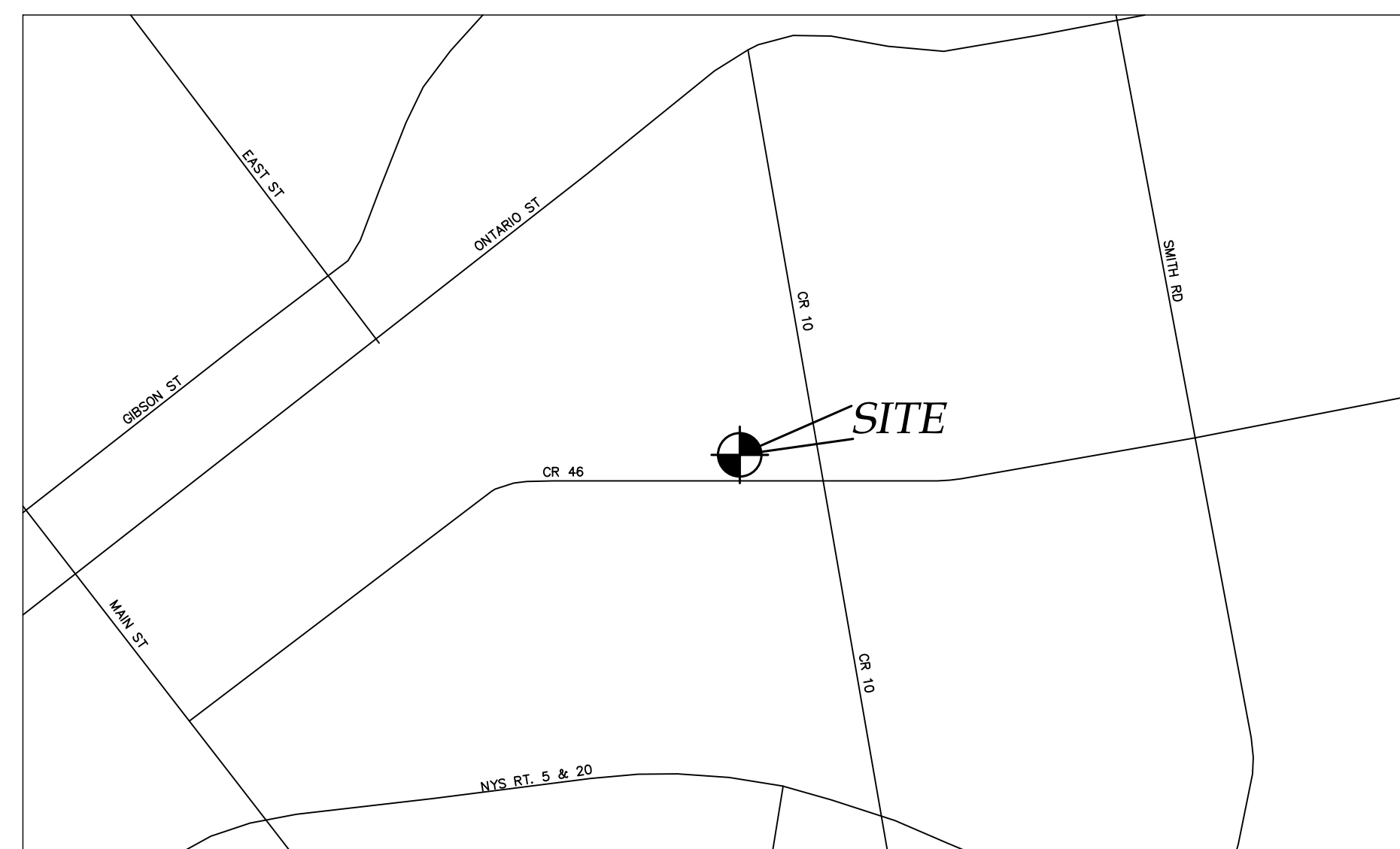


NEW COMMERCIAL SITE PLAN:  
**PRO-CUTTERS LANDSCAPE INC.**

2970 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
MARCH 1, 2022

INDEX:  
COVER  
EX100 - EXISTING CONDITIONS MAP  
C100 - SITE PLAN  
C200 - UTILITY PLAN  
C300 - GRADING PLAN  
C400 - CONSTRUCTION EROSION CONTROL PLAN  
L100 - LANDSCAPE PLAN  
C500 - DETAILS  
C501 - DETAILS



