO 100 FEET IN HEIGHT WHEN PLANTED.

PLANT KEY



SEE BME DRAWING #2490-19 FOR
FOUNDATION PLANTING PLAN

SEE BME DRAWING #2490-18 FOR
PLANTING DETAILS



LEGEND

- BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
100-YEAR FLOODPLAIN
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
PHASE LINE
MATCH LINE

PROPOSED PLANT SPECIES

TREES (LARGE SHADE)	
Acer rubrum	Red Maple
Acer freemanii	Freeman Maple
Gleditsia triacanthos	Honey Locust
Liquidambar styraciflua	Sweet Gum
Liriodendron tulipifera	Tulip Poplar
Nyssa sylvatica	Black Gum
Platanus occidentalis	American Sycamore
Quercus macrophylla	Swamp White Oak
Tilia cordata	Little Leaf Linden
Zelkova serrata	Japanese Zelkova

TREES (EVERGREEN)

Abies concolor	Concolor Fir
Picea Glauca	White Spruce
Picea mariana	Black Spruce
Pinus resinosa	Red Pine
Pinus strobus	White Pine

TREES (ORNAMENTAL)

Amelanchier x grandiflora "Autumn Brilliance"	Serviceberry
Cataegus crus-galli	Thornless Hawthorne
Malus sp. "Prairifire"	"Prairifire" Crabapple

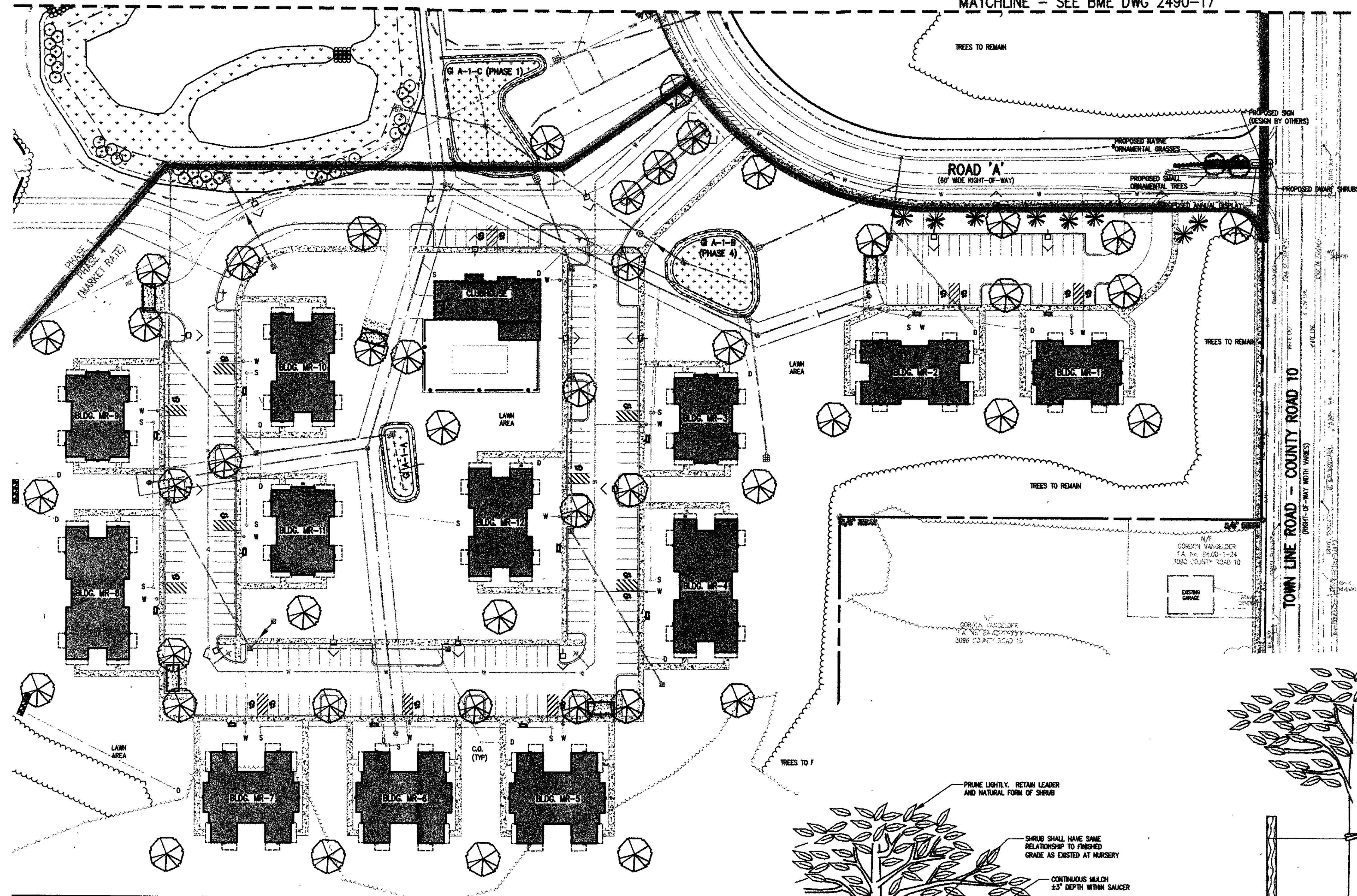
SHRUBS AND GRASSES

<i>Juniperus horizontalis</i>	Creeping Juniper
<i>Rhus aromatica</i> gro-low	Gro-Low Sumac
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Schizachyrium scoparium</i>	Little Blue Stem
<i>Sorabolus heterolais</i>	Prairie Dropseed

SEED MIX LEGEND:

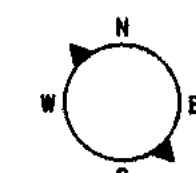
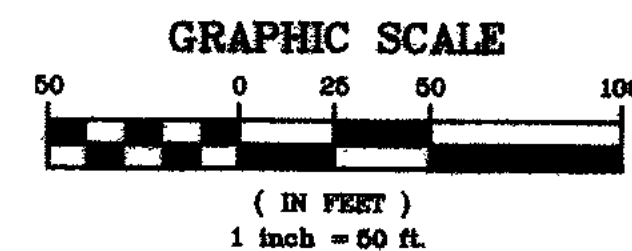
-  **GREEN INFRASTRUCTURE MIX;**
Mix of Sheeps Fescue, Creeping Red Fescue and Hard Fescue, or approved no-mow Fescue mix. This area is only to be mowed once or twice a year. Contractor to provide seed mix details to engineer for review and approval prior to installation.
-  **STORMWATER MANAGEMENT POND MIX;**
OGL Wetland Mix; Ernst Conservation Seeds (ERNMX-131); (to be seeded to an elevation 4' above normal ponding level)
Seeding Rate: 15 LBS/AC. or $\frac{1}{3}$ LB - $\frac{2}{3}$ LB/1,000 SF.
*Seeding between elevation 689.00 and 693.00.
- Mulch: Straw or wood fiber mulch used with hydroseeding method, specified at two (2) tons/AC with tackifier as specified.

MATCHLINE - SEE BME DWG 2490-17



PLANT KEY

- SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- LARGE DEC. SHRUBS
- PERENNIAL GRASS



STAKING DETAIL

STAKES TO BE LOCATED NORTHWEST TO SOUTHEAST UNLESS TREES ARE ON EAST SIDE OF BLDG. IN THIS CASE STAKE NORTH TO SOUTH.

PRUNE AS SPECIFIED. DO NOT PRUNE TERMINAL LEADER

1/2" DIA. MIN. RUBBER HOSE

2 STRANDS #8 GAGE GALV. STEEL WIRE, TWIST TO TIGHTEN

2" x 2" HARDWOOD STAKES 8' LONG - DRIVE 48" BELOW GRADE (TREE > 3" CAL., USE 3 STAKES)

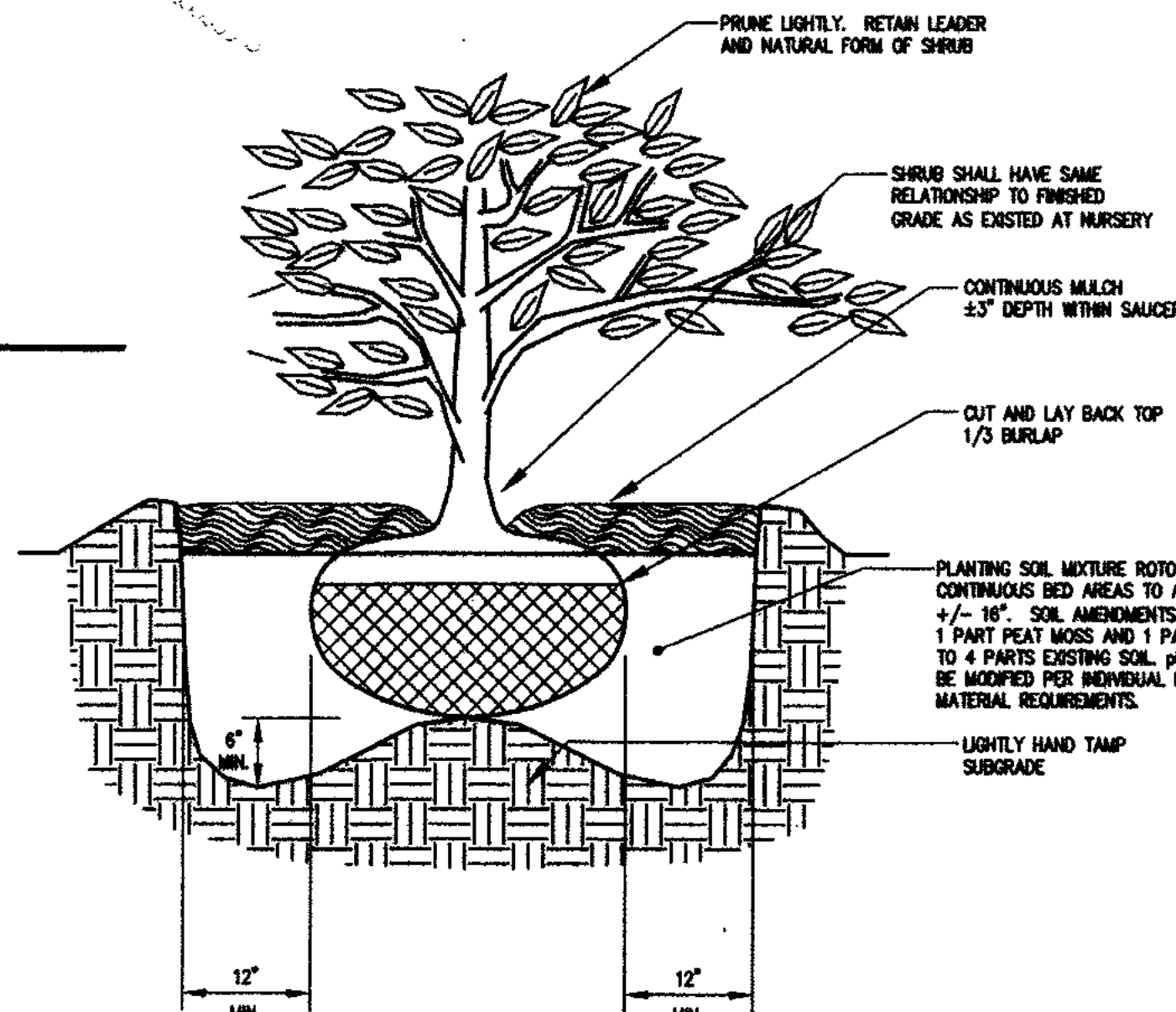
MULCH - 3" DEPTH

CUT AND LAY BACK TOP 1/3 BURLAP

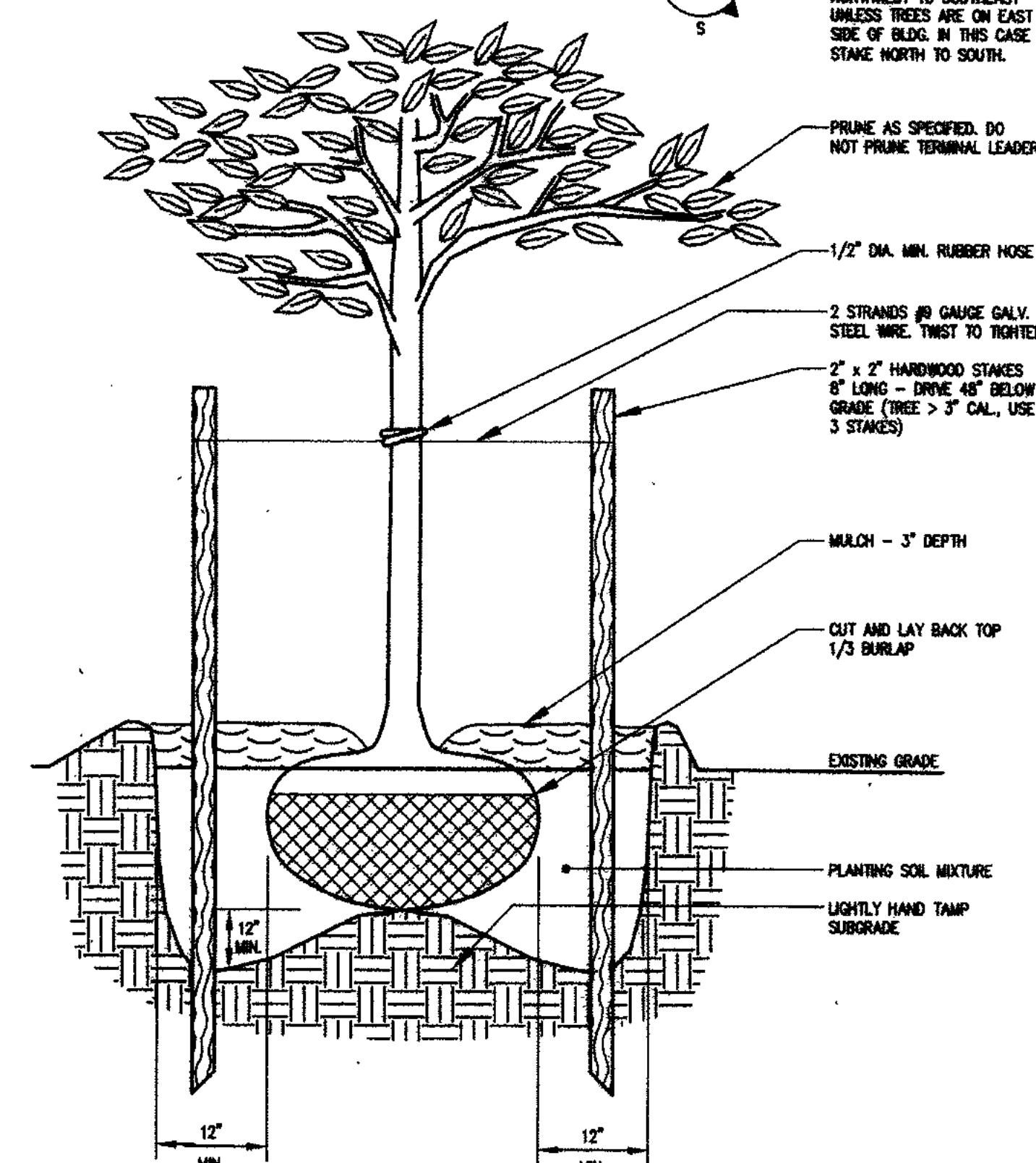
EXISTING GRADE

PLANTING SOIL MIXTURE

LIGHTLY HAND TAMP SUBGRADE



SHRUB PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

SEE BME DRAWING #2490-17 FOR LANDSCAPE NOTES AND PLANT MATERIAL SPECIES LIST

SEE BME DRAWING #2490-19 FOR FOUNDATION PLANTING PLAN

SEE BME DRAWING #2490-17 FOR PHOSPHOROUS NOTES

LEGEND

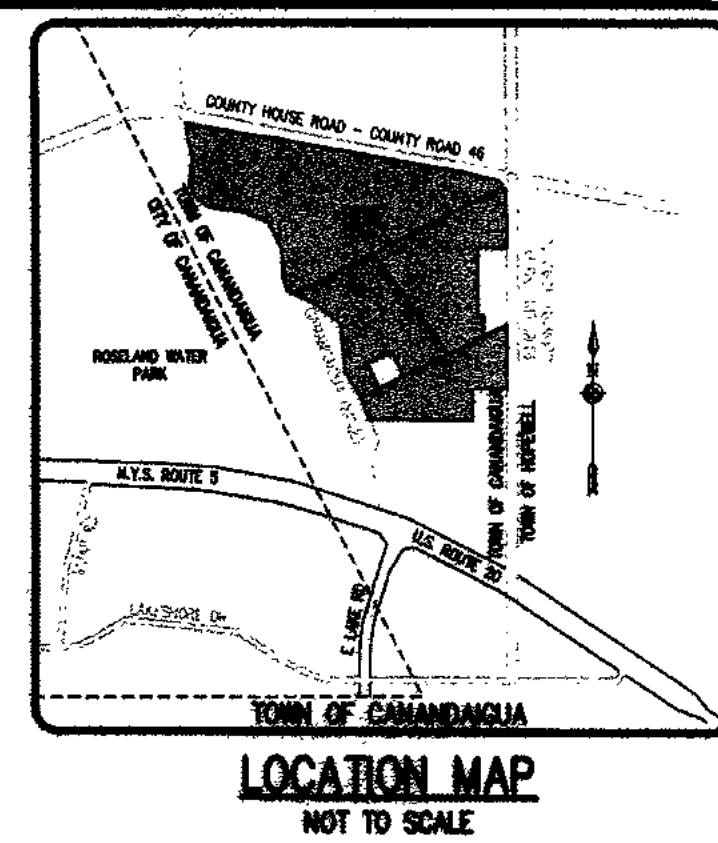
- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- 100-YEAR FLOODPLAIN
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- PHASE LINE
- MATCH LINE

APPROVALS

BY: *[Signature]* DATE: 10/31/17
TOWN ENGINEER

BY: *[Signature]* DATE: 1-31-18
TOWN OF CANANDAGUA PLANNING BOARD CHAIRPERSON

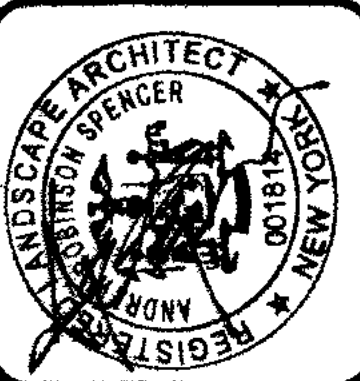
BY: *[Signature]* DATE: 1/13/17
TOWN OF CANANDAGUA HIGHWAY/WATER SUPERINTENDENT



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any map, if on item bearing the seal of an engineer or land surveyor is altered, the drawing engineer or land surveyor shall offer to the town his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	REVISIONS
1	2/14/17	NRG
2	6/5/17	LJR
3	6/22/17	LJR
4	7/13/17	NRG
5		
6		
7		

BME ASSOCIATES
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FAX 585-377-7369
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14600
WWW.BMEPC.COM

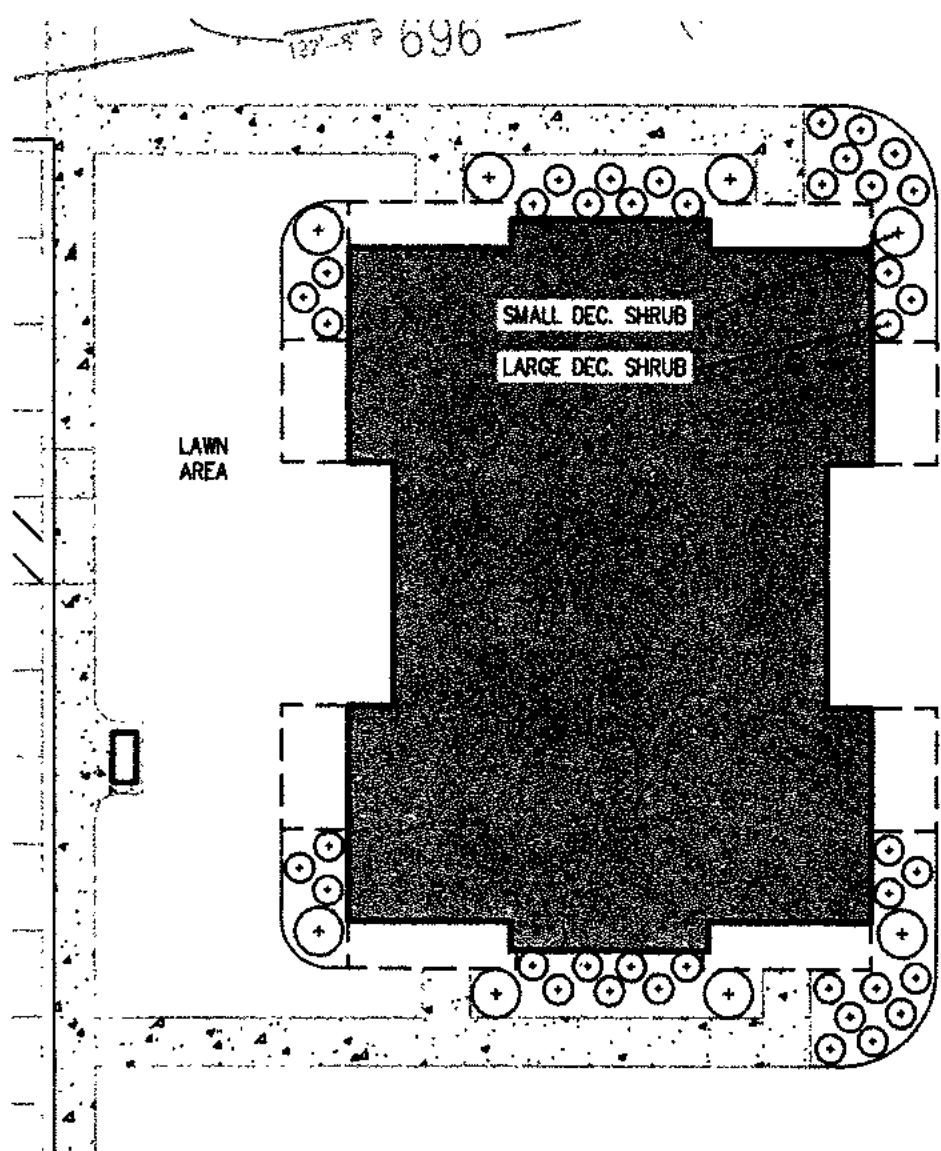


CREEKVIEW APARTMENTS AT WOODLAND PARK
PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE EMARCO GROUP
1950 BRANTFORTH TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

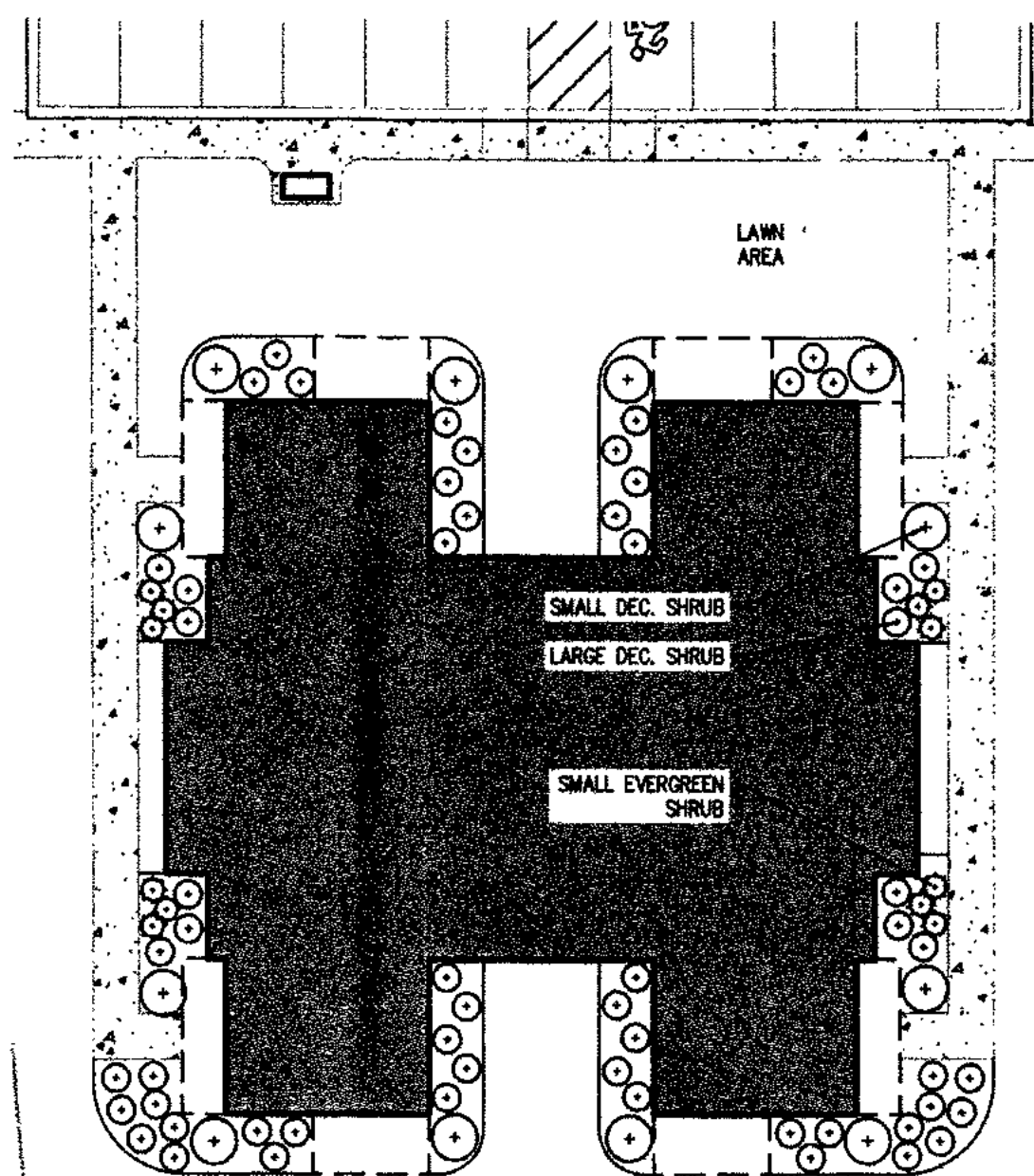
OVERALL PRELIMINARY LANDSCAPE PLAN
DRAWING TITLE

