

P:\2490B Drawings\Final\2490B Cover Sheet.dwg

LOT 3
FUTURE PHASE 3
96 UNITS
12 APARTMENT BUILDINGS

LOT 2
PROPOSED FINAL PHASE 2
96 UNITS
12 APARTMENT BUILDINGS

LOT 1
EXISTING PHASE 1
96 UNITS
12 APARTMENT BUILDINGS
CLUBHOUSE

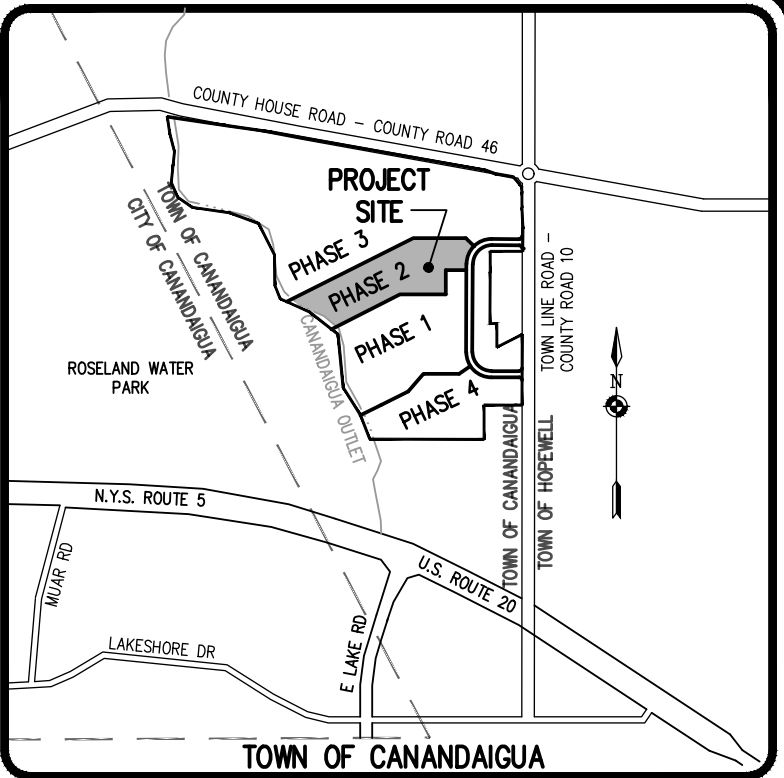
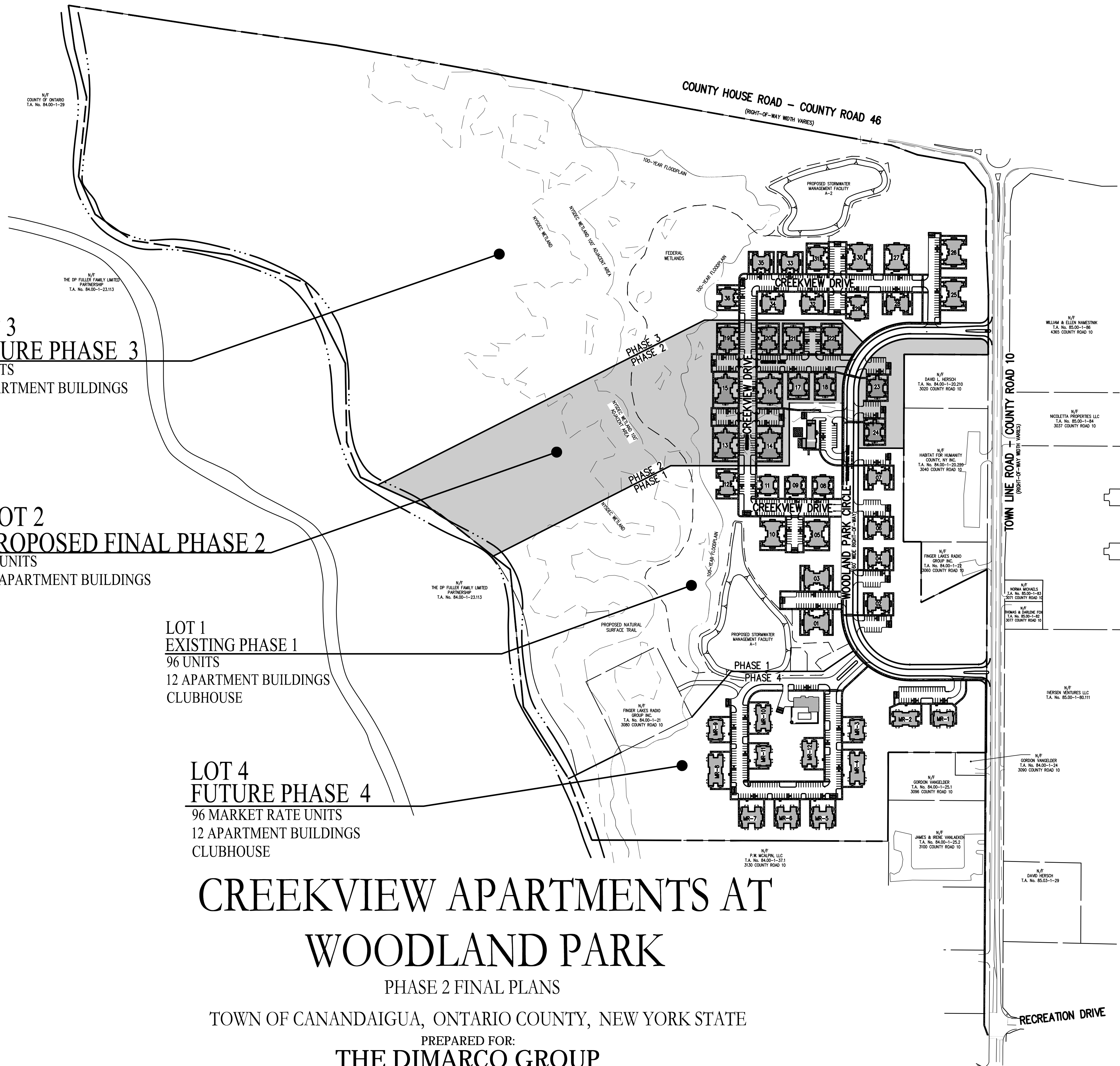
LOT 4
FUTURE PHASE 4
96 MARKET RATE UNITS
12 APARTMENT BUILDINGS
CLUBHOUSE

CREEKVIEW APARTMENTS AT WOODLAND PARK

PHASE 2 FINAL PLANS

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

PREPARED FOR:
THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623



LOCATION MAP
NOT TO SCALE



PHASE 2 FINAL PLANS CREEKVIEW APARTMENTS AT WOODLAND PARK

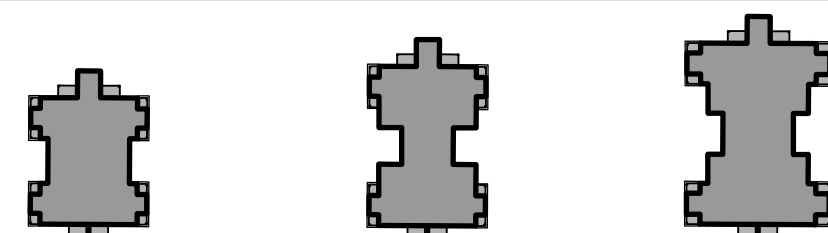
DWG. No.	TITLE
2490B-01	COVER SHEET
2490B-02	SITE PLAN
2490B-03	UTILITY PLAN
2490B-04	GRADING PLAN
2490B-05	STORMWATER MANAGEMENT FACILITY PLAN
2490B-06	CONSTRUCTION EROSION CONTROL PLAN
2490B-07	LANDSCAPING PLAN (SHEET 1 OF 2)
2490B-08	LANDSCAPING PLAN (SHEET 2 OF 2)
2490B-09	LIGHTING PLAN
2490B-10	NOTE SHEET
2490B-11	PROFILE SHEET (SHEET 1 OF 2)
2490B-12	DETAIL SHEET (SHEET 1 OF 4)
2490B-13	DETAIL SHEET (SHEET 2 OF 4)
2490B-14	DETAIL SHEET (SHEET 3 OF 4)
2490B-15	DETAIL SHEET (SHEET 4 OF 4)

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

SCALE: 1"=50'
DRAWING NUMBER: 2490B-01
DATED: MARCH 13, 2020
LAST REVISED: FEBRUARY 9, 2021

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM
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FAX 585-377-7309

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."



1 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,600 S.F.

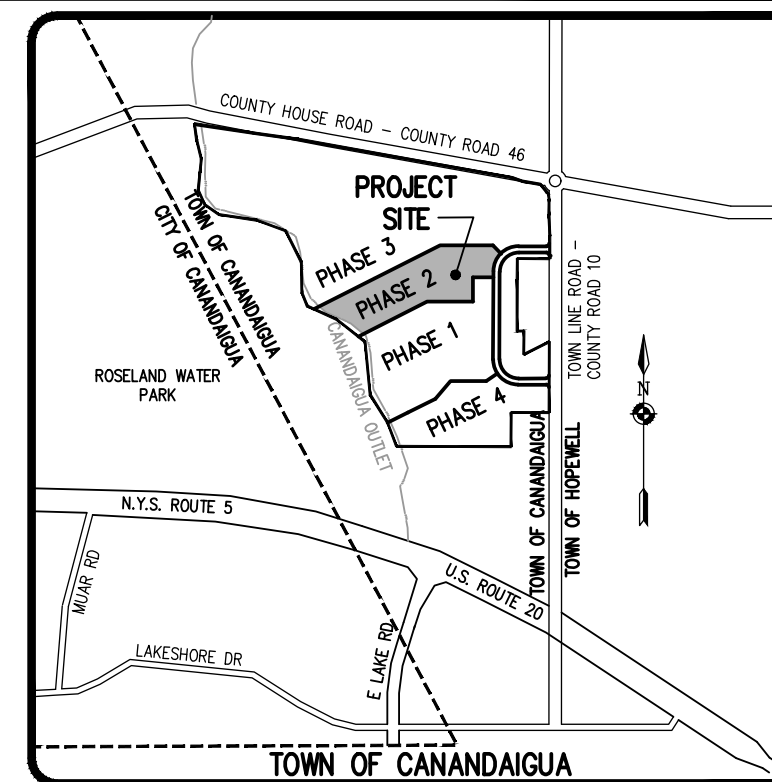
2 BDRM / 1 BATH
8 UNITS PER BUILDING
±3,900 S.F.

3 BDRM / 1 BATH
8 UNITS PER BUILDING
±5,400 S.F.

AFFORDABLE HOUSING UNITS

DATUM AND BEARING BASE NOTE:

THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), CENTRAL ZONE. THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO NAVD '88.



LOCATION MAP NOT TO SCALE

NO.	REVISIONS	DATE	BY
6			
5			
4			
3	REVISED PER TOWN ENGINEER COMMENTS	2/9/21	MAS
2	REVISED PER TOWN COMMENTS	9/6/20	MAS
1			

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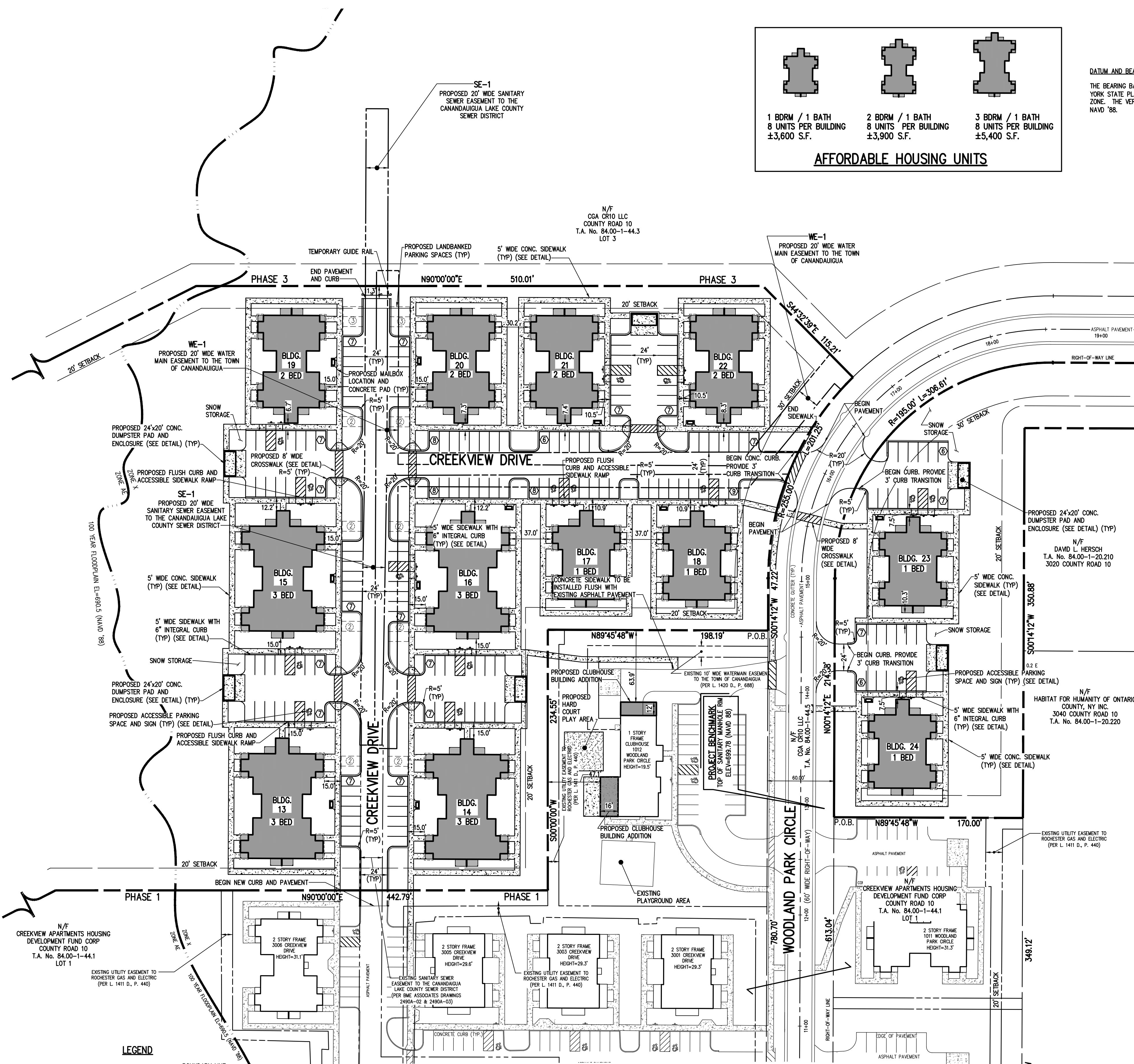


**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
CLIENT: THE DIMARCO GROUP
1950 BRIGHTON, HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PHASE 2 FINAL
SITE PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
CLIENT: THE DIMARCO GROUP
1950 BRIGHTON, HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
DRAWING TITLE: PHASE 2 FINAL SITE PLAN

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: M. BOGDJEVSKI
DRAWN BY: M. SERENI
SCALE: 1"=50'
DATE ISSUED: MARCH 13, 2020
PROJECT NO.: 2490B
DRAWING NO.: 02

PHELPS & CORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-44.20



SITE NOTES:

- TOTAL PARCEL SIZE: ± 140.18 ACRES
PHASE 2 AREA: ± 18.379
- EXISTING ZONING: MIXED USE OVERLAY DISTRICT (MUO)
- PROPOSED USE: 12 AFFORDABLE LIVING APARTMENT BUILDINGS (8 UNITS/BUILDING) = 96 UNITS
- APPLICABLE LOT STANDARDS ARE PROPOSED AS FOLLOWS (PER LOCAL LAW #15 OF 2017):

	REQUIRED	PROPOSED
SETBACKS:		
FRONT	75' FROM COUNTY ROAD 30' FROM TOWN ROAD	75' FROM COUNTY ROAD ROW 30' FROM TOWN ROAD
SIDE	20'	20'
REAR	20'	20'
MAX. BUILDING HT.	35'	<35'
MIN DISTANCE BETWEEN BUILDINGS	30'	30'
SETBACK FROM BUILDING TO EDGE OF PAVEMENT	15'	*6.7' (PRIVATE PAVEMENT)
MAX BLDG COVERAGE	35%	±7.2%
DENSITY	6 DWELLING UNITS/ACRE	5.22 DWELLING UNITS/ACRE (SECTION 2)
REQUIRED OPEN SPACE	40% MINIMUM	40% MINIMUM PHASE 2: 61.4%
PARKING REQUIREMENTS		
STALL SIZE	9' x 18'	9' x 18'
SPACES REQUIRED	2 SPACES / UNIT (192 SPACES)	AFFORDABLE UNITS: 1.77 SP/UNIT PARKING SPACES INCLUDES: 170 APARTMENT
SPACES		22 LANDBANKED SPACES 192 TOTAL SPACES PROVIDED (INCLUDES 15 ACCESSIBLE SPACES).

- * A VARIANCE WILL BE REQUESTED FROM THE ZONING BOARD OF APPEALS TO REDUCE THE REQUIRED SETBACK TO ROADWAYS, PARKING, AND DRIVEWAYS PER LOCAL LAW #15 OF 2017.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE ONTARIO COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 - BASED UPON THE FIRM COMMUNITY PANEL NUMBER 360588 0020 C (REVISED MARCH 3, 1997) THE SUBJECT PROPERTY IS WITHIN A CURRENTLY MAPPED 100 YEAR FLOODPLAIN.
 - THIS PROPERTY MAY BE NEAR A FARM, AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, OOR, SMOKE, NOISE AND VIBRATION.
 - NECESSARY APPROVALS AND PERMITS NEED TO BE OBTAINED FROM THE TOWN OF CANANDAIGUA, THE TOWN OF CANANDAIGUA WATER DEPARTMENT, ONTARIO COUNTY DPW, NYS DEPARTMENT OF HEALTH, AND THE NYSDEC.
 - THE SIDEWALK ALONG COUNTY ROAD 10 PROPOSED WITH PHASE 1 WILL BE CONSTRUCTED WITH THIS PHASE.
 - THE DEVELOPER SHALL COORDINATE WITH THE CANANDAIGUA SCHOOL DISTRICT AND REGIONAL TRANSIT SERVICE (RTS) FOR POTENTIAL BUS PICK-UP AND DROP-OFF LOCATIONS WITHIN THE DEVELOPMENT. ALL CORRESPONDENCES WILL BE FORWARDED TO THE TOWN OF CANANDAIGUA.
 - FINAL COORDINATION AND TIMING OF INSTALLATION, OF THE PROPOSED NATURAL SURFACE TRAIL IS TO BE FIELD DETERMINED WITH THE TOWN OF CANANDAIGUA, AND COORDINATED BETWEEN THE DEVELOPER AND THE TOWN DURING CONSTRUCTION OF PHASE 2.

APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

GRAPHIC SCALE



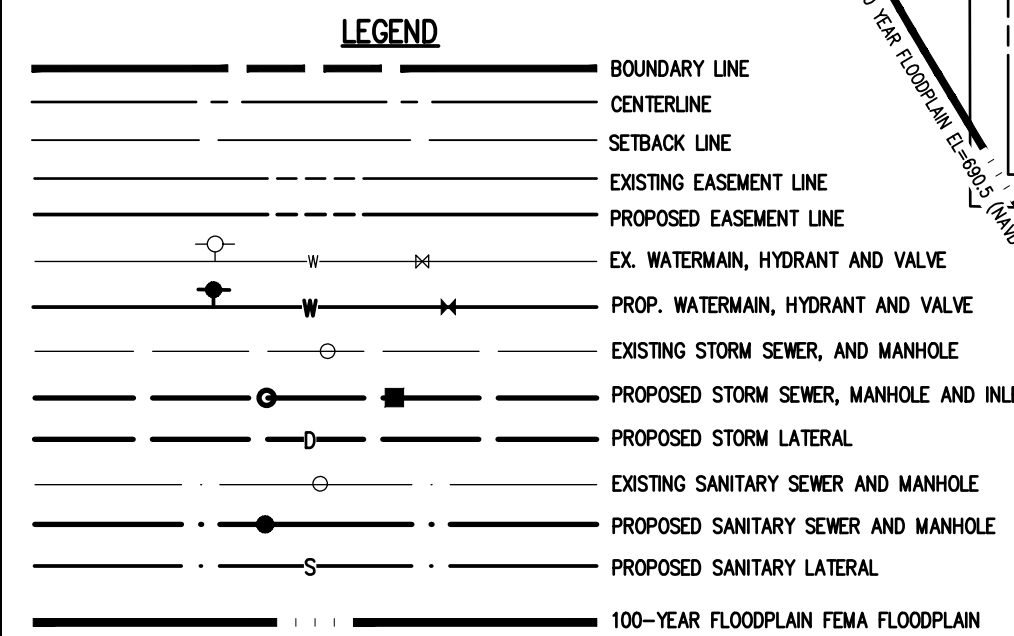
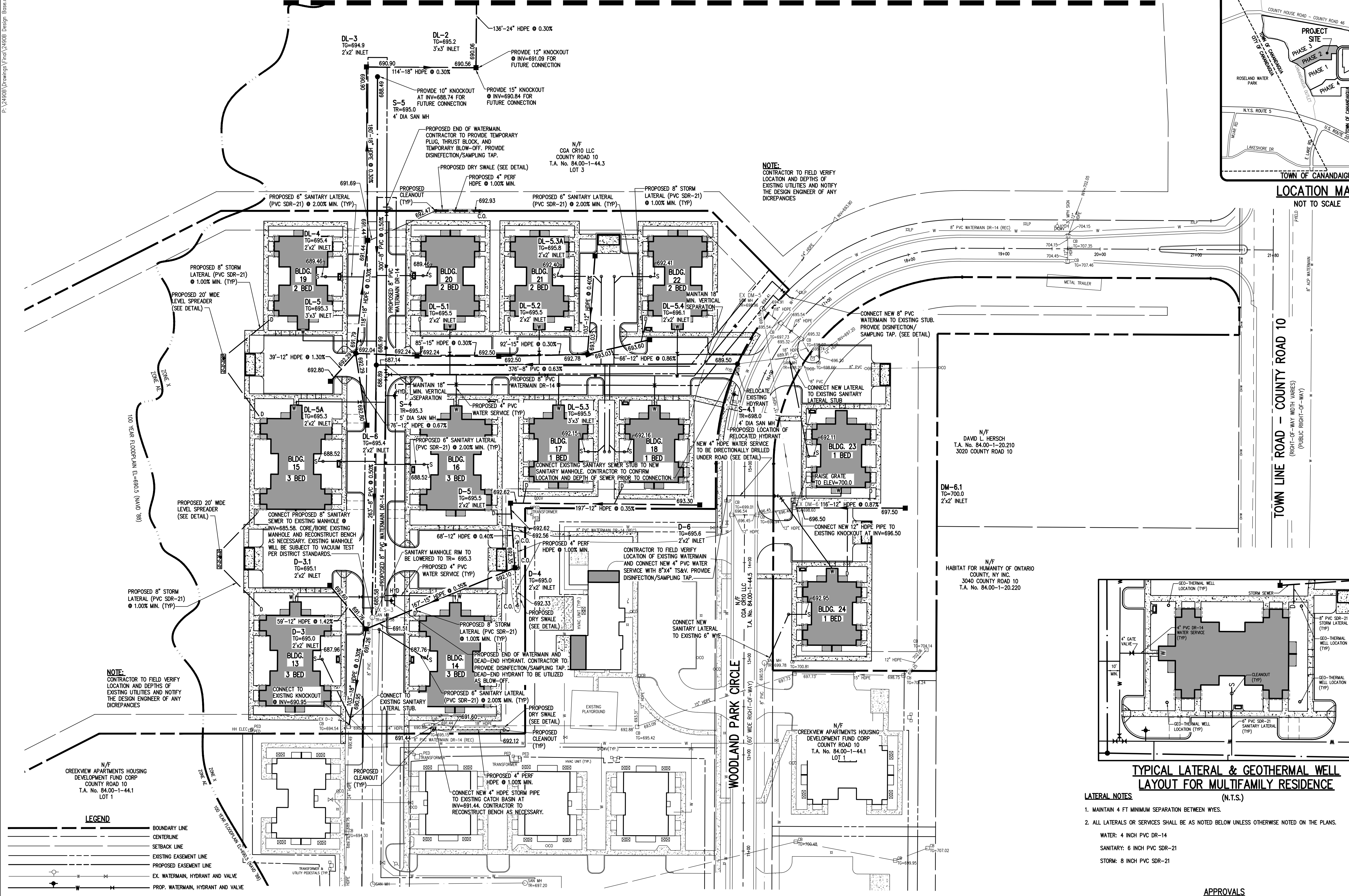
(IN FEET)
1 inch = 50 ft.

NOT APPROVED

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LEGEND

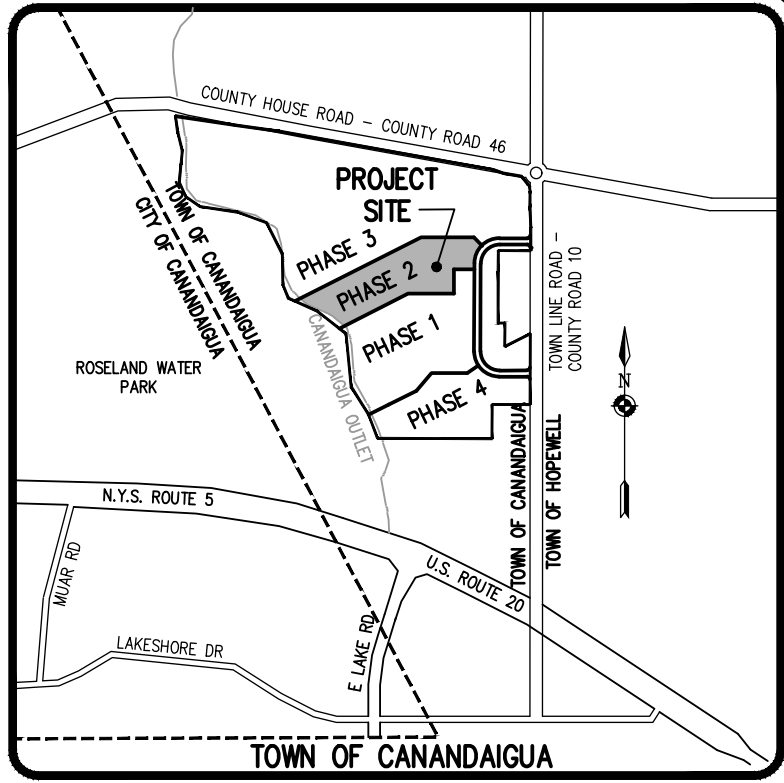
	BOUNDARY LINE
	LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPERTY MARKER FOUND
	100-YEAR FLOODPLAIN FEMA FLOODPLAIN



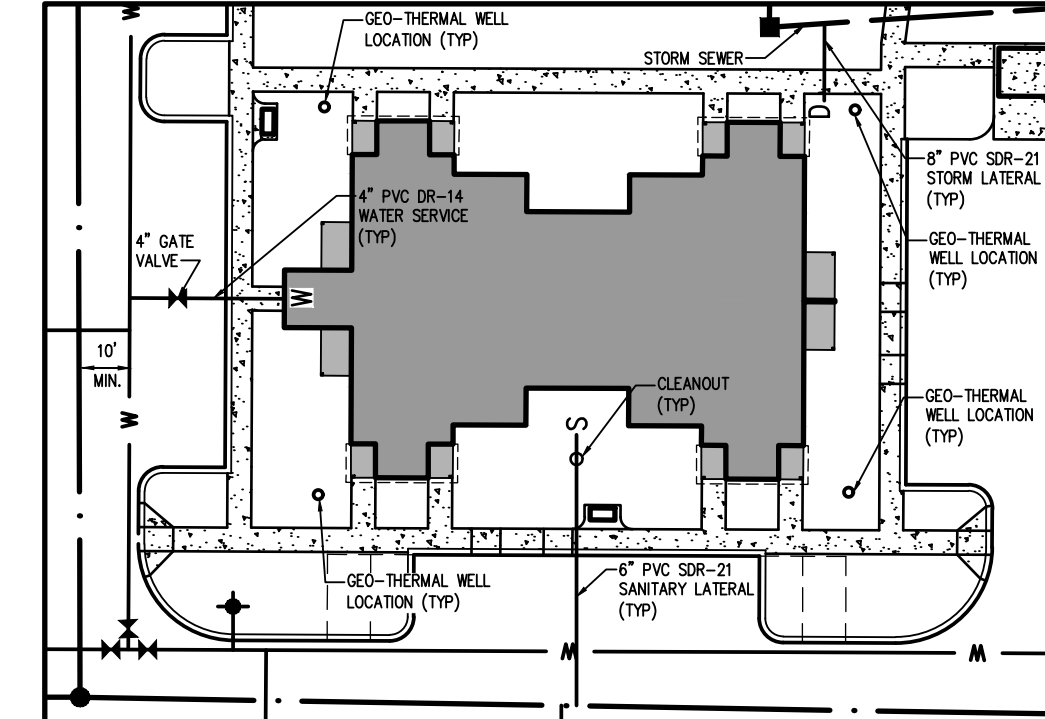
SEE NOTE SHEET (BME DWG. NO. 2490B-10)
FOR UTILITY NOTES AND ONTARIO COUNTY
STANDARD SANITARY SEWER PLAN NOTES

NOT APPROVED

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LOCATION MAP
NOT TO SCALE



TYPICAL LATERAL & GEOTHERMAL WELL LAYOUT FOR MULTIFAMILY RESIDENCE
(N.T.S.)