PROJECT MANAGER: M. JANDA/P. VARS
PROJECT ENGINEER: M. BOSQUEVSKI
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490

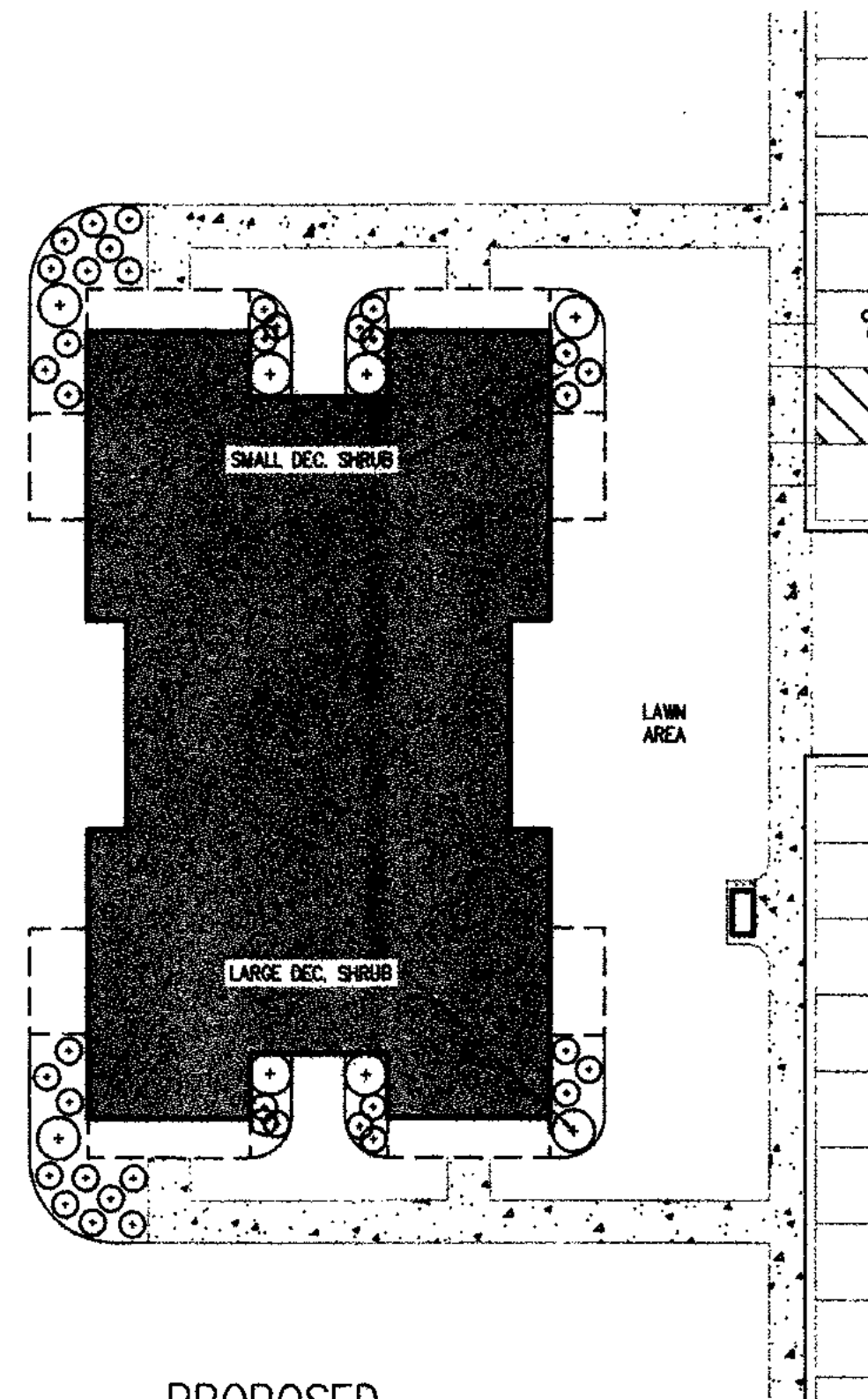
DRAWING NO.: 2490
18
(SHEET 3 OF 3)



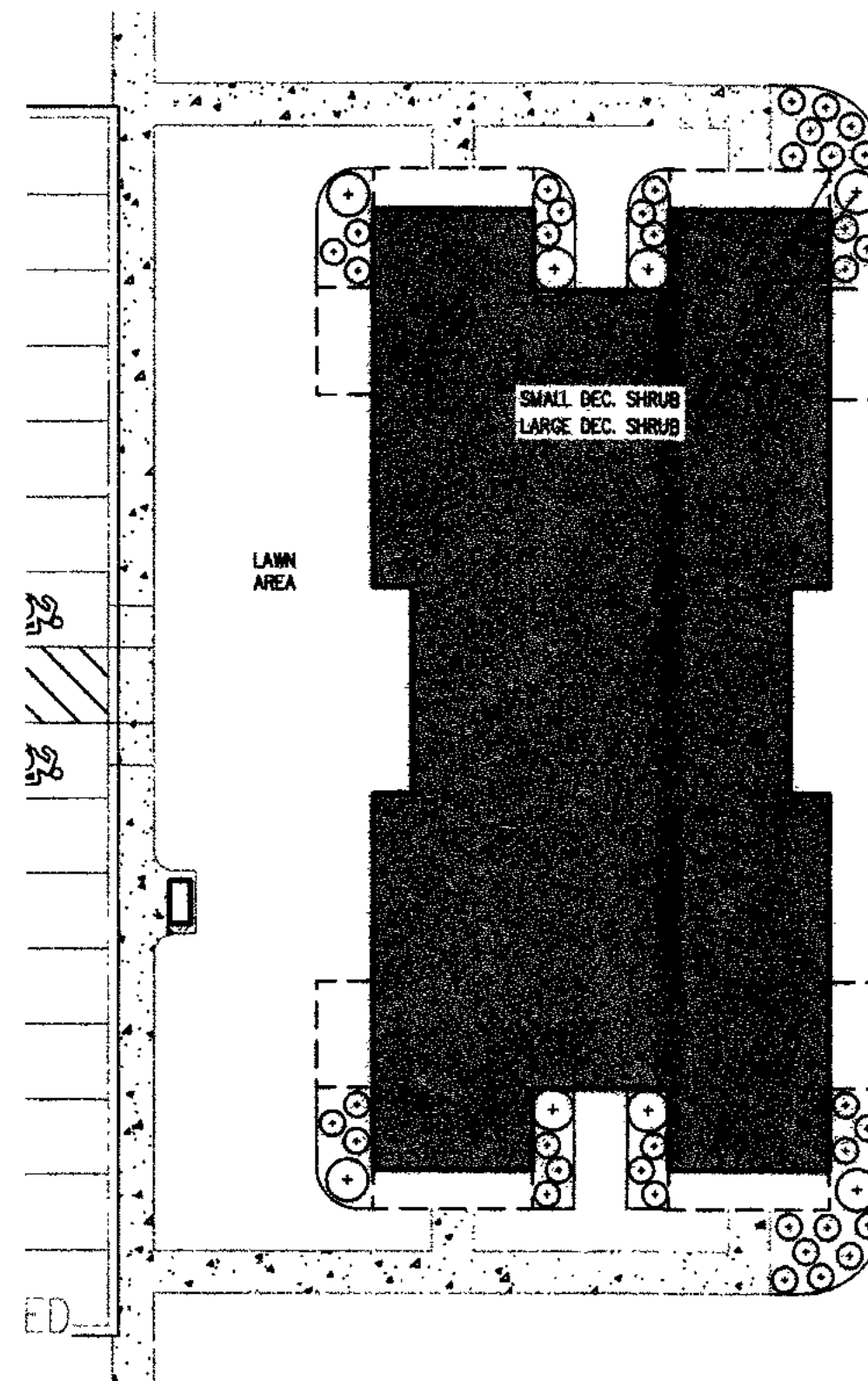
1 BDRM / 1 BATH
8 UNITS PER BUILDING



2 BDRM / 2 BATH
8 UNITS PER BUILDING

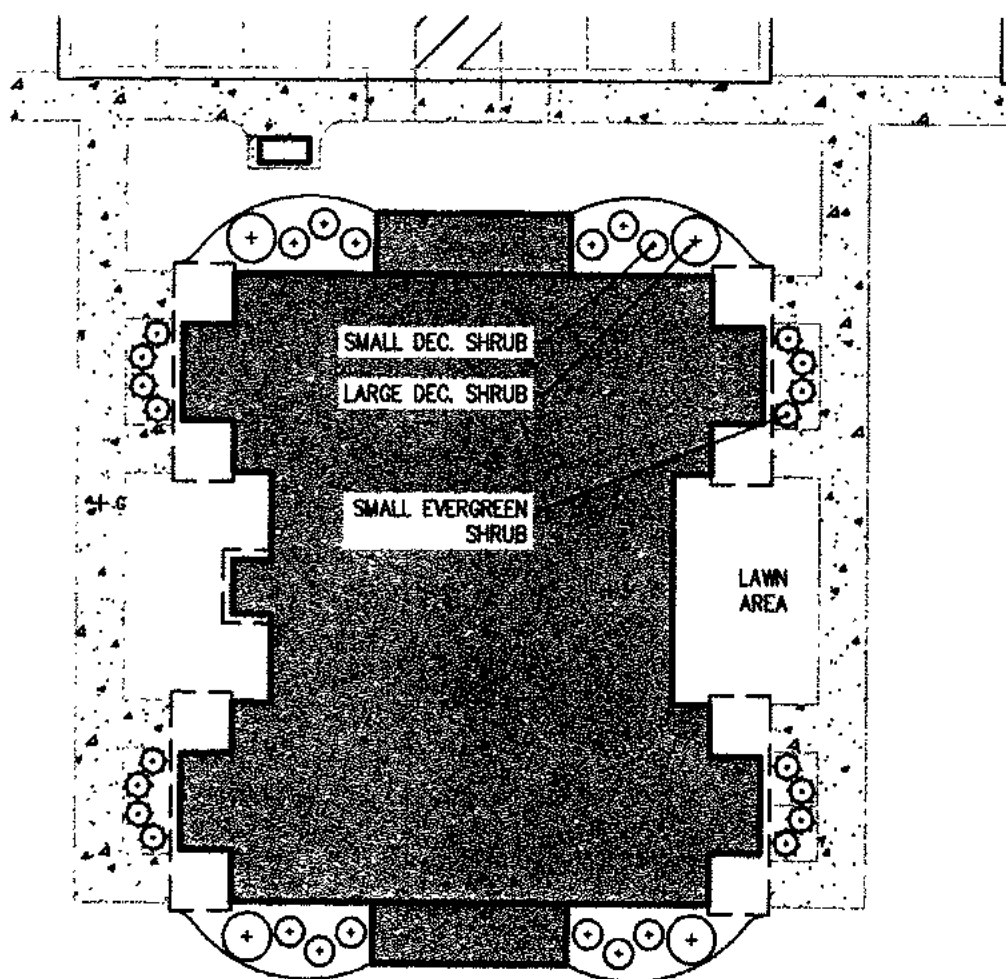


2 BDRM / 1 BATH
8 UNITS PER BUILDING

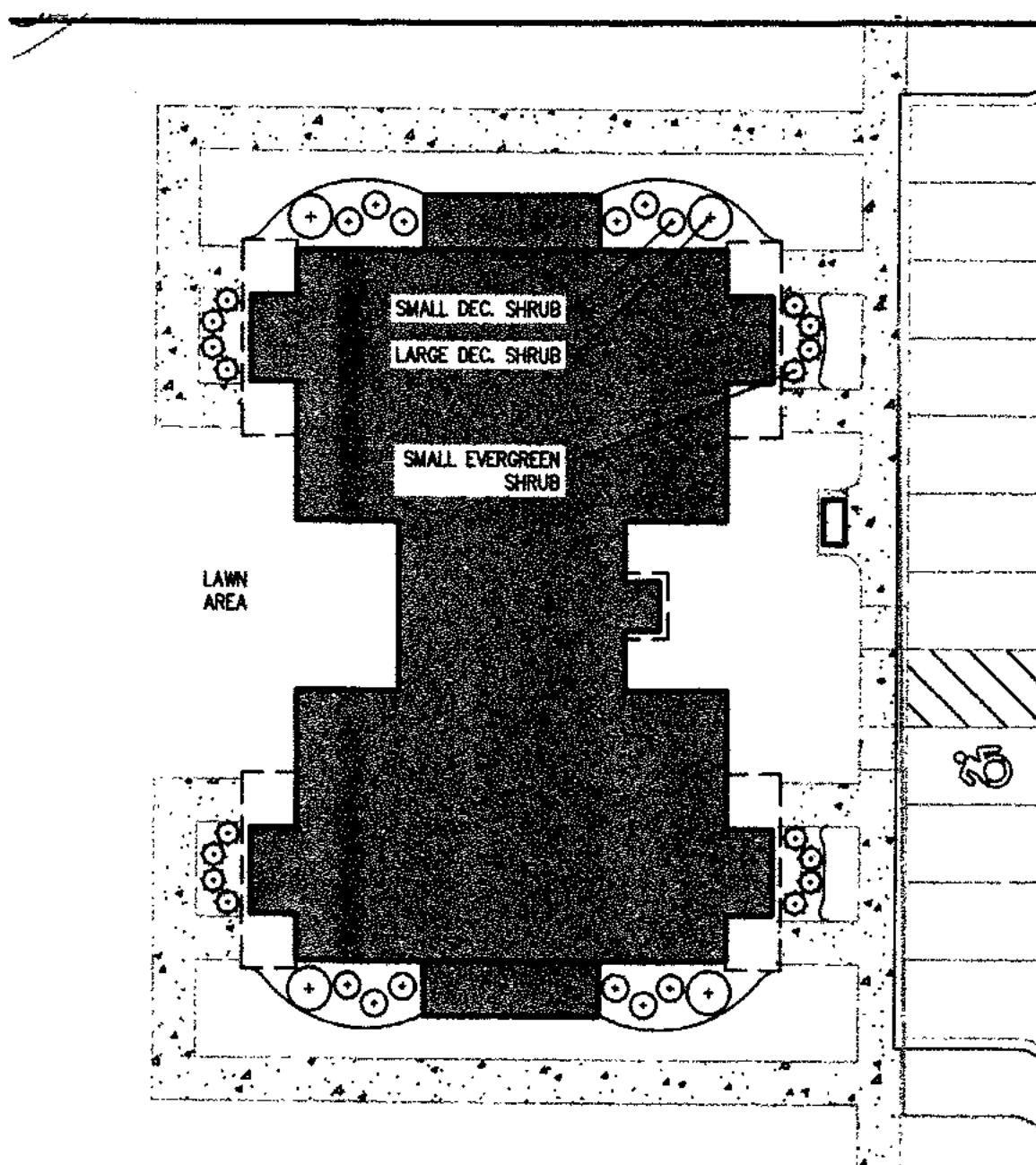


3 BDRM / 3 BATH
8 UNITS PER BUILDING

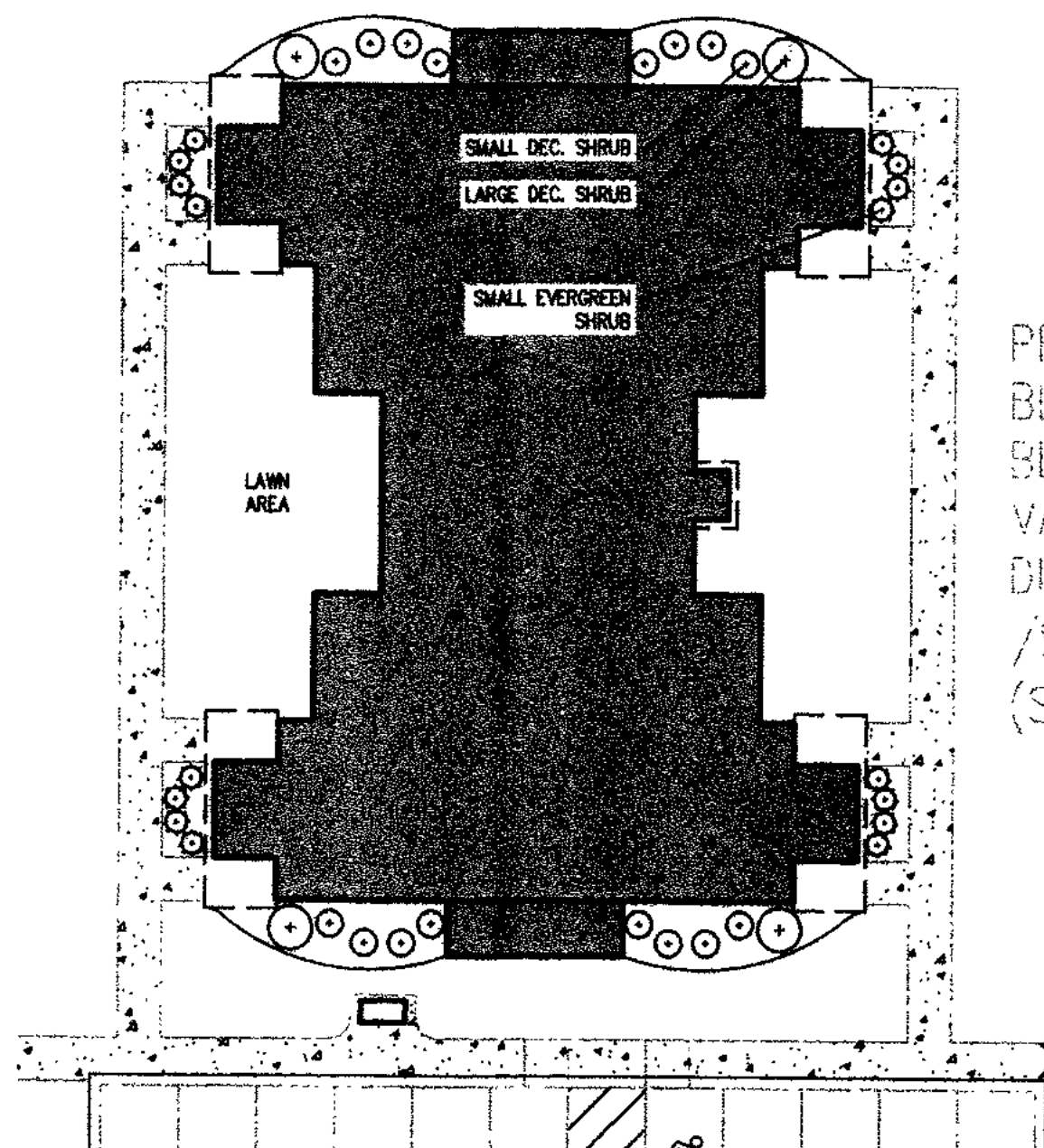
MARKET RATE UNITS



1 BDRM / 1 BATH
8 UNITS PER BUILDING

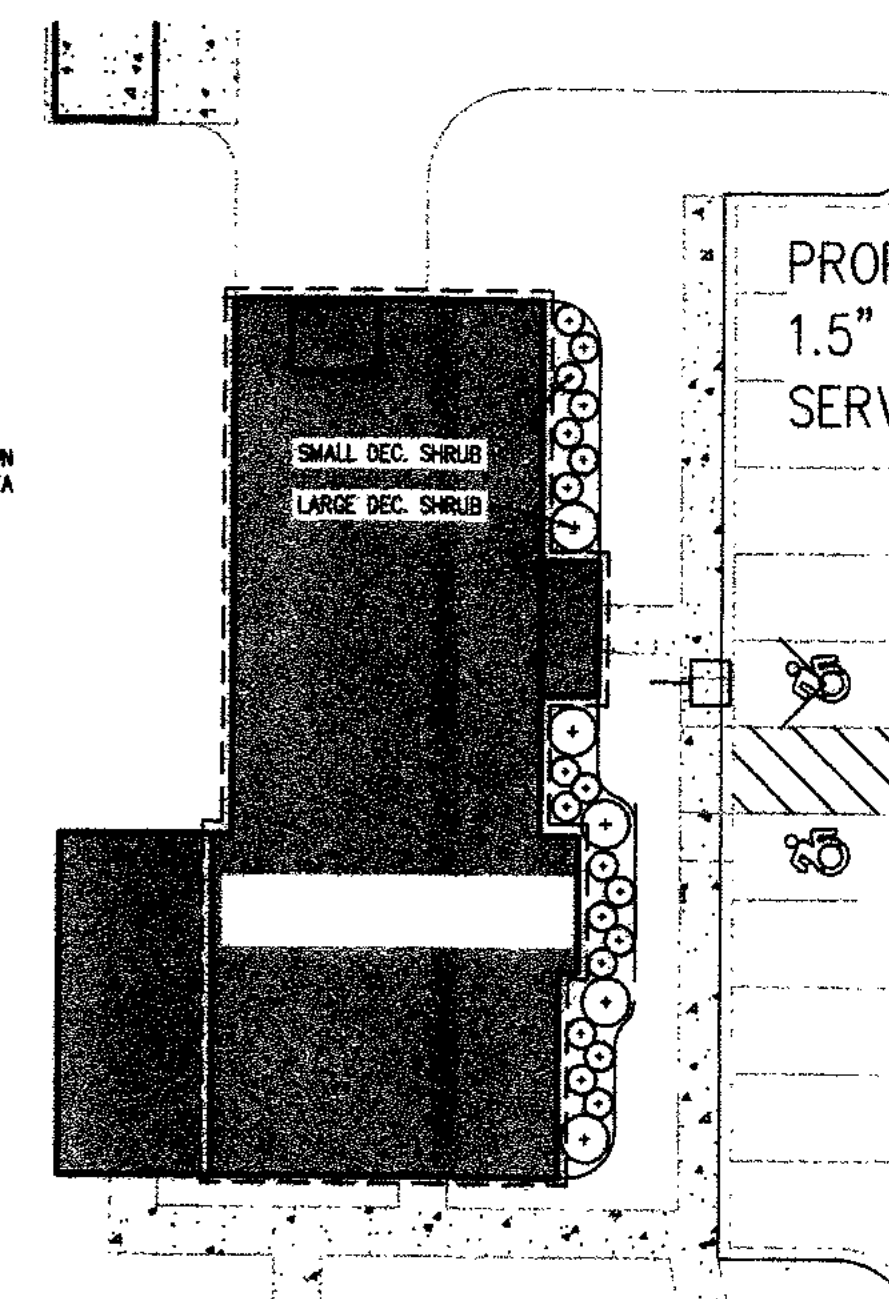


2 BDRM / 1 BATH
8 UNITS PER BUILDING



3 BDRM / 1 BATH
8 UNITS PER BUILDING

AFFORDABLE HOUSING UNITS



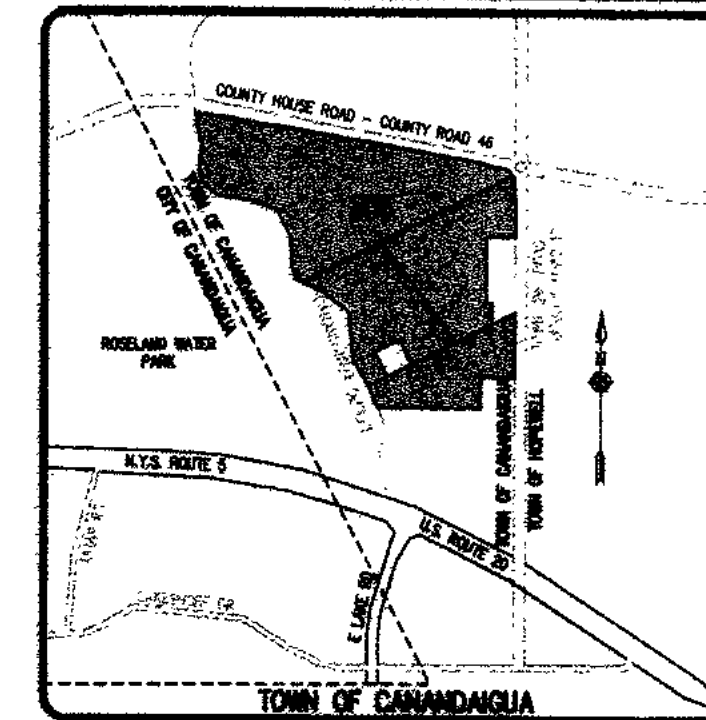
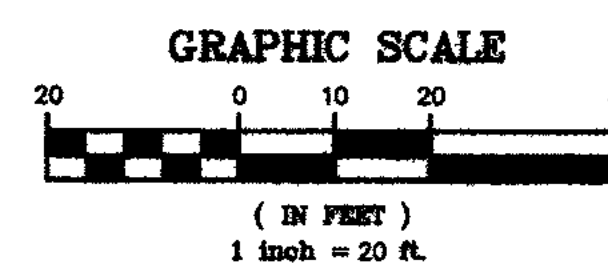
CLUBHOUSE

PROPOSED PLANT SPECIES

SHRUBS	
Buxus macrophylla	Boxwood
Clethra alnifolia	Summersweet
Cornus sericea 'Kalmii'	Red Twig Dogwood
Hypericum calycinum	St. John's Wort
Juniperus horizontalis	Creeping Juniper
Juniperus virginiana	Red Cedar
Physocarpus opulifolius	Ninebark
Pinus strobus 'nana'	Dwarf White Pine
Rhus aromatica 'Gro-low'	Gro-low Fragrant Sumac

PLANT KEY

SMALL DEC. SHRUBS: ○○○○
LARGE DEC. SHRUBS: ○
EVERGREEN SHRUBS: ○○○○○○



SEE BME DRAWING #2490-17 FOR
PHOSPHOROUS NOTES

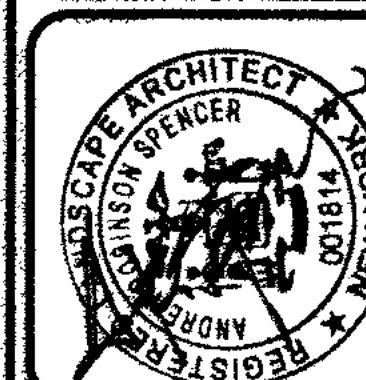
SEE BME DRAWING #2490-17 FOR
LANDSCAPE NOTES AND PLANT
MATERIAL SPECIES LIST

SEE BME DRAWING #2490-18 FOR
PLANTING DETAILS

Drawing Attention
The following is an excerpt from the
New York State Education Law, Article
142 Section 2720b and applies to this
drawing.
"It is a violation of this law for any
person, unless he is acting under the
direction of a licensed professional
engineer or land surveyor to alter any
plan in any way, if on him basing the
work of an engineer or land surveyor is
based, the altering engineer or land
surveyor shall file to the State the act
and the notation 'altered by' followed
by his signature and the date of such
alteration, and a specific description
of the alteration."

NO.	DATE	BY	REVISIONS
1	2/11/17	RRG	
2	2/11/17	RRG	
3	6/22/17	LJR	REVISED PER TOWN PLANNING BOARD COMMENTS
4	6/22/17	LJR	REVISED PER TOWN AND MRS COMMENTS
5			
6			
7			

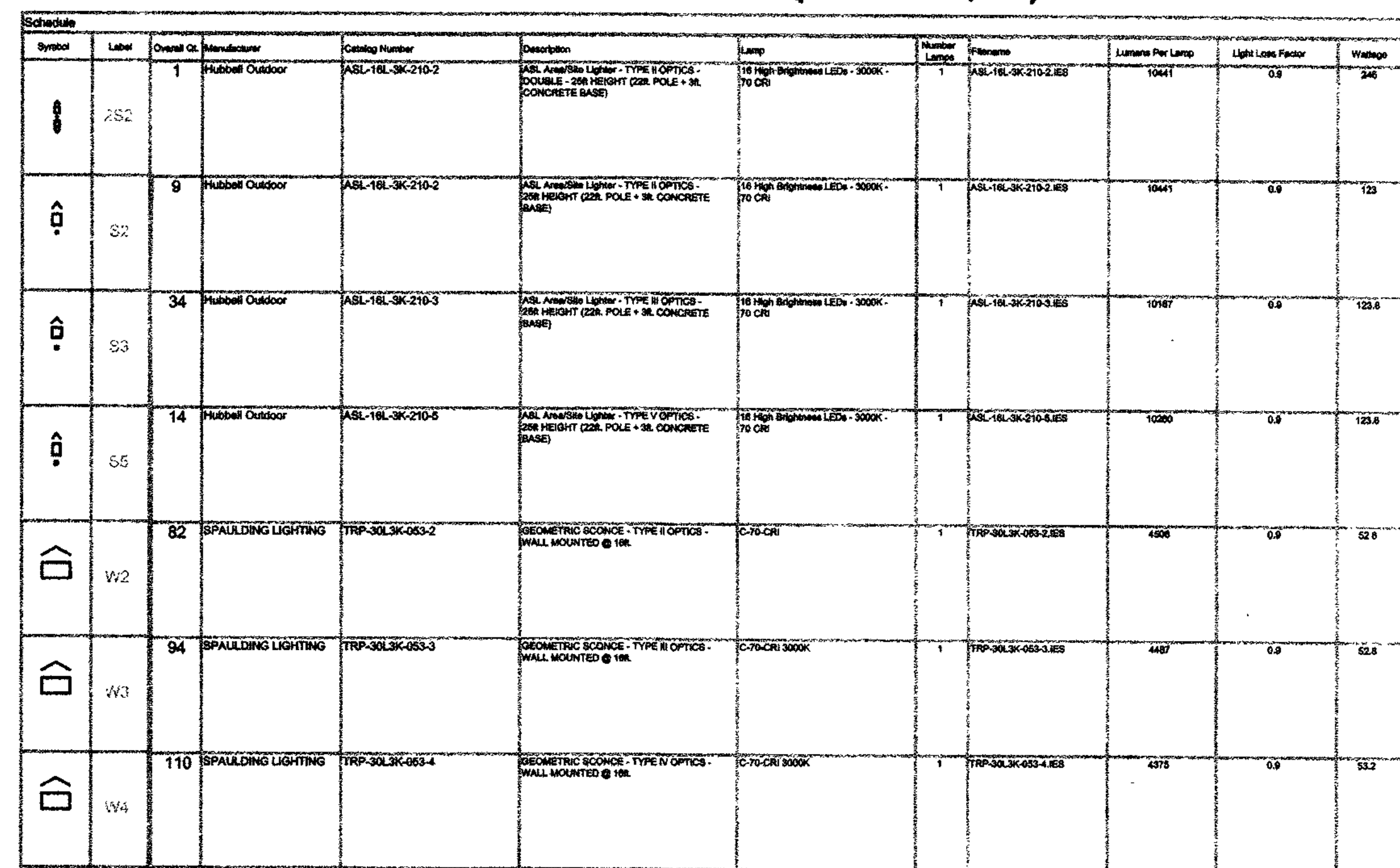
BME ASSOCIATES
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10101 BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-372-7560
FAX 585-377-7399
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**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE SHAWCO GROUP
1650 BROOKTON HERBERTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
FOUNDATION LANDSCAPE PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
CLIENT: THE SHAWCO GROUP
1650 BROOKTON HERBERTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
DRAWING TITLE: OVERALL PRELIMINARY FOUNDATION LANDSCAPE PLAN

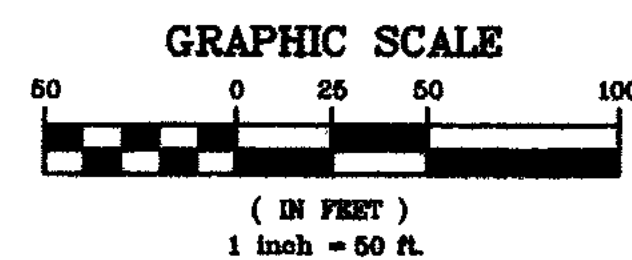
PROJECT MANAGER: M. JANDA/P. VARS
PROJECT ENGINEER: M. BOGOLJEVSKI
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=20'
DATE ISSUED: FEBRUARY 2017
PROJECT NO.: 2490
DRAWING NO.: 19



1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED FIXTURES. REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
4. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
5. CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION.
6. OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING CIRCUITRY DESIGN.

1. ALL LIGHTING INFORMATION AND SPECIFICATIONS PROVIDED BY HUBBELL AND LIGHTSPEC, LLC. THIS INCLUDES FIXTURE SELECTIONS, POINT PLOT INFORMATION, LIGHTING PHOTOMETRICS AND FIXTURE LOCATIONS
2. LIGHT POLE AND FIXTURE LOCATION TO BE FIELD VERIFIED BY LIGHTING CONTRACTOR PRIOR TO INSTALLATION.

MATCHLINE - SEE BME DWG 2490-21



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
100-YEAR FLOODPLAIN
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
PHASE LINE
MATCH LINE

TOWN LINE ROAD - COUNTY ROAD 10

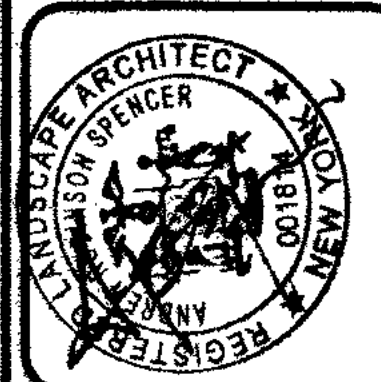
Drawing Attention
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing.

It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to offer any item in any way, if an item bearing the seal of an engineer or land surveyor is attached, the offering engineer or land surveyor shall affix to the item his seal and the notation "attested by" followed by his signature and the date of such attestation and a specific description of the attestation.

7				
6				
5				
4				
3	REVISED PER UOIT SPEC LAYOUT	7/14/17	LUR	
2	REVISED PER TOWN AND IRB COMMENTS	6/5/17	LUR	
1	REVISED PER PRC MEETING	2/14/17	PRG	
	REVISIONS	DATE	BY	

B&M ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
RANPOSET, NEW YORK 14450
PHONE 565-377-2560
FAX 565-377-1309
WWW.B&MPC.COM



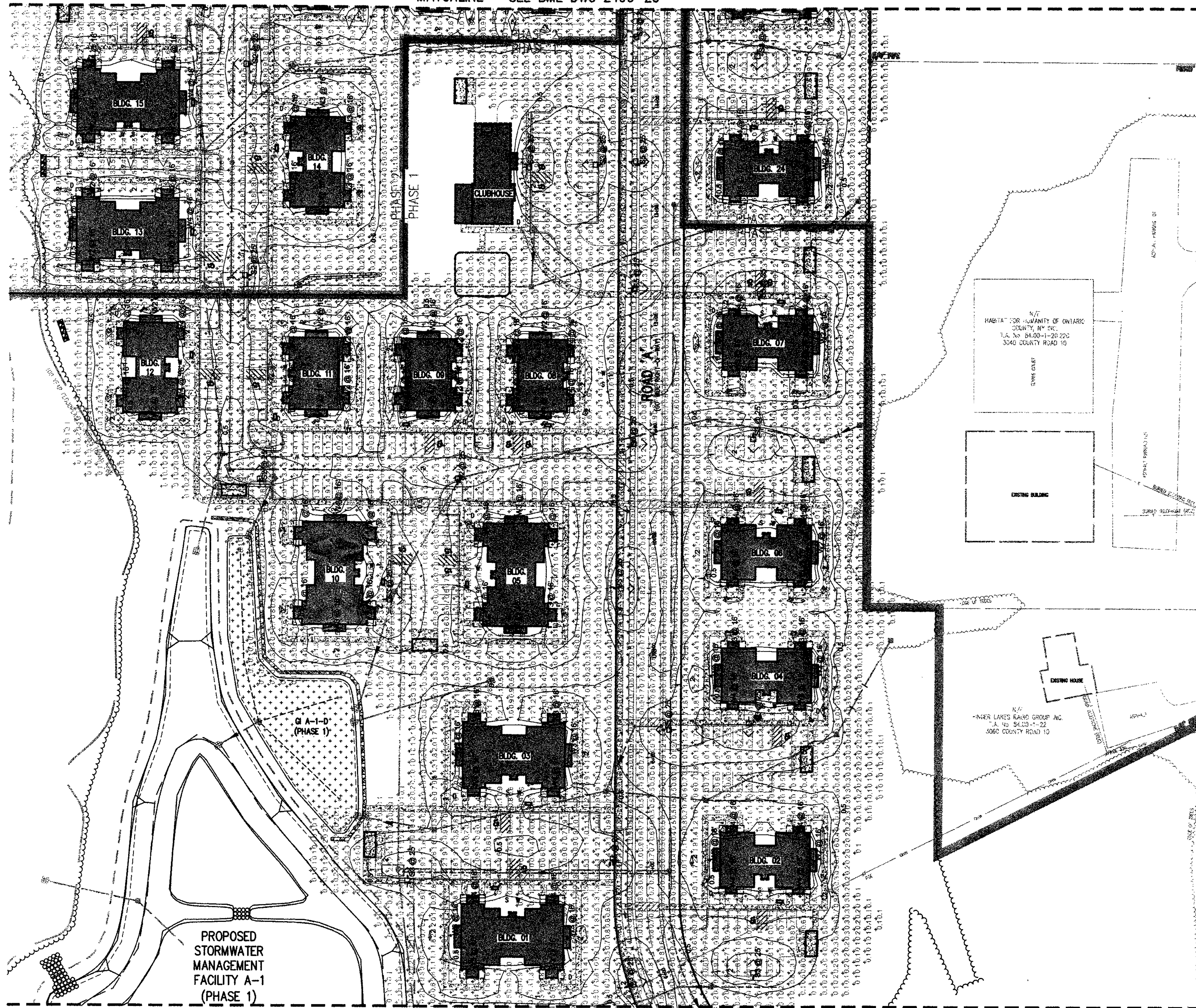
**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANADAMUSKA, ONTARIO COUNTY, NEW YORK STATE
THE CHIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE ROAD
ROCHESTER, NEW YORK 14623
**OVERALL PRELIMINARY
LIGHTING PLAN**

PROJECT	LOCATION	CLIENT	DRAWING TITLE
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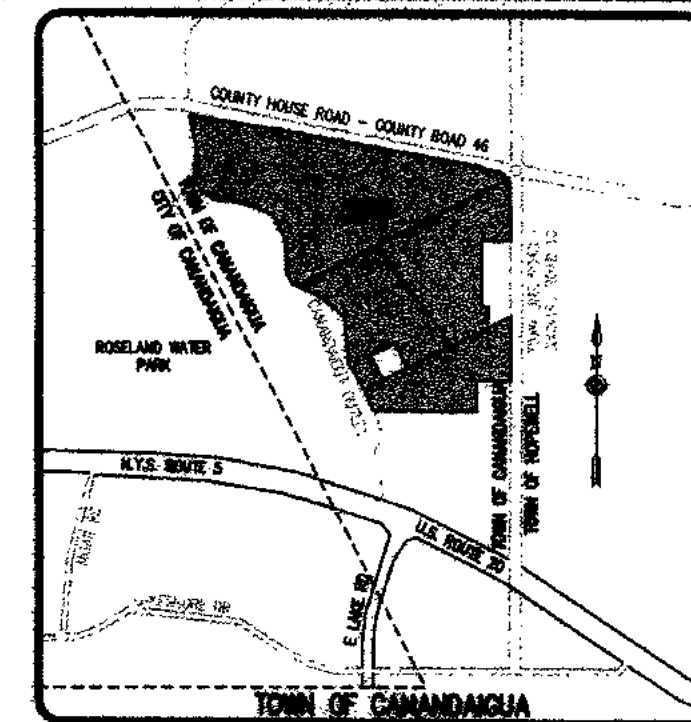
PROJECT MANAGER
M. JANDA/P. VARS
PROJECT ENGINEER
M. BOGQUEVSKI
DRAWN BY
L. ROCKCASTLE
SCALE DATE ISSUED
1"=50' FEBRUARY 2017
PROJECT NO.
2490
DRAWING NO.
20
(SHEET 1 OF 3)

PHILIPS & CORHAM PURCHASE TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19. TAX MAP NUMBER 84.00-1-19. 84.00-1-20.110. 84.00-1-20.120 & 84.00-1-33.1

MATCHLINE - SEE BME DWG 2490-20



MATCHLINE - SEE BME DWG 2490-22



LOCATION MAP
NOT TO SCALE

LIGHTING NOTES:

1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED FIXTURES. REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
4. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
5. CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION.
6. OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING COUNTRY DESIGN.

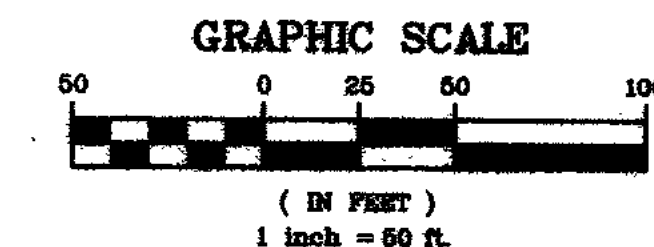
NOTE:

1. ALL LIGHTING INFORMATION AND SPECIFICATIONS PROVIDED BY HUBBELL AND LIGHTSIES, LLC. THIS INCLUDES FIXTURE SELECTIONS, POINT PLOT INFORMATION, LIGHTING PHOTOMETRICS AND FIXTURE LOCATIONS.
2. LIGHT POLE AND FIXTURE LOCATION TO BE FIELD VERIFIED BY LIGHTING CONTRACTOR PRIOR TO INSTALLATION.

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- 100-YEAR FLOODPLAIN
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FENCE
- PHASE LINE
- MATCH LINE

SEE BME DRAWING #2490-20 FOR
LUMINAIRE SCHEDULE



APPROVALS

BY: *[Signature]* DATE: 10/1/17
TOWN ENGINEER
BY: *[Signature]* DATE: 10/1/17
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON
BY: *[Signature]* DATE: 11/1/17
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM



**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE BARNARD GROUP
1800 BRIGHTON HERBERT TOWN LINE ROAD
ROCHESTER, NEW YORK 14623

**OVERALL PRELIMINARY
LIGHTING PLAN**

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	M. JANDA/P. VARS	PROJECT ENGINEER	M. BOSCOLEWSKI
DRAWN BY	L. ROCKCASTLE	SCALE	DATE ISSUED
PROJECT NO.	2490	1"=50'	FEBRUARY 2017
DRAWING NO.	21		

(SHEET 2 OF 3)

TOWN OF CANANDAIGUA STANDARD NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED THAT REQUIRES POST CONSTRUCTION WATER QUALITY MEASURES SUCH AS SWFS, THE DEVELOPER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PERSON IN EROSION AND SEDIMENT CONTROL (PESC) UNTIL SUCH TIME THAT THE MASS GRADING IS COMPLETED.
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME, SHALL BE REQUIRED TO COORDINATE THE REGULAR SURVEY OBSERVATIONS REQUIRED BY THE GENERAL PERMIT (GP-0-15-002) WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR AND THE WATERSHED PROGRAM MANAGER.
- SEQUENCE - SEE SEQUENCE OF CONSTRUCTION NOTES.
- PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING.

* SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION

* TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSEENED BY DISKING, RANGING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LB/ACRE	LB/1,000 SQ. ACRE
SPRING/SUMMER/EARLY FALL ANNUAL RYEGRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER CEREAL RYE	100	2.5

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LB/ACRE	LB/1,000 SQ. ACRE
COMMON WHITE CLOVER	8	0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER

STARTING FERTILIZER: 5-10-10 AT 20 POUNDS PER 1,000 SQUARE FEET

- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS

- INCREASED SITE INSPECTION FREQUENCY TO AT LEAST TWO (2) SITE INSPECTIONS EVERY SEVEN (7) CALENDAR DAYS FOR AS LONG AS THE DISTURBANCE EXCEEDS FIVE (5) ACRES. THE TWO (2) INSPECTIONS MUST BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.

UTILITY NOTES:

- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS (AND APPROVALS UNDER SECTION 281 OF TOWN LAW) OF THE TOWN OF CANANDAIGUA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA, THE APPROPRIATE AGENCIES (E.G. TOWN OF HOPEWELL WATER DEPARTMENT, AND THE NEW YORK STATE HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- HIGHWAY DRAINAGE ALONG COUNTY ROADS 10 AND 46 ARE TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRIVEWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS.
- ROOF RUNOFF LEADERS AND CELLAR INFILTRATION LINES SHALL NOT BE DISCHARGED TO THE COUNTY HIGHWAY DRAINAGE DITCH OR COUNTY HIGHWAY STORM DRAIN.
- ALL PERMITTER APARTMENT BUILDING DOWNSPOUTS SHALL DISCHARGE INTO STORM LATERALS AND SPLASH BLOCKS AS INDICATED ON THE PLANS. FOUNDATION DRAINS SHALL CONNECT INTO STORM LATERALS. BUILDINGS 12-13, 15, 16-17, 36, MR-8 AND MR-9 STORM LATERALS SHALL DISCHARGE TO LEVEL SPREADERS AS NOTED ON THE PLANS.
- WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF HOPEWELL AND THE TOWN OF CANANDAIGUA.
- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION D851. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE NEW YORK STATE DEPARTMENT OF HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL AND FECAL COLIFORM AND 24-HOUR BACTERIAL PLATE COUNT.

THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE TOWN OF HOPEWELL WATER DEPARTMENT.

ALL WATERMANS SHALL HAVE A MINIMUM OF 5' OF COVER FROM THE TOP OF THE MAIN TO FINISHED GRADE. THE CONTRACTOR SHALL CHECK ALL OUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMANS WILL HAVE THE REQUIRED COVER.

11. SANITARY SEWER PIPE TO BE 8" PVC SDR-35.

12. ALL SANITARY SEWERS TO BE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE ONTARIO COUNTY DPW.

13. SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE ONTARIO COUNTY DPW AND TOWN OF CANANDAIGUA.

14. FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OF FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE NYSOCH SEWER USE LAW.

15. THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:

A) DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.

B) NO PIPE SHALL EXCEED A 5% DEFLECTION.

C) IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

16. STORM SEWER PIPE SHALL BE (CORRUGATED PVC SDR-35) OR AS NOTED ON THE PLAN.

17. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER: 1.5" WATER SERVICES PER 50408
SANITARY: SIX (6) INCH PVC SDR-21, 2X MIN SLOPE
STORM: EIGHT (8) INCH PVC SDR 35, 2X MIN SLOPE

18. ALL WATER LATERALS ARE TO HAVE A PRESSURE REDUCING VALVE AT EACH APARTMENT BUILDING.

19. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUNDWATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISH GRADE, FIRE HYDRANT WEEPHOLES (DRAINS) SHALL BE PLUGGED.

20. THE WATERMAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C-600 (LATEST REVISION).

21. WATERMANS TO BE EIGHT (8) INCH PVC DR-14.

22. FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 2,500 PSI CONCRETE THRUST BLOCKS.

23. PROPOSED WATERMAIN ALONG ROAD A TO BE DEDICATED TO THE TOWN OF CANANDAIGUA. SANITARY SEWER TO BE DEDICATED TO CANANDAIGUA LAKE COUNTY SEWER DISTRICT.

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ONTARIO COUNTY SANITARY SEWER NOTES:

- SEWER PERMITS AND PERMITS FOR WORK WITHIN ONTARIO COUNTY HIGHWAY RIGHT OF WAY MUST BE PURCHASED IN ADVANCE AT THE ONTARIO COUNTY PUBLIC WORKS OFFICE LOCATED AT 2882 COUNTY ROAD 48 IN THE TOWN OF HOPEWELL. CALL 585-396-4000 FOR INFORMATION.
- SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NYS DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
- SANITARY SEWER MAIN GRAVITY PIPE SHALL BE 8" DIA. PVC CLASS SDR-35 OR SDR-21 WITH ELASTOMERIC JOINTS. LATERALS SHALL BE 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS. ACTUAL FIELD CONDITIONS MAY REQUIRE ADDITIONAL PIPE OR BACKFILL REINFORCEMENT. THE SANITARY SEWER WILL BE DESIGNED BY THE DEVELOPER'S ENGINEER. FIELD CHANGES MUST BE APPROVED BY THE SEWER DISTRICT.

4. THE SANITARY SEWER IS DESIGNED TO PROVIDE GRAVITY SERVICE TO ALL ADJACENT BUILDING BASEMENTS. EXCEPTIONS HAVE BEEN APPROVED BY THE SEWER DISTRICT AND ARE CLEARLY NOTED ON THE UTILITY PLAN. BASEMENT FLOOR ELEVATIONS WILL BE SHOWN ON THE SANITARY SEWER PROFILE FOR EACH LOT THAT WILL NOT BE SERVED BY SURVEY LATERALS.

5. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.

6. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT UPPO AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

7. THE SANITARY SEWER SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATERMAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATERMAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATERMAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN JOINTS.