- LATERAL NOTES**
- MAINTAIN 4 FT MINIMUM SEPARATION BETWEEN WYES.
 - ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER: 4 INCH PVC DR-14
SANITARY: 6 INCH PVC SDR-21
STORM: 8 INCH PVC SDR-21

APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT

Drawing Alteration
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REVISIONS	DATE	BY
1	2/9/21	MAS
2	9/6/20	MAS
3		
4		
5		
6		
7		

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ROCHESTER, NEW YORK 14650
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WWW.BME-CC.COM

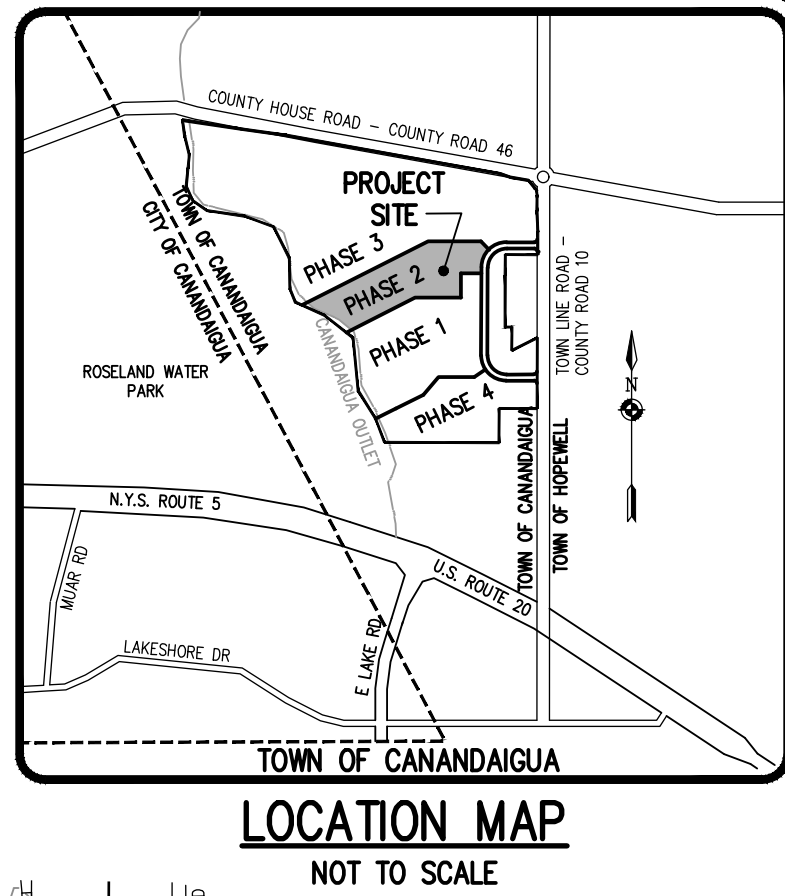


CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIMARCO GROUP
1950 BRIGHTON, HENRIETTA TOWNSHIP, NEW YORK 14623
PHASE 2 FINAL
UTILITY PLAN

PROJECT MANAGER
P. VARS
PROJECT ENGINEER
M. BOGOLJEVSKI
DRAWN BY
M. SERENI
SCALE
1"=50'
DATE ISSUED
MARCH 13, 2020
PROJECT NO.
2490B

DRAWING NO.
2490B
93

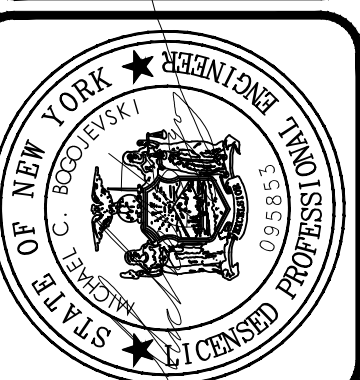
MATCHLINE - SEE STORMWATER MANAGEMENT FACILITY PLAN (DWG #2940B-05)



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REVISIONS		DATE	BY
1	REVISED PER TOWN COMMENTS	9/6/20	MAS
2	REVISED PER TOWN COMMENTS	2/9/21	MAS
3			
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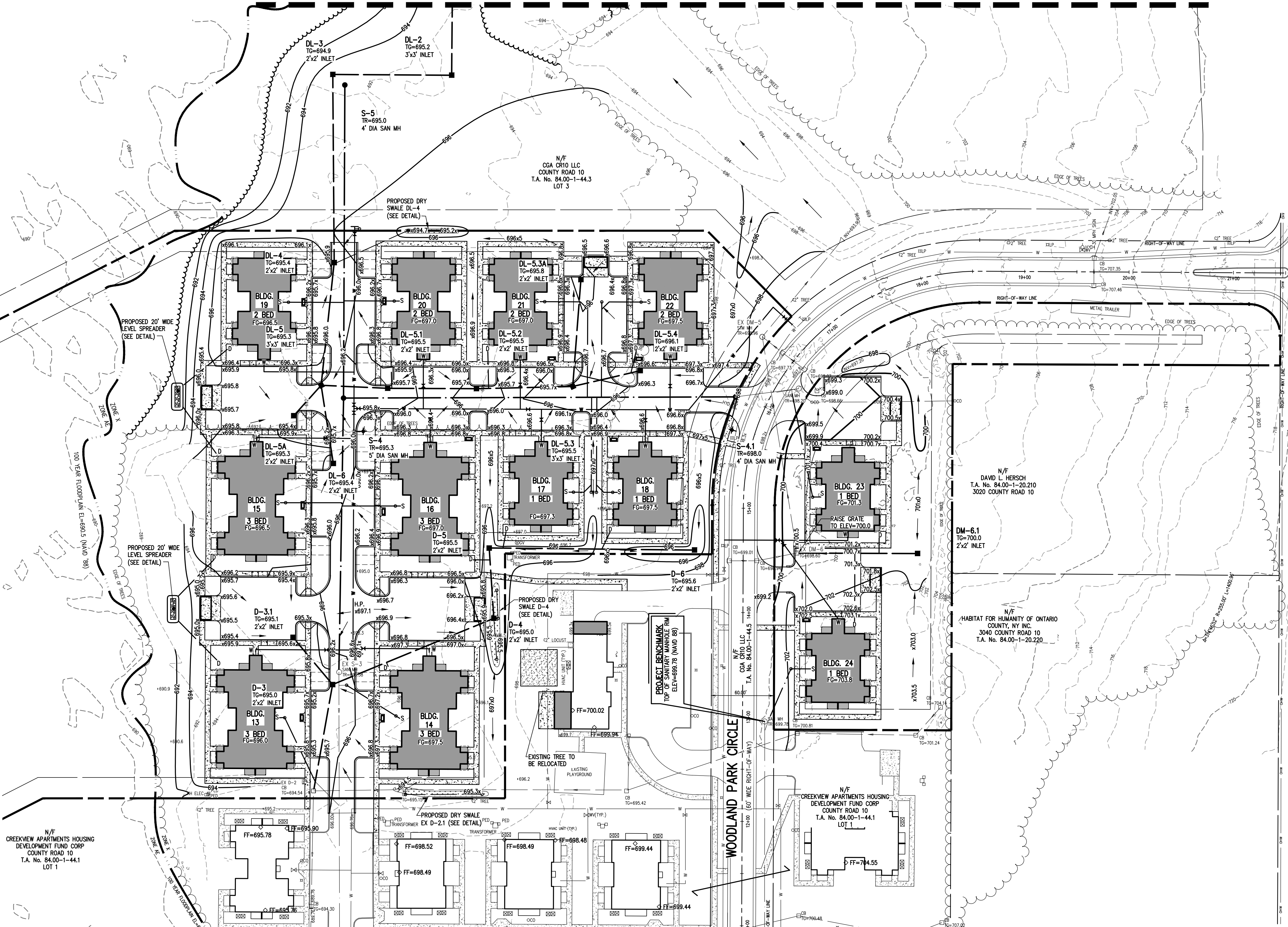
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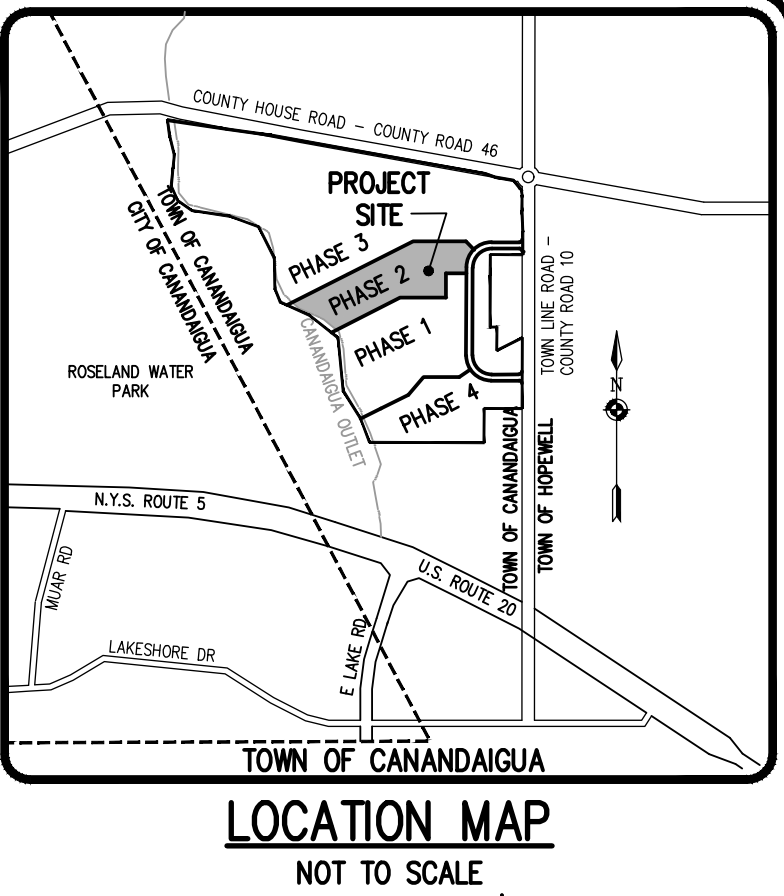


CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
CLIENT: THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PROJECT MANAGER: P. VARS
PROJECT ENGINEER: M. BOGULEVSKI
DRAWN BY: M. SERENI
DATE ISSUED: MARCH 13, 2020
PROJECT NO.: 2490B
DRAWING NO.: 04

PHASE 2 FINAL GRADING PLAN

APPROVALS
BY: TOWN ENGINEER DATE: _____
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE: _____

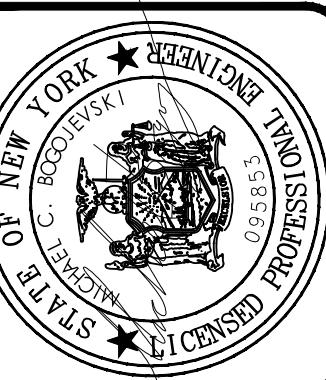




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seal of an engineer or land surveyor is
altered, the altering engineer or land
surveyor shall affix to the item his seal
and the notation "altered by" followed
by his signature and the date of such
alteration, and a specific description
of the alteration."

REVISIONS	DATE	BY
1		
2	2/9/21	MAS
3	9/6/20	MAS
4		
5		
6		
7		

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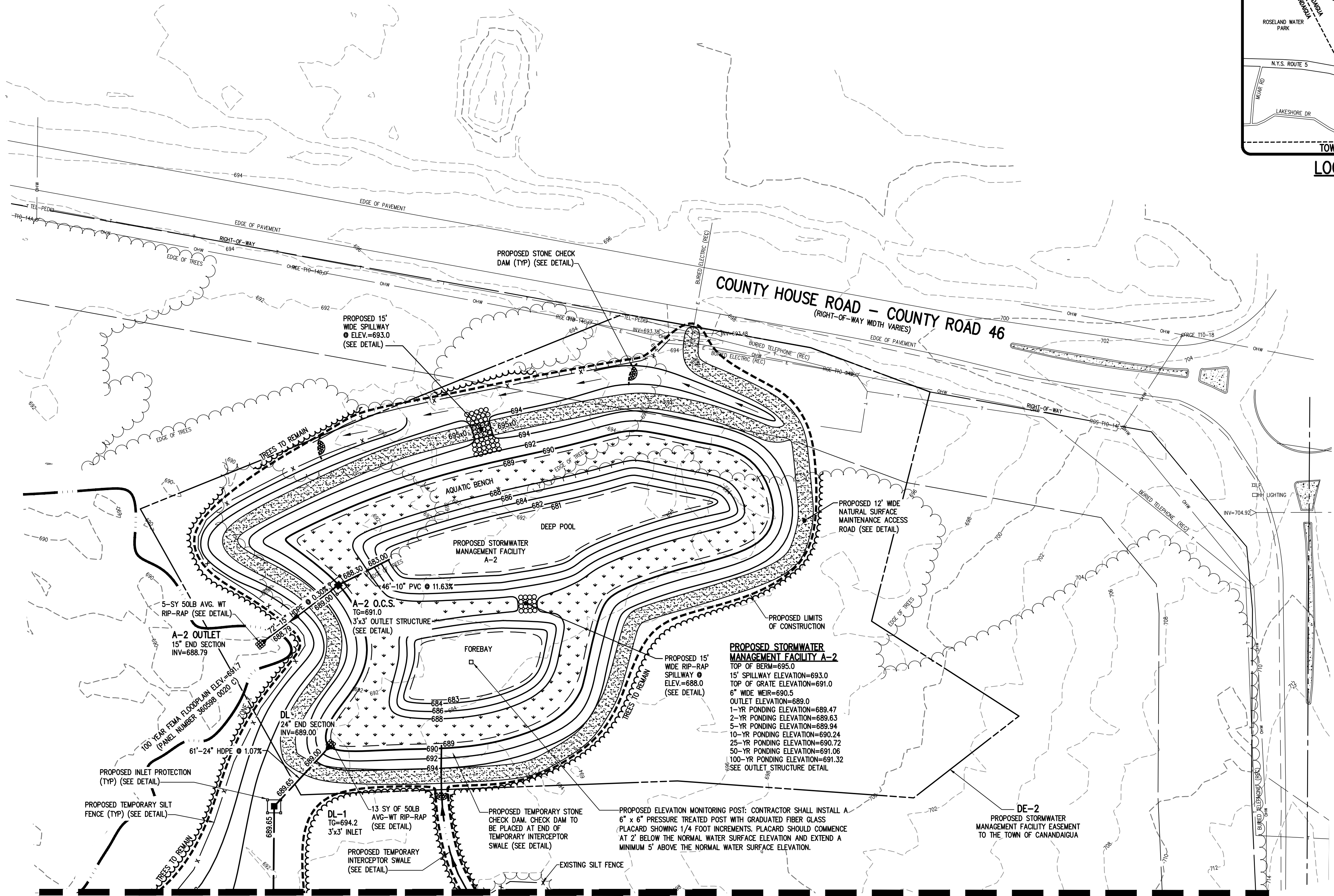


**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
**STORMWATER MANAGEMENT
FACILITY PLAN**

PROJECT	PROJECT MANAGER
LOCATION	P. VARS
CLIENT	PROJECT ENGINEER
	M. BOGULEVSKI
	DRAWN BY
	M. SERENI

SCALE	DATE ISSUED
1"=50'	MARCH 13, 2020
PROJECT NO.	2490B
DRAWING NO.	05

PHELPS & CORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-44.20



MATCHLINE - SEE DWG #2940B-03 FOR CONTINUATION OF UTILITIES, DWG#2940B-04 FOR GRADING, AND #2490B-06 FOR CONSTRUCTION EROSION CONTROL

LEGEND

	BOUNDARY LINE
	CENTERLINE
	SETBACK LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, MANHOLE AND INLET
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	100-YEAR FLOODPLAIN FEMA FLOODPLAIN

SEE NOTE SHEET (BME DWG. NO. 2490B-10) FOR UTILITY NOTES

SEE NOTE SHEET (BME DWG. NO. 2490B-10) FOR GRADING AND MASS GRADING NOTES

SEE NOTE SHEET (BME DWG. NO. 2490B-10) FOR EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES

SEE LANDSCAPING PLAN (BME DWG. NO. 2490B-08) FOR POND LANDSCAPING AND LANDSCAPING NOTES

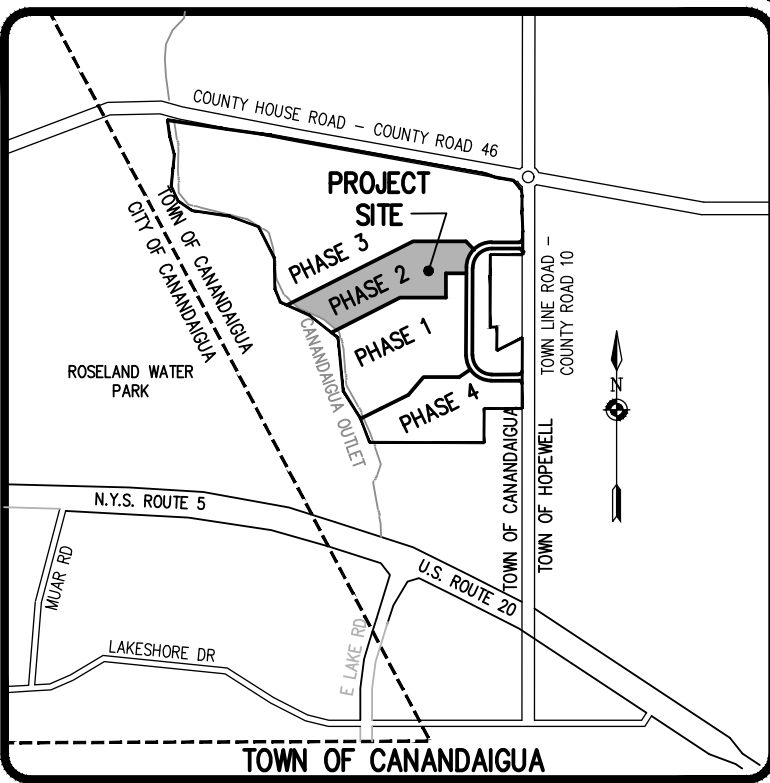
NOT APPROVED

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APPROVALS

BY:	DATE:
TOWN ENGINEER	
BY:	DATE:
TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON	
BY:	DATE:
TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT	

MATCHLINE - SEE STORMWATER MANAGEMENT FACILITY PLAN (DWG #2940B-05)



LOCATION MAP
NOT TO SCALE

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REVISIONS	DATE	BY
1	REMOVED PER TOWN COMMENTS	
2	REMOVED PER TOWN COMMENTS	
3	REMOVED PER TOWN COMMENTS	
4		
5		
6		
7		

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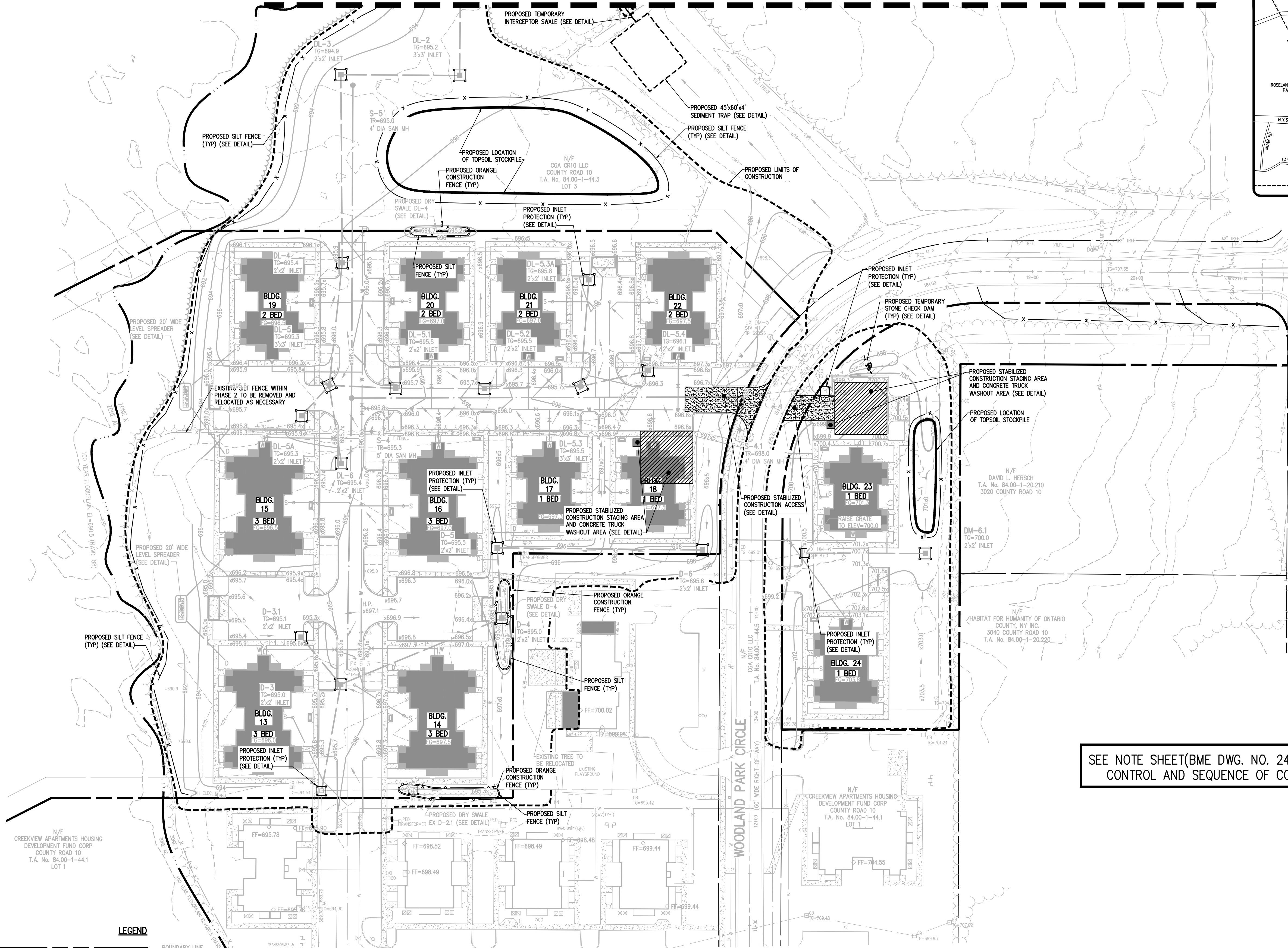
CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIMARCO GROUP
1900 BRIDGEWAY ROAD
ROCHESTER, NEW YORK 14623
PHASE 2 FINAL
CONSTRUCTION EROSION CONTROL PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
CLIENT: THE DIMARCO GROUP, 1900 BRIDGEWAY ROAD, ROCHESTER, NEW YORK 14623

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: M. BOCOLEVSKI
DRAWN BY: M. SERENI
SCALE: 1"=50'
DATE ISSUED: MARCH 13, 2020
PROJECT NO.: 2490B

DRAWING NO.: 2490B
06

PHELPS & CORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-44.20



LEGEND

	BOUNDARY LINE
	CENTERLINE
	SETBACK LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE

	EXISTING CONTOUR
	PROPOSED CONTOUR
	100-YEAR FLOODPLAIN FEMA FLOODPLAIN
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION LIMITS
	PROPOSED STONE CHECK DAM

SEE NOTE SHEET(BME DWG. NO. 2490B-10) FOR EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES

NOT APPROVED

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APPROVALS

BY: TOWN ENGINEER DATE:

BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE:

BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE:

LANDSCAPE NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
4. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
5. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
6. ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM EASEMENTS.
7. PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
8. STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
9. PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100 % SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
10. SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

	% BY WEIGHT	% BY PURITY	% GERM
'REPELL', 'CITATION' & 'MORNING STAR'			
PERENNIAL RYE GRASS	40	85	85
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA'			
RED FESCUE	20	97	80
'BARON' & 'MIDNIGHT'			
KENTUCKY BLUEGRASS	40	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.

PLEASE REFER TO BME DRAWING # 24908-06 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE. : TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.

11. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO PLANTING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
13. A MINIMUM 1 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.
14. UNLESS OTHERWISE SPECIFIES BY THE PARKS AND RECREATION DEPARTMENT, ALL DECIDUOUS TREE SPECIES AND THEIR CULTIVARS AND VARIETIES, SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERMEN STANDARDS AND BE AT LEAST TWO TO FOUR INCHES IN DIAMETER, SIX INCHES ABOVE GROUND LEVEL, AND AT LEAST EIGHT TO TEN FEET IN HEIGHT WHEN PLANTED.

PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES (DECIDUOUS)						
4	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" cal	B&B	
4	AF	Acer freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	2.5" cal	B&B	
4	CO	Celtis occidentalis	Hackberry	2.5" cal	B&B	
4	GB	Ginko biloba 'Magyar'	Magyar Ginko	2.5" cal	B&B	MALE VARIETIES ONLY
4	NS	Nyssa sylvatica	Black Gum	2.5" cal	B&B	
4	PO	Platanus occidentalis	American Sycamore	2.5" cal	B&B	
4	QB	Quercus bicolor	Swamp White Oak	2.5" cal	B&B	
4	QR	Quercus rubra	Red Oak	2.5" cal	B&B	
4	TC	Tilia cordata	Little Leaf Linden	2.5" cal	B&B	
4	ZS	Zelkova serrata	Japanese Zelkova	2.5" cal	B&B	
40	TOTAL					
TREES (EVERGREEN)						
6	AC	Abies concolor	Concolor Fir	6'	B&B	
6	PG	Picea alauca	White Spruce	6'	B&B	
6	PM	Picea mariana	Black Spruce	6'	B&B	
6	PP	Picea pungens	Blue Spruce	6'	B&B	
6	PS	Pinus strobus	White Pine	6'	B&B	
30	TOTAL					
SHRUBS						
128	CS	Cornus sericea 'Kelsey'	Kelsey Red Twig Dogwood	24"	B&B	
192	JH	Juniperus horizontalis	Creeping Juniper	24"	B&B	
48	PO	Physocarpus opulifolia	Ninebark	24"	B&B	
120	RA	Rhus Aromatica 'Gro-low'	Gro-low Sumac	24"	B&B	
488	TOTAL					
STORMWATER MANAGEMENT AREA SHRUBS						
15	AA	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokecherry	18"	BR	
15	CS	Cornus sericea 'Cardinal'	Cardinal Redtwig Dogwood	18"	BR	
15	IV	Ilex Verticillata	Winterberry Holly	18"	BR	
15	LB	Lindera benzoin	Spicebush	18"	BR	
15	SC	Sambucus canadensis	Elderberry	18"	BR	
15	SP	Salix purpurea	Purple Willow	18"	BR	
90	TOTAL					

OVERALL TREE TOTAL
70

OVERALL SHRUB TOTAL
578

OVERALL SHRUB AND TREE TOTAL
648

SEED MIX LEGEND:

GREEN INFRASTRUCTURE MIX;
Mix of Sheeps Fescue, Creeping Red Fescue and Hard Fescue, or approved no-mow Fescue mix. This area is only to be mowed once or twice a year. Contractor to provide seed mix details to engineer for review and approval prior to installation.

STORMWATER MANAGEMENT POND MIX;
"OBL Wetland Mix"; Ernst Conservation Seeds (ERNMX-131); (to be seeded to an elevation 4' above normal ponding level) *Seeding between elevation 689.00 and 693.00.

Seeding Rate: 15 LBS/AC. or 1/3 LB - 1/2 LB/1,000 SF.

Mulch: Straw or wood fiber mulch used with hydroseeding method, specified at two (2) tons/AC with tackifier as specified.