8. A LETTER OF CREDIT, OR ENGINEER APPROVED EQUIVALENT, FOR AN AMOUNT EQUAL TO THE ESTIMATED COST OF CONSTRUCTION, INSPECTION, RECORD DRAWINGS, DEDICATION DOCUMENTS AND RELATED EXPENSES FOR THE SANITARY SEWER PLUS AN ADDITIONAL 10% FOR CONTINGENCIES MUST BE SUBMITTED TO THE COMMISSIONER OF PUBLIC WORKS BEFORE A PERMIT IS ISSUED OR SEWER CONSTRUCTION MAY COMMENCE.

9. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.

10. THE DEVELOPER IS RESPONSIBLE FOR THE PREPARATION OF ALL REQUIRED EASEMENT MAPS AND DESCRIPTIONS AND SUBMISSION TO THE DISTRICT FOR APPROVAL. PERMITS WILL NOT BE ISSUED PRIOR TO THE EASEMENT DOCUMENTS BEING SIGNED BY THE COMMISSIONER AND RECORDED IN THE COUNTY CLERK'S OFFICE.

11. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.

12. WHEN SANITARY SEWER CONSTRUCTION ACTIVITIES BEGIN, THE CONTRACTOR SHALL PLUG THE MAIN AT THE CONNECTING MANHOLE. PLUGS SHALL NOT BE REMOVED UNTIL THE COMPLETED SEWER LINE IS TESTED AND APPROVED FOR USE.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.

14. THE SEWER LINE SHALL BE LAID USING A PIPE LASER. GRADE SHALL BE CHECKED EVERY 100 FEET USING A SURVEYOR'S LEVEL TO INSURE THE CORRECT GRADE IS BEING MAINTAINED.

15. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PREVENT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE GRADE.

16. OPENINGS IN EXISTING MANHOLES SHALL BE MADE WITH A CORE SAW. A RUBBER, WATER-TIGHT PIPE-TO-MANHOLE BOOT ADAPTER OR OTHER DISTRICT APPROVED CONNECTOR CONFORMING TO ASTM C-923, SHALL BE USED TO MAKE THE CONNECTION TO THE EXISTING MANHOLE.

17. CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.

18. ALL PIPES ENTERING AND EXITING MANHOLES SHALL HAVE A FLEXIBLE WATER-TIGHT JOINT NO LESS THAN 1 FOOT AND NO GREATER THAN 3 FEET FROM THE OUTSIDE WALL OF THE MANHOLE.

19. MANHOLES DEEPER THAN 14 FEET, LESS THAN 5 FEET IN DEPTH, OR HAVING THREE OR MORE PIPE CONNECTIONS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 5 FEET.

20. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

22. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.

23. LATERAL CLEANOUTS WILL BE PROVIDED AT THE RIGHT OF WAY LINE OR SANITARY SEWER EASEMENT LINE, WHICHEVER IS FURTHERST FROM THE SEWER MAIN, AND EVERY 90 LINEAR FEET THEREAFTER.

24. THE CONTRACTOR SHALL TAKE AND RECORD FIELD MEASUREMENTS TO ALL WYES, CLEANOUTS AND LATERAL PLUGS AS WELL AS LENGTHS OF RISERS AND DEPTHS AT LATERAL PLUGS. THE INFORMATION WILL BE GIVEN TO THE DEVELOPER'S ENGINEER FOR USE IN PREPARING RECORD DRAWINGS.

25. FOLLOWING PROJECT COMPLETION AND 30 DAYS AFTER THE BACKFILL HAS BEEN IN PLACE THE FOLLOWING TESTS SHALL BE PERFORMED ON GRAVITY SANITARY SEWER MAIN:

A. INFILTRATION/EX-FILTRATION TESTS ON SEWER MAIN AND MANHOLES. AIR PRESSURE TESTING FOR SEWER MAINS AND VACUUM TESTING FOR MANHOLES IS RECOMMENDED. TESTS ON MANHOLES MAY BE PERFORMED ONLY AFTER MANHOLE BENCHES AND INVERTS ARE COMPLETE.

B. DEFLECTION TEST USING A RIGID BALL OR MANDREL HAVING A DIAMETER OF 95% OF THE INSIDE DIAMETER OF THE PIPE. MECHANICAL PULLING DEVICES WILL NOT BE USED.

C. THE SEWER LINE WILL BE TELEVIEWED AND LAMPED AFTER ALL OTHER TESTS ARE COMPLETE. A GOOD QUALITY COPY OF THE DVD OR VIDEO-TAPE AND RELATED RECORDS WILL BE SUBMITTED FOR EVALUATION TO CANANDAIGUA LAKE COUNTY SEWER DISTRICT. PRIOR TO TELEVIEWING THE SEWER LINE SHALL BE FLUSHED AND CLEARED OF DEBRIS, STONES AND DEBRIS. IF PERMISSION IS GRANTED TO REMOVE THE PLUG AT THE CONNECTING MANHOLE PRIOR TO FLUSHING OPERATION, PROVIDE DOWNSTREAM SCREENS OR OTHER DEVICES TO PREVENT DEBRIS FROM ENTERING THE COUNTY'S SEWER SYSTEM. SECTIONS OF PIPE RE-PARIED OR RE-FLUSHED WILL BE RE-TELEVIEWED UNTIL ACCEPTABLE.

26. UPON PROJECT COMPLETION AND DISTRICT APPROVAL, THE DEVELOPER'S ENGINEER WILL SUBMIT RECORD DRAWINGS ON MYLAR AND IN ELECTRONIC FORMAT, TIED TO NAD83 HORIZONTAL AND NAVD 83 VERTICAL DATUM. THE DRAWINGS WILL SHOW ACTUAL FIELD MEASURED LOCATIONS, LENGTHS, ELEVATIONS AND TYPES OF PIPE AND APPURTENANCES, INCLUDING WYES AND LATERALS, AS WELL AS PROFILES, EASEMENTS AND ANY OTHER RELATED INFORMATION REQUESTED BY THE DISTRICT. MYLAR DRAWINGS WILL BE STAMPED/SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR SURVEYOR, AND SHALL BE AT STANDARD ENGINEERING SCALE (1"=60' MIN.) AND ON STANDARD SIZE DRAWINGS NO SMALLER THAN 11"X17" AND NO LARGER THAN 24"X36". PROJECT MONUMENTATION AND PERMANENT BENCHMARKS SHALL BE SHOWN WITH COORDINATE AND/OR ELEVATION INFORMATION.

27. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING EASEMENT MAPS AND DESCRIPTIONS AND SEWER DEDICATION DOCUMENTS. MAPS WILL BE RECORDED WITH DEDICATION DOCUMENTS IN THE ONTARIO COUNTY CLERK'S OFFICE, AND THEREFORE NEED TO BE SUBMITTED ON LEGAL SIZE (8 1/2" X 14") PAPER.

28. PRIOR TO RELEASING THE RETAINAGE FROM THE ORIGINAL LETTER OF CREDIT, A MAINTENANCE BOND FOR A MINIMUM OF 10% OF THE TOTAL SANITARY SEWER-RELATED COST OF THE PROJECT IN FAVOR OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT WILL BE SUBMITTED TO THE COMMISSIONER. THE BOND WILL EXPIRE NO SOONER THAN ONE YEAR FROM THE DATE OF DEDICATION OF THE SEWER, OR THE RELEASE DATE OF THE RETAINAGE FROM THE LETTER OF CREDIT, WHICHEVER OCCURS LAST.

APPROVALS

BY: *James S. Bullock* DATE: 10/31/17
TOWN ENGINEER

BY: *Shirley A. Swartz* DATE: 11/1/18
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: *John J. Felt* DATE: 11/18/17
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

GRADING NOTES:

- LOWEST ARCHITECTURAL OPENING (OR FLOOR ELEVATION) SHALL BE 663.7 (TWO FEET ABOVE FLOOD ELEVATION).
- THE CONTRACTOR SHALL CONTROL DUST ON-SITE AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE TOWN OF CANANDAIGUA, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DENSITY. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVENUED BY THE ENGINEER AND THE TOWN OF CANANDAIGUA.

MASS GRADING NOTES:

- THE GRADING DESIGN ASSUMES AN AVERAGE TOPSOIL DEPTH OF 12 INCHES ACROSS THE SITE BASED UPON TEST PIT DATA. IF SITE CONDITIONS DEVIATE FROM THIS BY MORE THAN 3", THE CONTRACTOR IS TO NOTIFY THE OWNER AND ENGINEER.
- TOPSOIL IS TO BE STRIPPED TO REAR OF BUILDING. TOPSOIL IS ALSO TO BE STRIPPED FROM ALL CUT AREAS, STORMWATER MANAGEMENT PONDS, AND BERMS. TOPSOIL MAY REMAIN IN PLACE IN REAR YARD FILL AREAS.
- THE ENGINEER WILL VERIFY THE TOPSOIL STOCKPILE VOLUME TO DETERMINE ACTUAL VOLUME OF TOPSOIL STRIPPED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN THE TOPSOIL STOCKPILE IS COMPLETE AND BEFORE BEGINNING THE MASS GRADING OPERATIONS.

SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: SITE PREPARATION

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR INSTALLATION OF SILT FENCE.
- INSTALL PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.

STEP 2: (CONSTRUCTION ACTIVITY)

STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR INSTALLATION OF PROPOSED STORMWATER MANAGEMENT FACILITIES. CONSTRUCT STORMWATER MANAGEMENT FACILITIES. COMPLETE GRADING, FINE GRADE AND SEED. STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO UNDERGO ROAD BOTTOM BY 2". ALL SITE GRADING SHALL BE CONDUCTED TO ENSURE SEDIMENT LOADED RUNOFF FLOWS TOWARD STORMWATER MANAGEMENT AREAS OR SEDIMENT CONTROL MEASURES.

STRIP AND STOCKPILE TOPSOIL: TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX.

COMMENCE MASS GRADING OPERATIONS. COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, TEMPORARY SEDIMENT TRAPS, MULCH AND SEED. MEASURES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.

TOTAL DISTURBANCE = ±48 ACRES.
PHASE 1 = ±16 ACRES
PHASE 2 = ±7 ACRES
PHASE 3 = ±12 ACRES
PHASE 4 = ±13 ACRES

A 5 ACRE DISTURBANCE WAIVER WILL BE REQUESTED FOR THE AREA PROPOSED TO BE DISTURBED.

CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDING WITHIN 2 DAYS UPON COMPLETION OF MASS GRADING OF SLOPES. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE.

COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSIONS ONCE THE BINDER ASPHALT IS INSTALLED.

INSTALL ROAD BASE, GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS. CONTRACTOR TO LEAVE THE SUBSOL LAY ALONG ROADWAY GUTTERS TO ALLOW FOR TOPSOIL REPLACEMENT AND A TEMPORARY SEDIMENT TRENCH TO MINIMIZE CONVEYANCE OF SILT ONTO THE GUTTER AND ROADWAYS.

SEED AND MULCH ALL DISTURBED AREAS NOT TO BE WORKED IN WITHIN SEVEN DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY AND/OR PERMANENT GROUND COVER THE DISTURBED AREA SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. SEE EROSION CONTROL NOTES FOR SEED MIXES AND APPLICATION RATES.

STEP 3: STABILIZATION & MONITORING

SEED AND MULCH ALL DISTURBED AS REQUIRED BY GP-0-15-002. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.

SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH GEOMAT.

MONITOR STORMWATER MANAGEMENT FACILITY, SEDIMENT BASINS, AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.

MAINTAIN PERIMETER SILT FENCE

SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY STABILIZATION METHODOLOGY.

DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.

CONTRACTOR SHALL PROVIDE MEANS TO WATER ALL SEEDING AREAS DURING PERIODS OF DROUGHT WITH A MINIMUM OF 1 INCH OF WATER PER WEEK UNTIL SEEDING AREAS REACH 80% GERMINATION.

CONSTRUCT BOREHOLE AREAS ONCE CONTRIBUTING UPSTREAM AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED.

ONTARIO COUNTY HIGHWAY ACCESS GUIDELINES STANDARD NOTES:

- AFTER ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS APPROVES THIS PROJECT, A \$136 HIGHWAY PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
- ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
- ROAD SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. APPLICANT SHALL CONTROL DUST DURING CONSTRUCTION AT PROJECT SITE, BORROW AREAS, SPILL AREAS, AND HAUL ROADS BY APPLYING WATER OR OTHER APPROVED SPRAYING AGENTS TO ROAD AND DISTURBED AREAS.
- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE APPLICANT WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE ONTARIO COUNTY COMMISSIONER OF PUBLIC WORKS.
- DRAINAGE STRUCTURES (CULVERT PIPES, END SECTIONS, HEAD WALLS, ETC.) WITHIN COUNTY RIGHT-OF-WAY SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION. DRAINAGE STRUCTURES, WHICH ARE REMOVED DURING CONSTRUCTION, SHALL NOT BE RESET. DRAINAGE STRUCTURES THAT ARE REMOVED SHALL BE REPLACED WITH NEW MATERIALS OF THE SAME SIZE AND TYPE AS THE ORIGINAL CONSTRUCTION. ONLY IN SPECIAL CIRCUMSTANCES AND AFTER A CAREFUL FIELD INSPECTION, ONTARIO COUNTY COMMISSIONER OF PUBLIC WORKS OR DESIGNEE MAY CONSIDER ALLOWING DRAINAGE STRUCTURES TO BE RESET.
- TEMPORARY RESTORATION OF THE COUNTY HIGHWAY RIGHT-OF-WAY, INCLUDING SHOULDERS, ROADSIDE DITCHES, AND DITCH BACKFILLS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS OF THE ORIGINAL DISTURBANCE. THE APPLICANT SHALL AT ALL TIMES KEEP THE HIGHWAY RIGHT-OF-WAY FREE OF DEBRIS, OBSTRUCTIONS, AND HAZARDS OF ANY KIND. THE APPLICANT SHALL BE RESPONSIBLE FOR ALL NECESSARY GRADING, SEEDING AND MULCHING TO ACHIEVE TEMPORARY RESTORATION OF THE HIGHWAY RIGHT-OF-WAY TO THE SATISFACTION OF THE ONTARIO COUNTY COMMISSIONER OF PUBLIC WORKS.
- MATERIALS, EQUIPMENT AND VEHICLES SHALL NOT BE STORED OR PARKED WITHIN THE COUNTY HIGHWAY RIGHT-OF-WAY.
- IF ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY MONUMENTS ARE IN THE WORK AREA \$83,500 SECURITY DEPOSIT PER MONUMENT IS REQUIRED. CONTACT ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS FOR DETAILED INFORMATION AT (585) 396-4000.

CONSTRUCTION EROSION CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH NYSDEC GENERAL PERMIT GP-0-15-002 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.

4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.

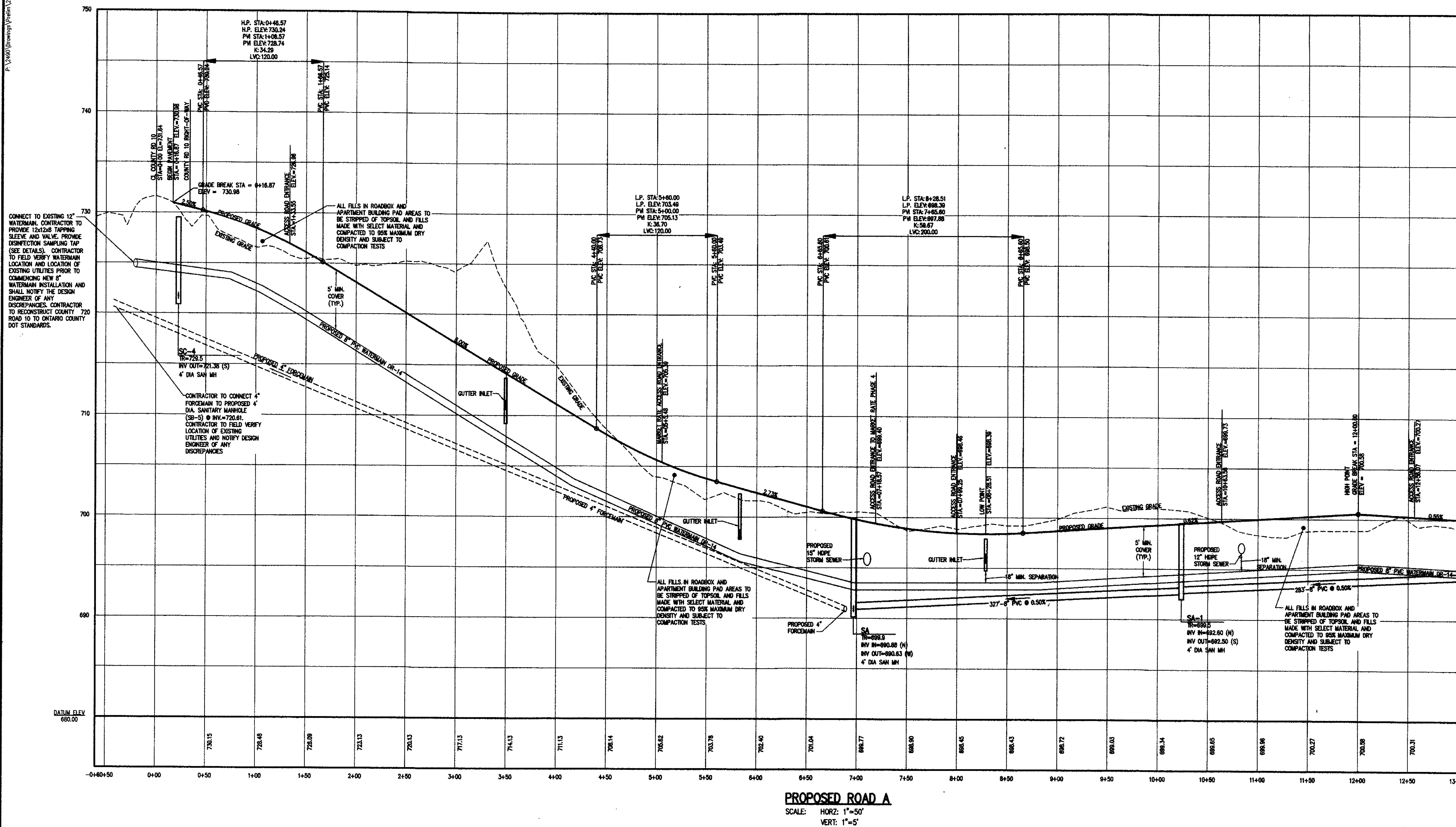
5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP TO BE KEPT ON-SITE BY THE OWNER.

6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)

7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON-SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

8. FOR DISTURBANCES OF 5 ACRES AND GREATER, DISTURBED AREAS NOT TO BE WORKED IN FOR 7 DAYS MUST BE TEMPORARILY SEEDING WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.

9. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDING. IF THE SEASON PREVENTS



MATCHLINE - SEE BME DWG 2490-25

90-1-20.110, 84.00-1-20.120 & 84.00-1-43.1

**T 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-1-1
CREEKVIEW APARTMENTS AT**

**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANADARUGA, ONTARIO COUNTY, NEW YORK STATE
THE OMAHARCO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE
ROAD
ROCHESTER, NEW YORK 14623

REEKVIEW APARTMENTS
WOODLAND PARK
OF CANADARUA, ONTARIO COUNTY, NEW YORK
THE OMARO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE
ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
PROFILE SHEET

PROJECT	LOCATION	CLIENT	DRAWING TITLE
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PROJECT MANAGER	
M. JANDA/P. VARS	
PROJECT ENGINEER	
M. BOGOJEVSKI	
DRAWN BY	
R. GLITCH	
SCALE	DATE ISSUED
1" = 50'	FEBRUARY 2017
PROJECT NO.	
2490	

24
(SHEET 1 OF 2)

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14650
PHONE 585-377-7360
FAX 585-377-7369
WWW.BMEPC.COM

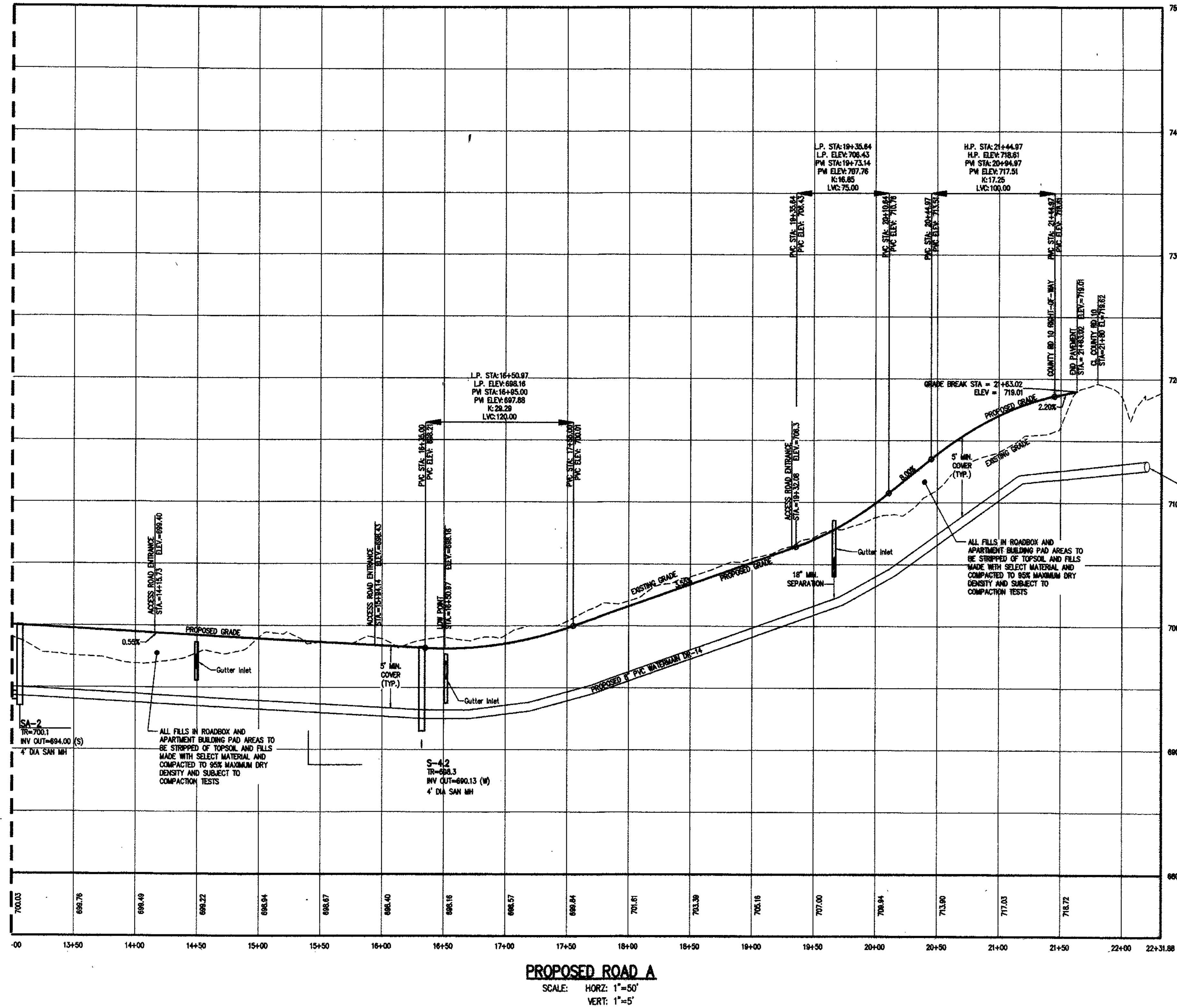
REEKVIEW APARTMENTS
WOODLAND PARK
OF CANADARUA, ONTARIO COUNTY, NEW YORK
THE OMARO GROUP
1950 BRIGHTON HENRIETTA TOWN LINE
ROAD
ROCHESTER, NEW YORK 14623
OVERALL PRELIMINARY
PROFILE SHEET

PROJECT	LOCATION	CLIENT	DRAWING TITLE
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PROJECT MANAGER	
M. JANDA/P. VARS	
PROJECT ENGINEER	
M. BOGOJEVSKI	
DRAWN BY	
R. GLITCH	
SCALE	DATE ISSUED
1" = 50'	FEBRUARY 2017
PROJECT NO.	
2490	

24
(SHEET 1 OF 2)

MATCHLINE - SEE BME DWG 2490-24



APPROVALS

BY: *[Signature]* DATE: 10/31/17
 TOWN ENGINEER

BY: *[Signature]* DATE: 1-31-18
 TOWN OF CANANDAGUA PLANNING BOARD CHAIRPERSON

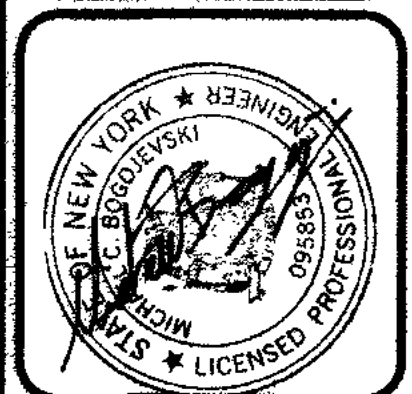
BY: *[Signature]* DATE: 10/5/17
 TOWN OF CANANDAGUA HIGHWAY/WATER SUPERINTENDENT

Warning Attention
 The Engineer is an expert from the New York State Education Law Article 145 Section 7209 and applies to this drawing.
 It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by the signature and the date of such alteration, and a specific description of the alteration."

7	6	5	4	3	2	1
					REVISED PER TOWN AND MIB COMMENTS	REVISED PER TOWN AND MIB COMMENTS
					DATE	DATE
					BY	BY

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10101 BURGESS LANE EAST
 PARKER, NEW YORK 14650
 PHONE: 585-377-7360
 FAX: 585-377-7369
 WWW.BMEPCOM



CREEKVIEW APARTMENTS AT WOODLAND PARK
 TOWN OF CANANDAGUA, ONTARIO COUNTY, NEW YORK STATE

PROJECT: THE OMAHA GROUP
 1950 BRIDGTON HERBERTA TOWN LINE ROAD
 ROCHESTER, NEW YORK 14625

OVERALL PRELIMINARY PROFILE SHEET

PROJECT MANAGER
 M. JANDA/P. VARS

PROJECT ENGINEER
 M. BOGOLJEVSKI

DRAWN BY
 R. GLITCH

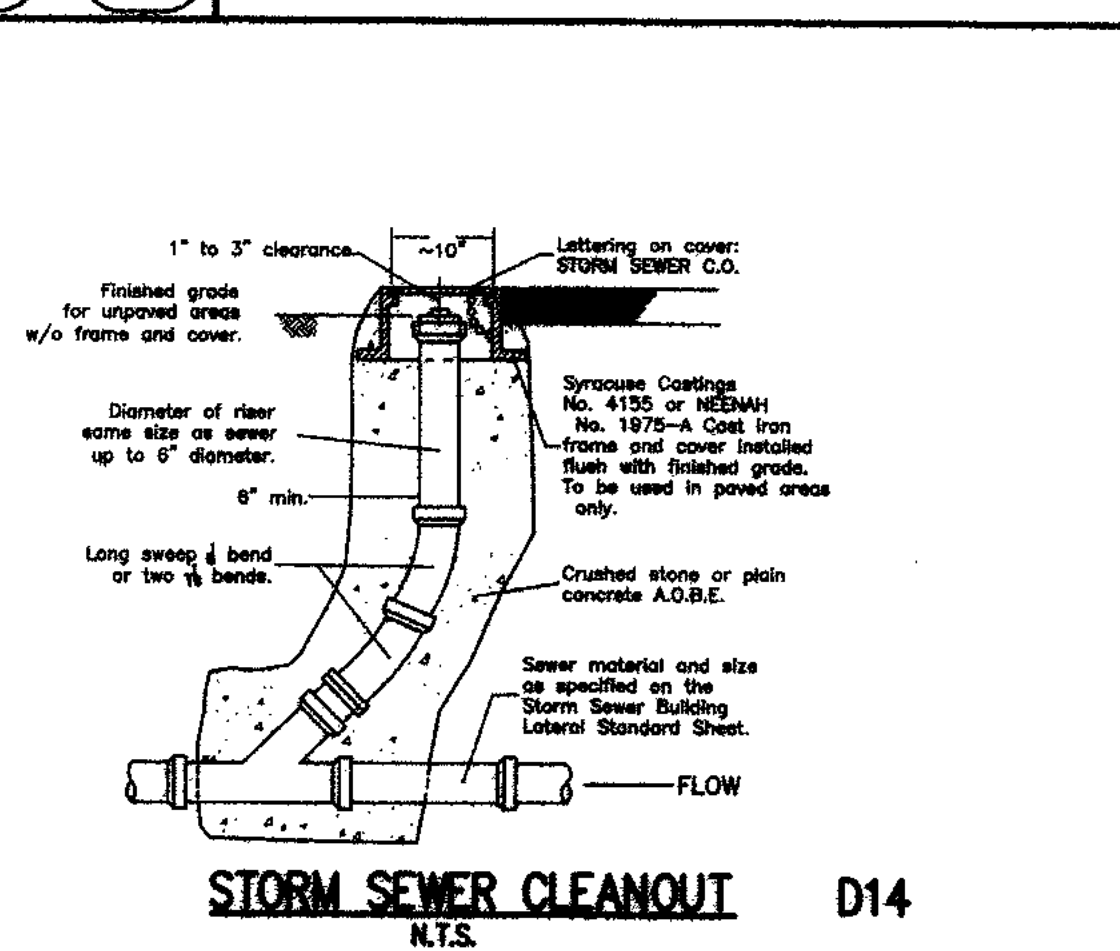
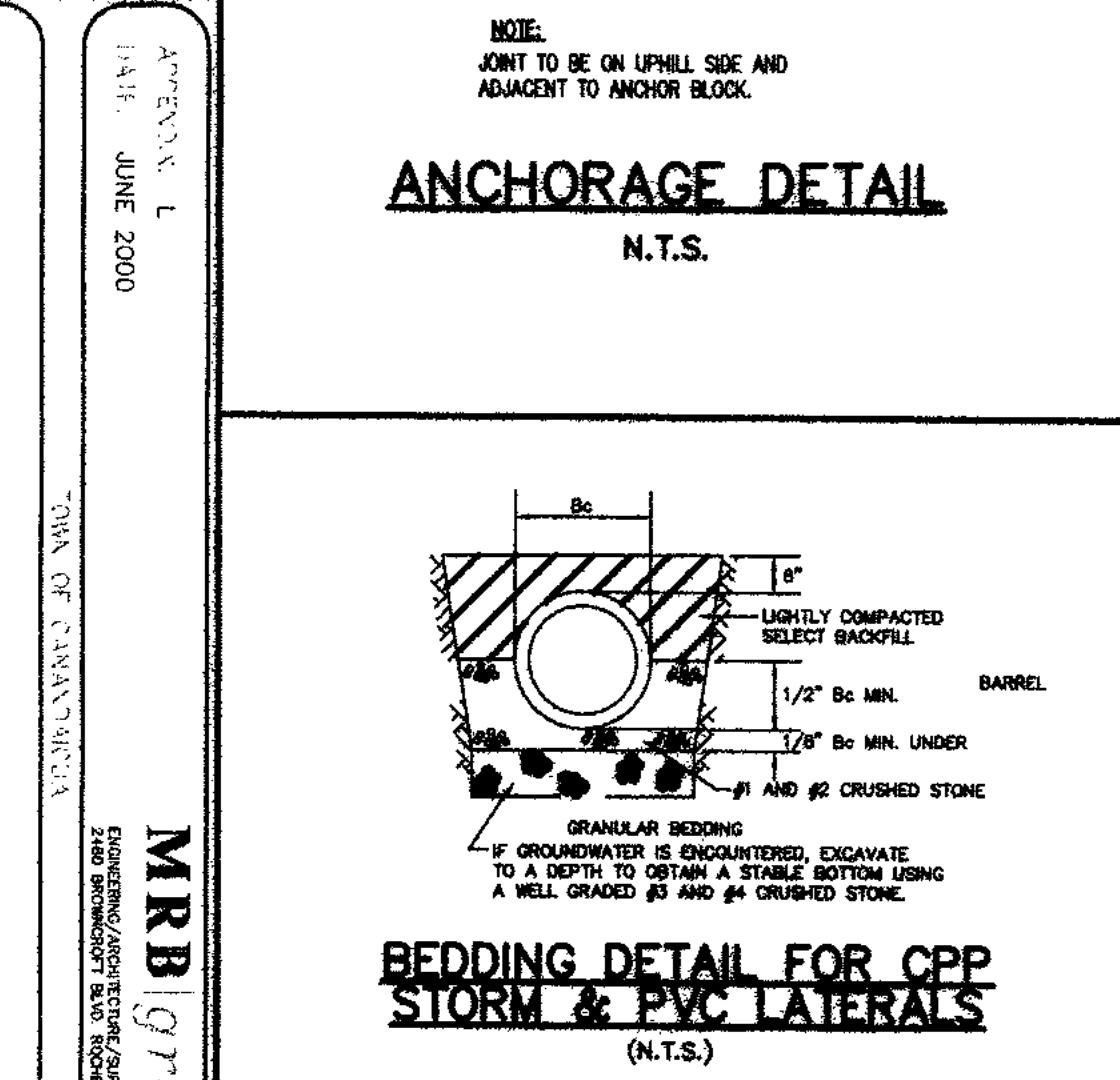
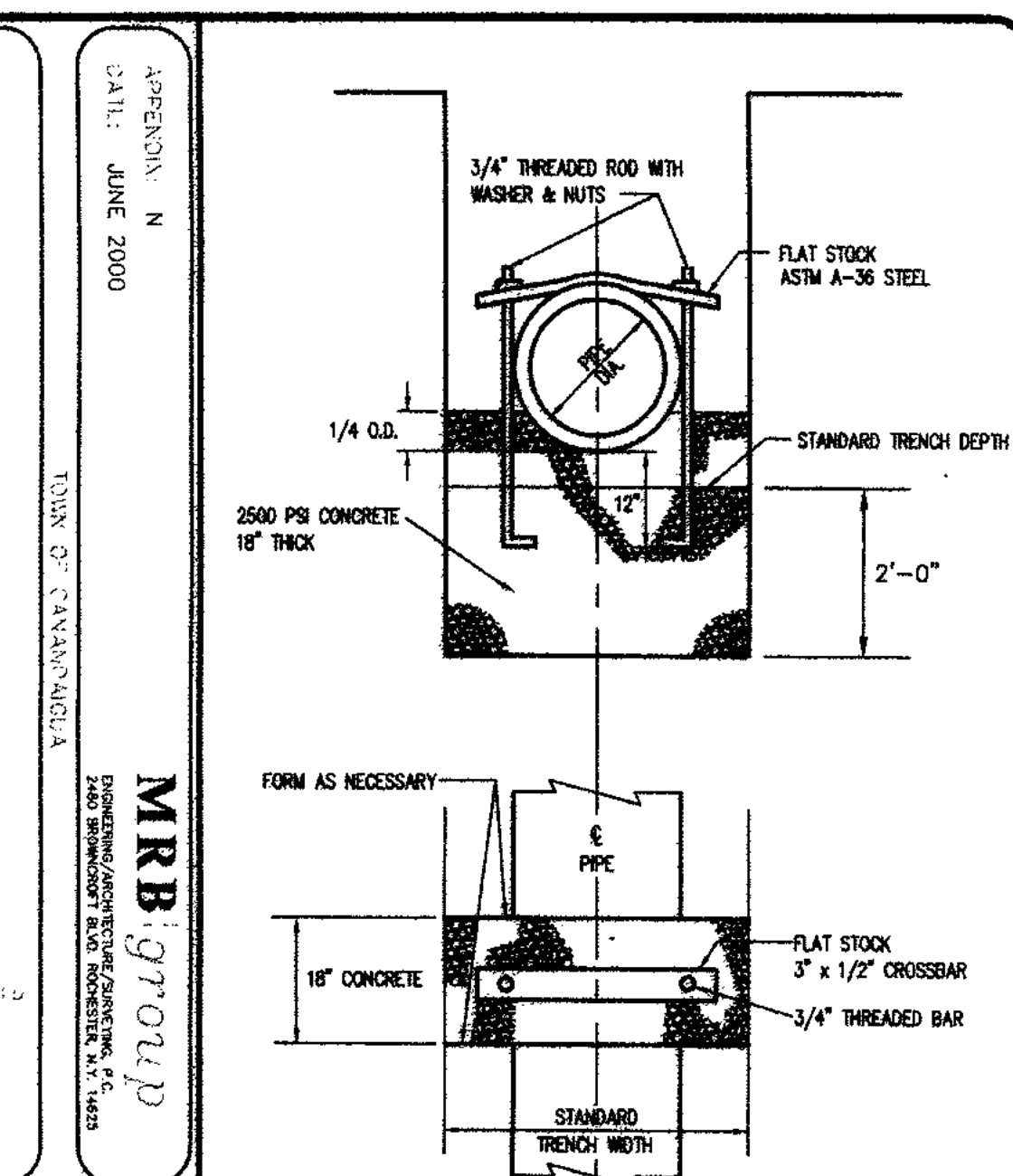
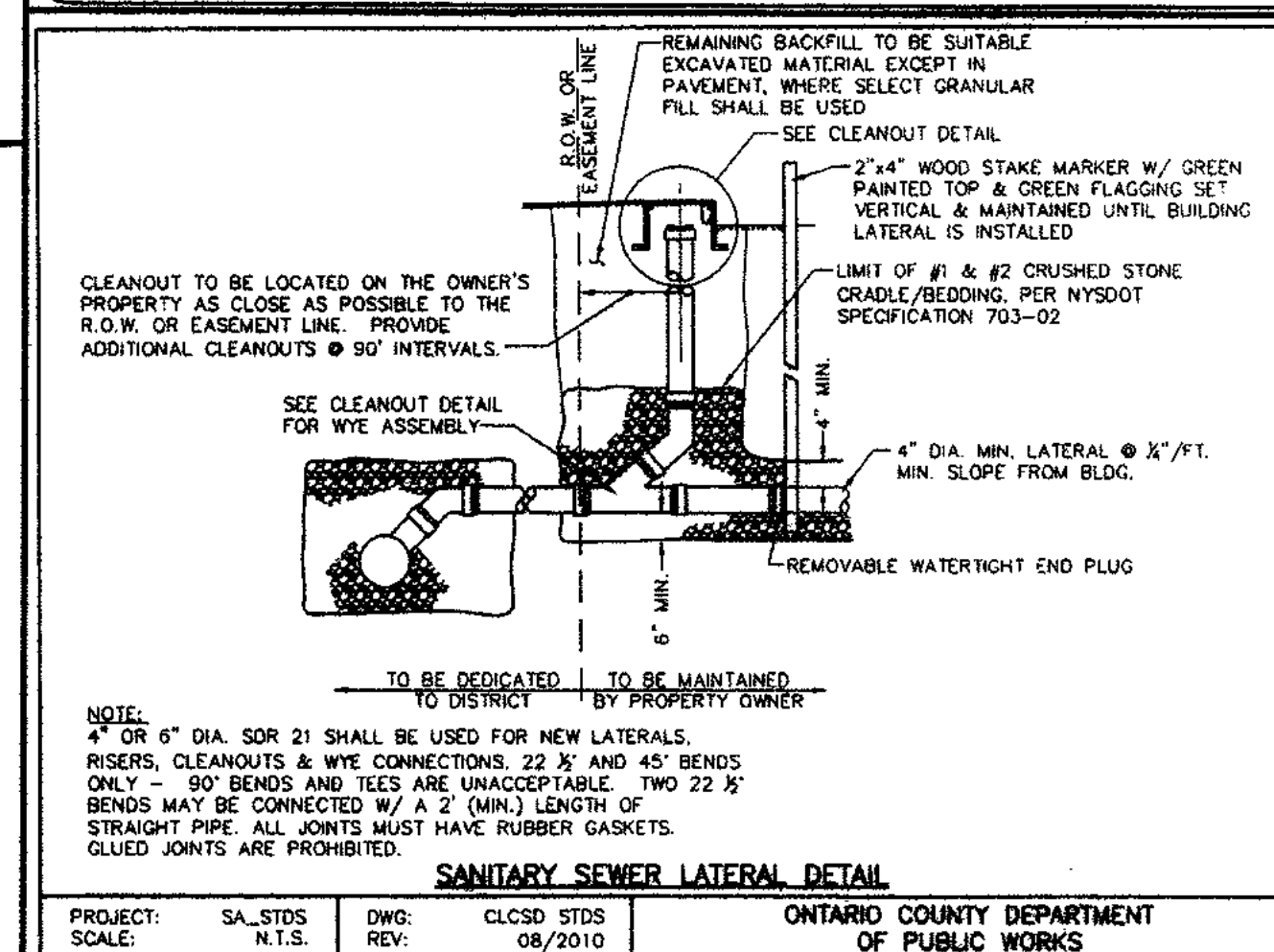
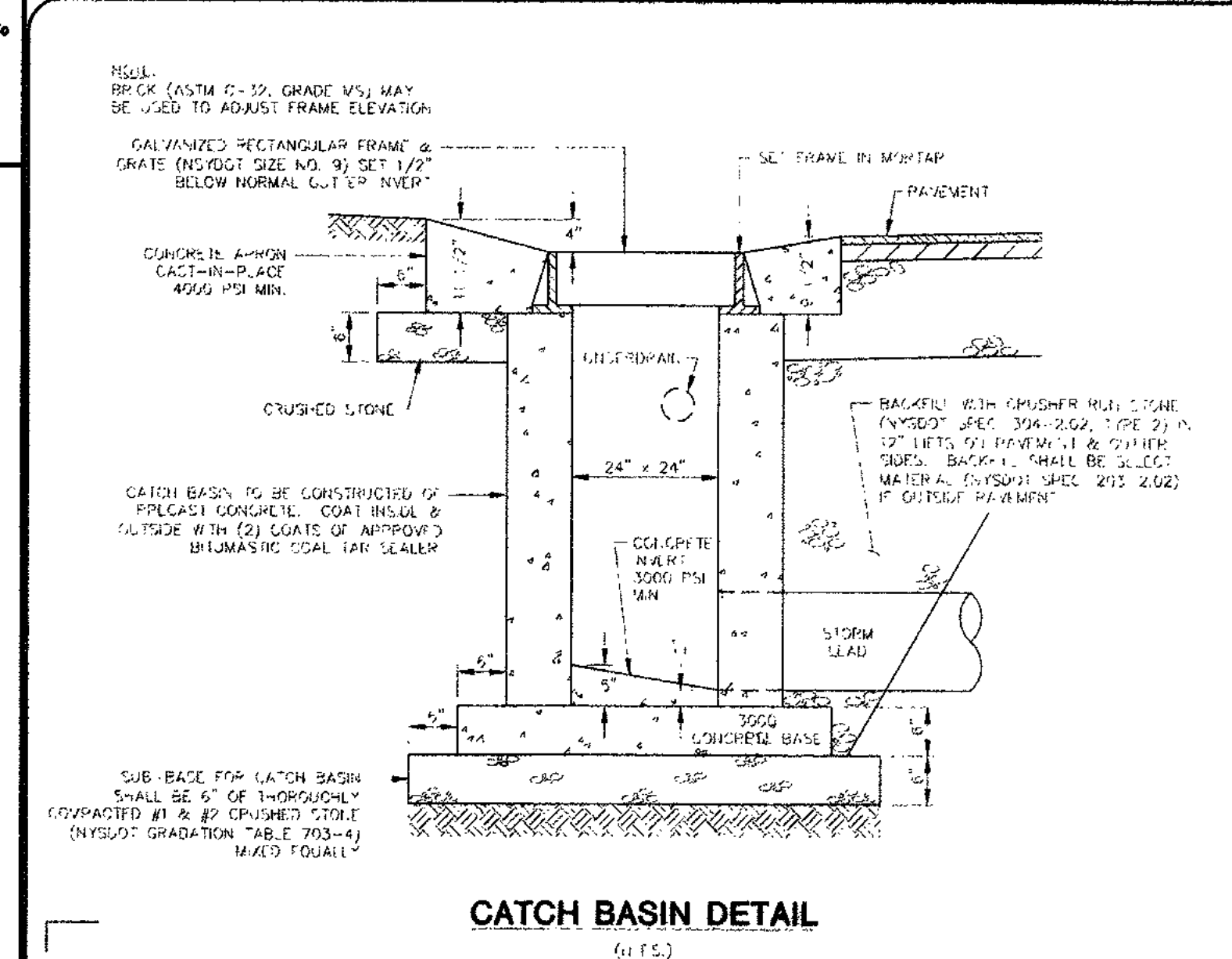
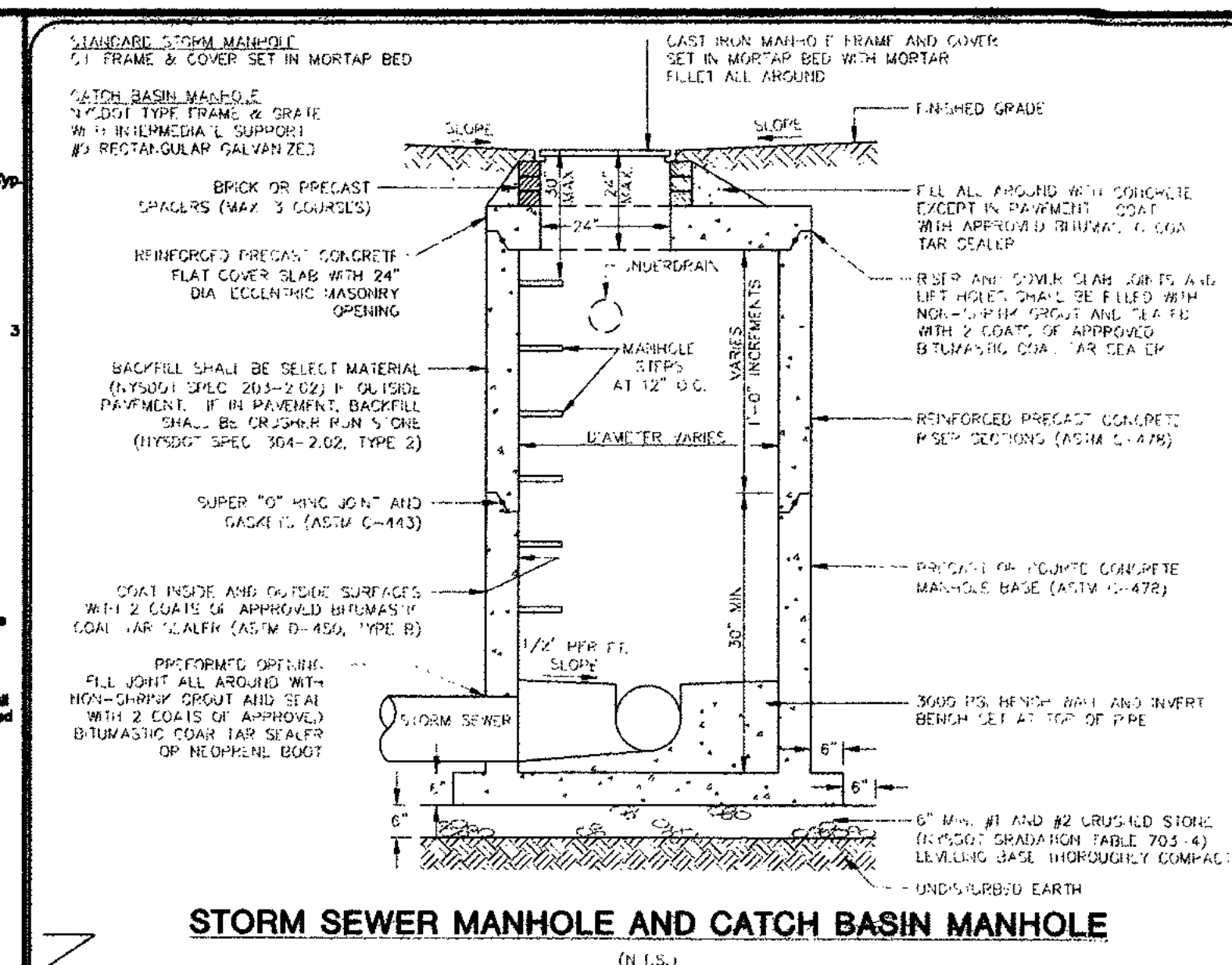
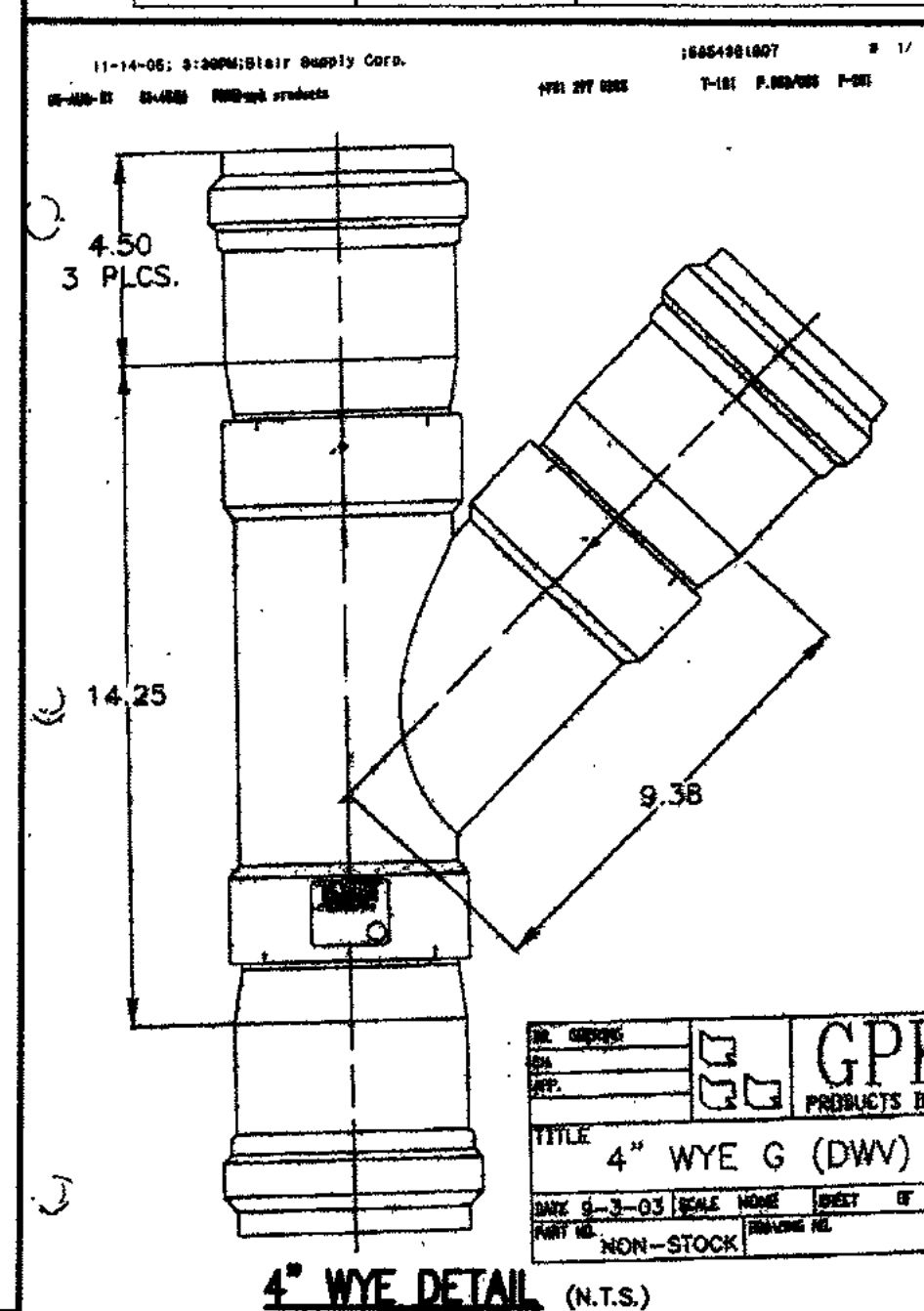
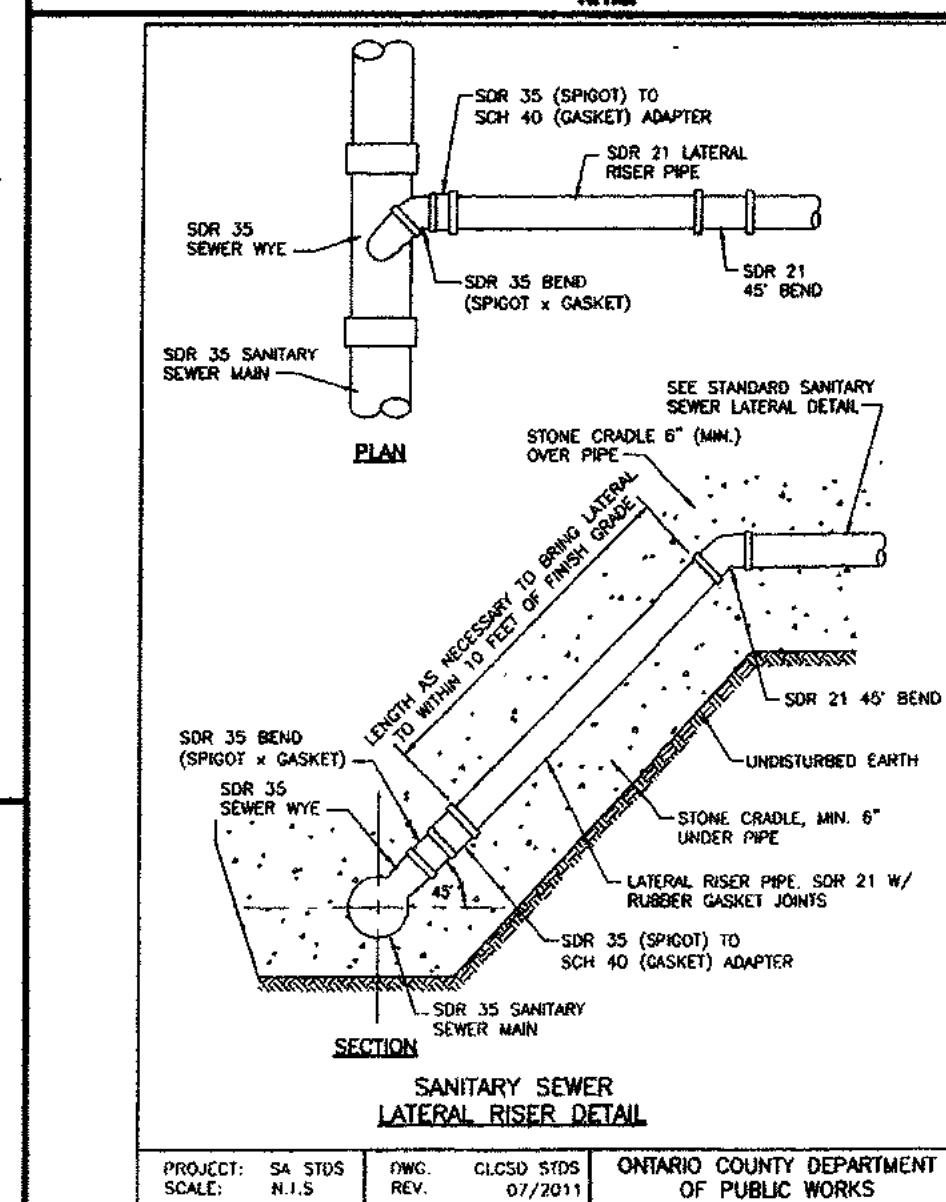
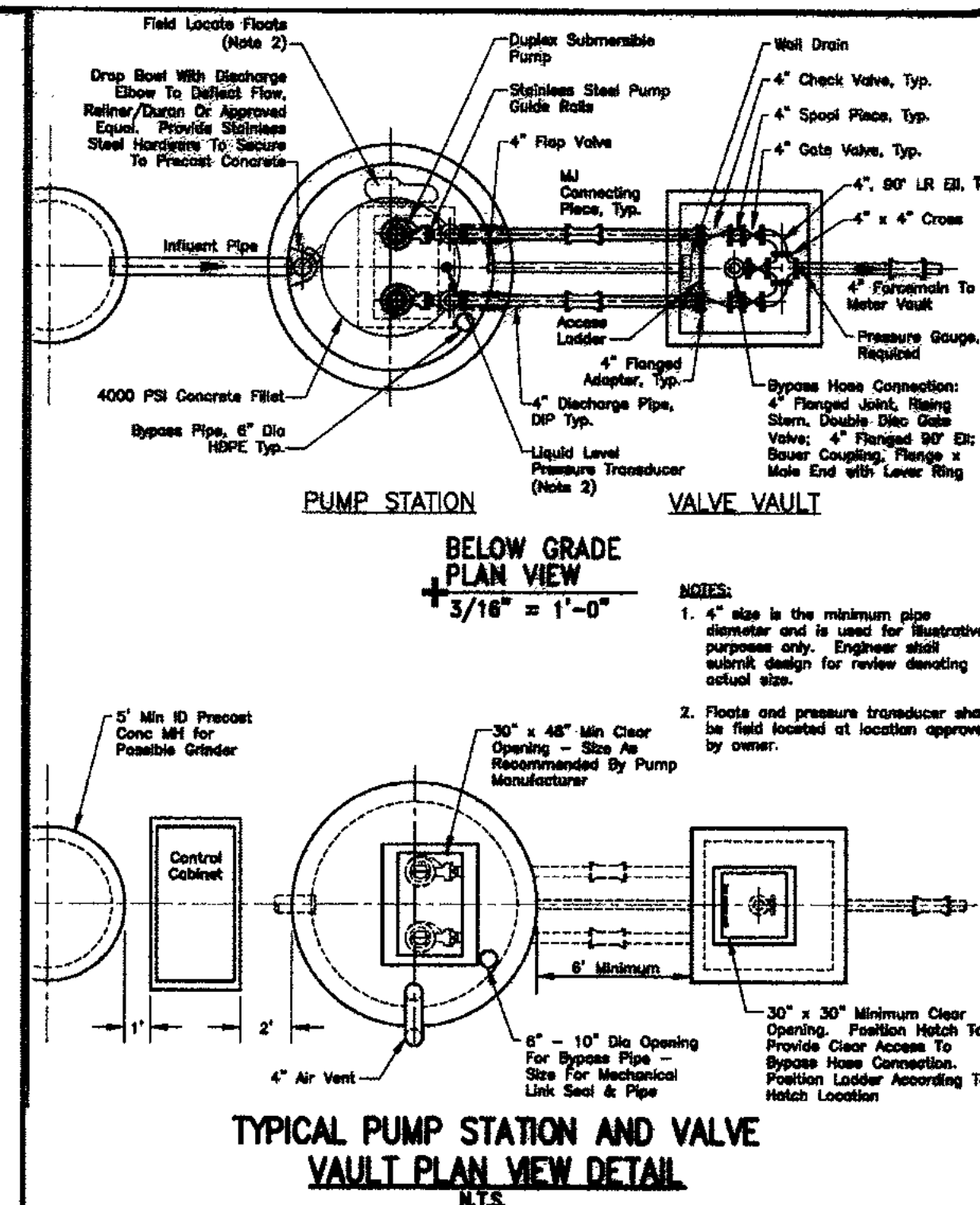
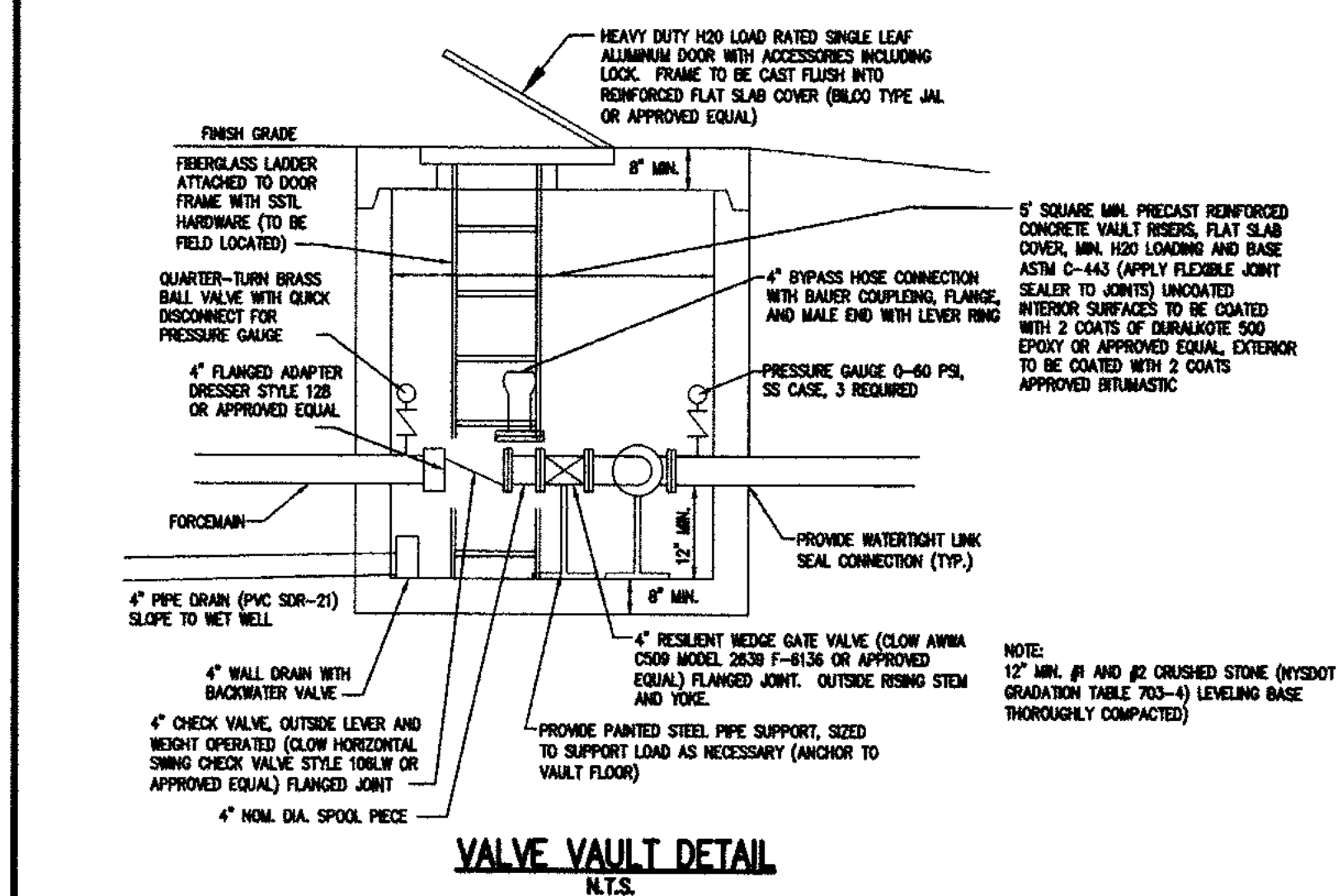
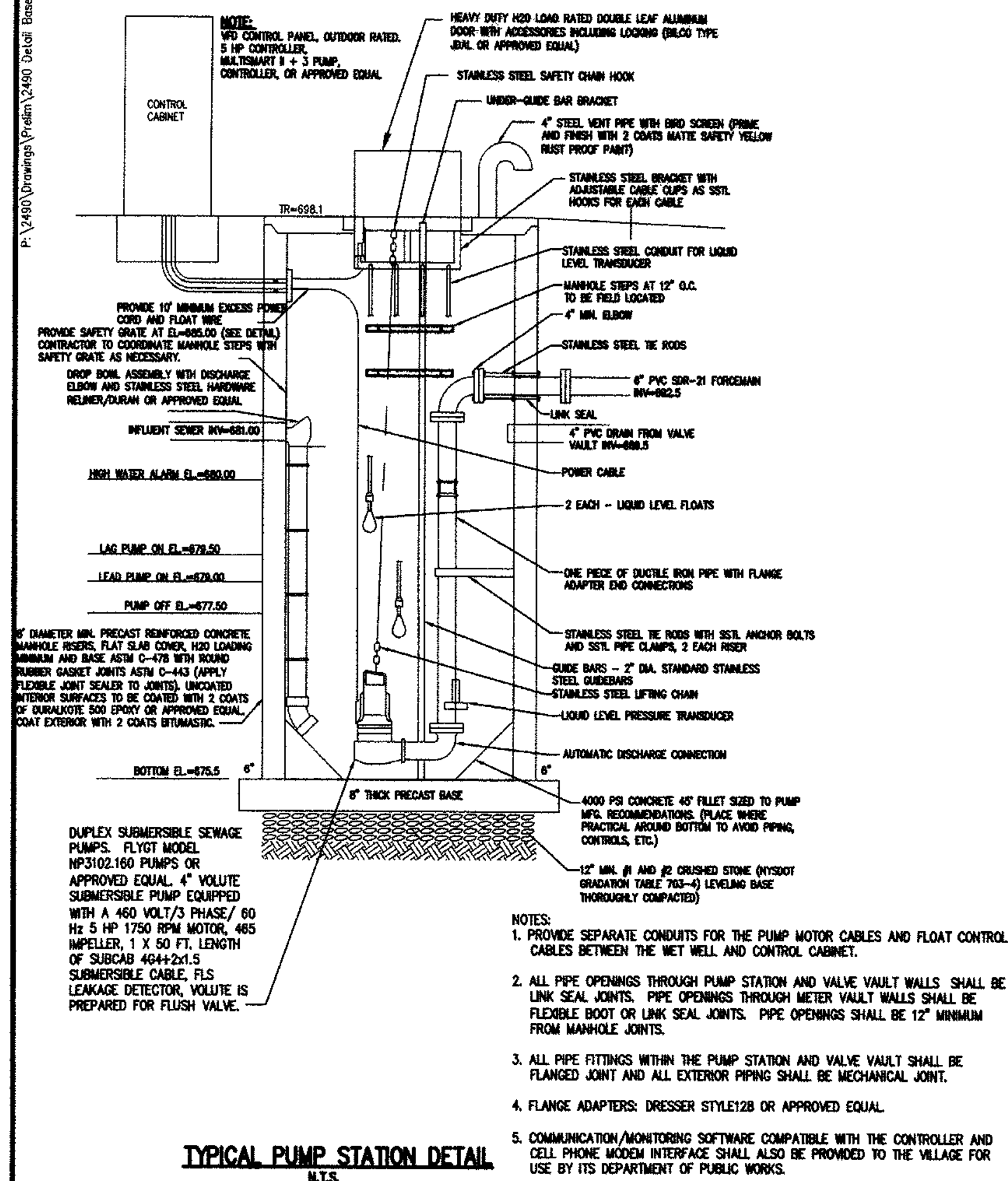
SCALE
 1"=50'