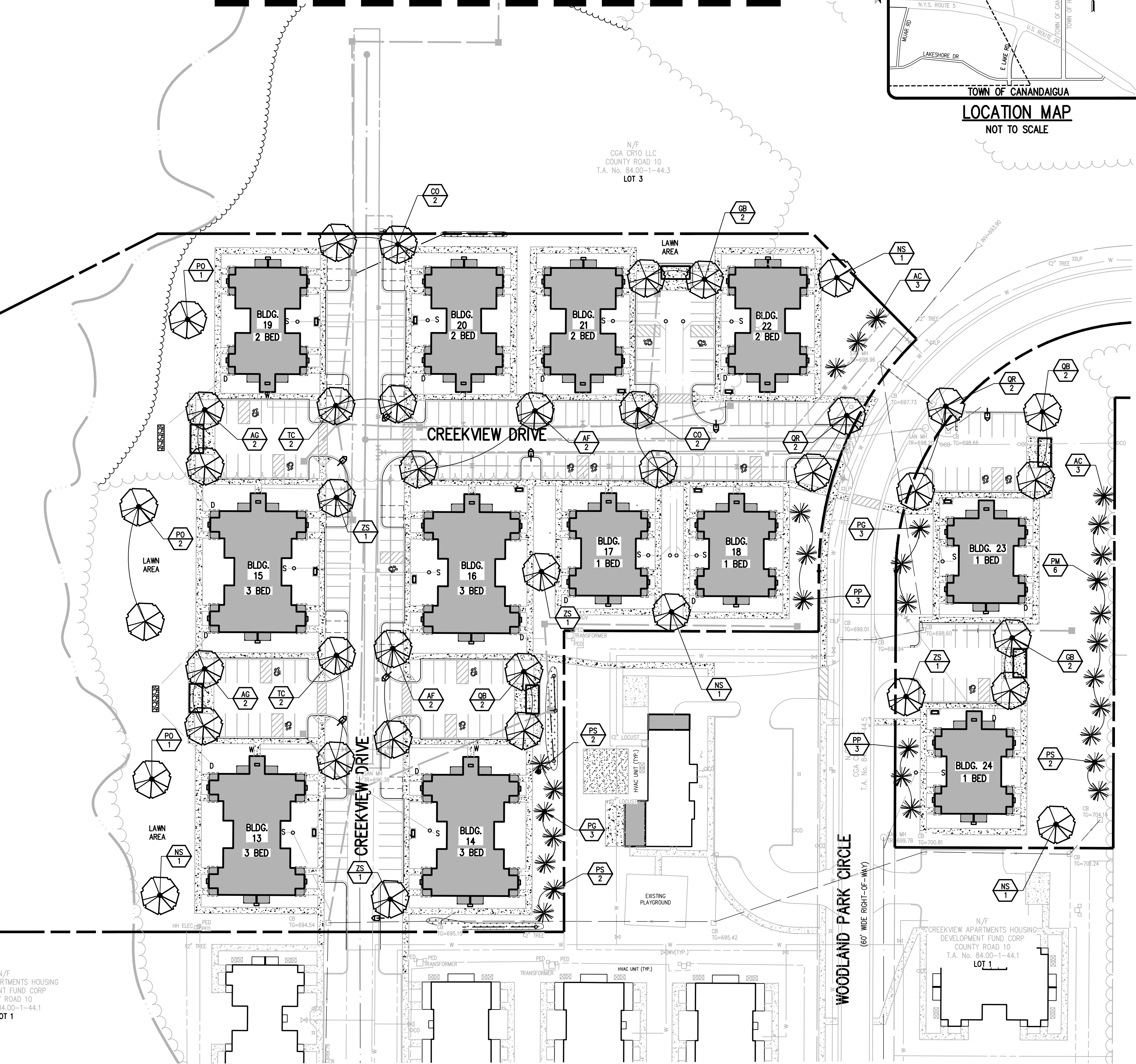
PHOSPHOROUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.

LEGEND

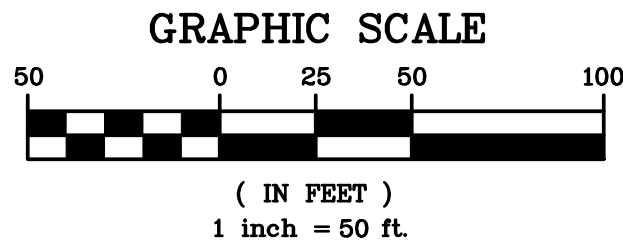
BOUNDARY LINE	PROPOSED LOT LINE
CENTERLINE	SETBACK LINE
EXISTING EASEMENT LINE	PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND	CONCRETE HIGHWAY MONUMENT FOUND
EX. WATERMAIN, HYDRANT AND VALVE	PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE	PROPOSED STORM SEWER, MANHOLE AND INLET
PROPOSED STORM LATERAL	EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE	PROPOSED SANITARY LATERAL
100-YEAR FLOODPLAIN FEMA FLOODPLAIN	WETLAND LIMITS
NYSDEC 100' WETLAND BUFFER	PROPOSED DRY SWALE

MATCHLINE - SEE LANDSCAPING PLAN (SHEET 2 OF 2) (DWG #2940B-08)



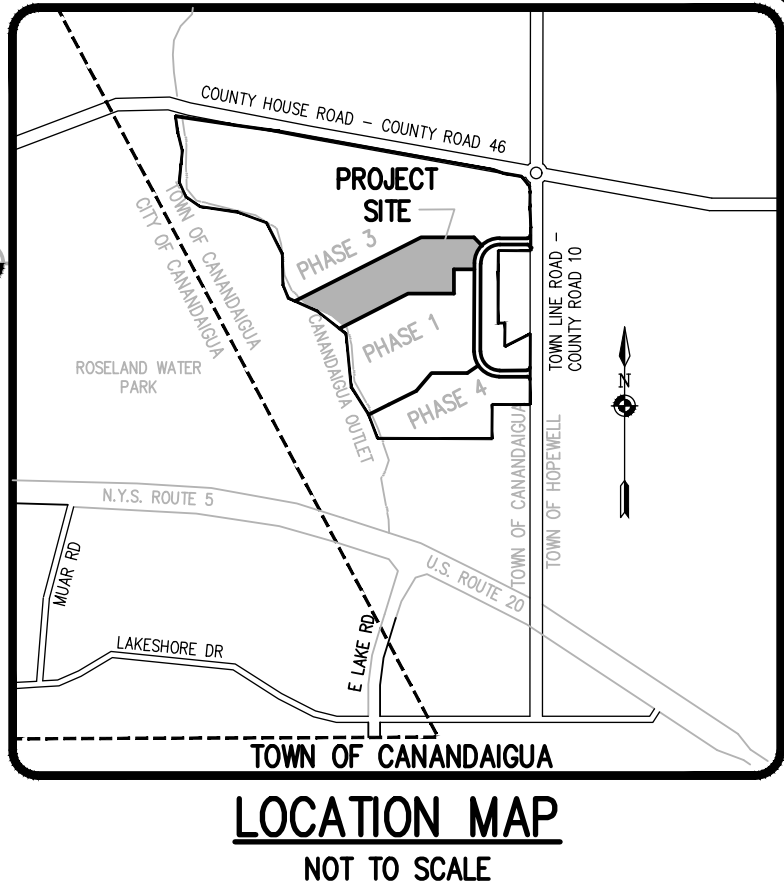
APPROVALS

BY: TOWN ENGINEER DATE: 2/9/20
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: 2/9/20
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE: 2/9/20



NOT APPROVED

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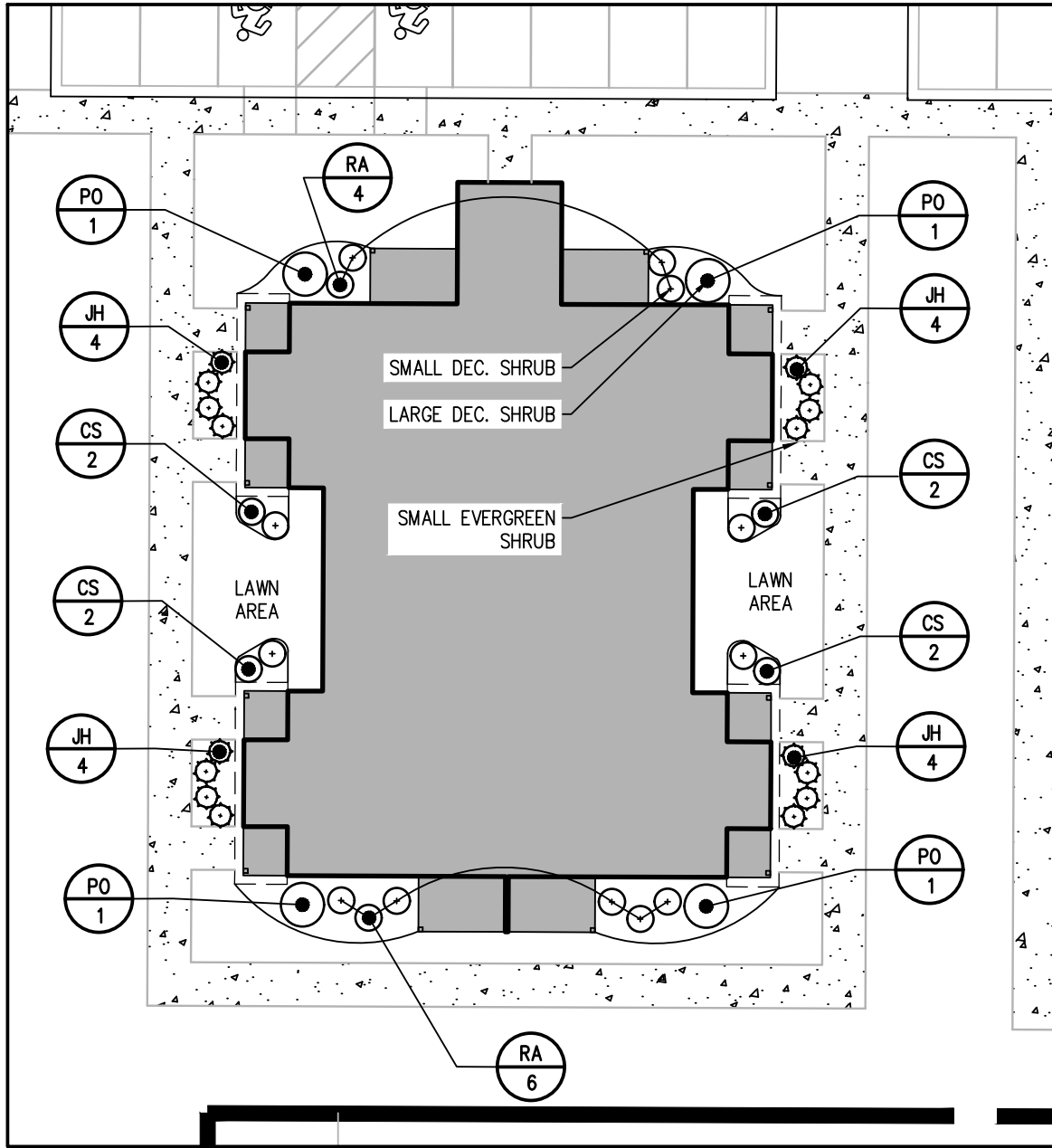
BME ASSOCIATES
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10 LIFT BRIDGE LANE EAST
NEW YORK, NY 14650
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FAX: 585-377-7309
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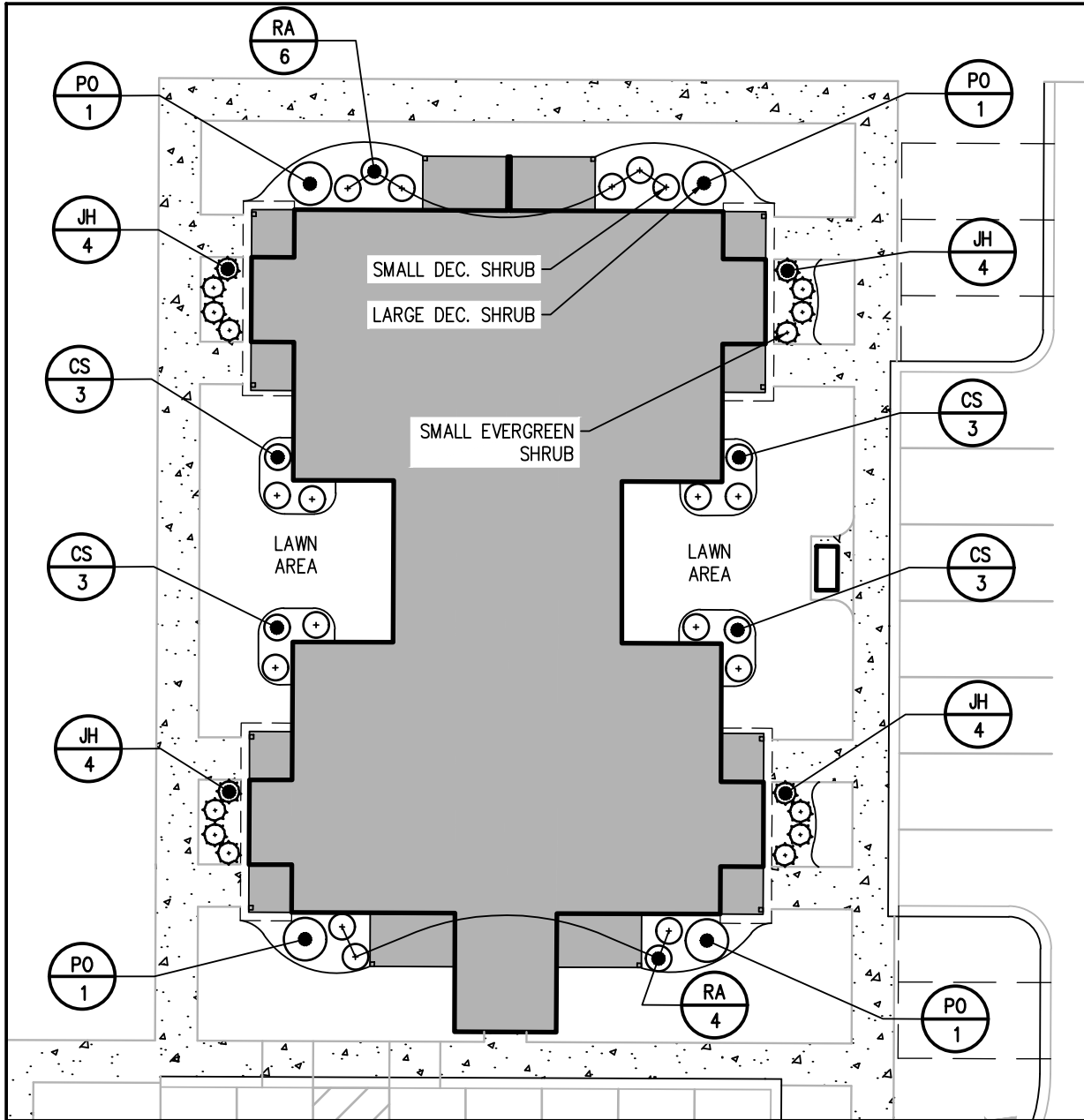
CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIMARCO GROUP
1950 BRIGHTON, HENRIETTA, TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PHASE 2 FINAL
LANDSCAPE PLAN

PROJECT: P. VARS
LOCATION: PROJECT ENGINEER
CLIENT: M. BOGOLJEVSKI
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=50'
DATE ISSUED: MARCH 13, 2020
PROJECT NO. 2490B

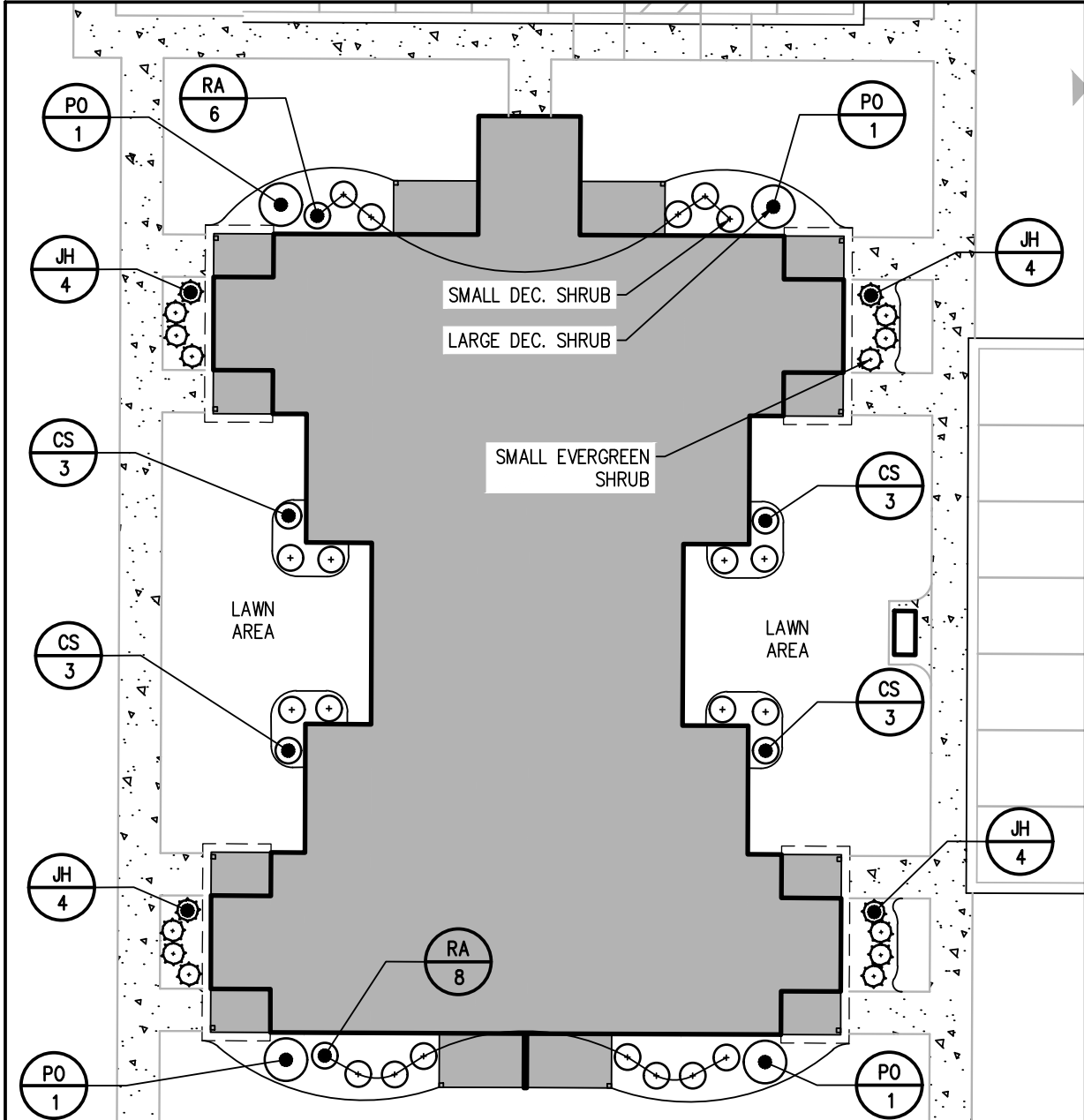
P:\2490B Drawings\Final\2490B Landscape Base.dwg



1 BDRM / 1 BATH
8 UNITS PER BUILDING

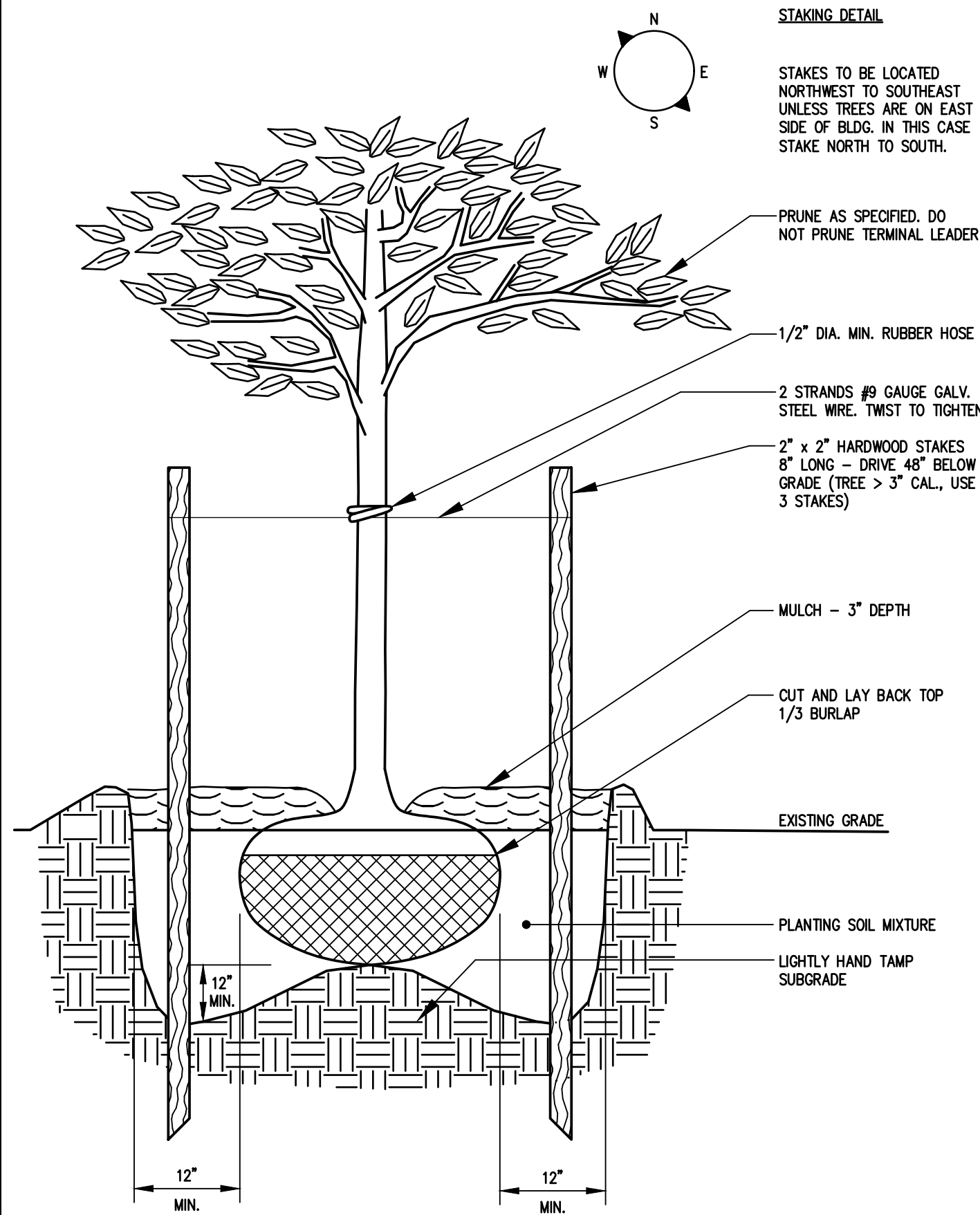


2 BDRM / 1 BATH
8 UNITS PER BUILDING

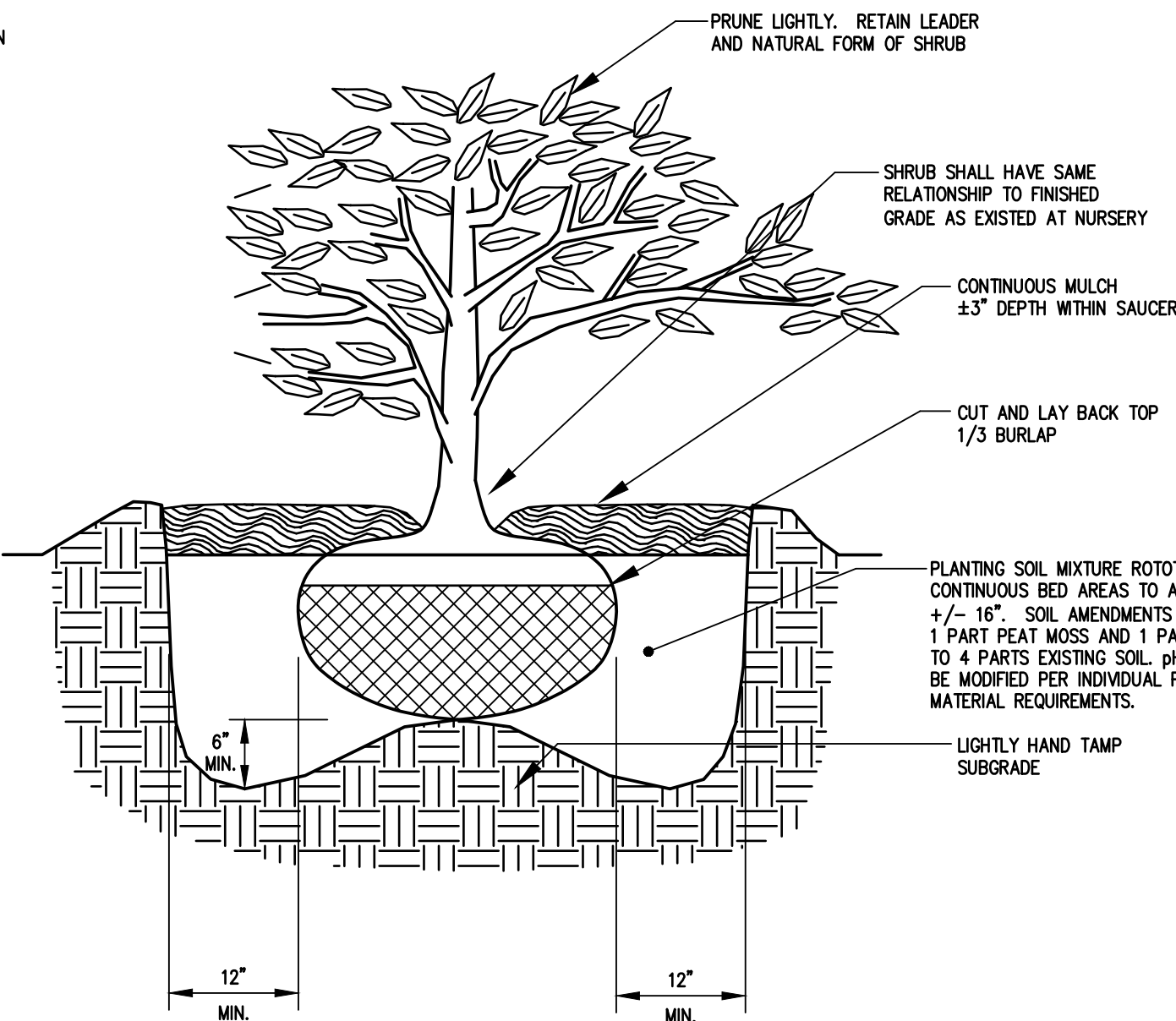


3 BDRM / 1 BATH
8 UNITS PER BUILDING

AFFORDABLE HOUSING UNITS
SCALE: 1"=20'



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

SEE BME DRAWING #2490B-07 FOR
PHOSPHOROUS NOTES

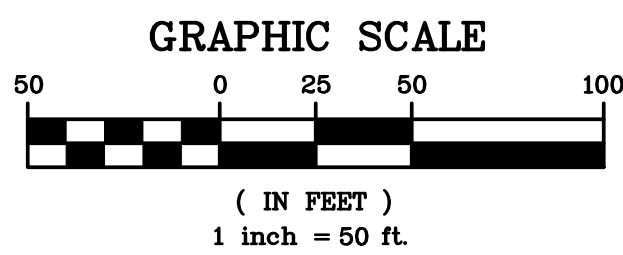
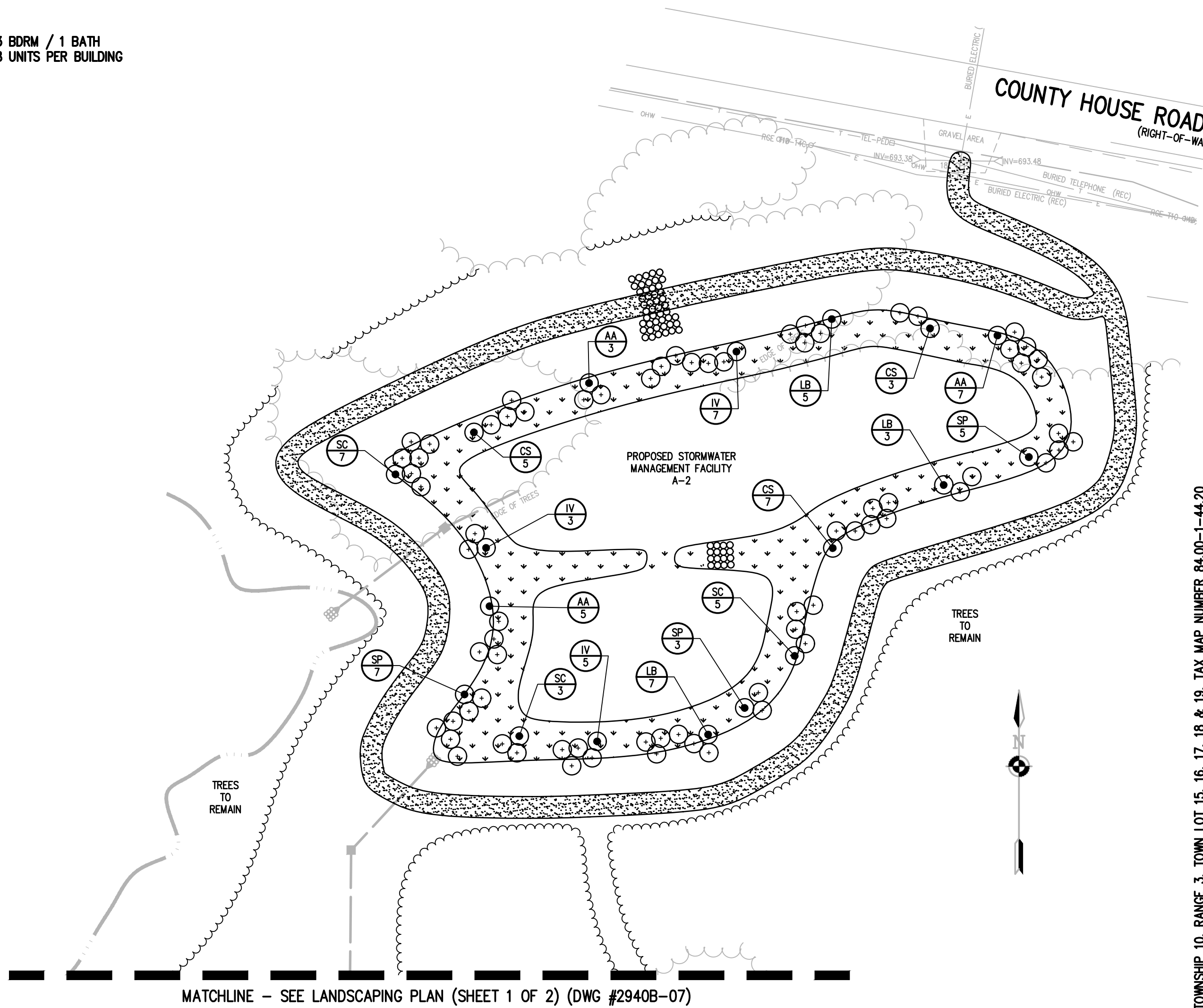
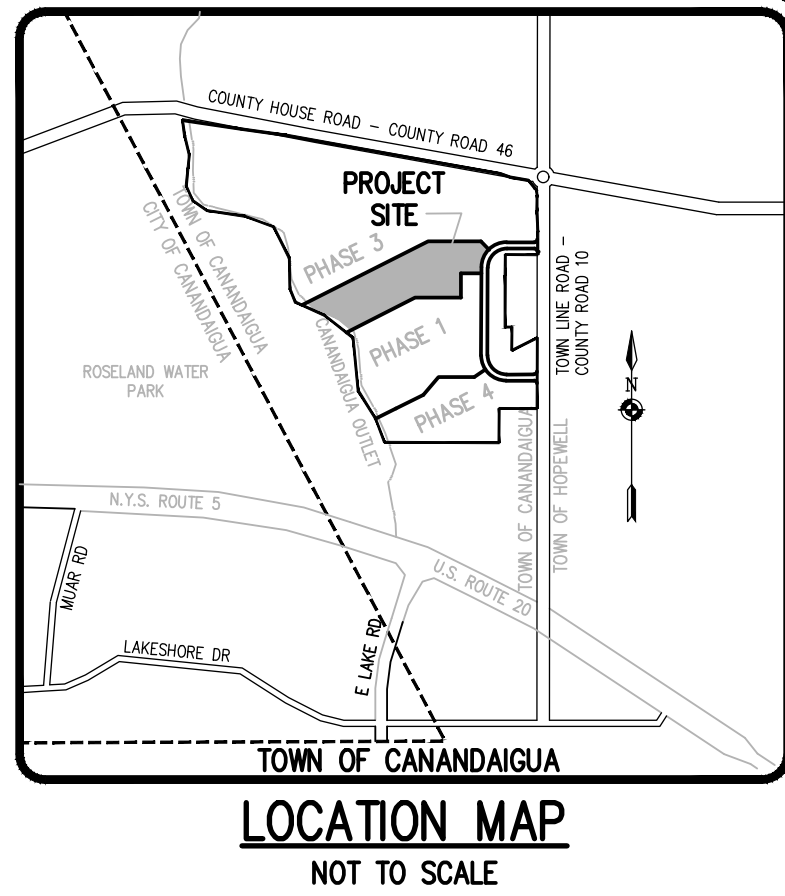
SEE BME DRAWING #2490B-07 (SHEET 1
OF 2) FOR LANDSCAPE NOTES

SEED MIX LEGEND:

- GREEN INFRASTRUCTURE MIX;
Mix of Sheeps Fescue, Creeping Red Fescue and Hard Fescue, or approved no-mow Fescue mix. This area is only to be mowed once or twice a year. Contractor to provide seed mix details to engineer for review and approval prior to installation.
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Seeding Rate: 15 LBS/AC. or $\frac{1}{3}$ LB - $\frac{1}{2}$ LB/1,000 SF.

Mulch: Straw or wood fiber mulch used with hydroseeding method, specified at two (2) tons/AC with tackifier as specified.



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BY: TOWN ENGINEER DATE: _____
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE: _____

APPROVALS

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	REVISION PER TOWN COMMENTS	
2	REVISION PER TOWN COMMENTS	
3	REVISION PER TOWN COMMENTS	
4		
5		
6		
7		

BME ASSOCIATES
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FAX: 585.977.7309



CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE
THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PROJECT LOCATION CLIENT
DRAWING TITLE
PHASE 2 FINAL
LANDSCAPING PLAN

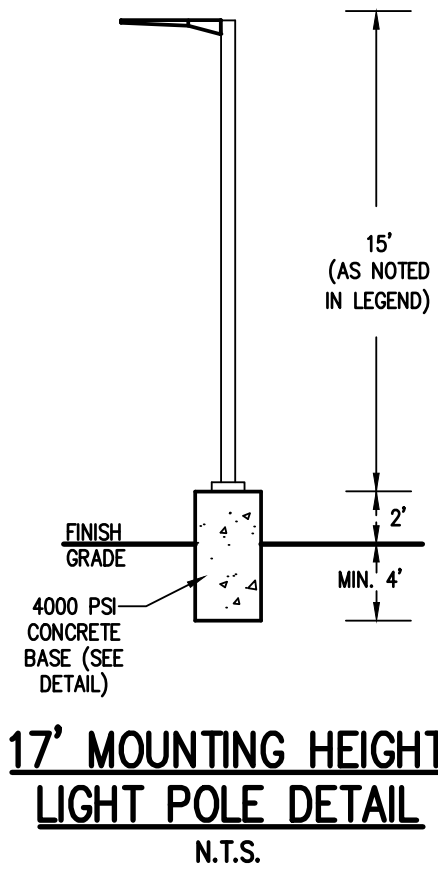
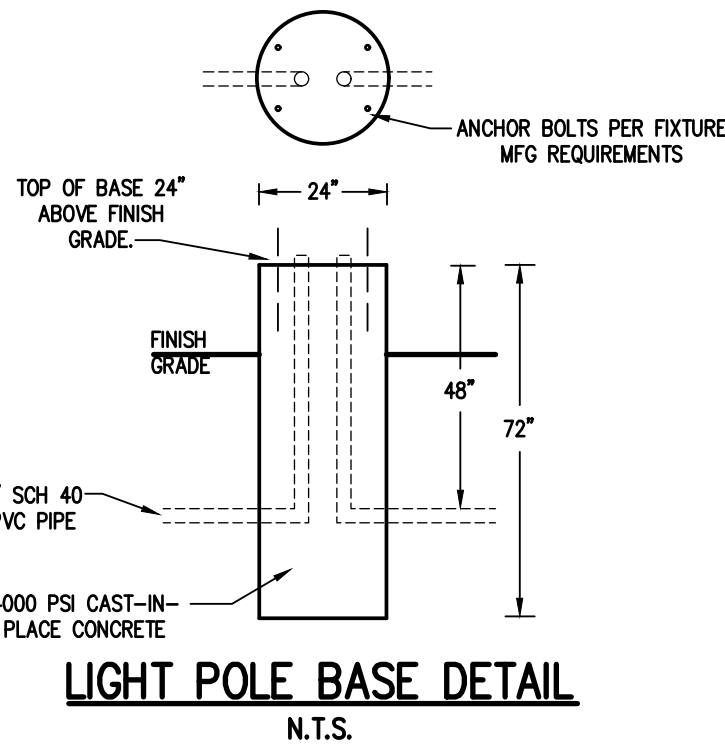
PROJECT MANAGER
P. VARS
PROJECT ENGINEER
M. BOGOLJEVSKI
DRAWN BY
L. ROCKCASTLE
SCALE
1"=50'
DATE ISSUED
MARCH 13, 2020
PROJECT NO.
2490B
DRAWING NO.
08
(SHEET 2 OF 2)

LIGHTING NOTES:

1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED FIXTURES. REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.
3. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
4. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
5. CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION.
6. OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING CIRCUITRY DESIGN.

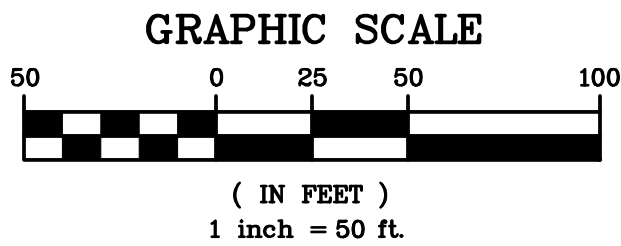
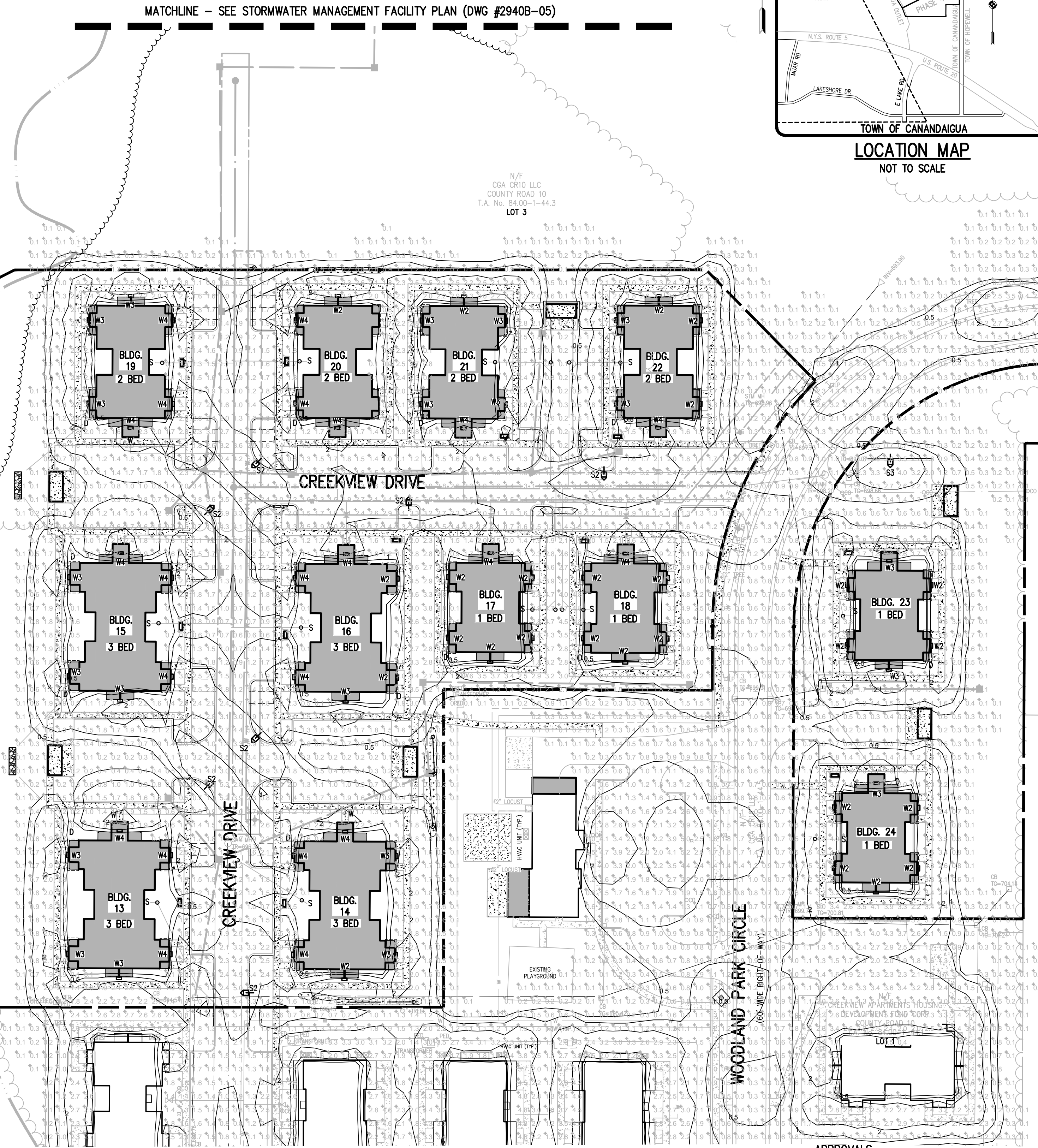
NOTE:

1. ALL LIGHTING INFORMATION AND SPECIFICATIONS PROVIDED BY HUBBELL AND LIGHTSPEC, LLC. THIS INCLUDES FIXTURE SELECTIONS, POINT PLOT INFORMATION, LIGHTING PHOTOMETRICS AND FIXTURE LOCATIONS
2. LIGHT POLE AND FIXTURE LOCATION TO BE FIELD VERIFIED BY LIGHTING CONTRACTOR PRIOR TO INSTALLATION.



Schedule	Symbol	Label	Phase 2 Qc	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
		2S2	0	Hubbell Outdoor	ASL-16L-3K-210-2	ASL Area/Site Lighter - TYPE II OPTICS - DOUBLE - 22ft. POLE + 3ft. CONCRETE BASE	16 High Brightness LEDs - 3000K - 70 CRI	1	ASL-16L-3K-210-2.IES	10441	0.9	246
		S2	7	Hubbell Outdoor	ASL-16L-3K-210-2	ASL Area/Site Lighter - TYPE II OPTICS - 25ft. HEIGHT (22ft. POLE + 3ft. CONCRETE BASE)	16 High Brightness LEDs - 3000K - 70 CRI	1	ASL-16L-3K-210-2.IES	10441	0.9	123
		S3	1	Hubbell Outdoor	ASL-16L-3K-210-3	ASL Area/Site Lighter - TYPE II OPTICS - 25ft. HEIGHT (22ft. POLE + 3ft. CONCRETE BASE)	16 High Brightness LEDs - 3000K - 70 CRI	1	ASL-16L-3K-210-3.IES	10167	0.9	123.8
		S5	0	Hubbell Outdoor	ASL-16L-3K-210-5	ASL Area/Site Lighter - TYPE II OPTICS - 25ft. HEIGHT (22ft. POLE + 3ft. CONCRETE BASE)	16 High Brightness LEDs - 3000K - 70 CRI	1	ASL-16L-3K-210-5.IES	10260	0.9	123.8
		W2	27	SPAULDING LIGHTING	TRP-30L3K-053-2	GEOMETRIC SCENCE - TYPE II OPTICS - WALL MOUNTED @ 16ft.	C-70-CRI 3000K	1	TRP-30L3K-053-2.IES	4508	0.9	52.8
		W3	21	SPAULDING LIGHTING	TRP-30L3K-053-3	GEOMETRIC SCENCE - TYPE III OPTICS - WALL MOUNTED @ 16ft.	C-70-CRI 3000K	1	TRP-30L3K-053-3.IES	4487	0.9	52.8
		W4	22	SPAULDING LIGHTING	TRP-30L3K-053-4	GEOMETRIC SCENCE - TYPE IV OPTICS - WALL MOUNTED @ 16ft.	C-70-CRI 3000K	1	TRP-30L3K-053-4.IES	4375	0.9	53.2

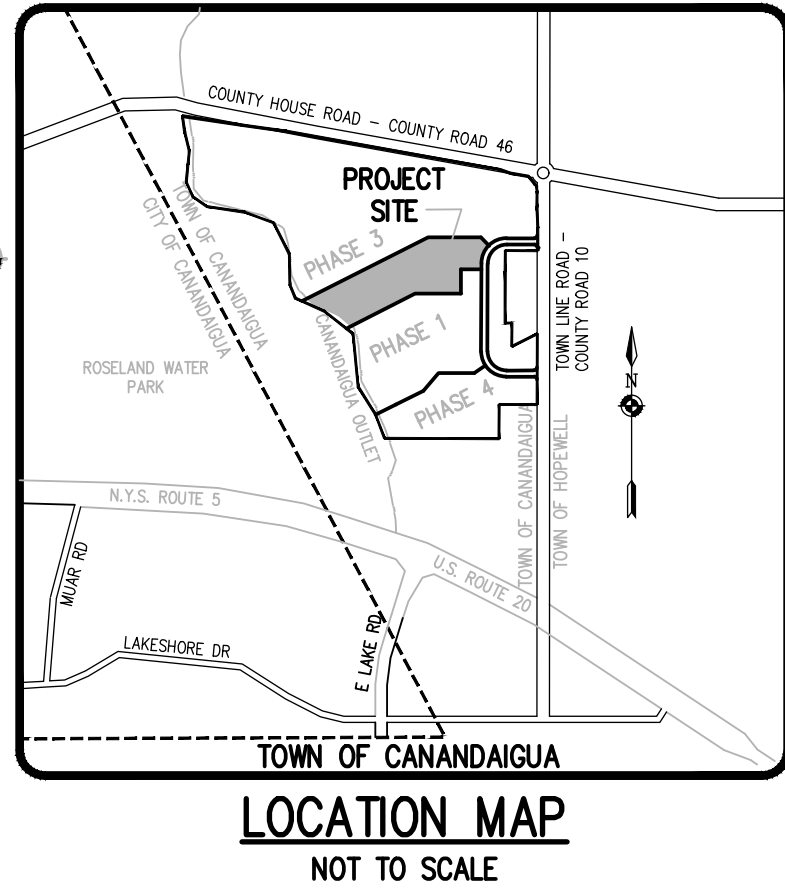
LEGEND	
	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	PROPOSED STORM LATERAL
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY LATERAL
	100-YEAR FLOODPLAIN FEMA FLOODPLAIN
	WETLAND LIMITS
	NYSDEC 100' WETLAND BUFFER
	PROPOSED DRY SWALE



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BY: TOWN ENGINEER DATE: _____
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE: _____

APPROVALS



CREEKVIEW APARTMENTS AT WOODLAND PARK
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIMARCO GROUP
1950 BRIGHTON, HENRIETTA, TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PHASE 2 FINAL
LIGHTING PLAN

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION: TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
CLIENT: THE DIMARCO GROUP
DRAWING TITLE: PHASE 2 FINAL LIGHTING PLAN

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: M. BOGOLJEVSKI
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=50'
DATE ISSUED: MARCH 13, 2020
PROJECT NO.: 2490B
DRAWING NO.: 09

BME ASSOCIATES
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FAX: 585-377-7369
10 LIFT BRIDGE LANE EAST
NEW YORK, NY 14450
WWW.BMEPCON.COM



REVISIONS	DATE	BY
1	9/6/20	MAS
2	2/9/21	MAS
3		
4		
5		
6		
7		

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS (AND APPROVALS UNDER SECTION 281 OF TOWN LAW) OF THE TOWN OF CANANDAIGUA AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE AGENCIES (IE, ONTARIO COUNTY DPW, AND THE NEW YORK STATE HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPOD HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
4. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
5. ALL PERIMETER APARTMENT BUILDING DOWNSPOUTS SHALL DISCHARGE INTO STORM LATERALS AND SPLASH BLOCKS AS INDICATED ON THE PLANS. FOUNDATION DRAINS SHALL CONNECT INTO STORM LATERALS. BUILDINGS 13, 15, AND 19 STORM LATERALS SHALL DISCHARGE TO LEVEL SPREADERS AS NOTED ON THE PLANS.
6. WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA.
7. THE WATERMAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS FOR DISINFECTION OF WATERMANS, DESIGNATION C-651 BY USING THE CONTINUOUS FEED METHOD. THE SLUG METHOD CAN ONLY BE USED FOR MAINS 24" IN DIAMETER OR GREATER. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN AND FROM EACH BRANCH. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLES SHALL BE COLLECTED BY THE TOWN OF CANANDAIGUA AND THE MAIN SHALL NOT BE PLACED IN SERVICE UNTIL THE WATER HAS BEEN APPROVED AND NOTIFICATION THEREOF RECEIVED FROM THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF CANANDAIGUA.
8. ALL WATERMANS SHALL HAVE A MINIMUM OF 5' OF COVER FROM THE TOP OF THE MAIN TO FINISHED GRADE. THE CONTRACTOR SHALL CHECK ALL CUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMANS WILL HAVE THE REQUIRED COVER.
9. STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) OR AS NOTED ON THE PLAN.
10. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER:	FOUR (4) INCH PVC DR-14
SANITARY:	SIX (6) INCH PVC SDR-21, 2% MIN SLOPE TO APARTMENT BUILDINGS
STORM:	EIGHT (8) INCH PVC SDR 35, 2% MIN SLOPE
11. ALL WATER LATERALS ARE TO HAVE A PRESSURE REDUCING VALVE AT EACH APARTMENT BUILDING.
12. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUNDWATER BE ENCOUNTERED WITHIN 5' (5') FEET OF THE FINISH GRADE, FIRE HYDRANT WEEPHOLES (DRAINS) SHALL BE PUGHED.
13. THE WATERMAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C-605 FOR PVC WATERMAIN (LATEST REVISION).
14. WATERMANS TO BE EIGHT (8) INCH PVC DR-14.
15. FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 2,500 PSI CONCRETE THRUST BLOCKS.
16. PROPOSED WATERMAIN TO BE DEDICATED TO THE TOWN OF CANANDAIGUA. SANITARY SEWER TO BE DEDICATED TO CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
17. MINIMUM SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATERMANS.
18. ALL BUILDINGS ARE TO BE SPRINKLERED.

SEWER PERMITS AND PERMITS FOR WORK UNDER COUNTY PUBLIC WORKS OFFICE HIGHWAY RIGHT OF WAY MUST BE PURCHASED IN ADVANCE AT THE ONTARIO COUNTY PUBLIC WORKS OFFICE LOCATED AT 2962 COUNTY ROAD 48 IN THE TOWN OF HOPEWELL. CALL 585-396-4000 FOR INFORMATION.

2. SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.

3. SANITARY SEWER MAIN GRAVITY PIPE SHALL BE 8" DIA. OR LARGER PVC CLASS SDR-35 OR SDR-21 WITH ELASTOMERIC JOINTS. LATERALS SHALL BE 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS. ACTUAL FIELD CONDITIONS MAY REQUIRE ADDITIONAL PIPE OR BACKFILL REINFORCEMENT. THE SANITARY SEWER WILL BE DESIGNED BY THE DEVELOPER'S ENGINEER. FIELD CHANGES MUST BE APPROVED BY THE SEWER DISTRICT.

4. THE SANITARY SEWER IS DESIGNED TO PROVIDE GRAVITY SERVICE TO ALL ADJACENT BUILDING BASEMENTS. EXCEPTIONS HAVE BEEN APPROVED BY THE SEWER DISTRICT AND ARE CLEARLY NOTED ON THE UTILITY PLAN. BASEMENT FLOOR ELEVATIONS WILL BE SHOWN ON THE SANITARY SEWER PROFILE FOR EACH LOT THAT WILL NOT BE SERVED BY GRAVITY LATERALS.

5. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.

6. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION, CONTACT UPO AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

7. THE SANITARY SEWER SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATERMAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATERMAIN) IN CASES WHERE THE SANITARY SEWER CROSSES A WATERMAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUITIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN JOINTS.

8. A LETTER OF CREDIT, OR ENGINEER APPROVED EQUIVALENT, FOR AN AMOUNT EQUAL TO THE ESTIMATED COST OF CONSTRUCTION, INSPECTION, RECORD DRAWINGS, DEDICATION DOCUMENTS AND RELATED EXPENSES FOR THE SANITARY SEWER PLUS AN ADDITIONAL 10% FOR CONTINGENCIES MUST BE SUBMITTED TO THE COMMISSIONER OF PUBLIC WORKS BEFORE A PERMIT IS ISSUED OR SEWER CONSTRUCTION MAY COMMENCE.

9. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.

10. THE DEVELOPER IS RESPONSIBLE FOR THE PREPARATION OF ALL REQUIRED EASEMENT MAPS AND DESCRIPTIONS AND SUBMISSION TO THE DISTRICT FOR APPROVAL. PERMITS WILL NOT BE ISSUED PRIOR TO THE EASEMENT DOCUMENTS BEING SIGNED BY THE COMMISSIONER AND RECORDED IN THE COUNTY CLERK'S OFFICE.

11. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION, PAYING PARTICULAR ATTENTION TO REQUIREMENTS FOR OPEN TRENCH AND CONFINED SPACE. ENTRY INTO ANY DISTRICT STRUCTURE MUST COMPLY WITH ALL DISTRICT AND OSHA APPROVED PROCEDURES FOR CONFINED SPACES.

12. WHEN SANITARY SEWER CONSTRUCTION ACTIVITIES BEGIN, THE CONTRACTOR SHALL PLUG THE MAIN AT THE CONNECTING MANHOLE. PLUGS SHALL NOT BE REMOVED UNTIL THE COMPLETED SEWER LINE IS TESTED AND APPROVED FOR USE.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.

14. THE SEWER LINE SHALL BE LAID USING A PIPE LASER. GRADE SHALL BE CHECKED EVERY 100 FEET USING A SURVEYOR'S LEVEL TO INSURE THE CORRECT GRADE IS BEING MAINTAINED.

15. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CIRCUIT.

16. OPENINGS IN EXISTING MANHOLES SHALL BE MADE WITH A CORE SAW. A RUBBER, WATER-TIGHT PIPE-TO-MANHOLE BOOT ADAPTER OR OTHER DISTRICT APPROVED CONNECTOR CONFORMING TO ASTM C-923, SHALL BE USED TO MAKE THE CONNECTION TO THE EXISTING MANHOLE.

17. THE CONTRACTOR SHALL PERFORM ALL EXISTING MANHOLE MODIFICATION OPERATIONS IN SUCH A MANNER TO ENSURE NO DEBRIS OR CONSTRUCTION MATERIALS ENTER THE SANITARY SEWER SYSTEM.

18. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN PERFORMING EXISTING MANHOLE MODIFICATION OPERATIONS. ANY DAMAGE TO THE EXISTING SLAB, BARREL OR ANY OTHER PART OF THE STRUCTURE SHALL BE REPLACED IN KIND TO THE SATISFACTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

19. EXISTING MANHOLES THAT ARE MODIFIED IN ANY MANNER SHALL BE SUBJECT VACUUM TESTING PER DISTRICT REQUIREMENTS. SANITARY MANHOLE 5-3 WILL BE REQUIRED TO BE VACUUM TESTED PER DISTRICT REQUIREMENTS.

20. CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.

21. ALL PIPES ENTERING AND EXITING MANHOLES SHALL HAVE A FLEXIBLE WATER-TIGHT JOINT NO LESS THAN 1 FOOT AND NO GREATER THAN 3 FEET FROM THE OUTSIDE WALL OF THE MANHOLE.

22. MANHOLES DEEPER THAN 14 FEET, LESS THAN 5 FEET IN DEPTH, OR HAVING THREE OR MORE PIPE CONNECTIONS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 5 FEET.

23. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

25. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.

26. LATERAL CLEANOUTS WILL BE PROVIDED AT THE RIGHT OF WAY LINE OR SANITARY SEWER EASEMENT LINE, WHICHEVER IS FURTHERST FROM THE SEWER MAIN, AND EVERY 90 LINEAR FEET THEREAFTER.

27. THE CONTRACTOR SHALL TAKE AND RECORD FIELD MEASUREMENTS TO ALL WYES, CLEANOUTS AND LATERAL PLUGS AS WELL AS LENGTHS OF RISERS AND DEPTHS AT LATERAL PLUGS. THE INFORMATION WILL BE GIVEN TO THE DEVELOPER'S ENGINEER FOR USE IN PREPARING RECORD DRAWINGS.

28. FOLLOWING PROJECT COMPLETION AND 30 DAYS AFTER THE BACKFILL HAS BEEN IN PLACE THE FOLLOWING TESTS SHALL BE PERFORMED ON GRAVITY SANITARY SEWER MAIN:

A. INFILTRATION/EX-FILTRATION TESTS ON SEWER MAIN AND MANHOLES. AIR PRESSURE TESTING FOR SEWER MAINS AND VACUUM TESTING FOR MANHOLES IS RECOMMENDED. TESTS ON MANHOLES MAY BE PERFORMED ONLY AFTER MANHOLE BENCHES AND INVERTS ARE COMPLETE.

B. A DEFLECTION TEST USING A RIGID BALL OR MANDEL HAVING A DIAMETER OF 95% OF THE INSIDE DIAMETER OF THE PIPE. MECHANICAL PULLING DEVICES WILL NOT BE USED.

C. THE SEWER LINE WILL BE TELEVIEWED AND LAMPED AFTER ALL OTHER TESTS ARE COMPLETE. A GOOD QUALITY COPY OF THE DVD OR VIDEO-TAPE AND RELATED RECORDS WILL BE SUBMITTED FOR EVALUATION TO CANANDAIGUA LAKE COUNTY SEWER DISTRICT. PRIOR TO TELEVIEWING THE SEWER LINE SHALL BE FLUSHED AND BEARED OF DIRT, STONES AND DEBRIS. IF PERMISSION IS GRANTED TO REMOVE THE PLUG AT THE CONNECTING MANHOLE PRIOR TO FLUSHING OPERATION, PROVIDE DOWNSTREAM SCREENS OR OTHER DEVICES TO PREVENT DEBRIS FROM ENTERING THE COUNTY'S SEWER SYSTEM. SECTIONS OF PIPE RE-PAIRED OR RE-FLUSHED WILL BE RE-TELEVIEWED UNTIL ACCEPTABLE.