DATE ISSUED
 FEBRUARY 2017

PROJECT NO.
 2490

DRAWING NO.
 25
 (SHEET 2 OF 2)

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER			
M. JANDA/P. VARS			
PROJECT ENGINEER			
M. BOSQUEVSKI			
DRAWN BY			
Z. GREGG			
SCALE		DATE ISSUED	
NTS		FEBRUARY 2017	
PROJECT NO.			
2490			
DRAWING NO.			
26			



7			
6			
5			
4			
3			
2	REFUSED PER TOWN AND WRB COMMENTS	6/5/17	WOB
1	REFUSED PER PROG MEETING	2/14/17	RRG
	REVISIONS	DATE	BY

BAM ASSOCIATES
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10 LIFT BRIDGE LANE EAST
FARMINGTON, NEW YORK 14450
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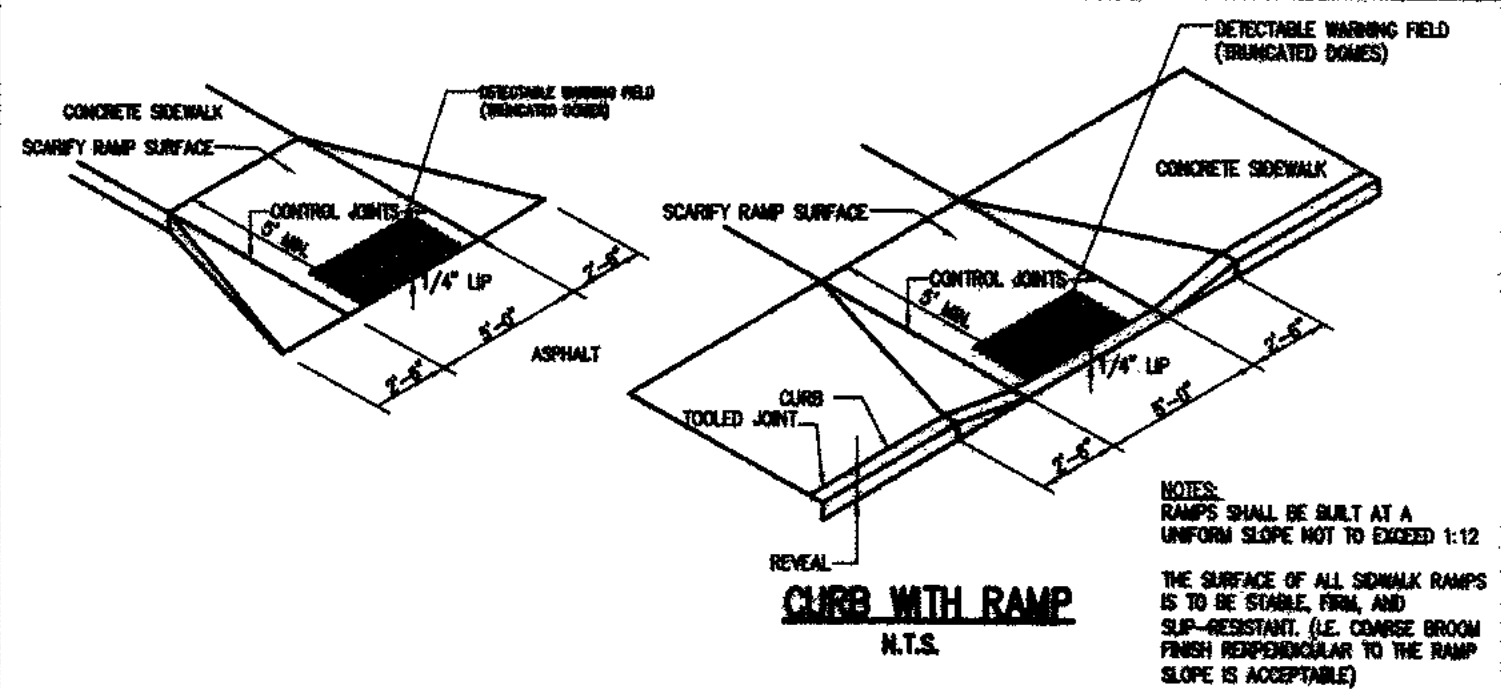
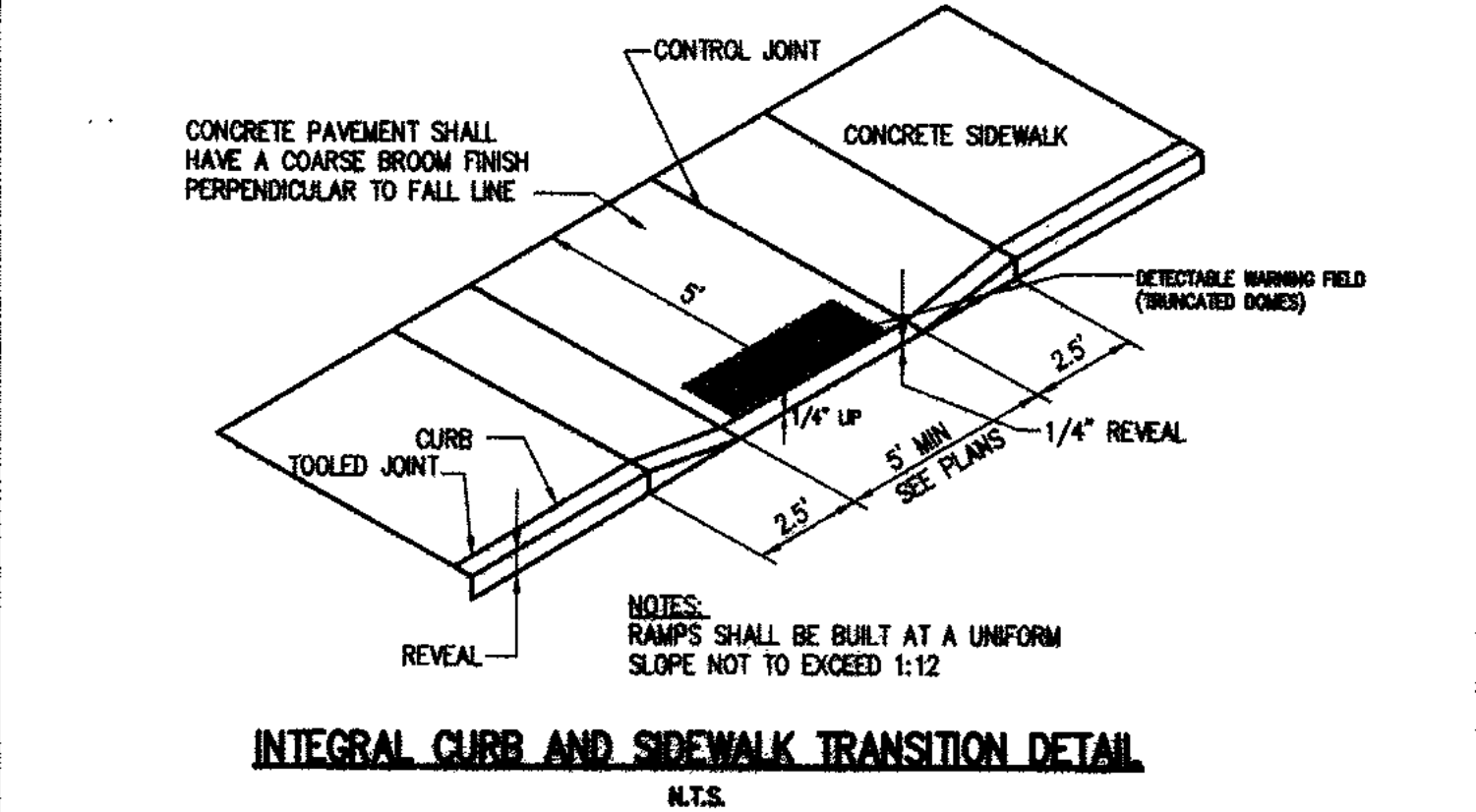