29. UPON PROJECT COMPLETION AND DISTRICT APPROVAL, THE DEVELOPER'S ENGINEER WILL SUBMIT RECORD DRAWINGS ON MYLAR AND IN ELECTRONIC FORMAT, TIE TO NAD83 HORIZONTAL AND NAVD 88 VERTICAL DATUM. THE DRAWINGS WILL SHOW ACTUAL FIELD MEASURED LOCATIONS, LENGTHS, ELEVATIONS AND TYPES OF PIPE AND APPURTENANCES, INCLUDING WYES AND LATERALS, AS WELL AS PROFILES, EASEMENTS AND ANY OTHER RELATED INFORMATION REQUESTED BY THE DISTRICT. MYLAR DRAWINGS WILL BE STAMPED/SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR SURVEYOR, AND SHALL BE AT STANDARD ENGINEERING SCALE (1"=50' MIN.), AND STANDARD SIZED DRAWING NOT SMALLER THAN 11 X17" AND NO LARGER THAN 24 X36". PROJECT MONUMENTATION AND PERMANENT BENCHMARKS SHALL BE SHOWN WITH COORDINATE AND/OR ELEVATION INFORMATION.

30. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING EASEMENT MAPS AND DESCRIPTIONS AND SEWER DEDICATION DOCUMENTS. MAPS WILL BE RECORDED WITH DEDICATION DOCUMENTS IN THE ONTARIO COUNTY CLERK'S OFFICE, AND THEREFORE NEED TO BE SUBMITTED ON LEGAL SIZE (8 1/2" X 14") PAPER.

31. PRIOR TO RELEASING THE RETAINAGE FROM THE ORIGINAL LETTER OF CREDIT, A MAINTENANCE BOND FOR A MINIMUM 10% OF THE PROJECT'S ESTIMATED TOTAL COST OF THE PROJECT IN FAVOR OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT WILL BE SUBMITTED TO THE COMMISSIONER. THE BOND WILL EXPIRE NO SOONER THAN ONE YEAR FROM THE DATE OF DEDICATION OF THE SEWER, OR THE RELEASE DATE OF THE RETAINAGE FROM THE LETTER OF CREDIT, WHICHEVER OCCURS LAST.

32. FOR FOREMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS. REFER TO THRUST BLOCK DETAILS FOR APPROPRIATE DIMENSIONS FOR 4" PIPE.

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.

2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.

4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI, NOI ACKNOWLEDGEMENT LETTER, SWPPP, MSA ACCEPTANCE FORM, AND INSPECTION REPORT MUST BE MAINTAINED ON-SITE IN A SECURE LOCATION AND MUST BE ACCESSIBLE DURING NORMAL BUSINESS HOURS.

5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP TO BE KEPT ON-SITE BY THE OWNER.

6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SITE-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)

7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (2) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

8. FOR DISTURBANCES OF 5 ACRES AND GREATER, DISTURBED AREAS NOT TO BE WORKED IN FOR 7 DAYS MUST BE TEMPORARILY SEEDED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND MSA. STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY FOR AREAS WHERE LAND DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

9. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND MSA. STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY FOR AREAS WHERE LAND DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

10. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.

11. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 10" TOPSOIL.

12. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-0-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
GRASS	4	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

13. DISTURBED AREAS SHALL BE FERTILIZED WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-0-10 FERTILIZER, AND STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM.
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	87	80
KENTUCKY BLUEGRASS	30	95	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER

14. SLOPES 3:1 OR GREATER SHALL BE SEEDDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDDED WITH FOLLOWING SEED MIX:

NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS – ERNMX-181

32.2%	Sorghastrum nutans	INDIANGRASS
20%	Lolium multiflorum	ANNUAL RYEGRASS
17%	Elymus virginicus	VIRGINIA WILDRYE
8%	Andropogon gerardii	BIG BLUESTEM
6%	Agrostis perennans	AUTUMN BENTGRASS
3%	Panicum virgatum 'Shownee'	SWITCHGRASS
2.5%	Echinochloa purpurea	PURPLE CORNFLOWER
2%	Agrostis scabra	TICKGRASS
2%	Tridax flavus	PUPPETOFT
2%	Chamaecrista fasciculata	PARTRIDGE PEAS
1%	Cirsium lanceolatum	ANGELICAF COREOPSIS
1%	Helipopsis helianthoides	OYEYE SUNFLOWER
1%	Rudbeckia hirta	BLACKEYED SUSAN
0.7%	Lepesedeza virginica	SWAMP BUSHCLOVER
0.6%	Utriclea spicata	MARSH BLAZING STAR
0.5%	Monarda fistulosa	WLD BERGAMONT
0.4%	Aster novae-angliae	NEW ENGLAND ASTER
0.1%	Pycnanthemum tenuifolium	SENDER MOUNTAINMINT

SEEDING RATE: 60 LBS PER ACRE OR 1 LB PER 1000 SF
INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE)
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.

15. THE STORMWATER POND AREA SHALL BE SEEDDED TO AN ELEVATION 2 FEET ABOVE THE NORMAL PONDING LEVEL WITH "OBL" WETLAND SEED MIX (ERNMX-131) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

16. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDDED.

17. ANY EXCAVATIONS THAT MUST BE Dewatered SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

18. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

19. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-20-001.

20. A 5-ACRE WAIVER WILL BE OBTAINED FROM THE TOWN OF CANANDAIGUA PRIOR TO THE CONSTRUCTION OF THIS PHASE.

an ACRE DISTURBANCE WAIVER will BE OBTAINED FROM THE TOWN OF CANANDAIGUA FOR CONSTRUCTION OF THIS PHASE.

PHASE 2 DISTURBED ACREAGE = ±12.4

SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: SITE PREPARATION

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR INSTALLATION OF SILT FENCE.
- INSTALL PERIMETER SILT FENCE. COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN OPEN COVER.

STEP 2: GRADING OPERATIONS/CONSTRUCTION ACTIVITY

- STRIP AND STOCKPILE TOPSOIL FROM THE PROPOSED ROAD, STORMWATER MANAGEMENT FACILITY AND FILL AREAS. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEAL WITH TEMPORARY SEEDING MIX.
- CONSTRUCT STORMWATER MANAGEMENT FACILITY. COMPLETE GRADING, FINE GRADE AND SEED. STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO UNDERCUT POND BOTTOM BY 2". ALL SOIL GRADING SHALL BE CONDUCTED TO ENSURE SEDIMENT LOAD RUNOFF FLOWS TOWARD STORMWATER MANAGEMENT AREAS OR SEDIMENT CONTROL MEASURES.
- ALL DRY SWALE AREAS AS SHOWN ON THE PLANS ARE TO BE ENCOMPASSED BY CONSTRUCTION FENCING PRIOR TO INSTALLATION TO BE PROTECTED FROM COMPACTION.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN ON THE PLANS, OR AS DIRECTED BY SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY.
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSIONS ONCE THE BINDER ASPHALT IS INSTALLED.
- INSTALL ROAD BASE, CURB, AND PAVEMENT WITH EROSION CONTROL. MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- EXCAVATE FOR APARTMENT BUILDING FOUNDATIONS.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION.
- COMPLETE CONSTRUCTION OF APARTMENTS, CONCRETE SIDEWALKS, LANDSCAPING, AND LIGHTING.
- SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE PER CONSTRUCTION EROSION CONTROL NOTES #14.
- SEED MULCH AND ALL DISTURBED AREAS NOT TO BE WORKED IN BY THE END OF NEXT BUSINESS DAY FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY AND/OR PERMANENT GRASS COVER THE DISTURBED AREA SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. SEE EROSION CONTROL NOTES FOR SEED MIXES AND APPLICATION RATES.
- INSTALL CONCRETE TRUCK WASHOUT AREA PRIOR TO COMPLETE POURING ACTIVITIES (SEE DETAIL).

STEP 3: STABILIZATION & MONITORING

- SEED AND MULCH ALL DISTURBED AS REQUIRED BY GP-0-20-001. SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET – ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. REFER TO THE WINTER SPECIFICATIONS IN THE NYS BLUE BOOK PROVIDED IN THE PROJECT SPECBOOK. FOR ADDITIONAL WINTER STABILIZATION INFORMATION, SEE WINTER STABILIZATION MEASURES TO BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS.
- MONITOR STORMWATER MANAGEMENT FACILITY, SEDIMENT BASINS, AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- CONSTRUCT DRY SWALES ONCE CONTRIBUTING UPSTREAM AREAS ARE STABILIZED AND GROUNDCOVER IS ESTABLISHED. ALL DRY SWALES AREAS SHALL BE ENCOMPASSED BY SURFACE CONSTRUCTION FENCE.
- INSTALL NATURAL SURFACE TRAIL PER THE LIMITS SHOWN ON THE PHASE 2 PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

7			
6			
5			
4			
3			
2	REVISED PER TOWN ENGINEER COMMENTS	2/9/21	MS
1	REVISED PER TOWN COMMENTS	9/6/20	MS
	REVISIONS	DATE	BY

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
PARSONS PARKWAY
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

PHONE 585-377-7360
FAX 585-377-3069



**CREEKVIEW APARTMENTS AT
WOODLAND PARK**

TOWN OF CANADAGUA, ONTARIO COUNTY, NEW YORK

THE DIMARCO GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623

PHASE 2 FINAL

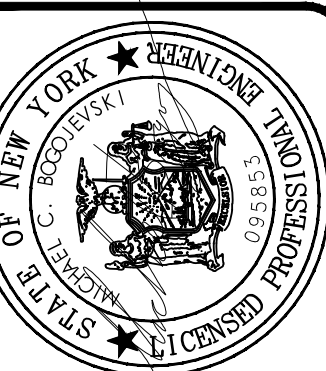
NOTE SHEET

DRAWING TITLE

PROJECT MANAGER	
P VARS	
PROJECT ENGINEER	
M BOGOJEWSKI	
DRAWN BY	
M SERENI	
SCALE	DATE ISSUED
AS SHOWN	MARCH 13, 2020
PROJECT NO.	
2490B	
DRAWING NO.	
10	

NO.	REVISIONS	DATE	BY
1			
2	REVISED PER TOWN COMMENTS	9/6/20	MAS
3	REVISED PER TOWN COMMENTS	2/9/21	MAS
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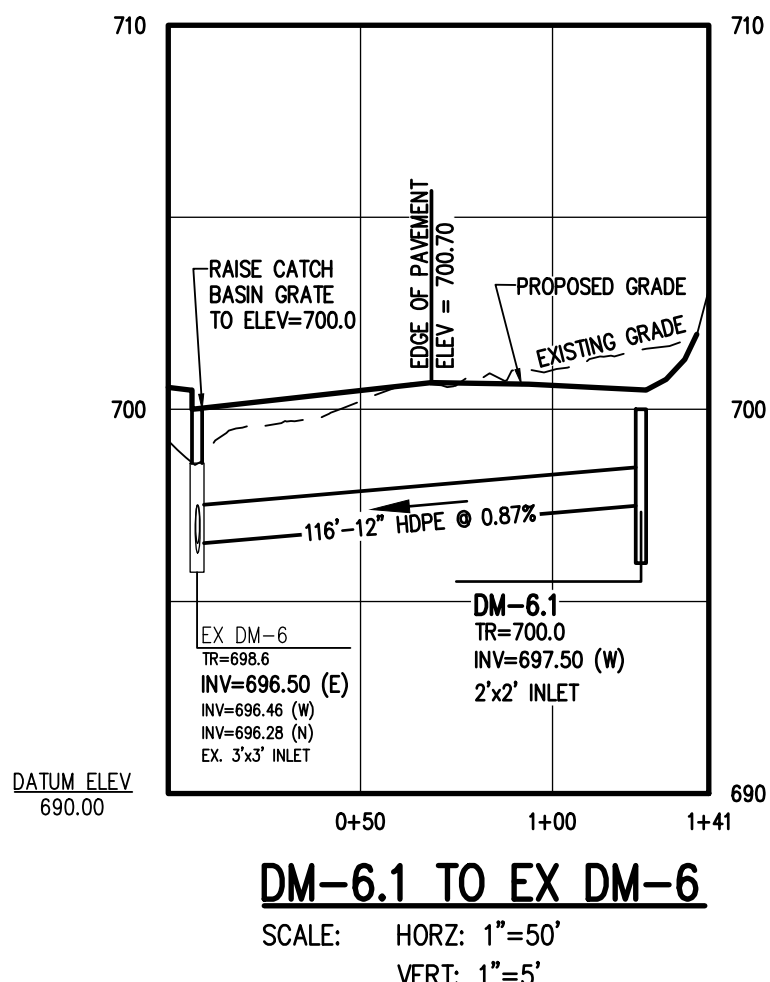
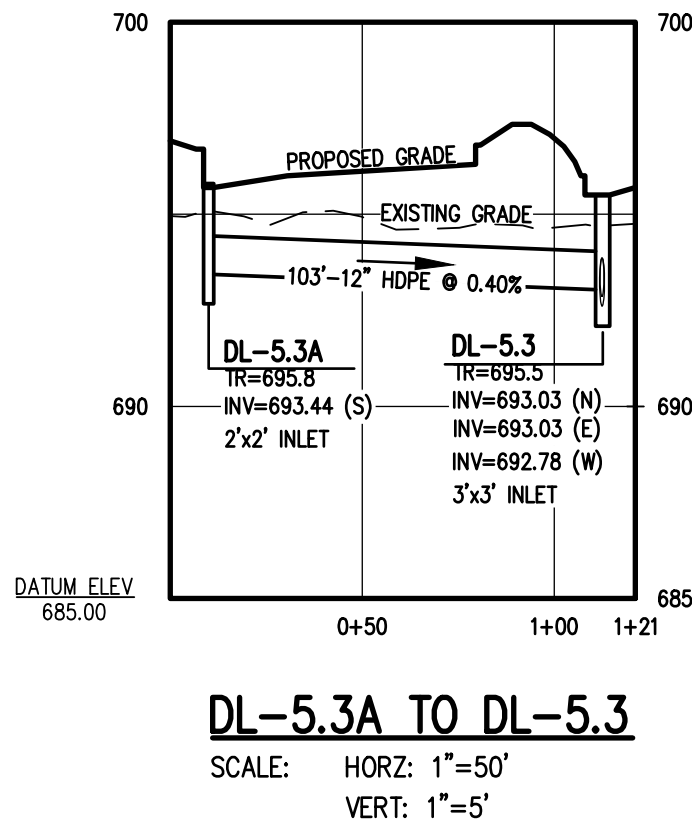
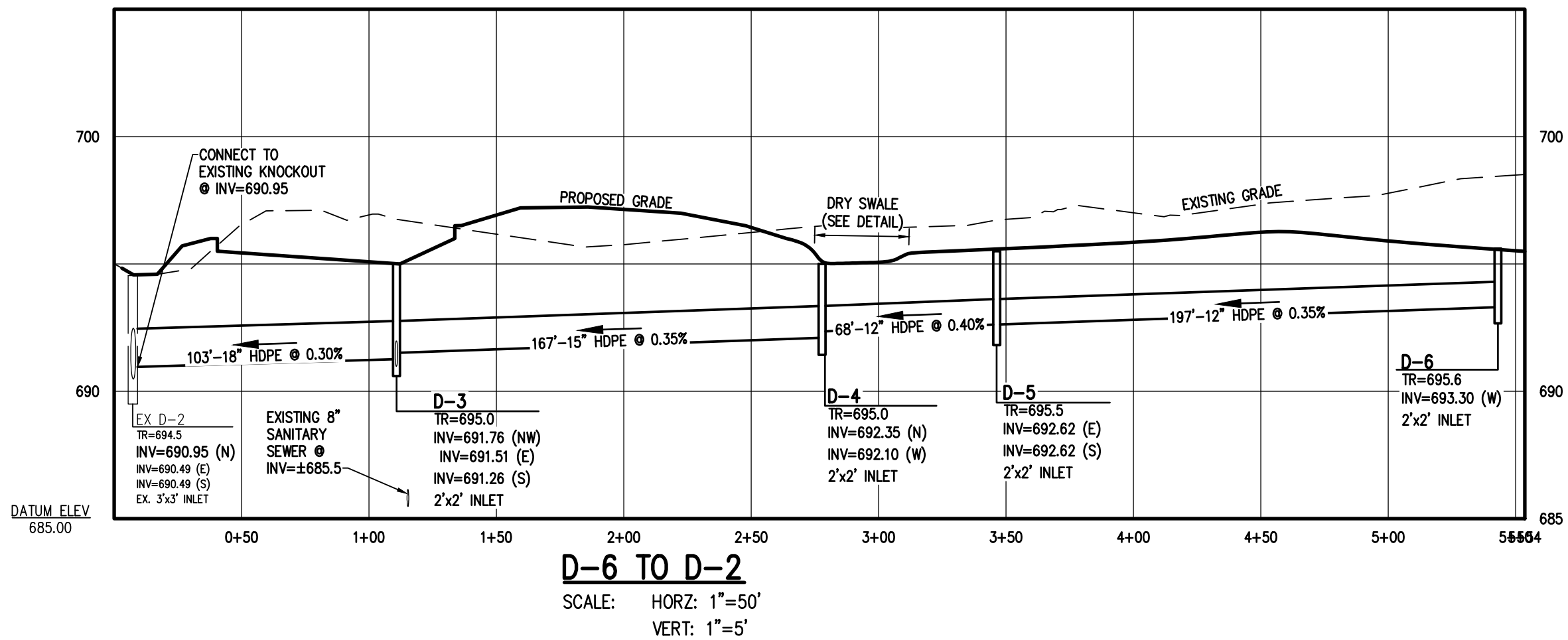
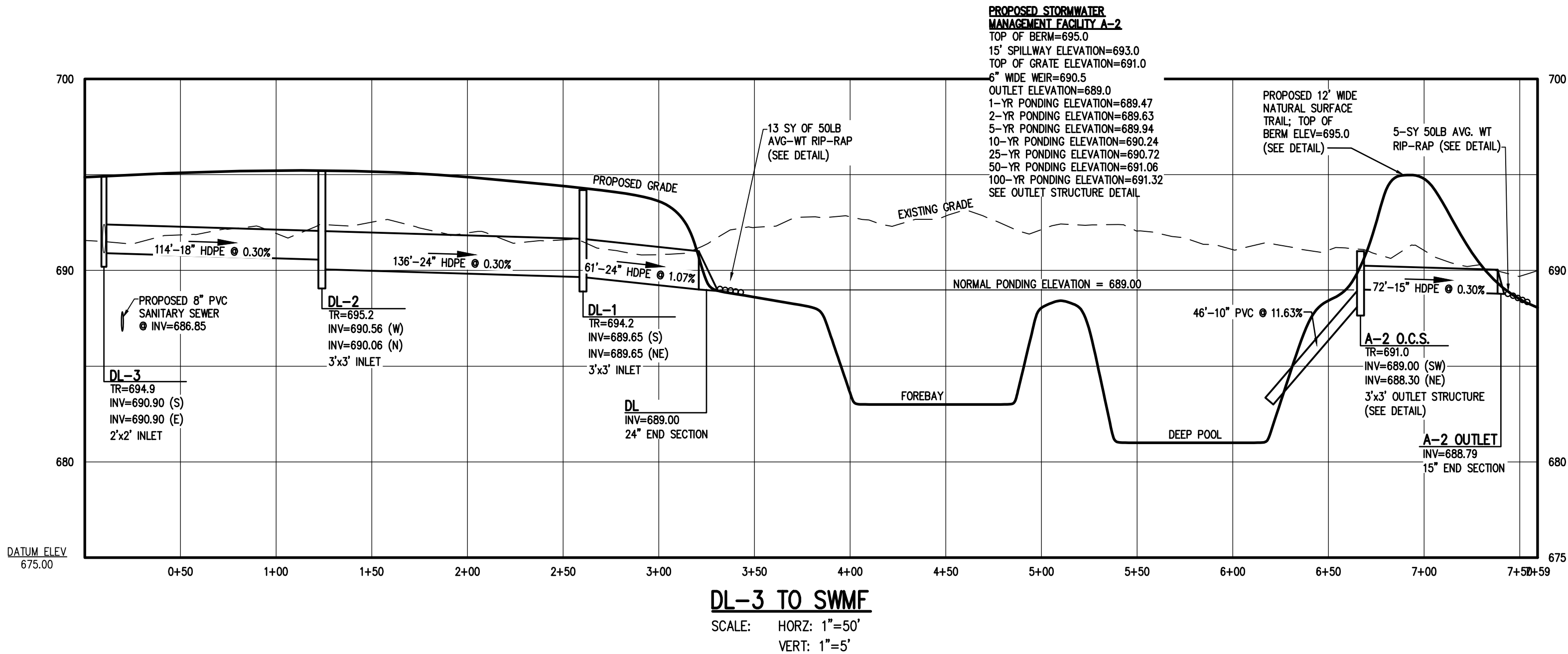
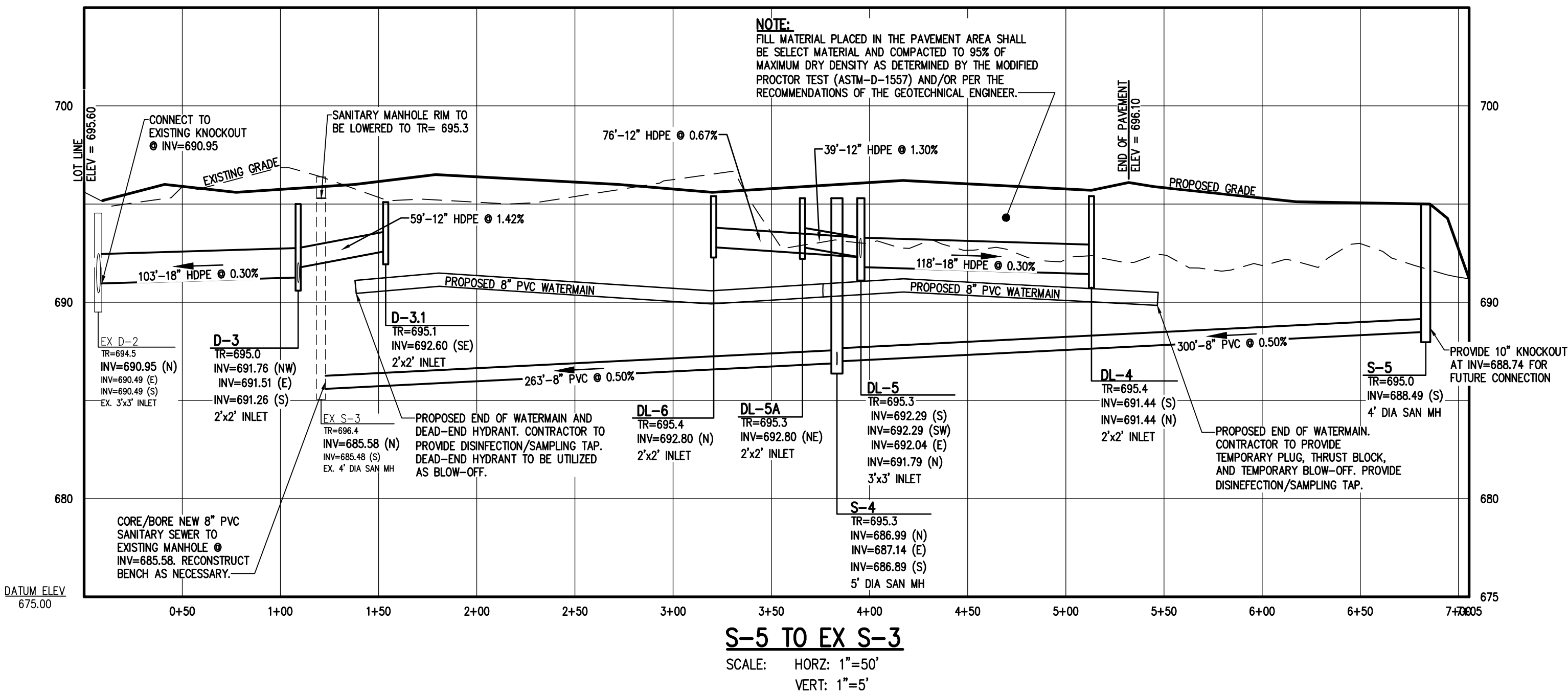
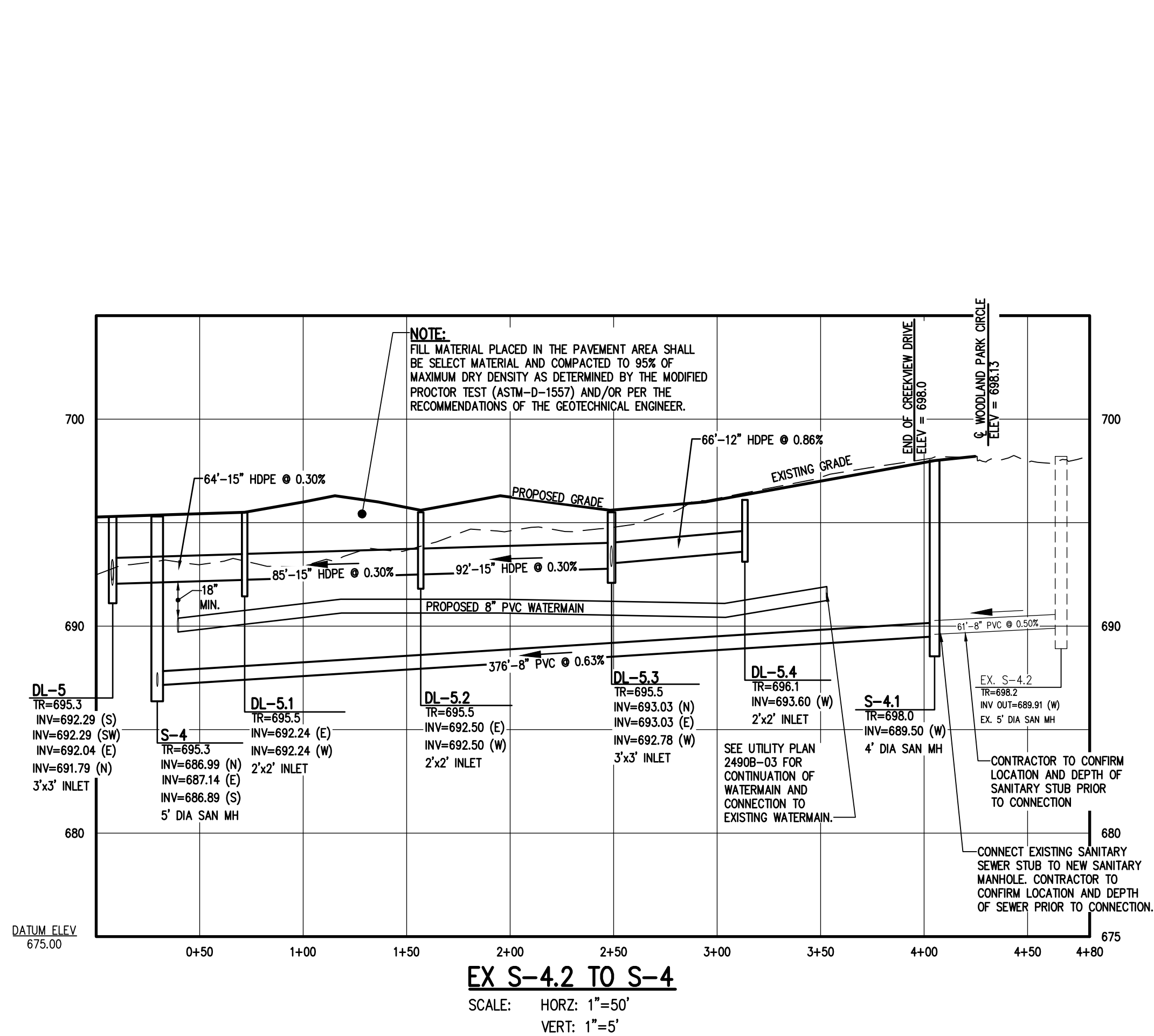
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ROCHESTER, NEW YORK 14650
PHONE 585.377.7360
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**CREEKVIEW APARTMENTS AT
WOODLAND PARK**
PROJECT LOCATION CLIENT
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
THE DIAMOND GROUP
1950 BRIGHTON HENRIETTA TOWNLINE ROAD
ROCHESTER, NEW YORK 14623
PHASE 2 FINAL
PROFILE SHEET

PROJECT MANAGER
P. VARS
PROJECT ENGINEER
M. BOCOLEVSKI
DRAWN BY
M. SERENI
SCALE DATE ISSUED
AS SHOWN MARCH 13, 2020
PROJECT NO.

24908
DRAWING NO.



P: 24908 Drawings From 24908 Detail Base.dwg

Town of Canandaigua

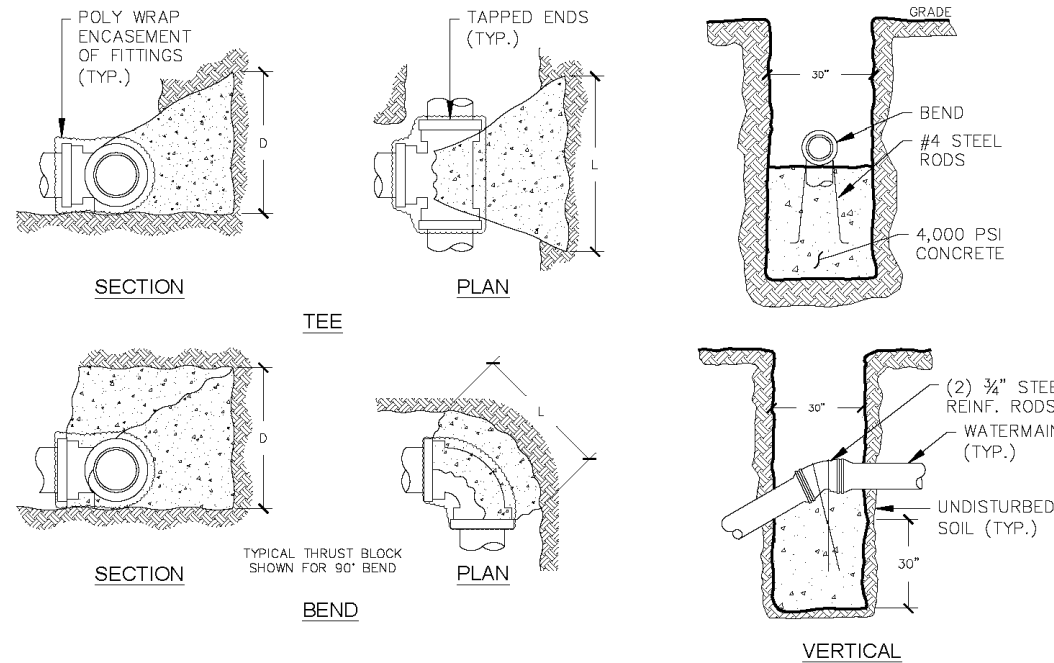
5440 Route 5 & 20 West
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(585) 394-1120
Fax (585) 394-9476
Established 1789

APPENDIX: **W - 5.0**

DATE: 2018

SCALE: N.T.S.

MRB | group



THRUST BLOCK DETAIL

PIPE SIZE (INCHES)	WORKING PRESSURE (PSI)	TEE OF PLUG L	90° BEND L	45° BEND L	22-1/2° BEND L
4	300	2.60	1.00	2.25	1.25
5	300	2.60	1.25	2.75	1.50
6	300	3.60	1.25	3.25	1.75
8	300	3.25	2.00	4.25	2.25
10	300	4.25	2.50	5.25	2.50
12	300	5.25	2.50	6.00	3.25
14	300	6.25	3.25	7.50	4.00
16	300	8.25	4.25	10.00	5.00

- NOTES:
- ALL DIMENSIONS ARE IN FEET.
 - BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSI.
 - HEIGHT OF THRUST BLOCK SHOULD BE EQUAL TO OR LESS THAN 1/2 THE DEPTH FROM THE GROUND SURFACE TO THE BASE OF THE BLOCK.
 - ALL THRUST BLOCKS SHALL CURE A MINIMUM OF SEVEN (7) DAYS BEFORE ANY PRESSURE TESTS ARE CONDUCTED.
 - CONCRETE SHALL BE MINIMUM 3000 PSI.
 - RESTRAINING RODS MAY BE USED IN LIEU OF THRUST BLOCKS. METHOD TO USED SHALL BE APPROVED BY ENGINEER PRIOR TO PLACEMENT.

WATERMAIN THRUST BLOCK SCHEDULE

Town of Canandaigua

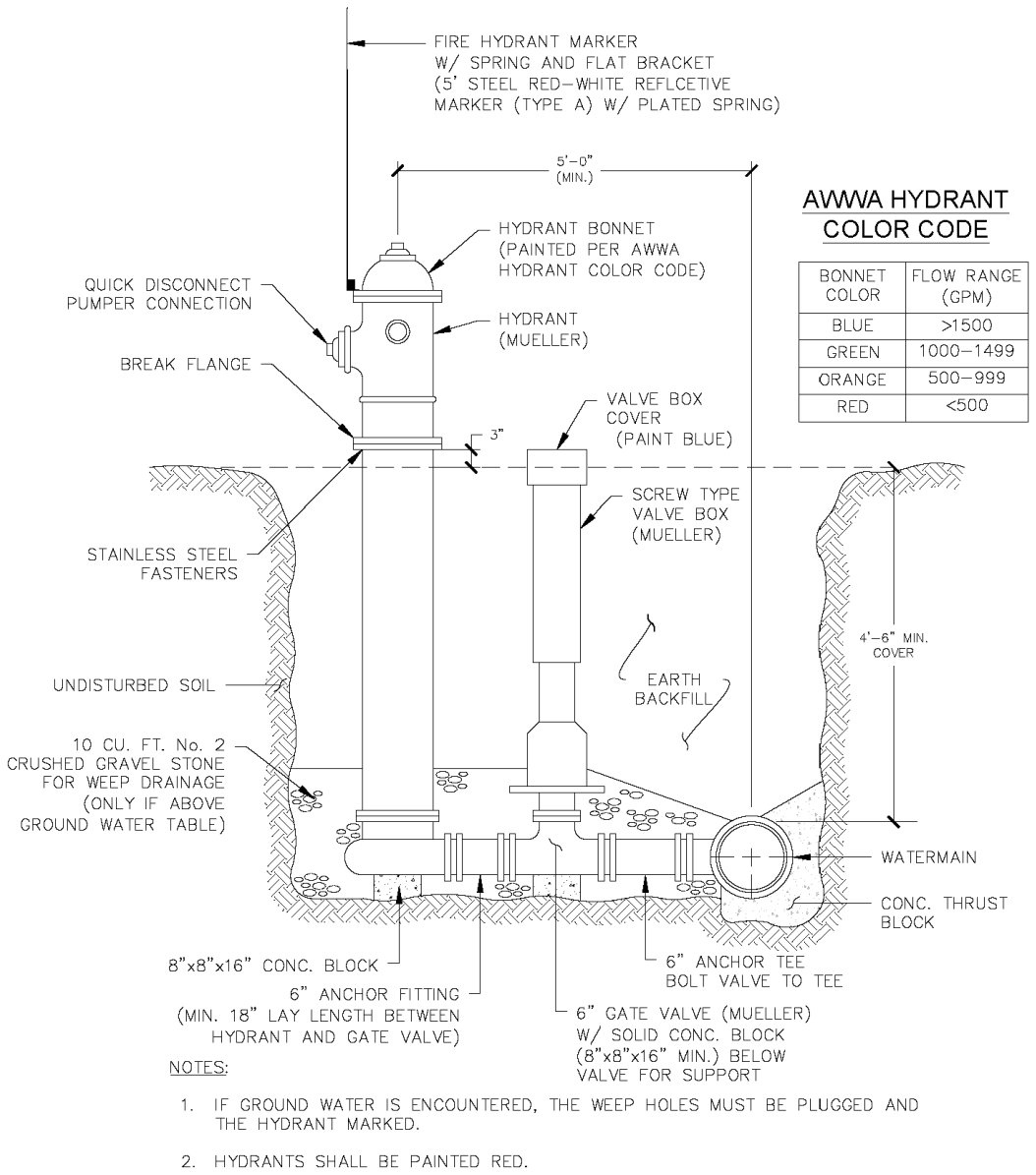
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APPENDIX: **W - 6.0**

DATE: 2018

SCALE: N.T.S.

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HYDRANT UNIT

Town of Canandaigua

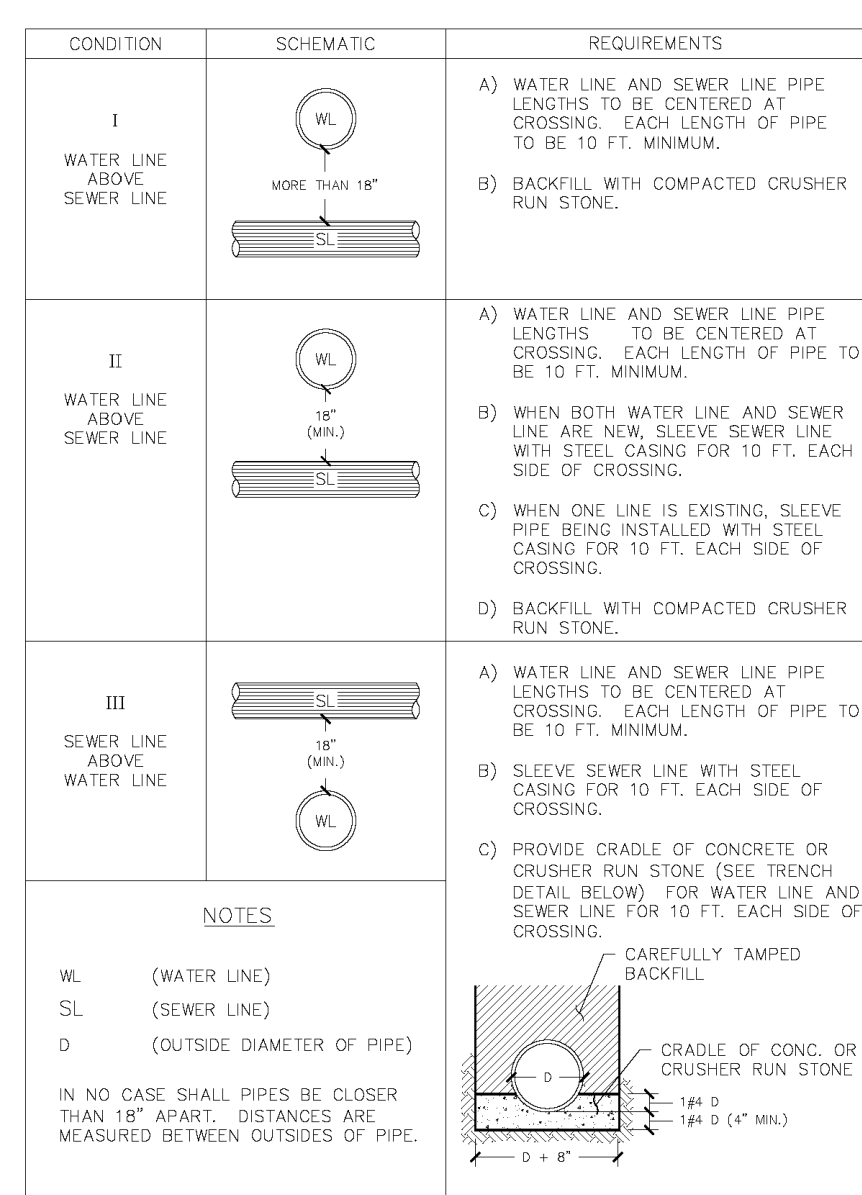
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APPENDIX: **W - 9.0**

DATE: 2018

SCALE: N.T.S.

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WATERMAIN/SEWER CROSSING DETAIL

Town of Canandaigua

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Established 1789

APPENDIX: **W - 1.0**

DATE: 2018

SCALE: N.T.S.

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D.I.P. PER 1,000 L.F. OF LINE	PIPE DIA. (INCHES)	TEST PRESSURE (P.S.I.)				
		200	225	250	275	300
		ALLOWABLE LEAKAGE (gal/hour)				
P.V.C. PER 1,000 L.F. OF LINE	6	0.64	0.68	0.71	0.75	0.78
	8	0.85	0.90	0.95	1.00	1.04
	10	1.08	1.13	1.19	1.24	1.30
	12	1.28	1.35	1.42	1.49	1.56
P.V.C. PER 1,000 L.F. OF LINE	6	0.57	0.61	0.64	0.67	0.70
	8	0.76	0.81	0.85	0.90	0.94
	10	0.96	1.02	1.07	1.12	1.17
	12	1.15	1.22	1.28	1.34	1.40

- NOTES:
- TEST PRESSURE TO BE 200 P.S.I. OR 1.5 x WORKING PRESSURE, WHICHEVER IS GREATER.
 - PRESSURE TESTS SHALL BE CONDUCTED SO THE PIPE SECTIONS ARE WITHIN 10 PSI OF THE TEST PRESSURE LOCATION.
 - PRESSURE TESTS SHALL BE CONDUCTED FOR A MINIMUM OF 2 HOURS.
 - LEAKAGE TESTS AT LINE PRESSURE SHALL BE CONDUCTED OVER A 24 HOUR PERIOD.

WATERMAIN PRESSURE TEST

Town of Canandaigua

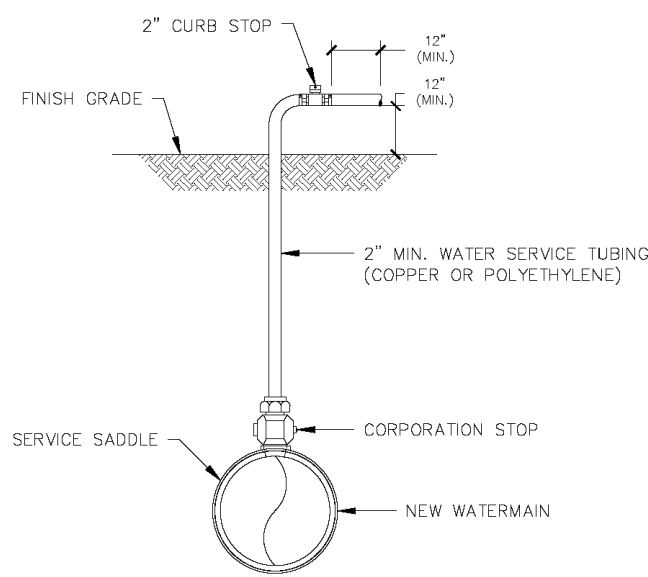
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APPENDIX: **W - 7.0**

DATE: 2018

SCALE: N.T.S.

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- NOTES:
- UPON NOTIFICATION FROM THE HEALTH DEPARTMENT THAT A SATISFACTORY WATER SAMPLE HAS BEEN OBTAINED, SHUT DOWN CORPORATION STOP AND REMOVE THE SERVICE TUBING.
 - IMMEDIATELY PRIOR TO PLACING THE WATER MAIN IN SERVICE THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
 - FOR DISINFECTION/SAMPLING TAPS THAT ARE NOT NEEDED TO BLOW-OFF, 1" DISINFECTION/SAMPLING TAPS ARE ACCEPTABLE.
 - 1000 LF MAXIMUM DISTANCE BETWEEN SAMPLE TAPS UNLESS OTHERWISE SPECIFIED BY ENGINEER.

TEMPORARY DISINFECTION / SAMPLING TAP / BLOW-OFF

Town of Canandaigua

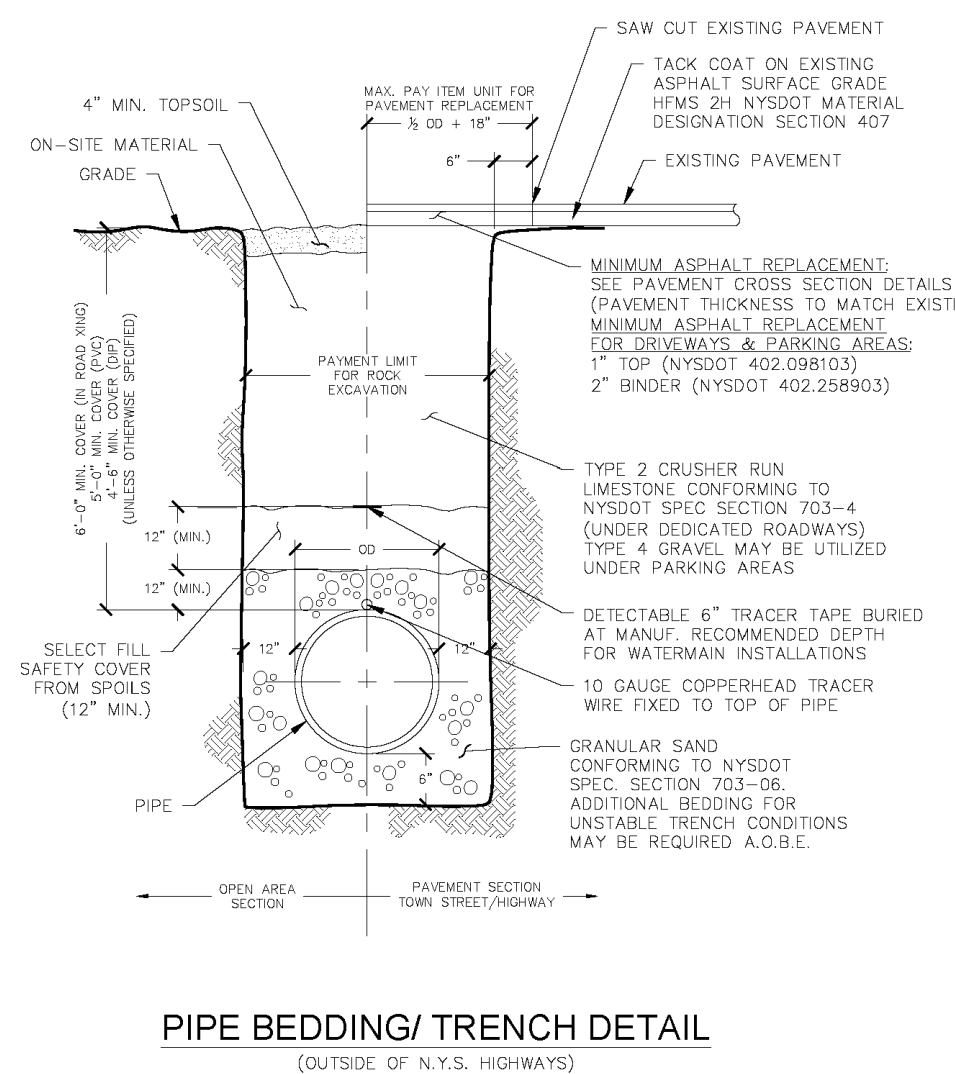
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APPENDIX: **W - 8.0**

DATE: 2018

SCALE: N.T.S.

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PIPE BEDDING/ TRENCH DETAIL

Town of Canandaigua

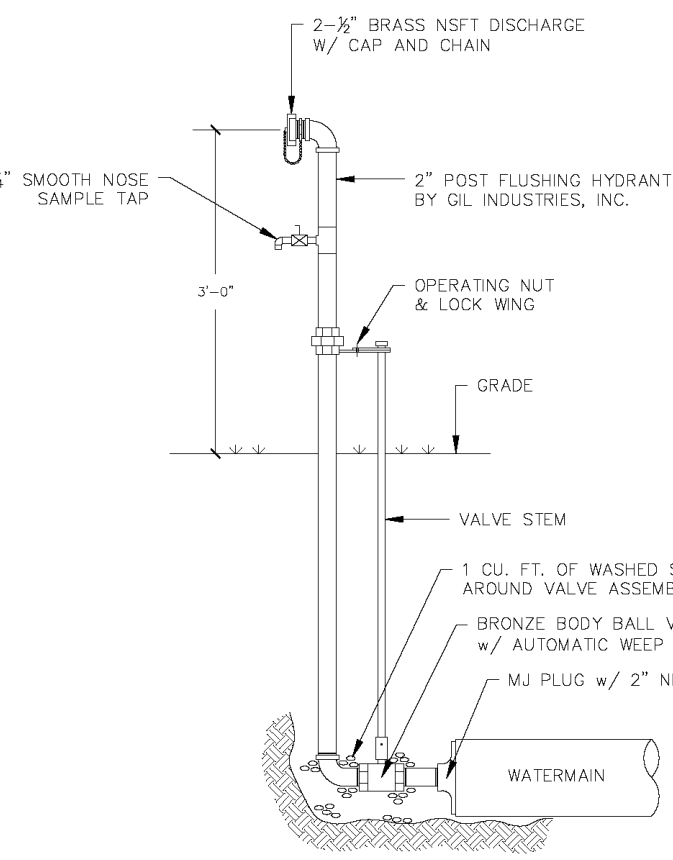
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APPENDIX: **W - 4.0**

DATE: 2018

SCALE: N.T.S.

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TEMPORARY BLOW-OFF DETAIL

Town of Canandaigua

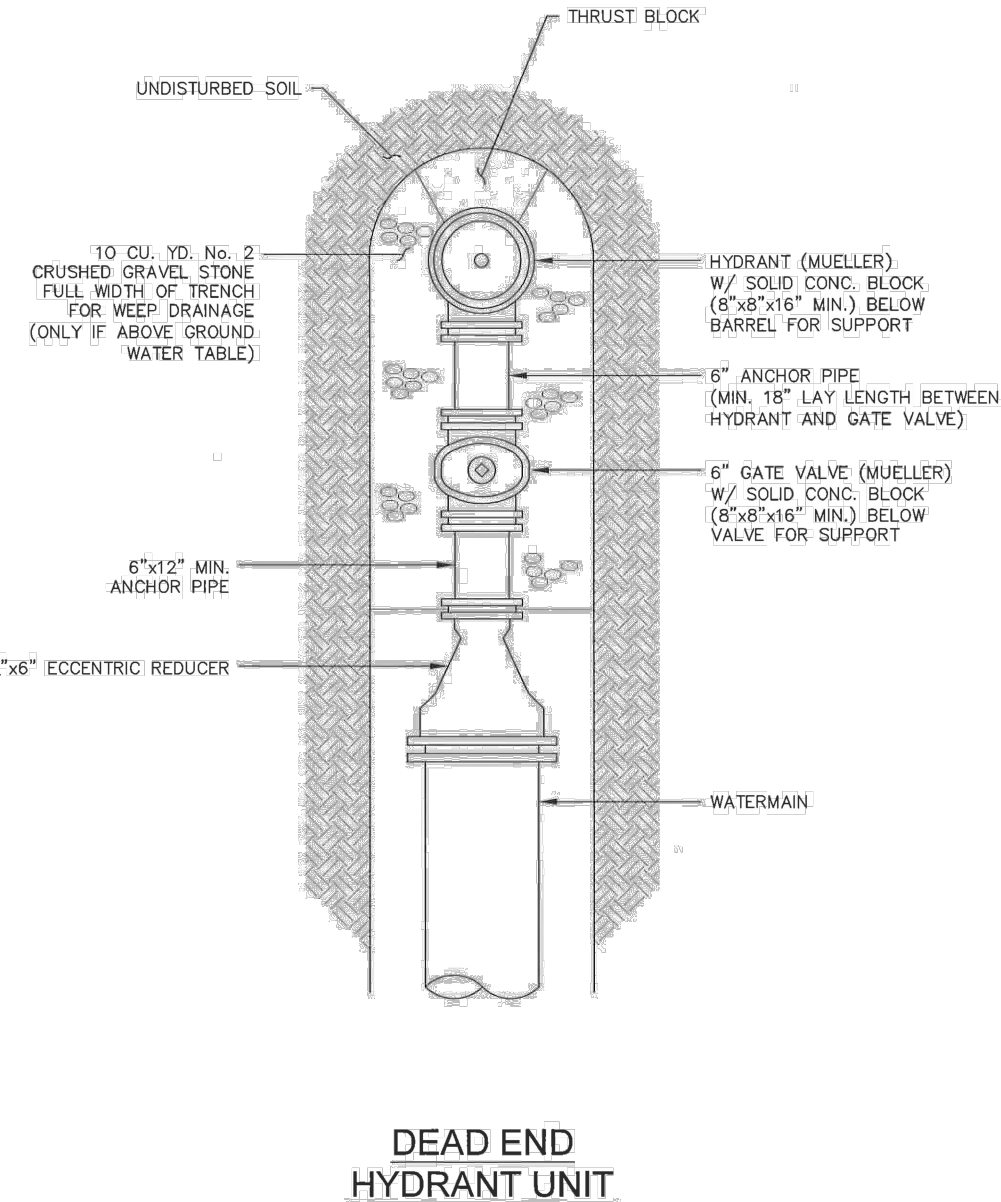
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APPENDIX: **W - 6.3**

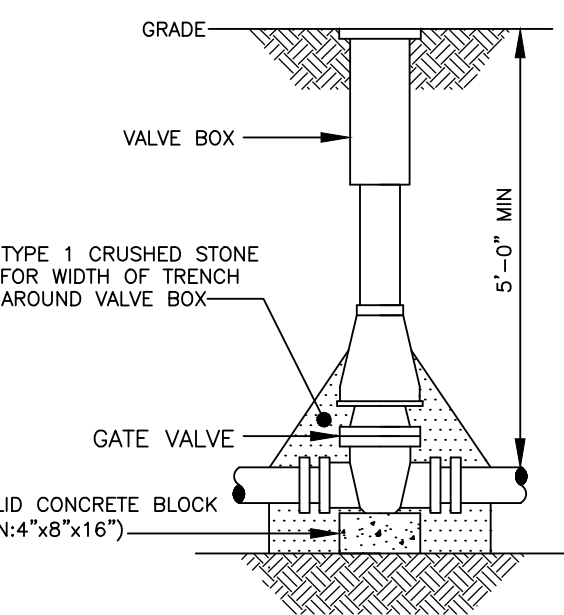
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SCALE: N.T.S.