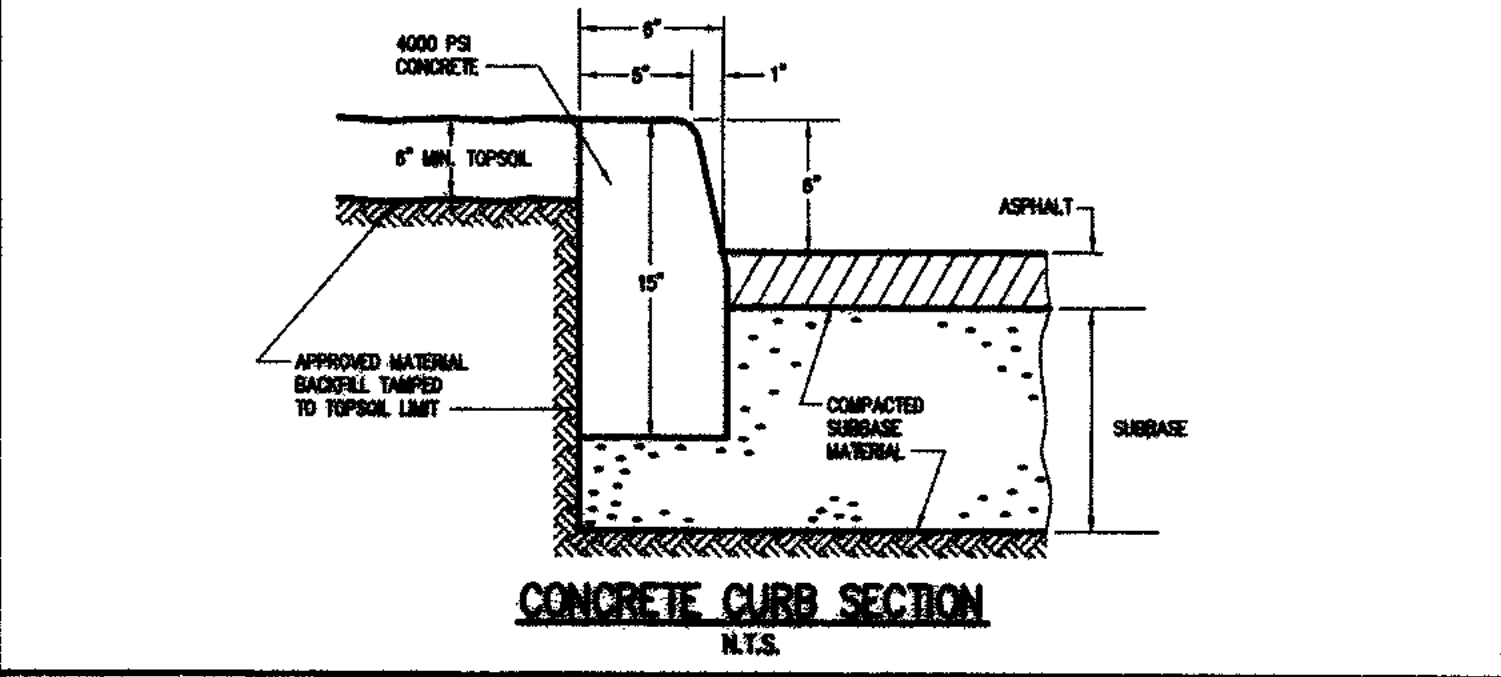
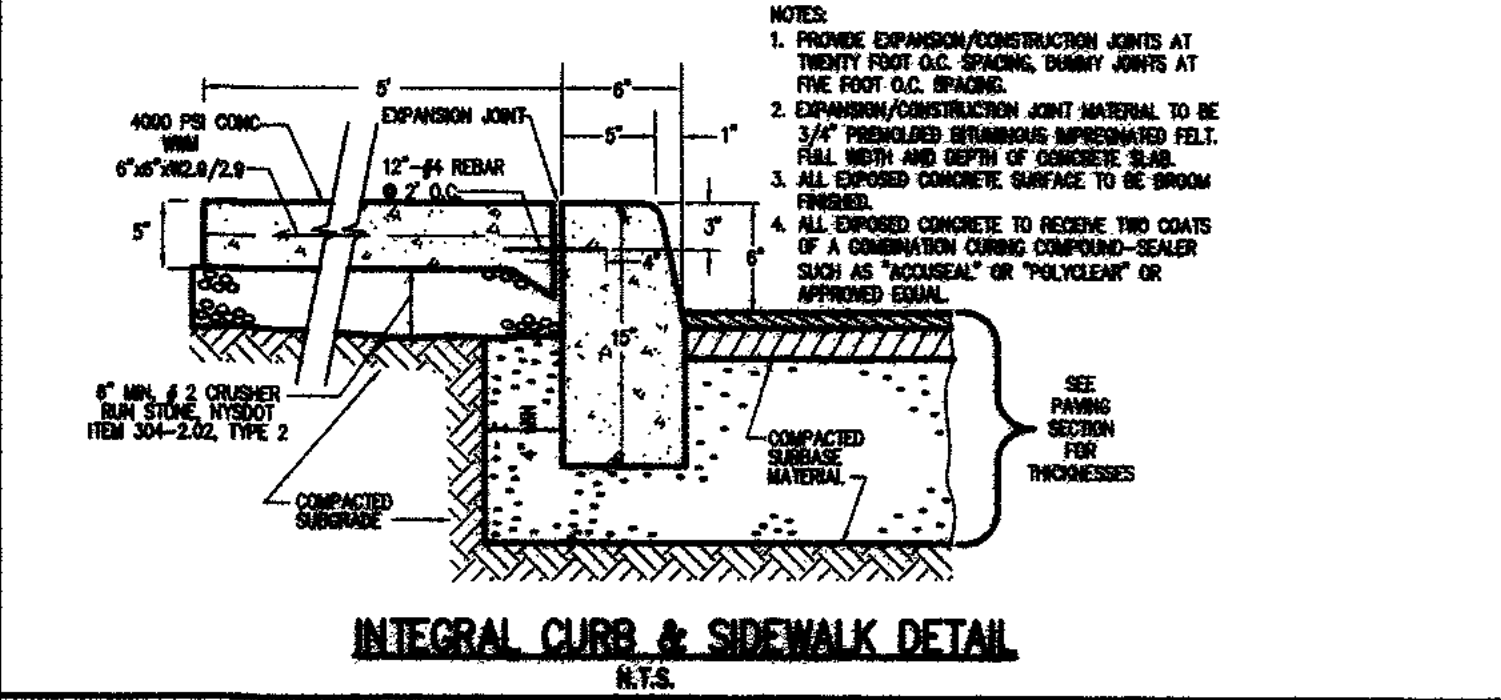
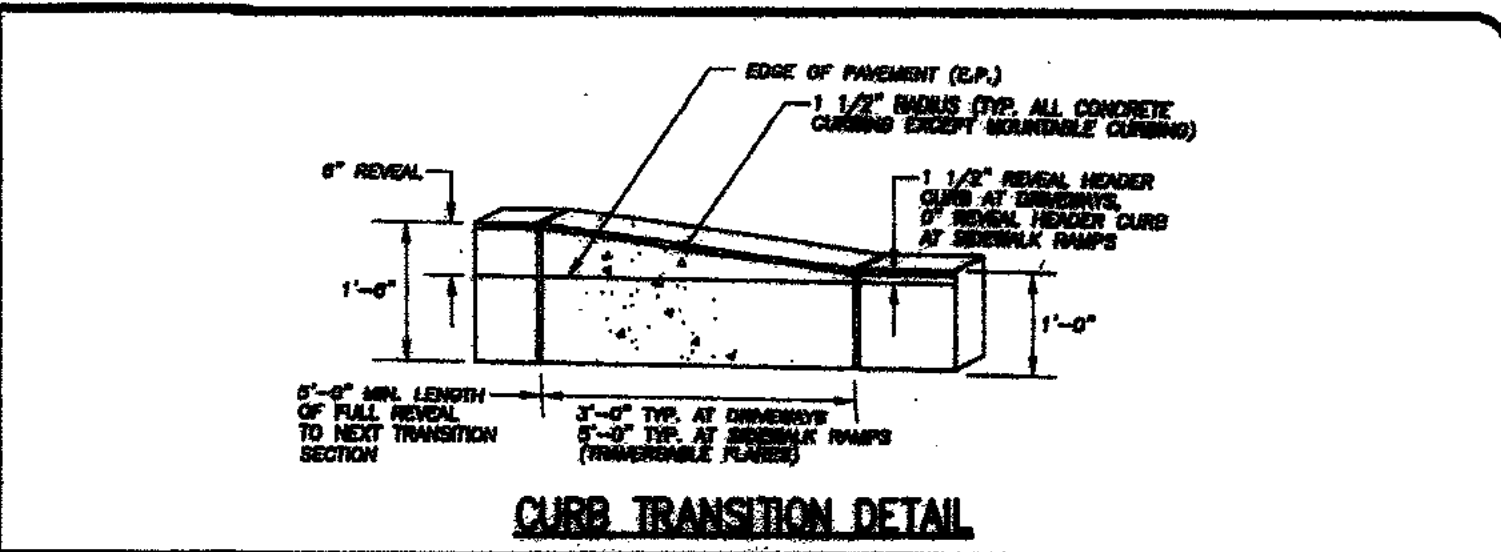
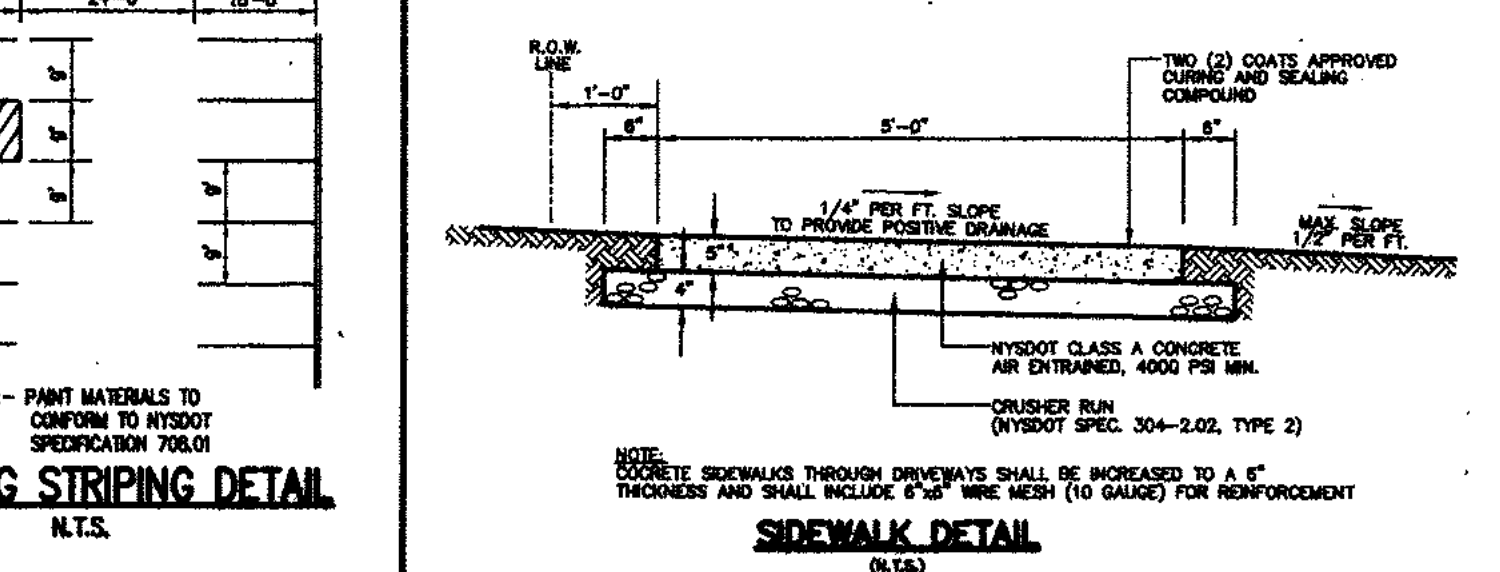
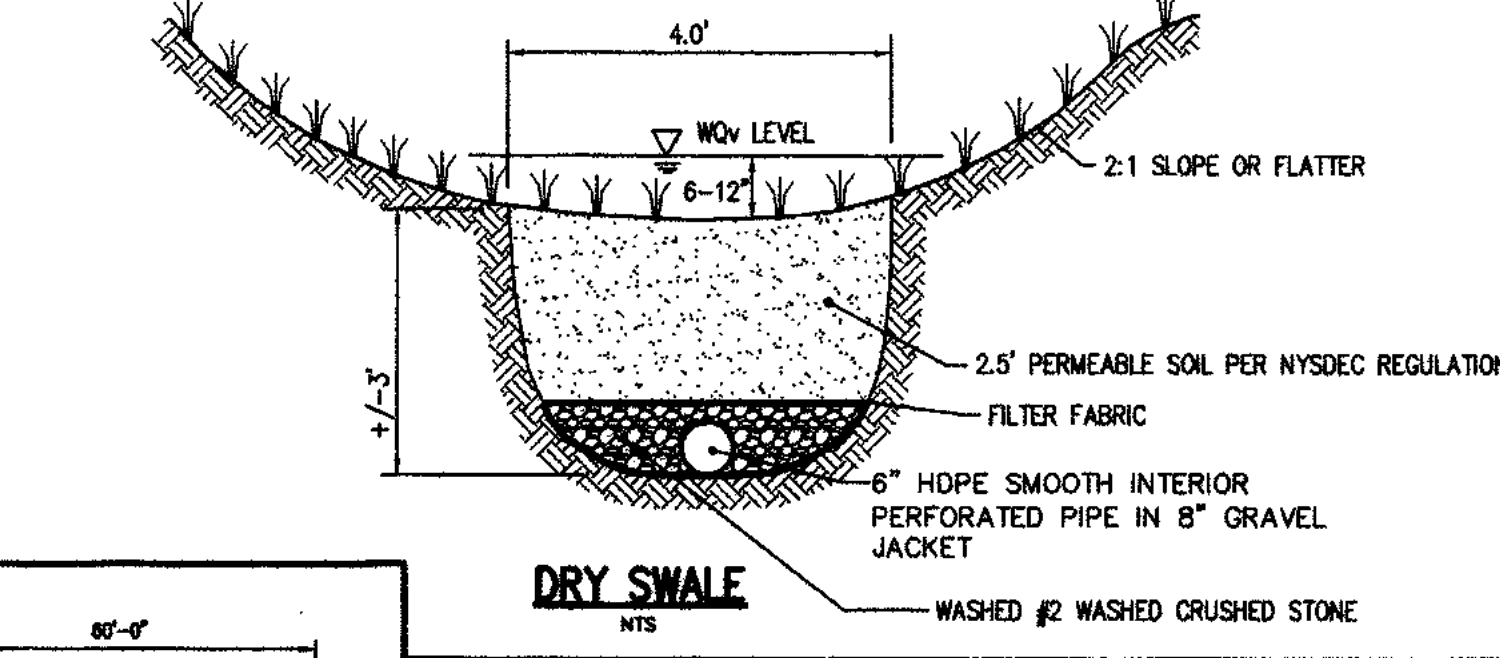
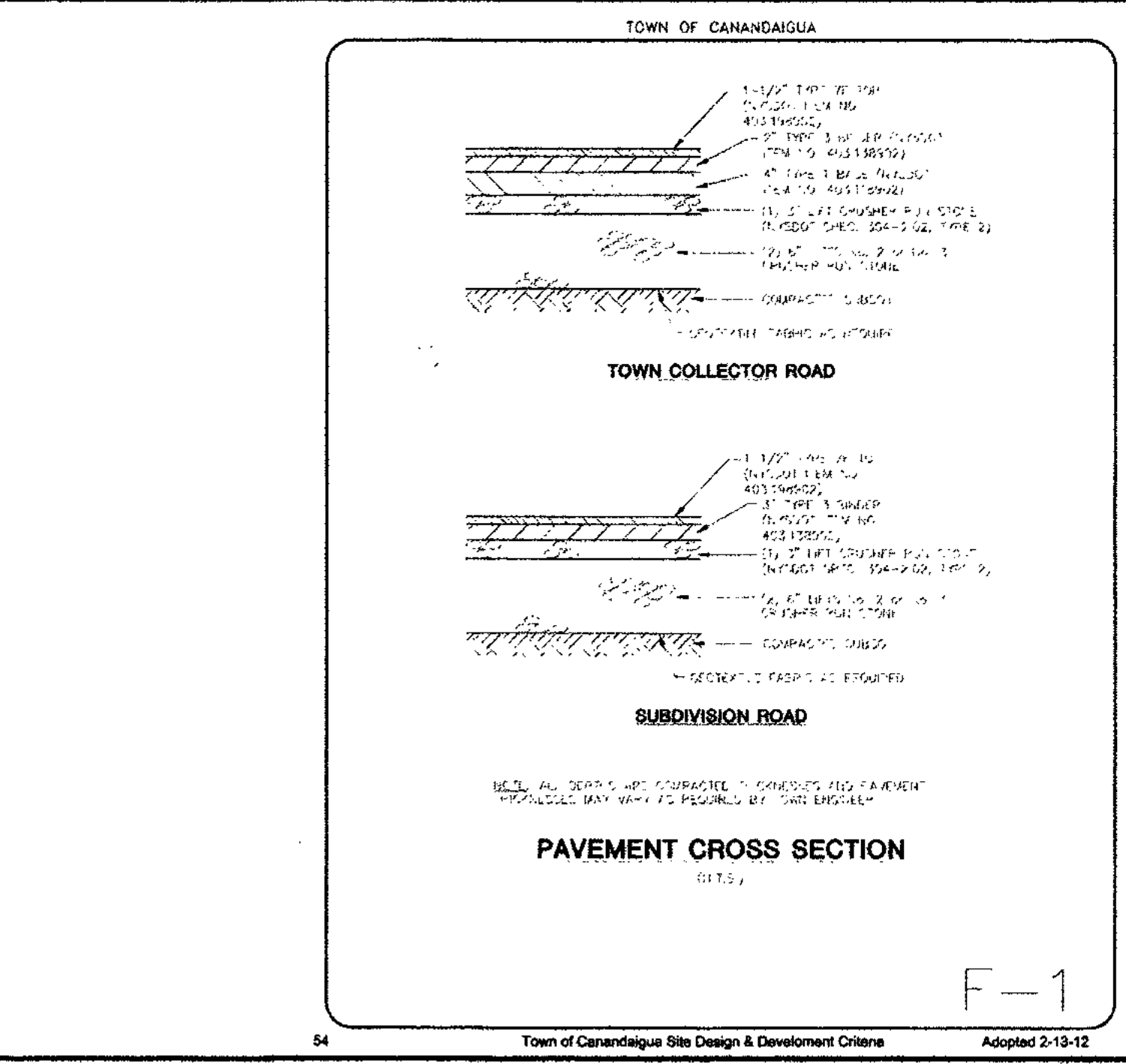
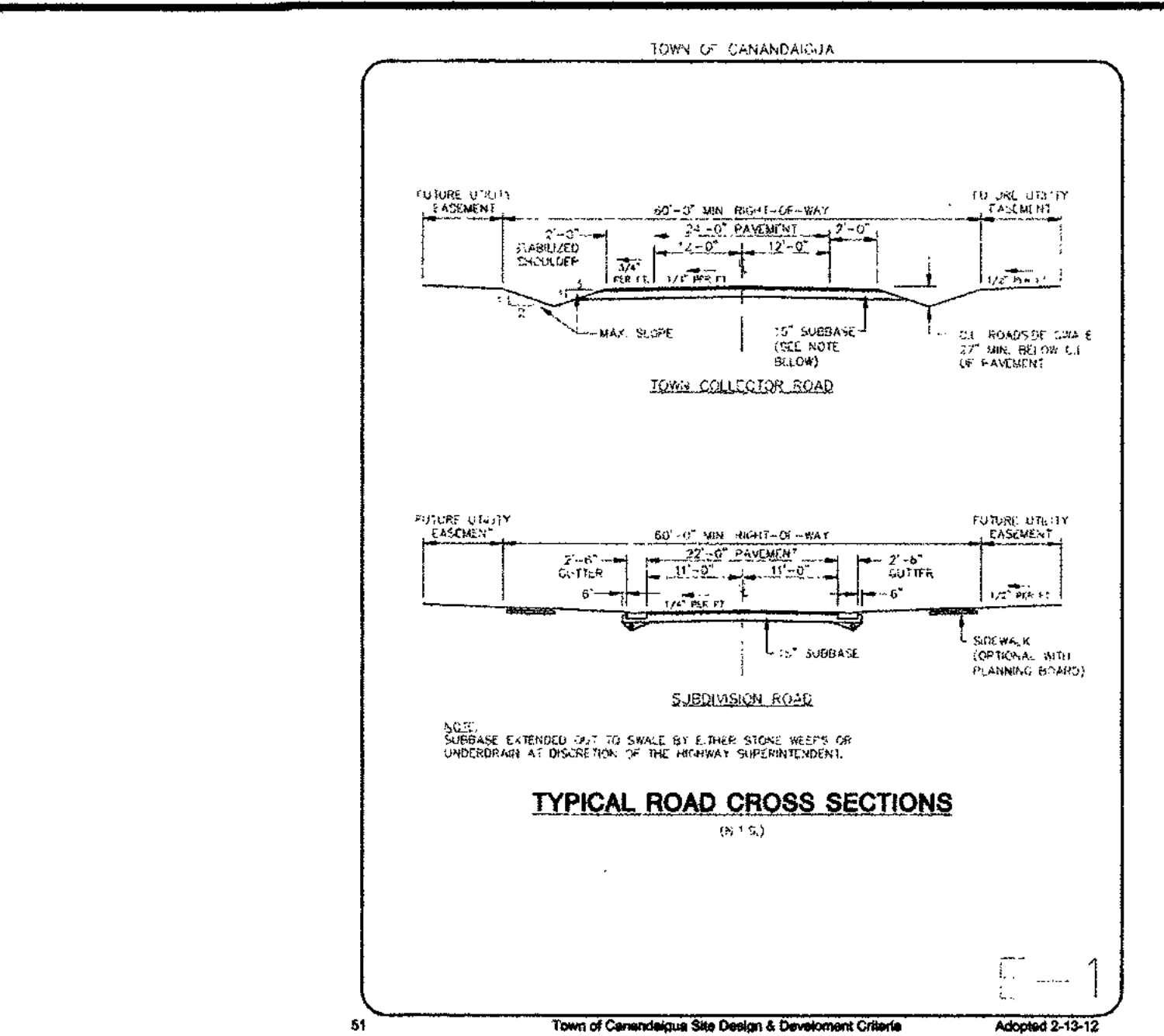
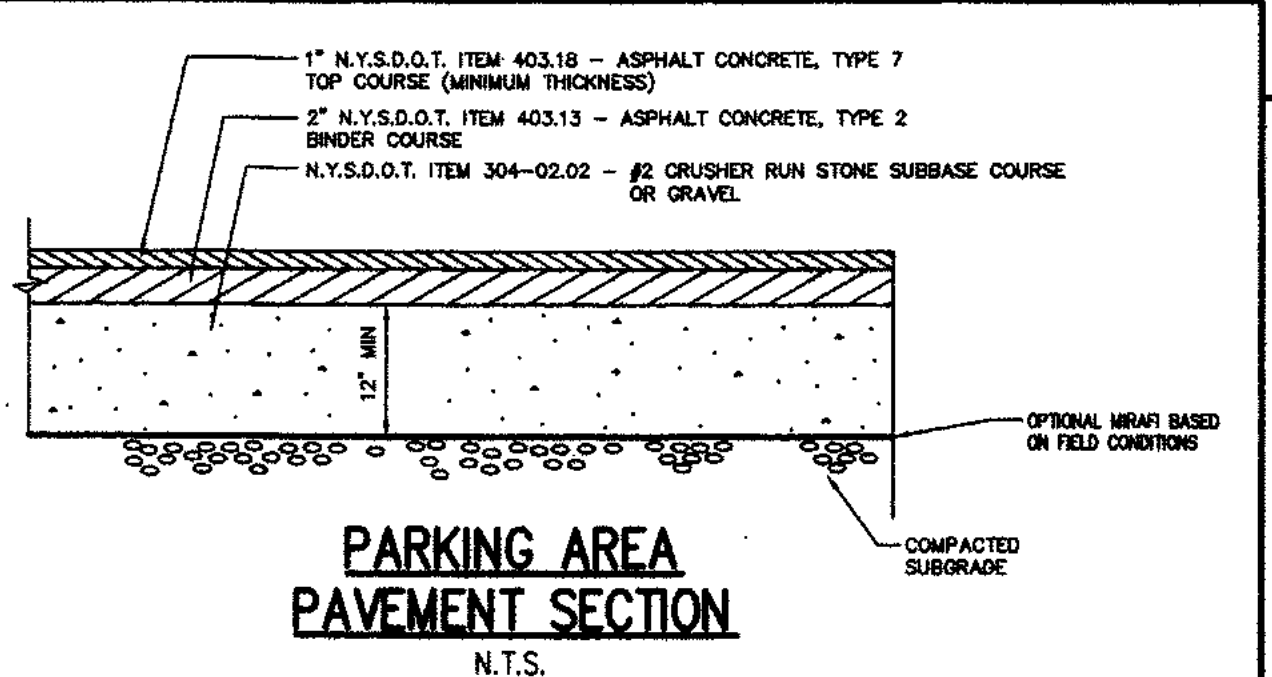
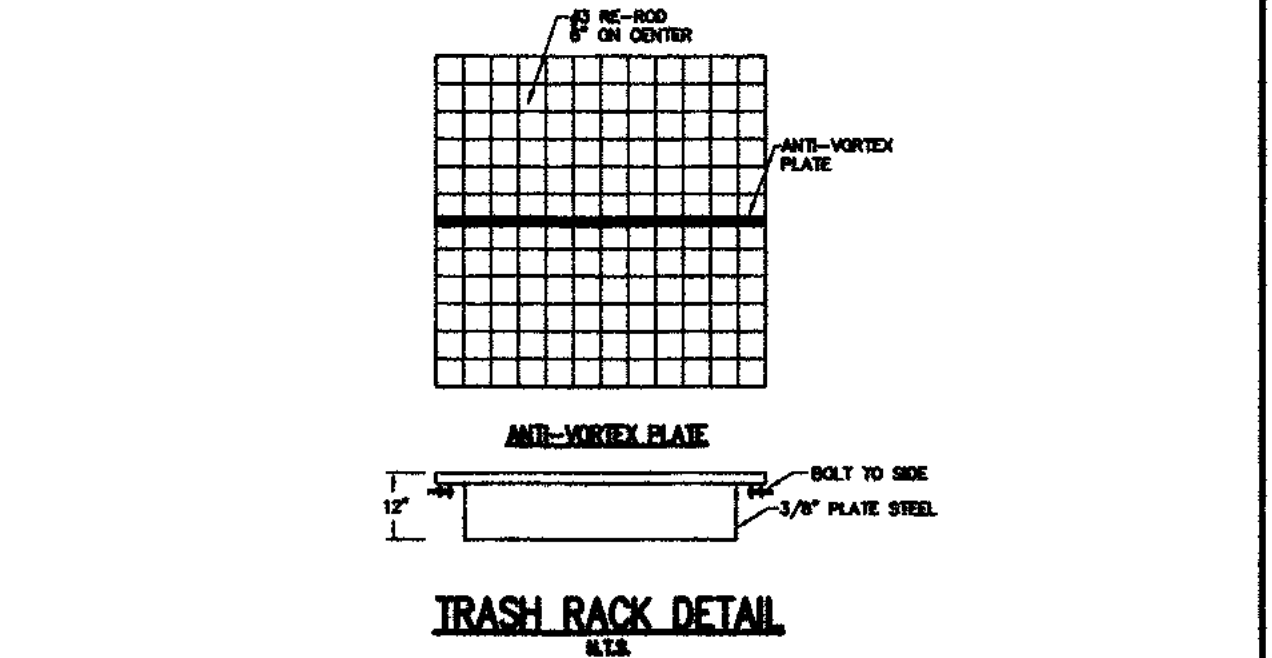
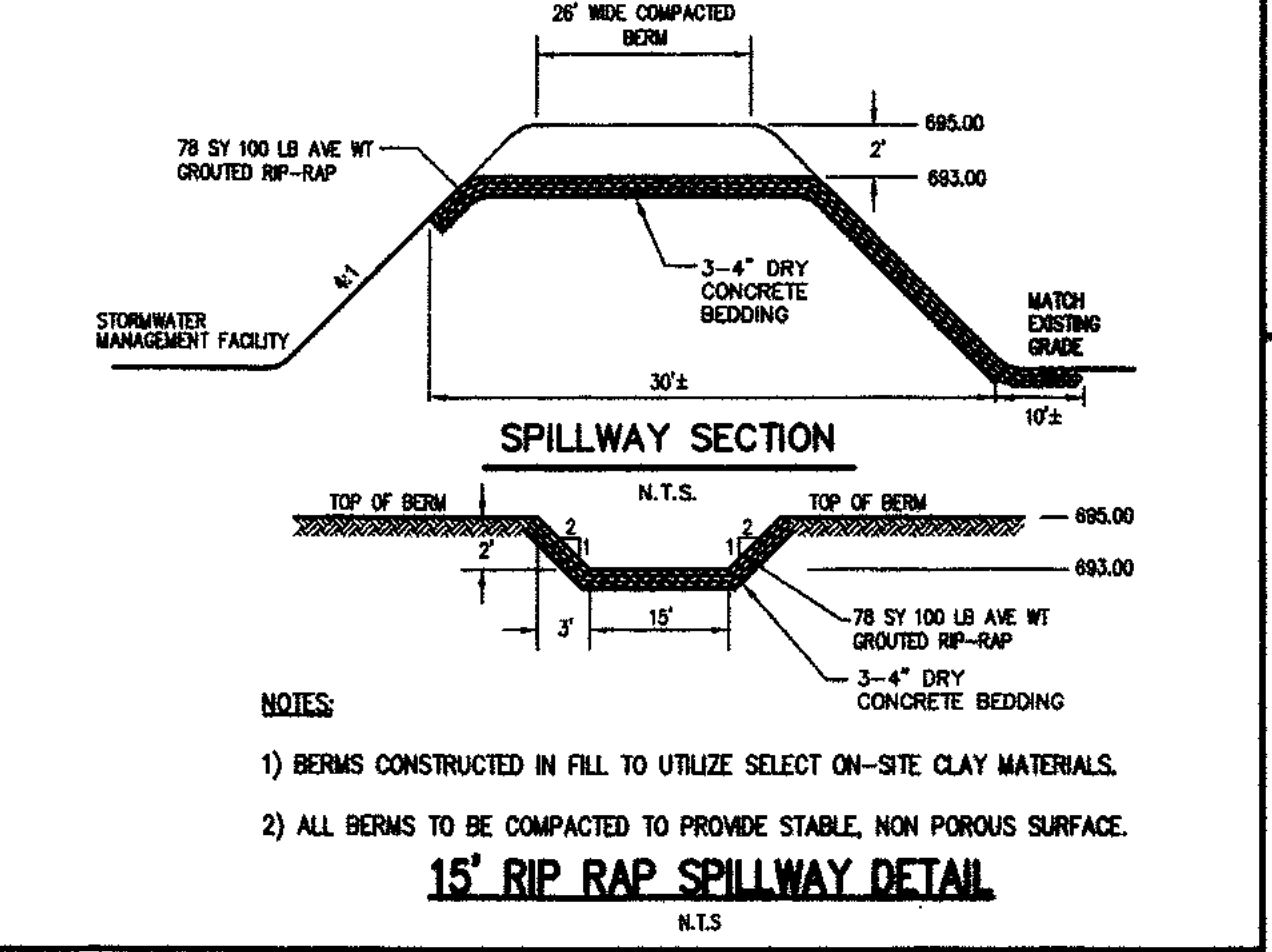
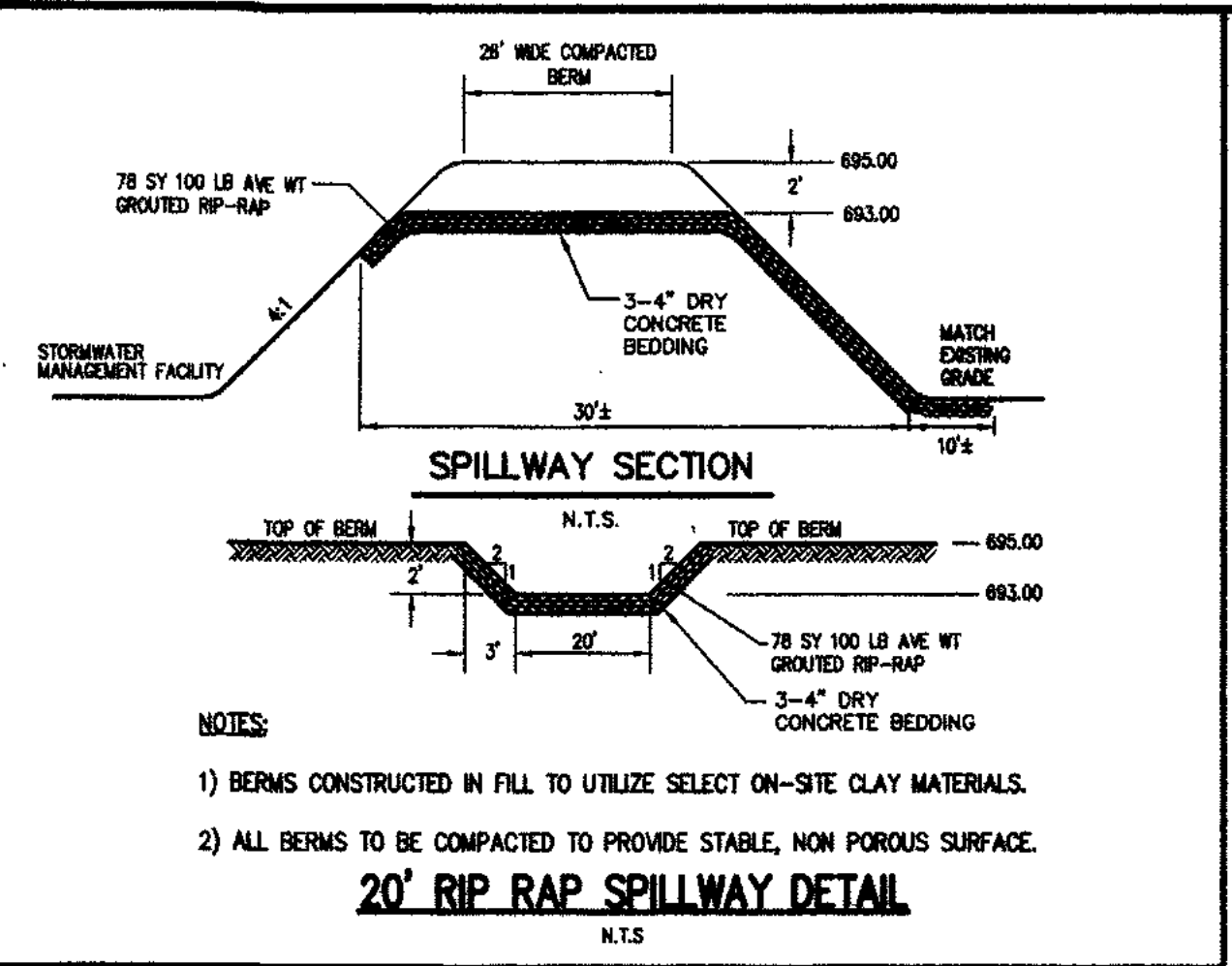
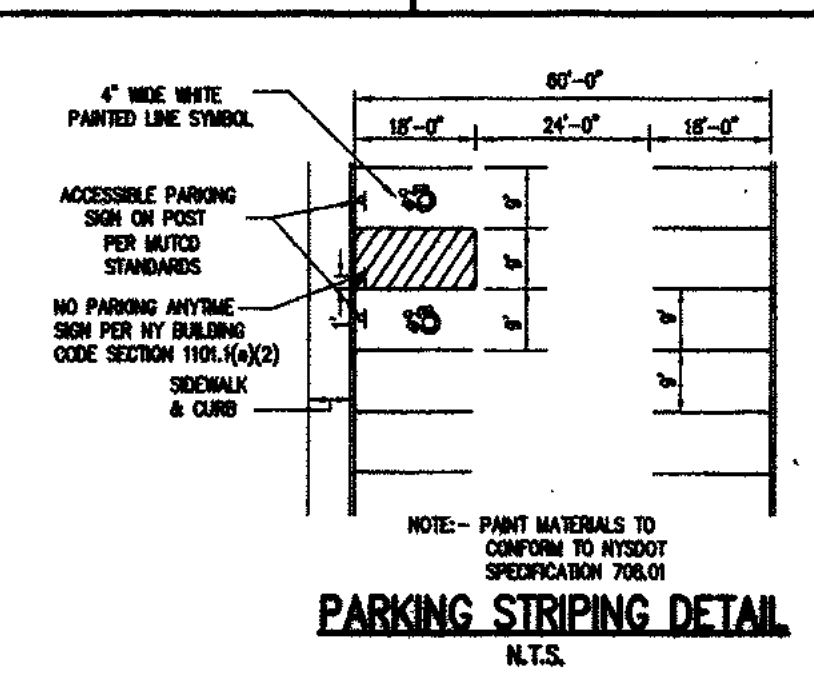
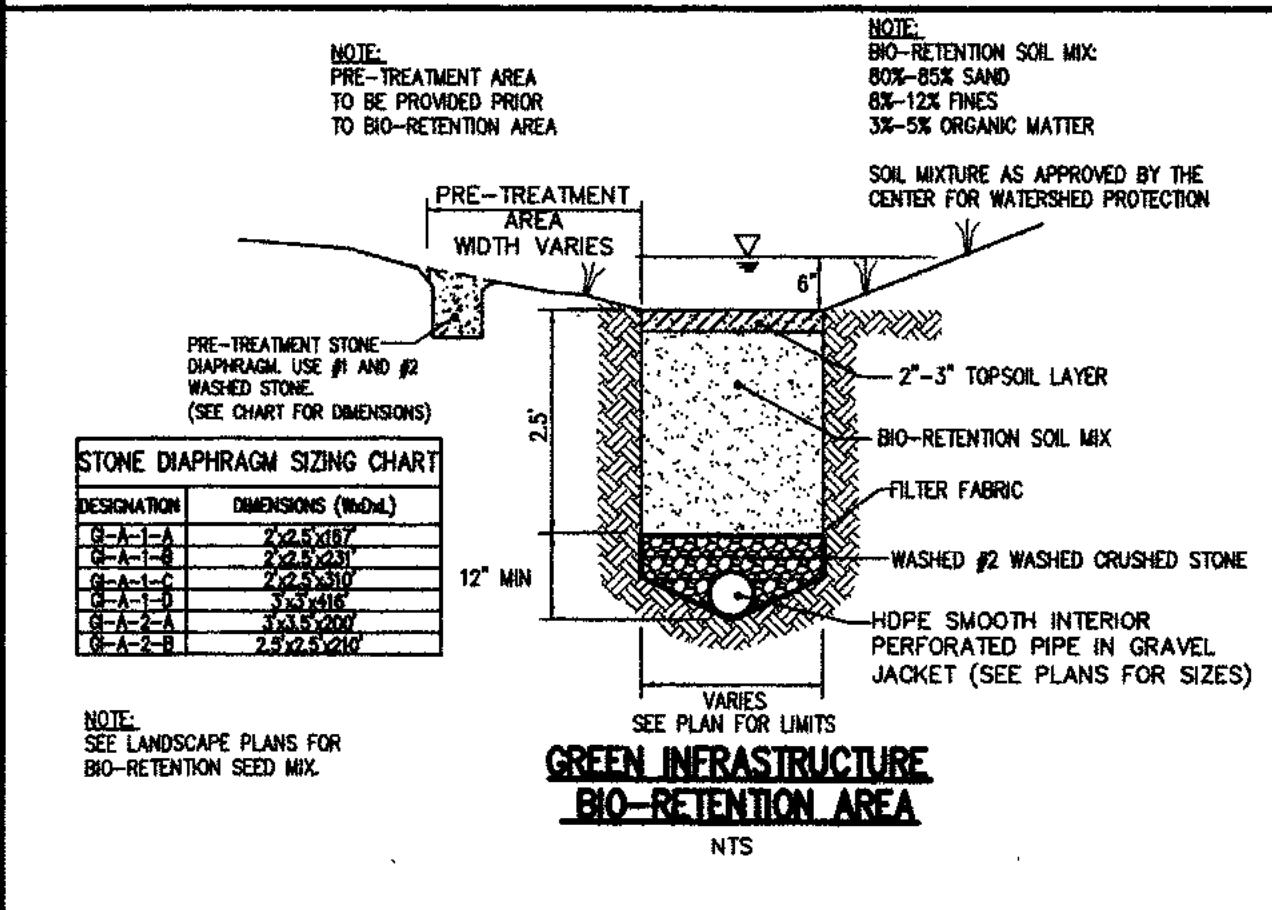
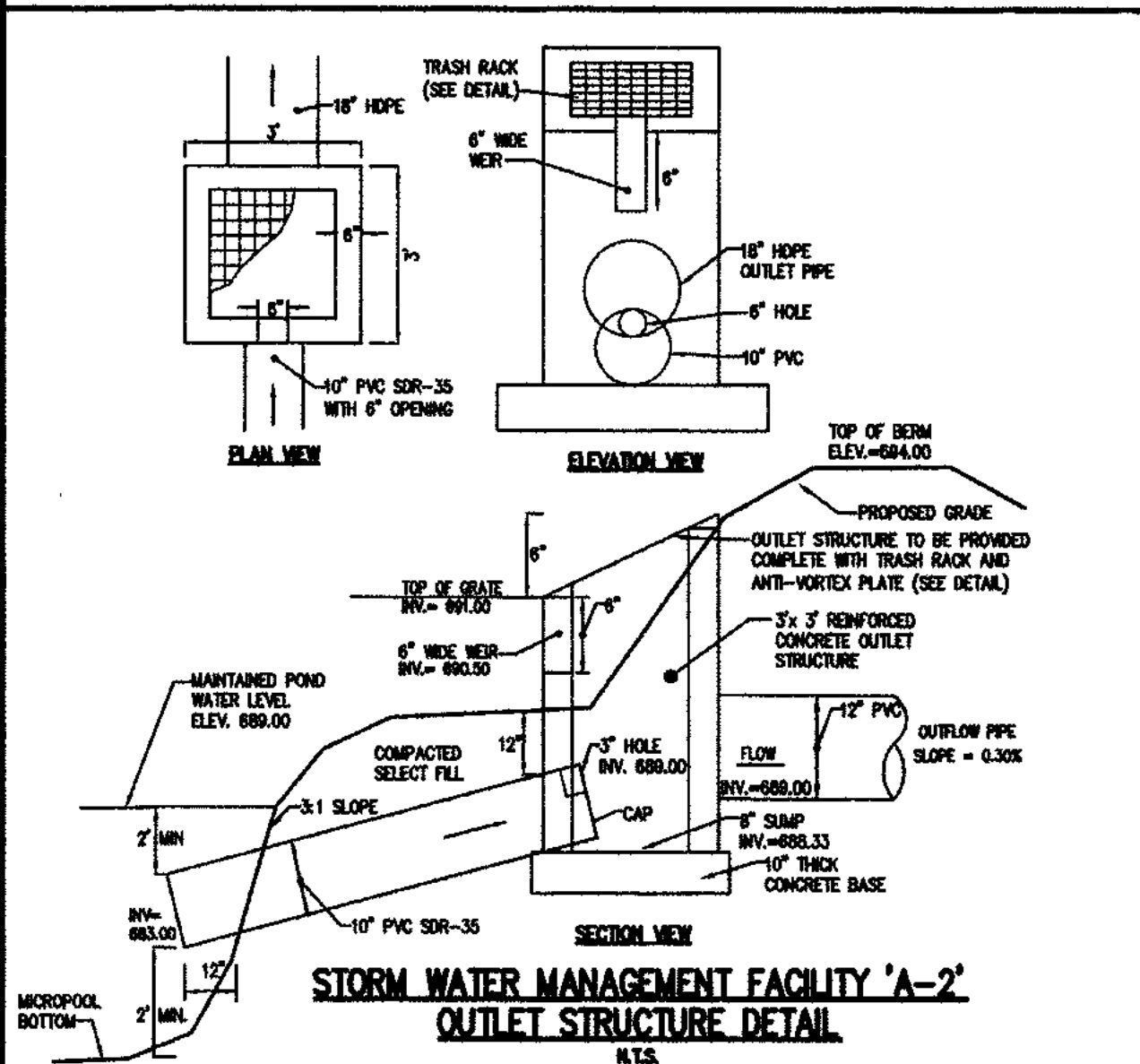
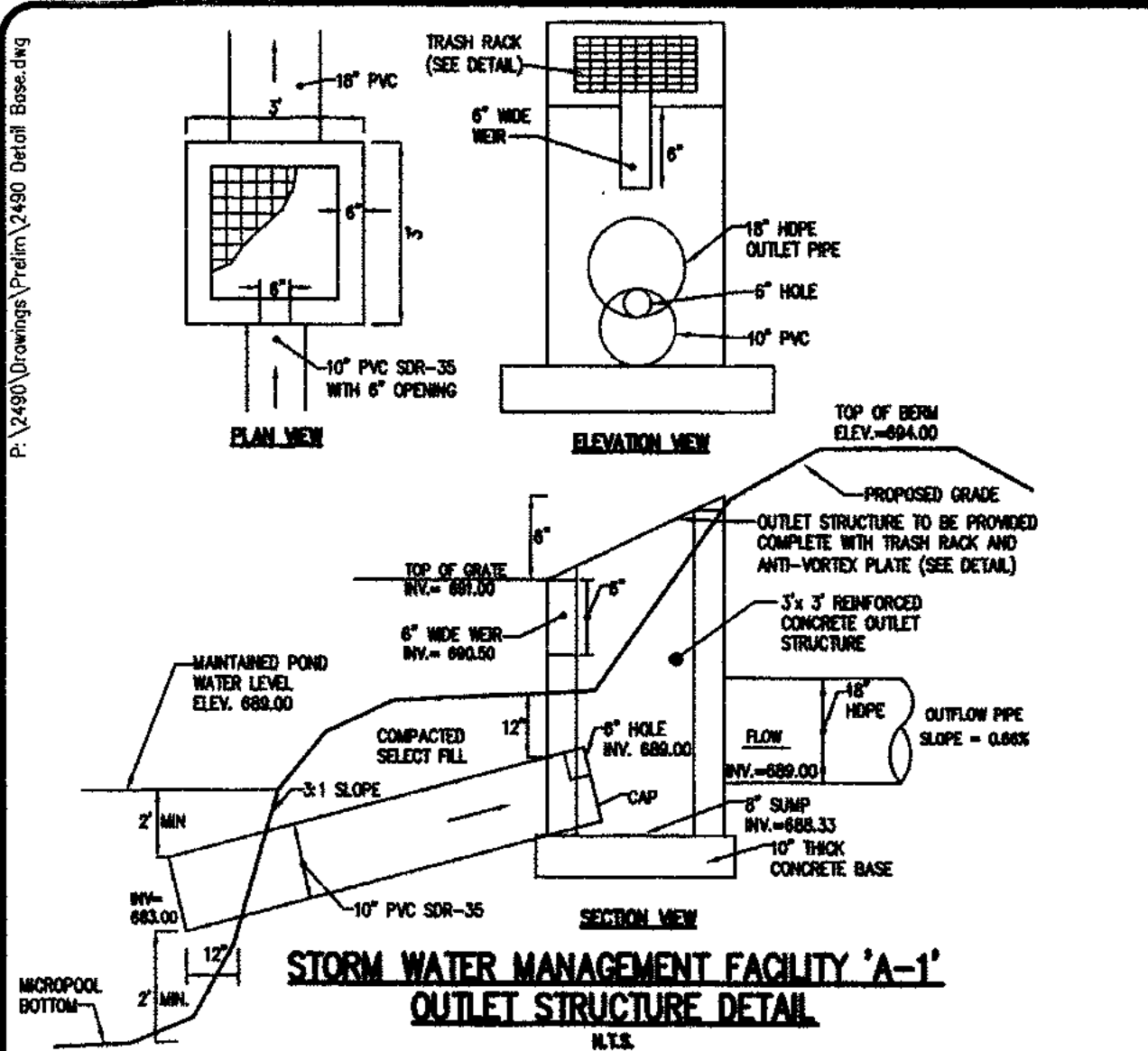
PHONE 585-377-7360
FAX 585-377-7369