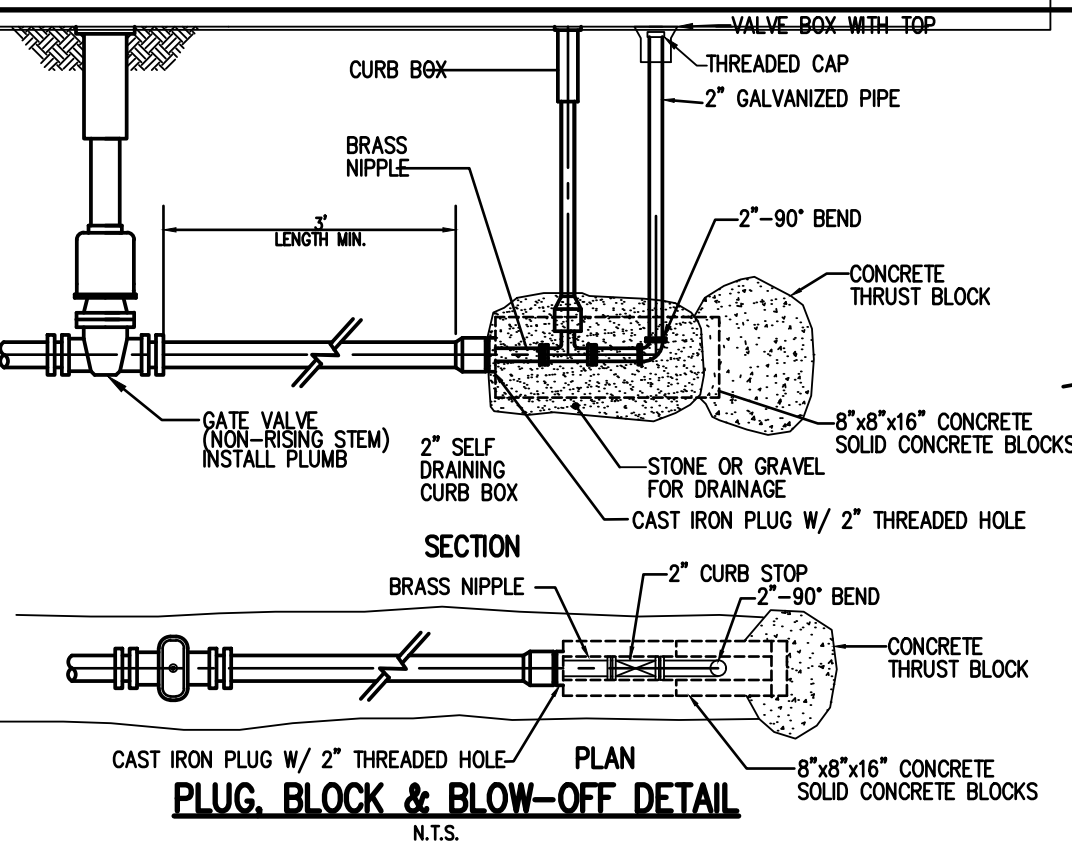
MRB | group



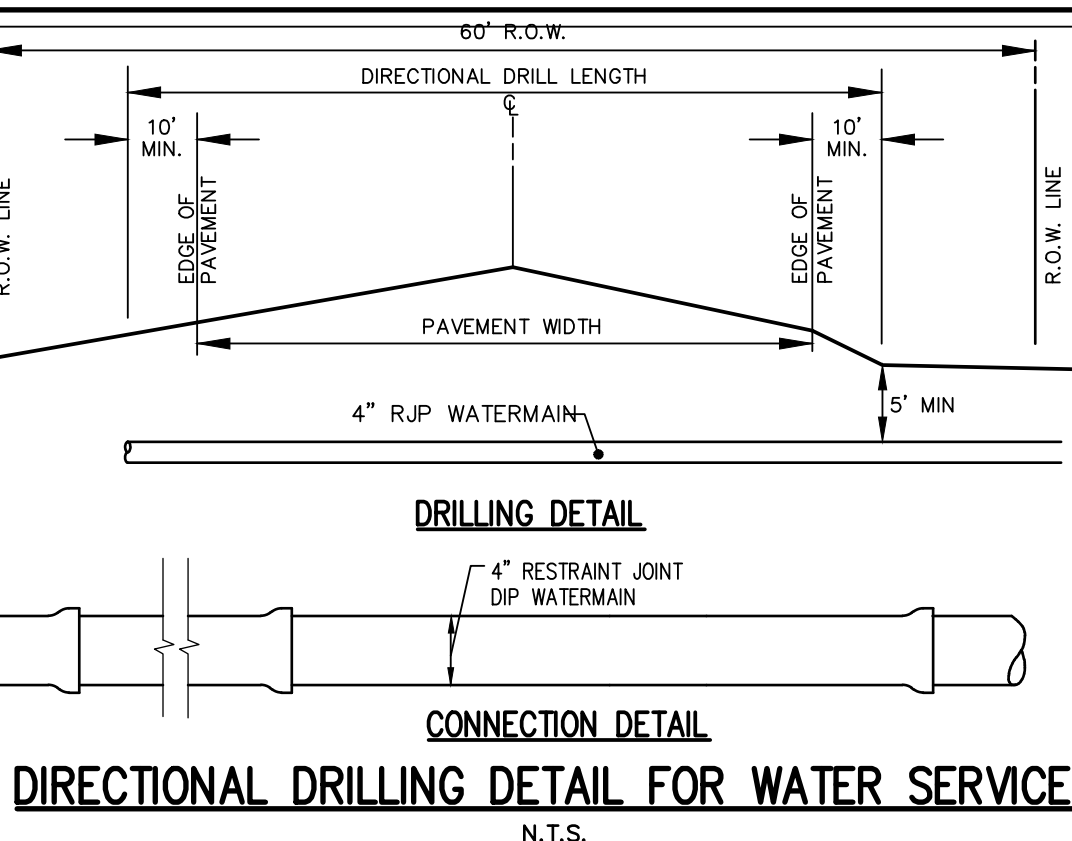
DEAD END HYDRANT UNIT



VALVE



PLUG BLOCK & BLOW-OFF DETAIL



DIRECTIONAL DRILLING DETAIL FOR WATER SERVICE

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

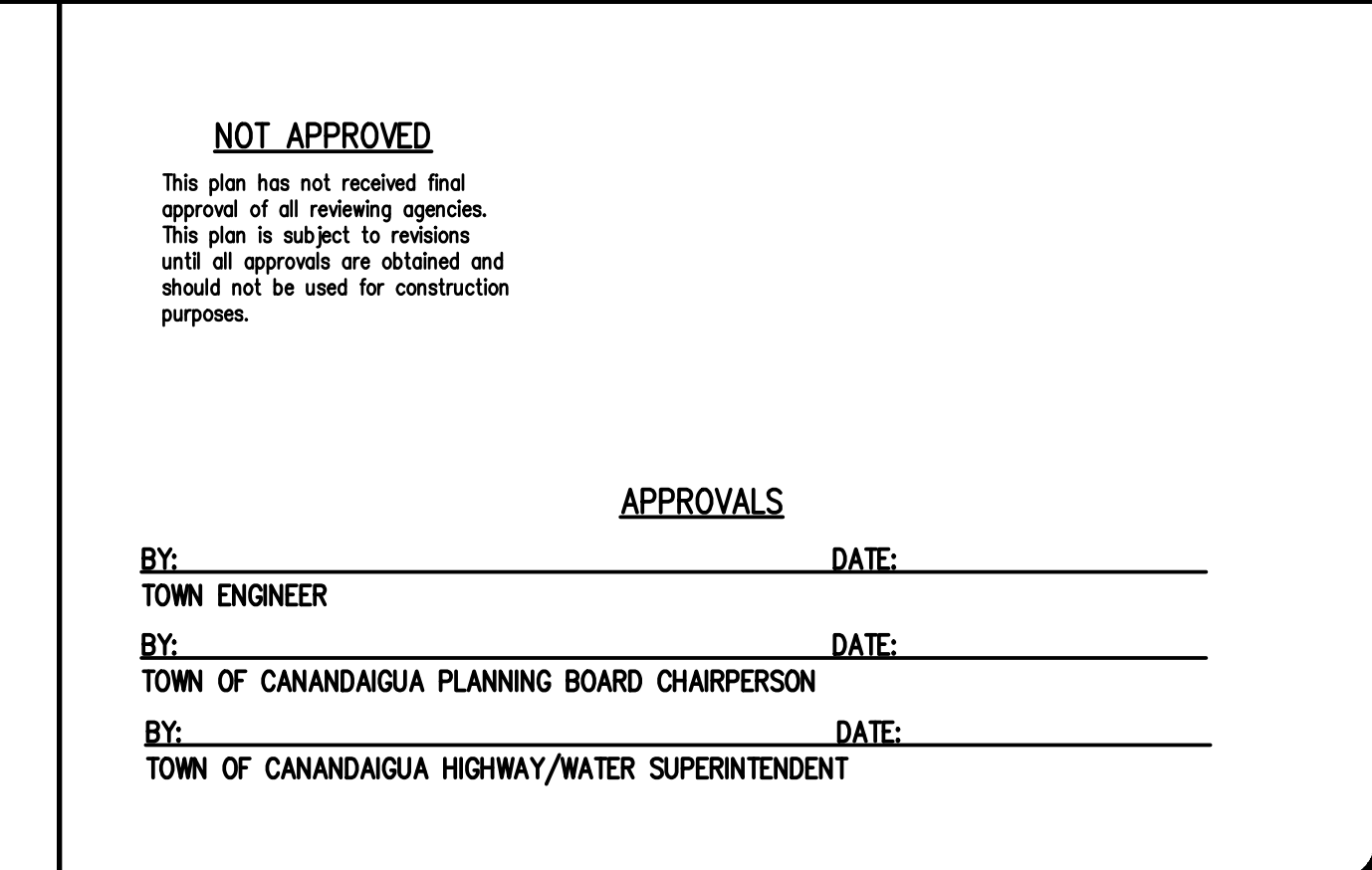
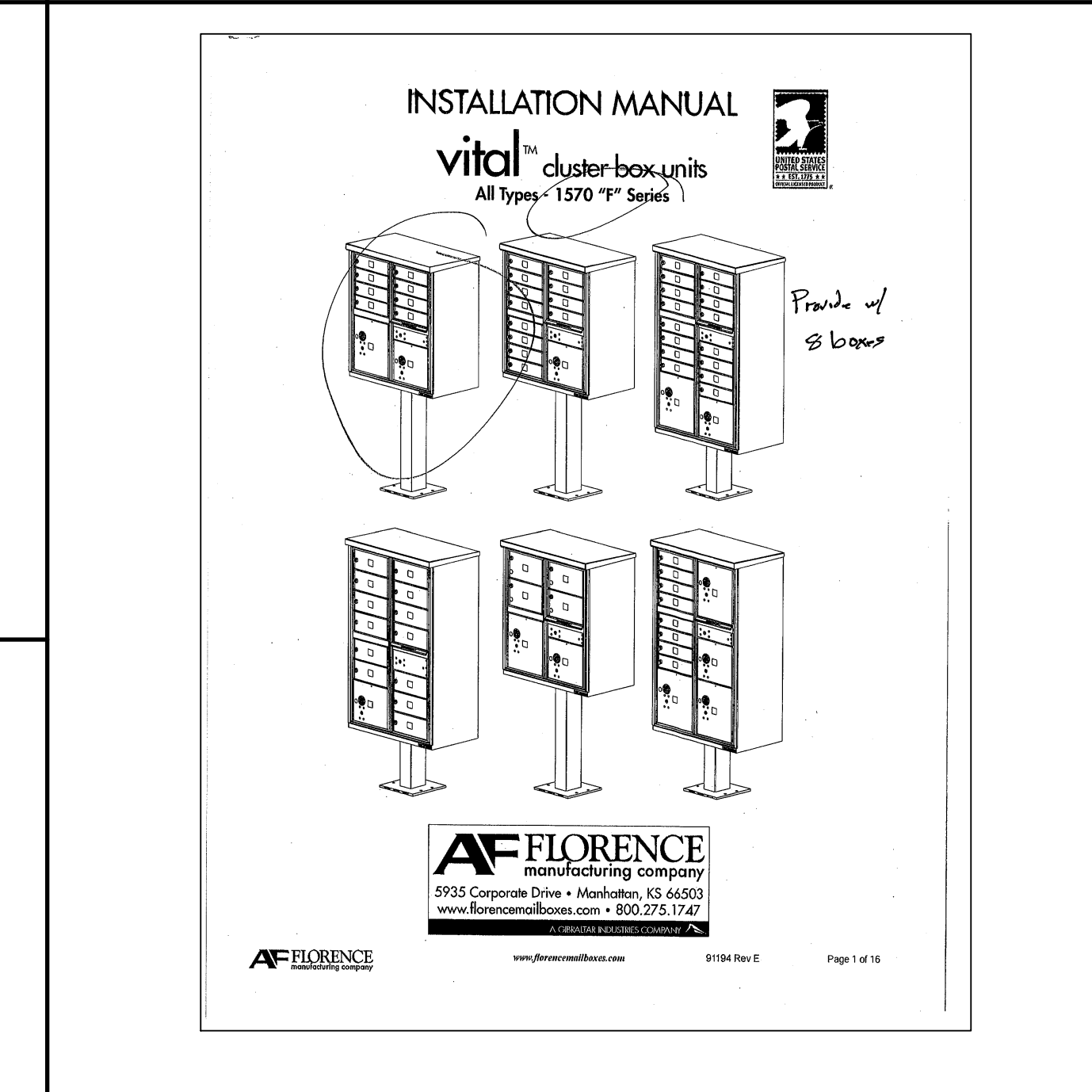
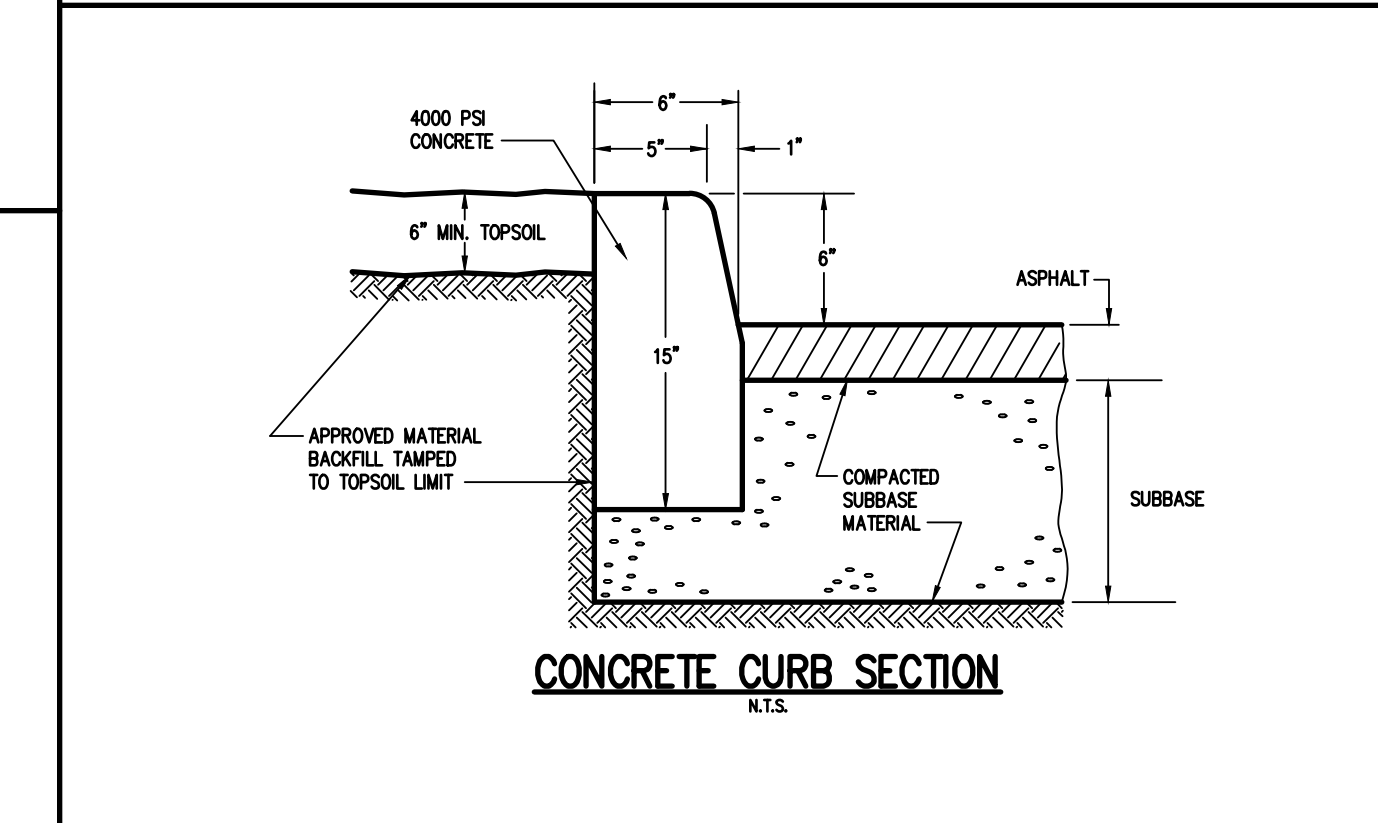
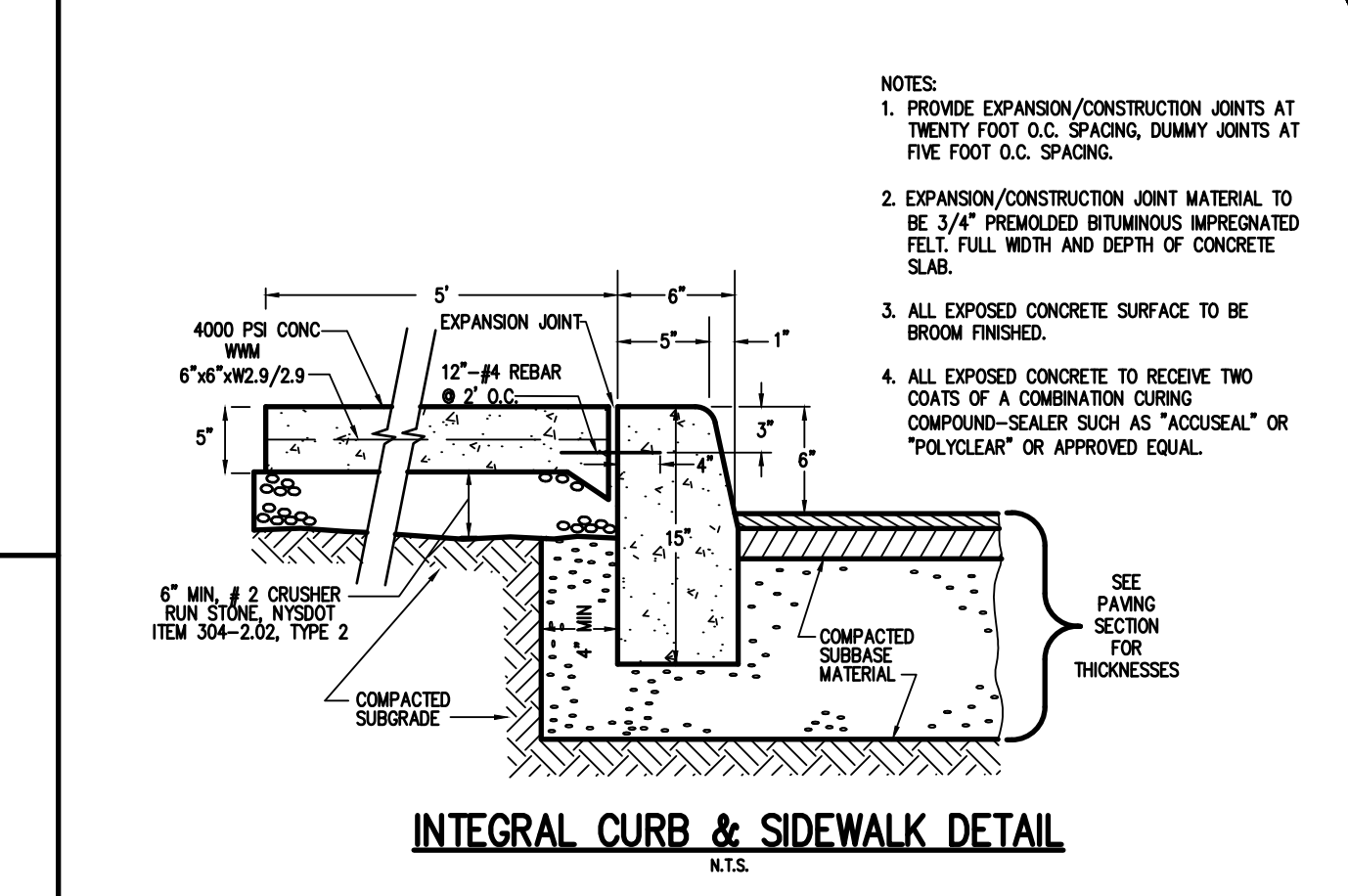
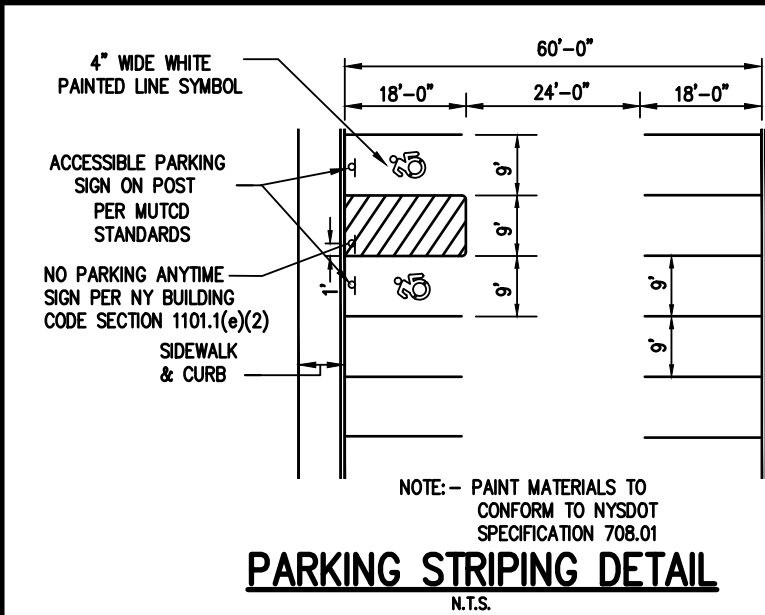
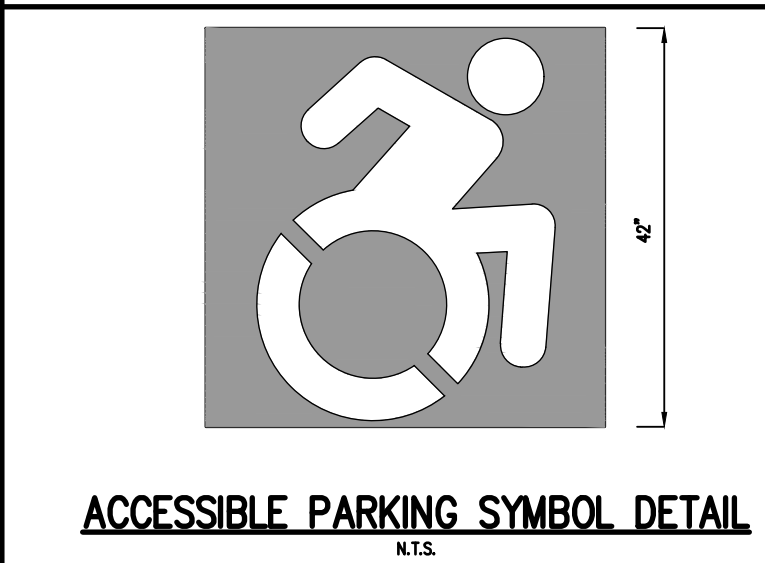
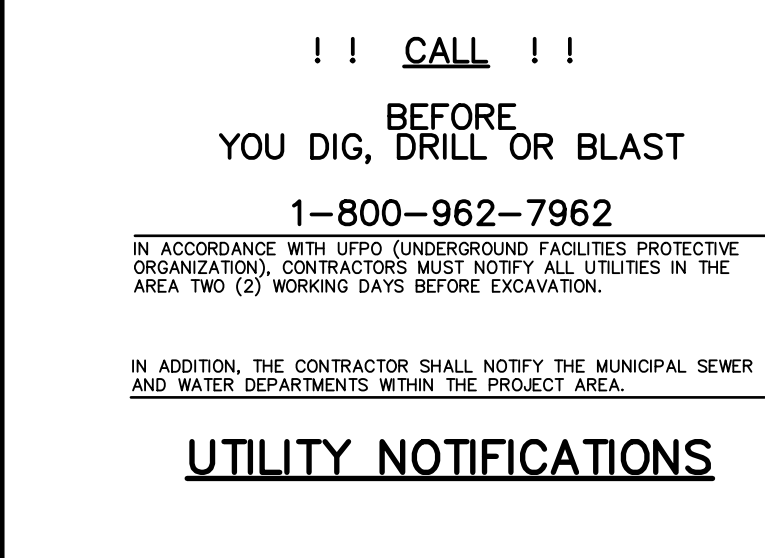
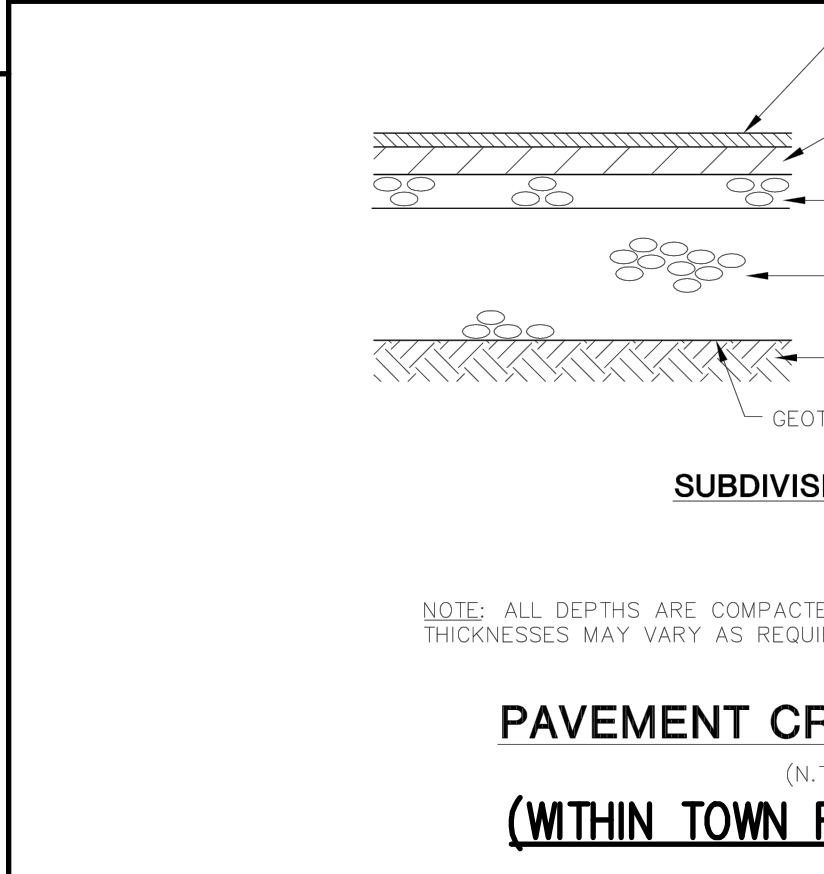
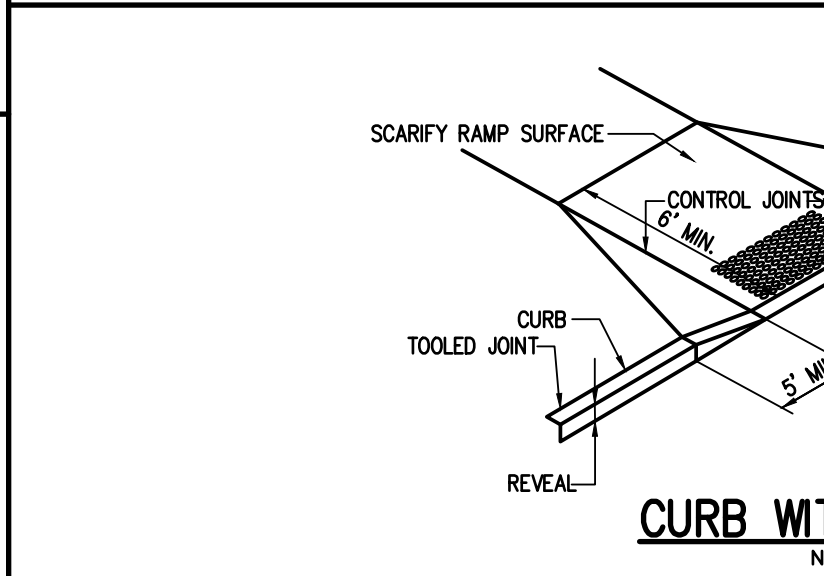
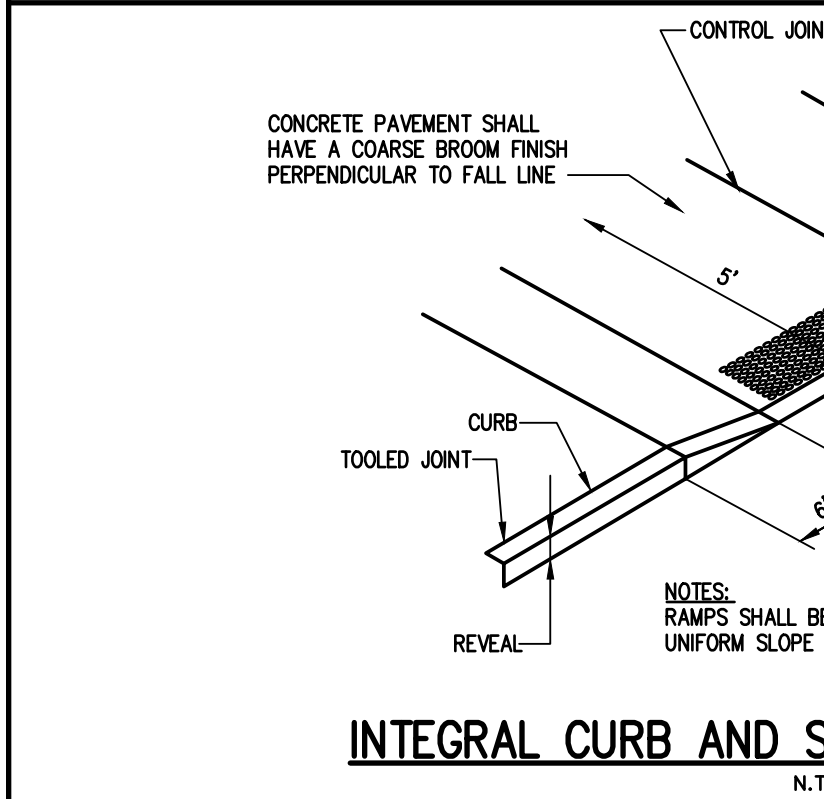
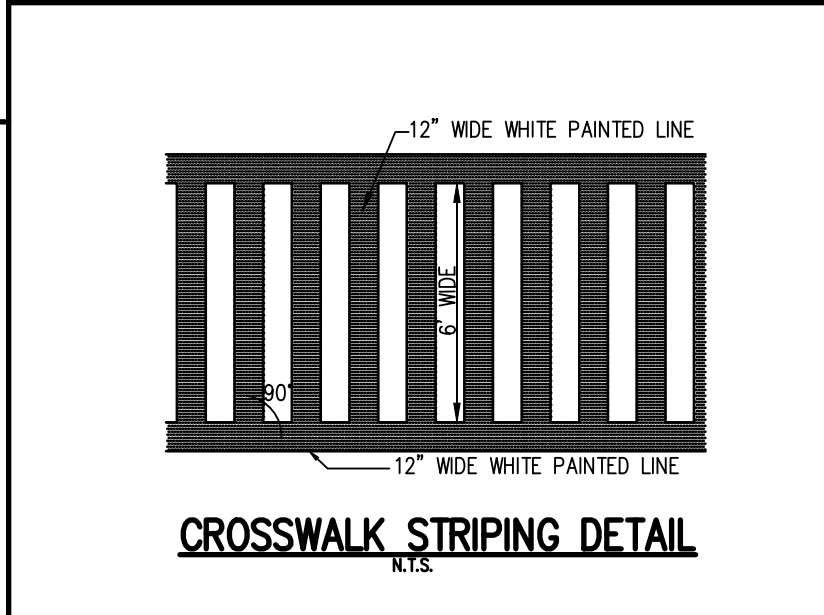
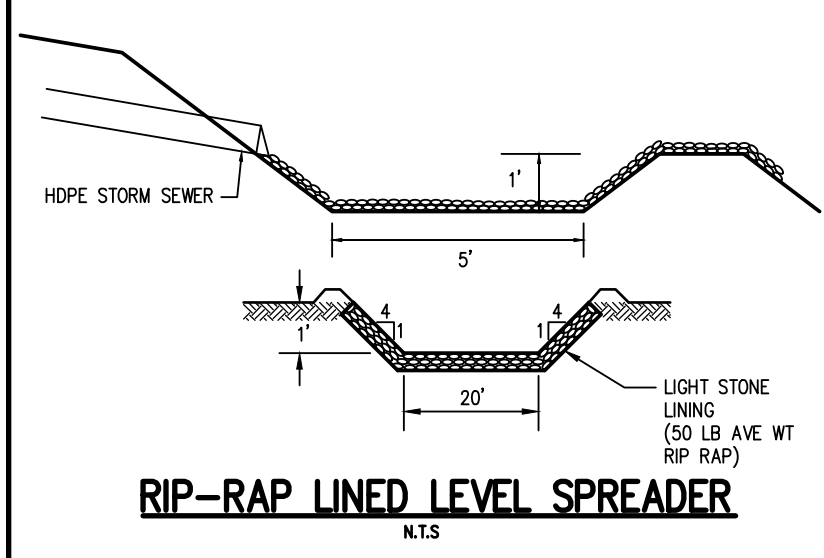
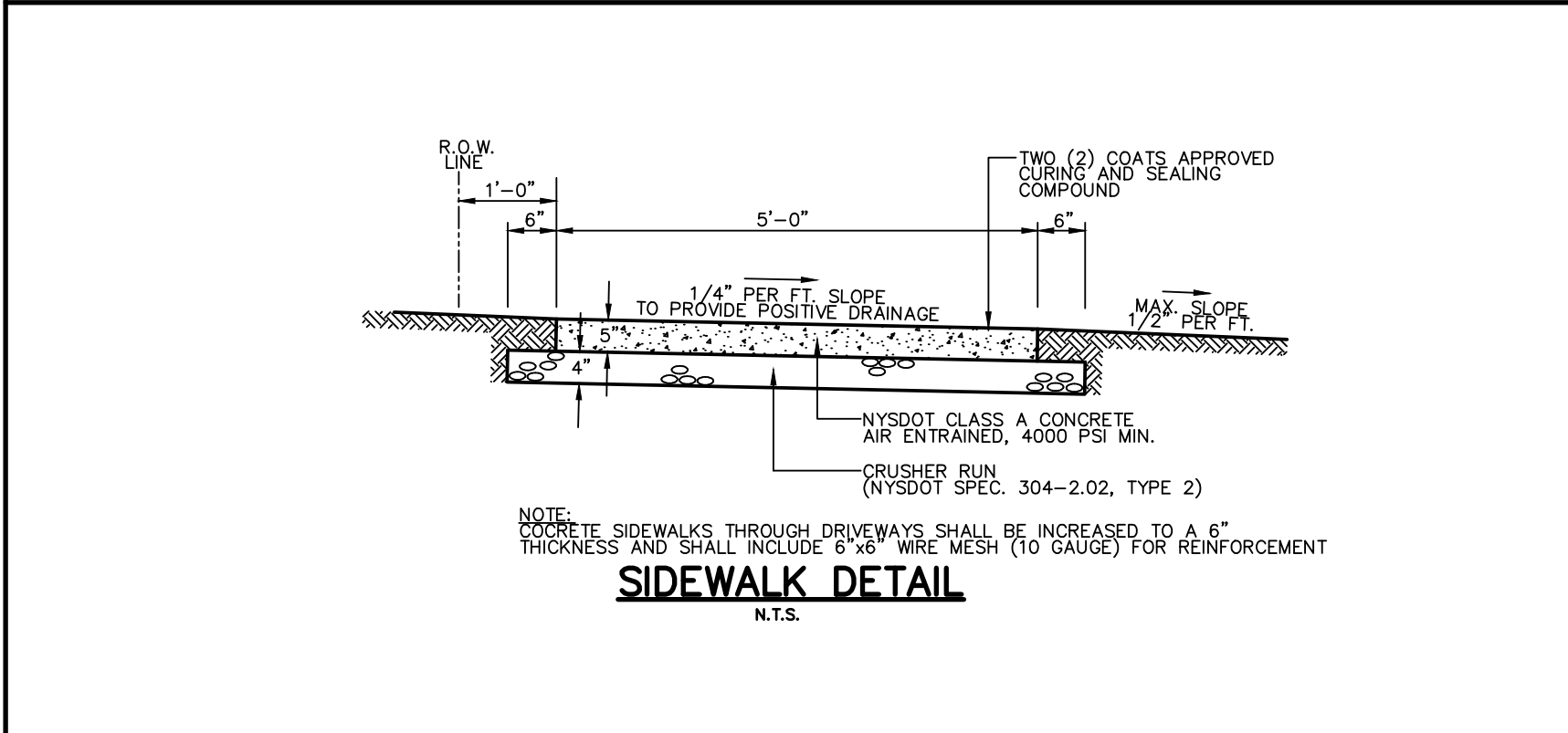
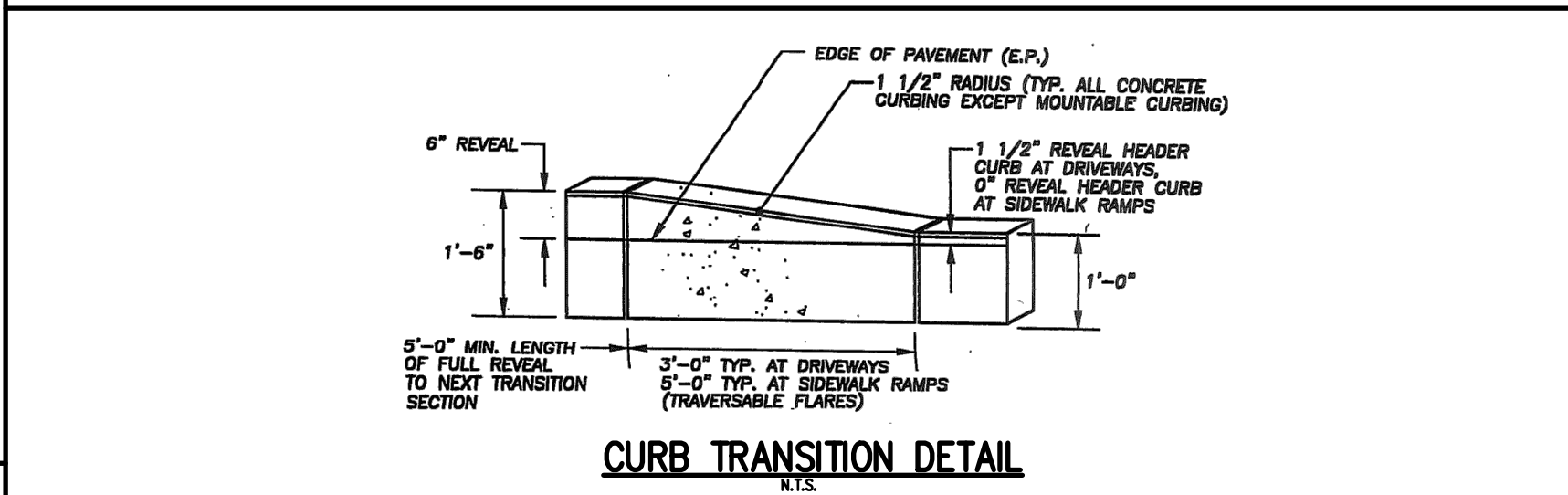
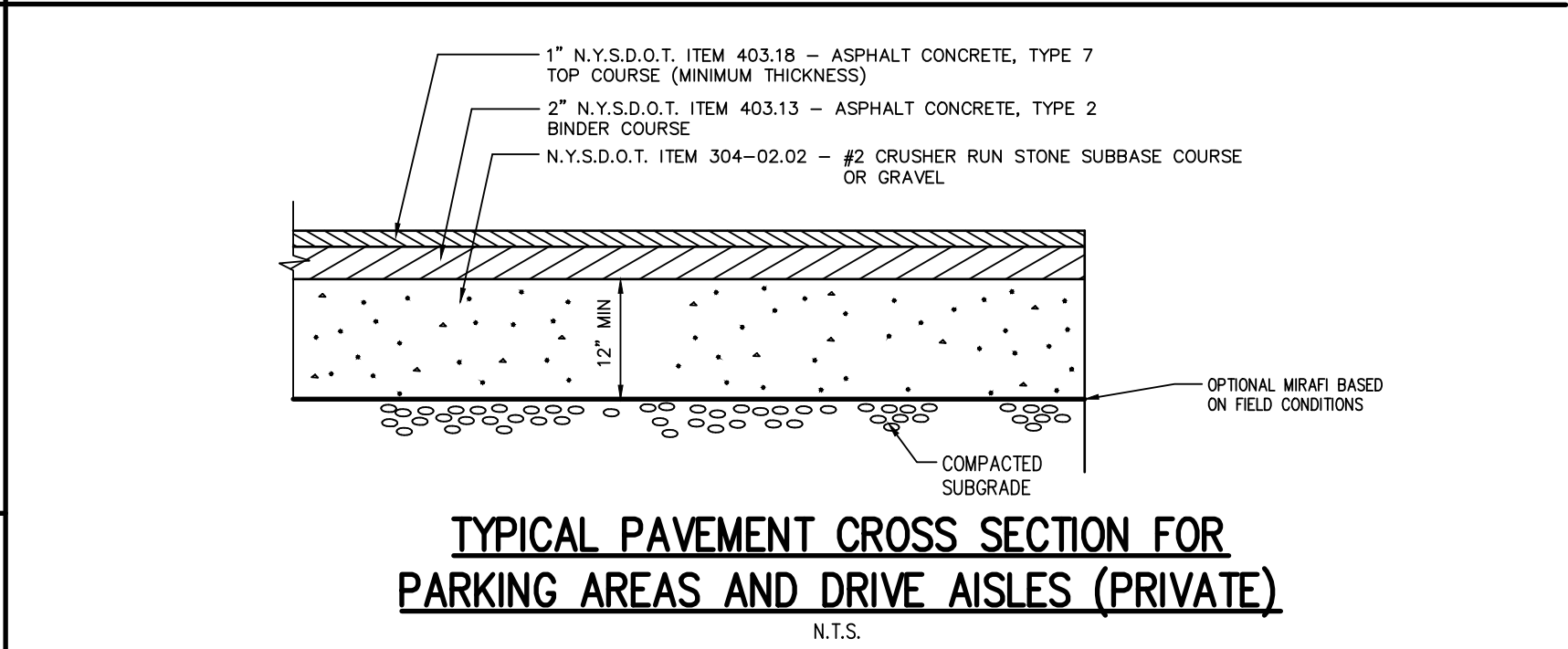
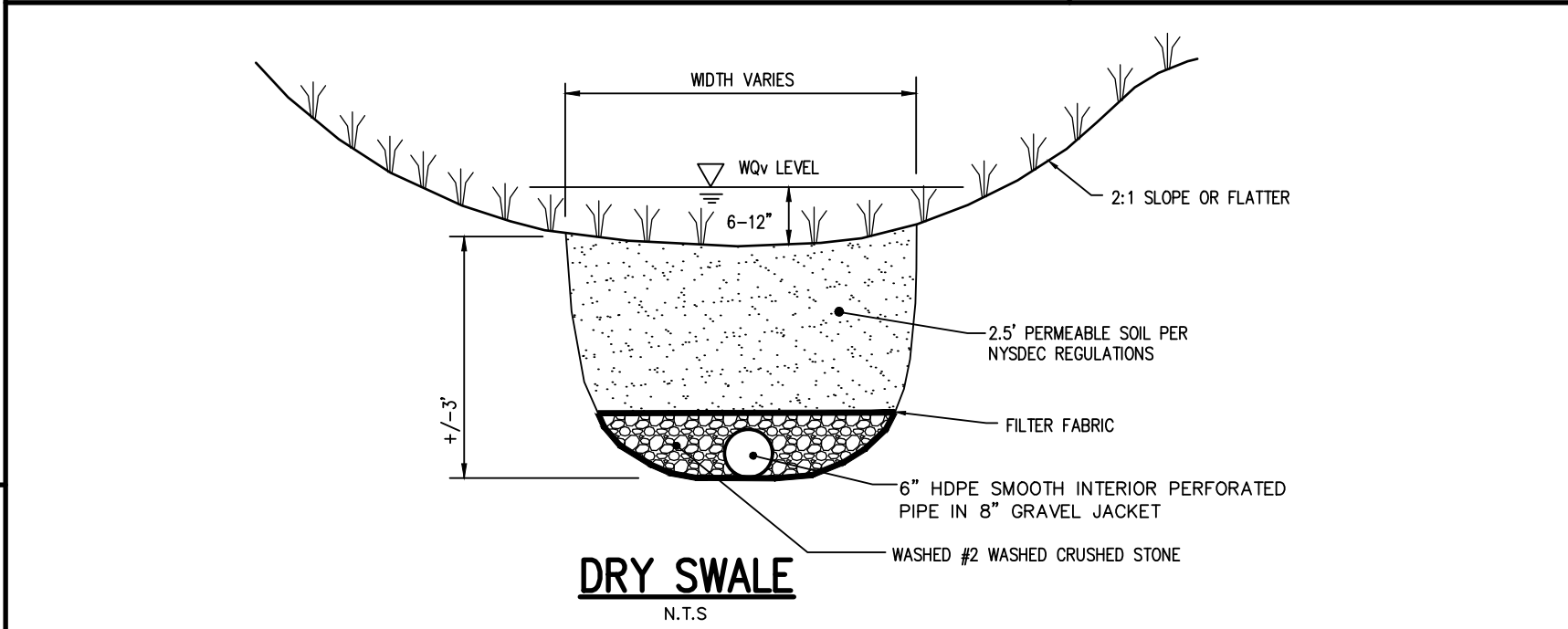
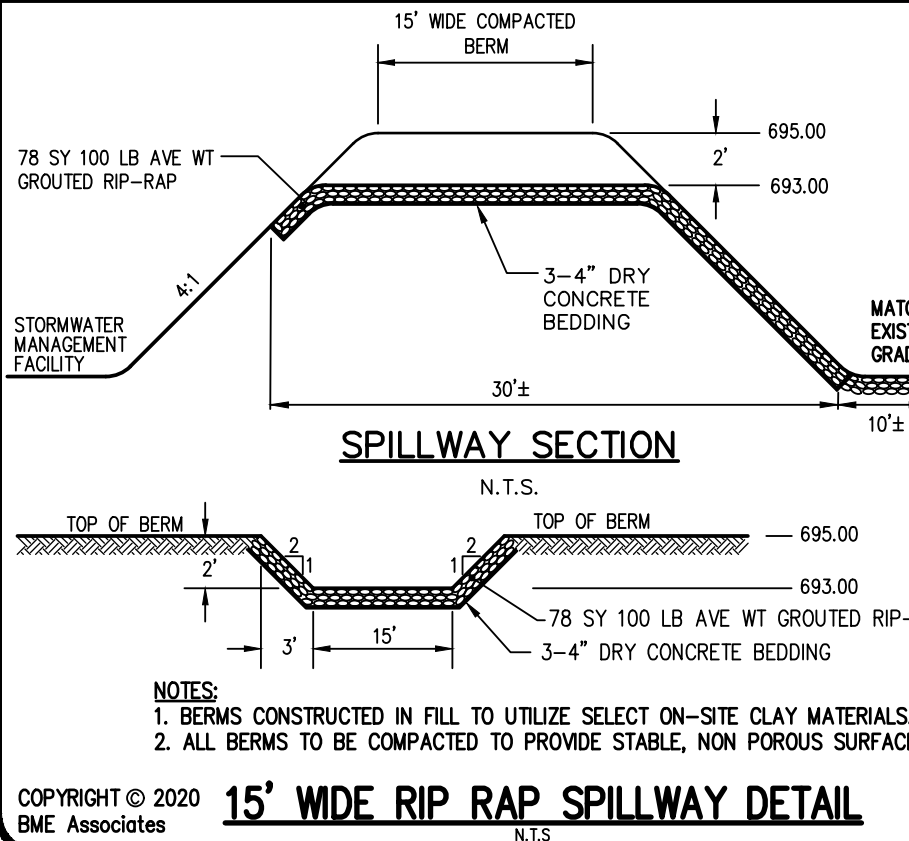
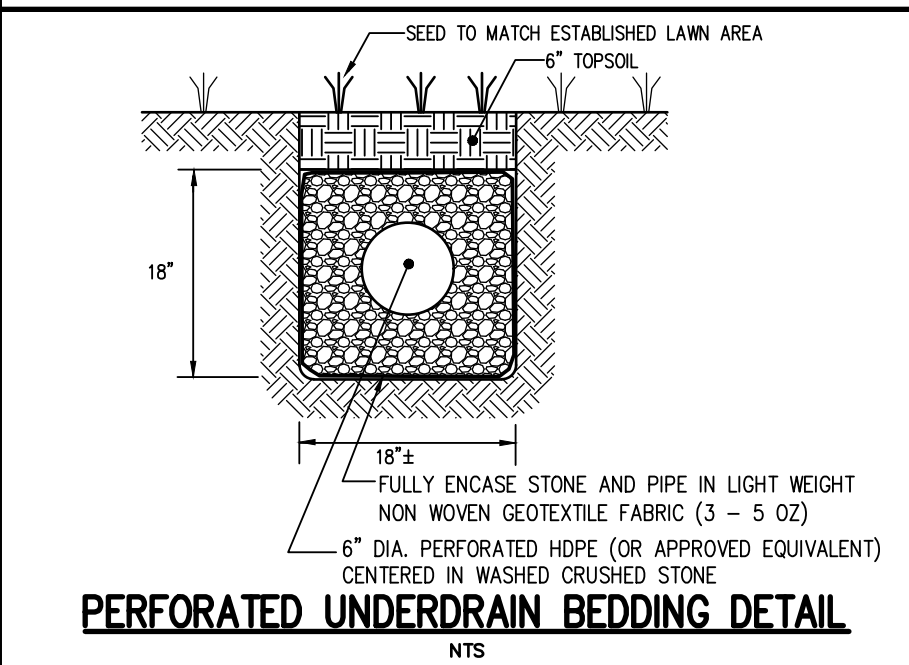
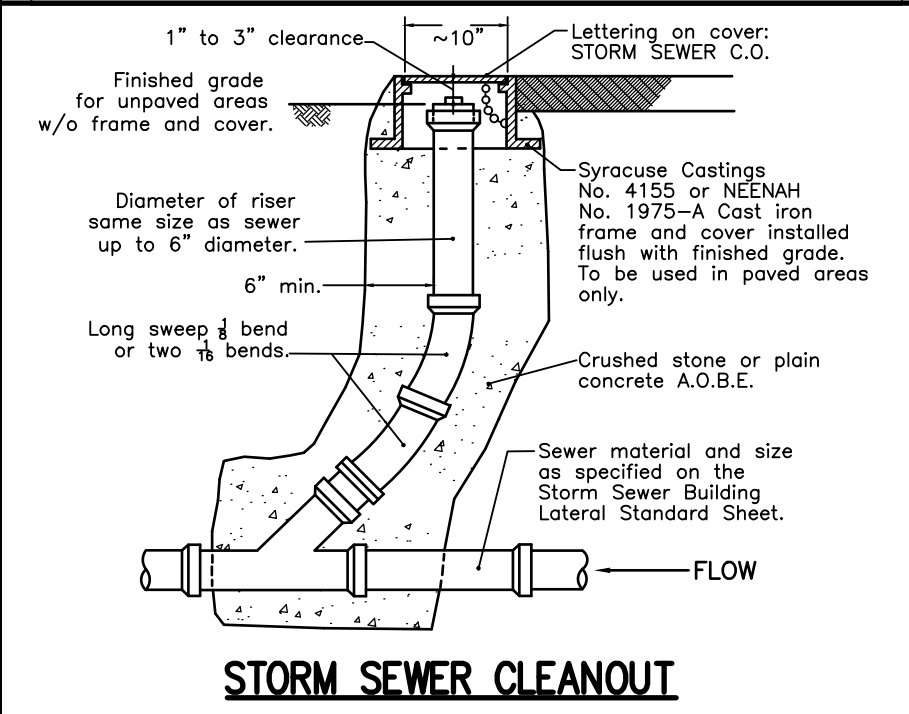
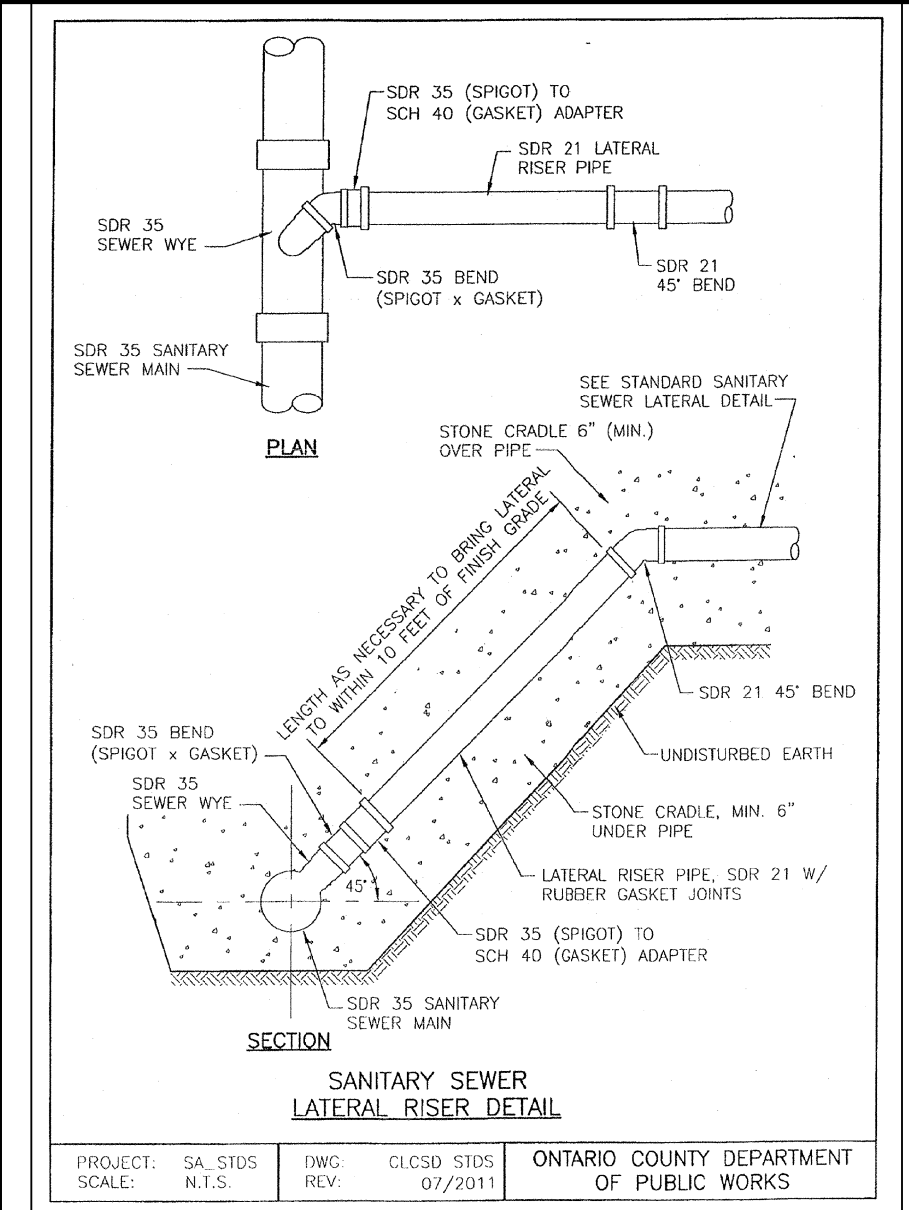
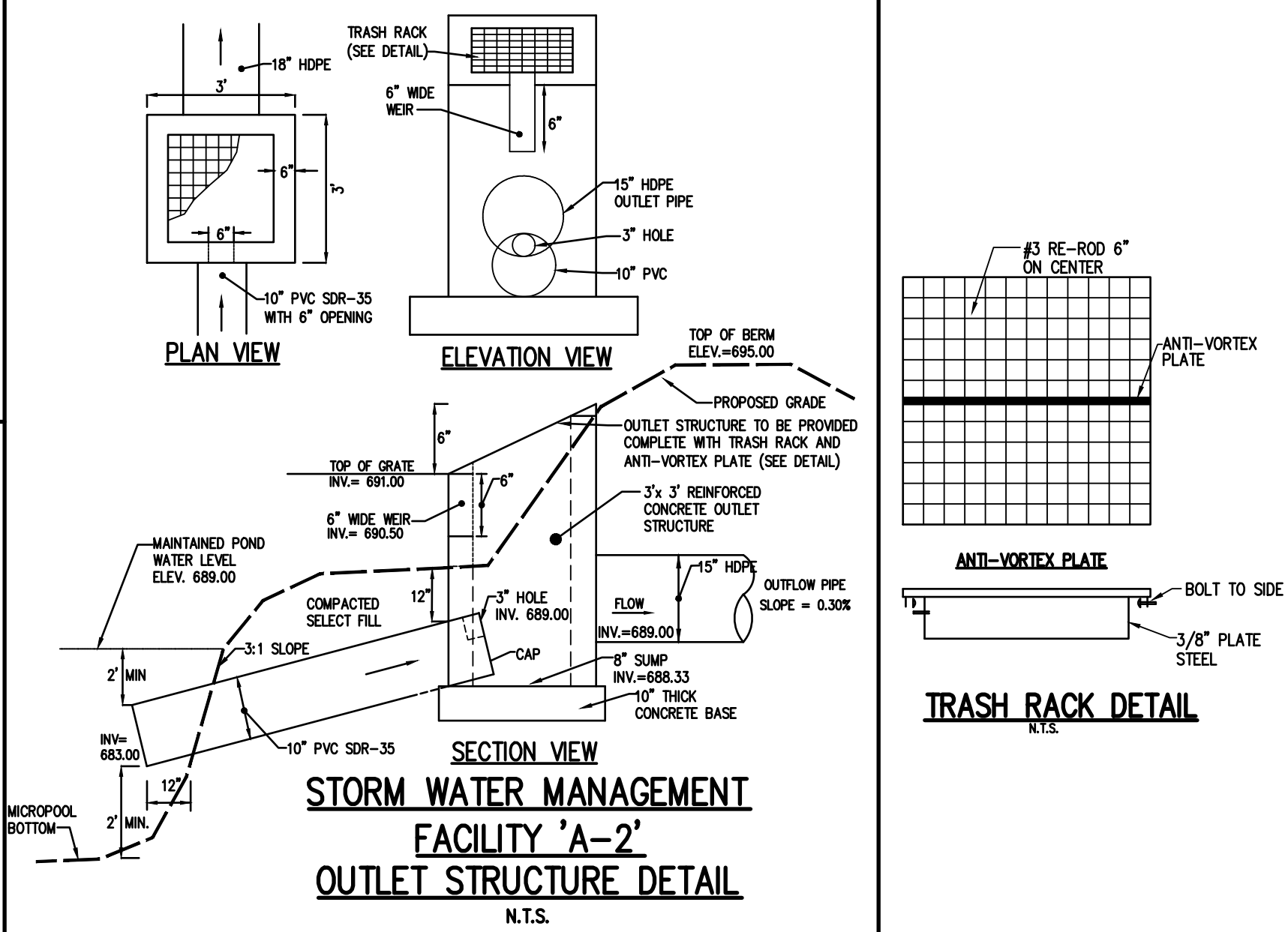
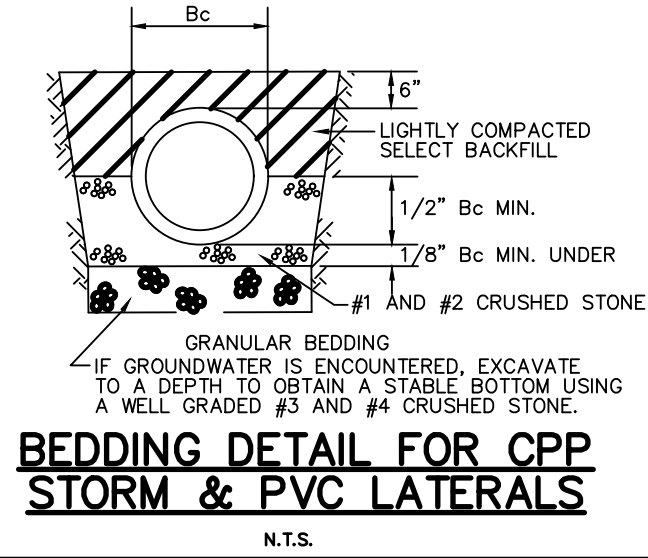
APPROVALS

BY: TOWN ENGINEER DATE: _____
BY: TOWN OF CANANDAIGUA PLANNING BOARD CHAIRPERSON DATE: _____
BY: TOWN OF CANANDAIGUA HIGHWAY/WATER SUPERINTENDENT DATE: _____

Drawing Alteration
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

7			
6			
5			
4			
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2	REVISED PER TOWN ENGINEER COMMENTS	2/9/21	MMS
1	REVISED PER TOWN COMMENTS	9/6/20	MMS

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PROJECT	LOCATION	CLIENT	PROJECT MANAGER	PROJECT ENGINEER	DRAWN BY	SCALE	DATE ISSUED	NTS	MARCH 13, 2020	PROJECT NO.	24908	DRAWING NO.	14	(SHEET 3 OF 4)
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15

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