PROJECT	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	TOWN OF CANADAMUSA, ONTARIO COUNTY, NEW YORK STATE
CLIENT	THE DARGUS GROUP 1950 BRIGHTON HERRICK, TOWN LINE ROAD ROCHESTER, NEW YORK 14623
DRAWING TITLE	OVERALL PRELIMINARY DETAIL SHEET

PROJECT MANAGER	
M. JAMDA/P. VARS	
PROJECT ENGINEER	
M. BODZIEWSKI	
DRAWN BY	
Z. GREGG	
SCALE	DATE ISSUED
NTS	FEBRUARY 2017
PROJECT NO.	
2490	
DRAWING NO.	
27	
(SHEET 2 OF 4)	

P: 2490 Drawings/Prep (2490) Detail Desc.dwg



APPROVALS

BY: *[Signature]* DATE: 10/31/17

BY: *[Signature]* DATE: 1-31-18

BY: *[Signature]* DATE: 11/19/17

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK

LOCATION: TOWN OF CANANDAIGUA, OTSEGO COUNTY, NEW YORK STATE

CLIENT: THE CHARMER GROUP, 1850 BRANTON HERBERT, NEW YORK 14623

PROJECT MANAGER: M. JANDA/P. VARS

PROJECT ENGINEER: M. BOGOLJEVSKI

DRAWN BY: Z. GREGG

SCALE: NTS

DATE ISSUED: FEBRUARY 2017

PROJECT NO.: 2490

DRAWING NO.: 28

(SHEET 3 OF 4)

BVA ASSOCIATES
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NEW YORK STATE ENGINEER
M. BOGOLJEVSKI
LICENSED PROFESSIONAL ENGINEER

OVERALL PRELIMINARY DETAIL SHEET