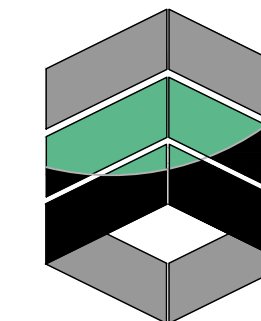
LOCATION MAP  
NTS



AERIAL PHOTO  
NTS



NOT FOR CONSTRUCTION



**MarksEngineering**

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42 BEEMAN STREET  
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PREPARED FOR:  
STEVE PISAREK

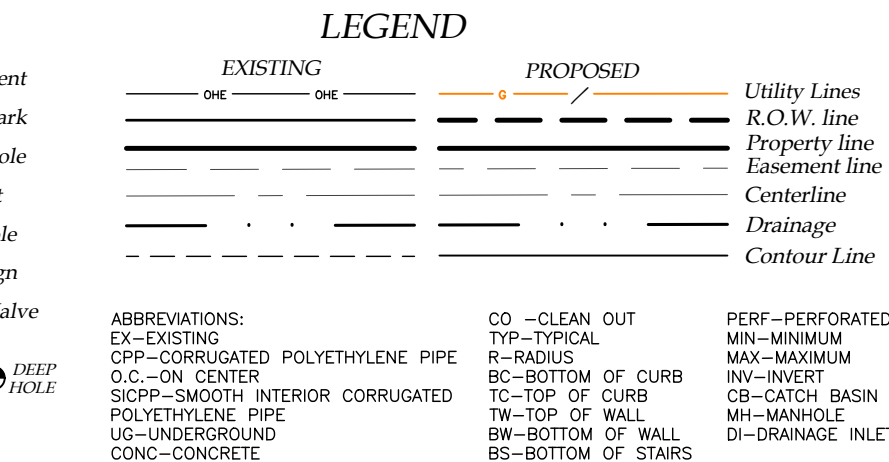
PROPERTY OWNER:  
STEVE PISAREK  
PO BOX 589  
CANANDAIGUA, NEW YORK  
14424

REVISED

PRO-CUTTERS  
2870 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
NEW YORK

JOB #21-268  
03/01/2020





1. LIBER
2. FILED MAP NOS. 13951, 22350, 36725, 37122
3. MAPS: FINGERLAKES REFUSE DISPOSAL, INC. BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2007-230, DATED OCTOBER 9, 2007
4. PLAN OF LAND OF GREGORY WESTBROOK BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2016-169, DATED FEBRUARY 25, 2016
5. PARCEL IS ZONED INDUSTRIAL WITH MIXED USE OVERLAY
6. EASEMENTS: VILLAGE OF PALMYRA L.379 P.507; VILLAGE OF NEWARK L.540 P.1; RG&E L.344 P.450 & L.1079 P.60; RG&E & RTC L.745 P.1196; COUNTY OF ONTARIO L.1265 P.580
6. PARCEL IS LOCATED WITHIN ZONE X AS SHOWN ON FEMA MAP NO. 360598 0020C, DATED MARCH 3, 1997, UNLESS OTHERWISE NOTED.
7. ANY WORK TO BE COMPLETED WITHIN THE COUNTY RIGHT OF WAY WILL REQUIRE A OCDPW PERMIT.
8. BEARINGS SHOWN ARE BASED ON FILED MAP NO. 37122
9. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
10. ELEVATION DATUM: NAVD 88 GEOID 18NGS
11. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL

DAVID M. PARRINELLO NYSPLS 049724



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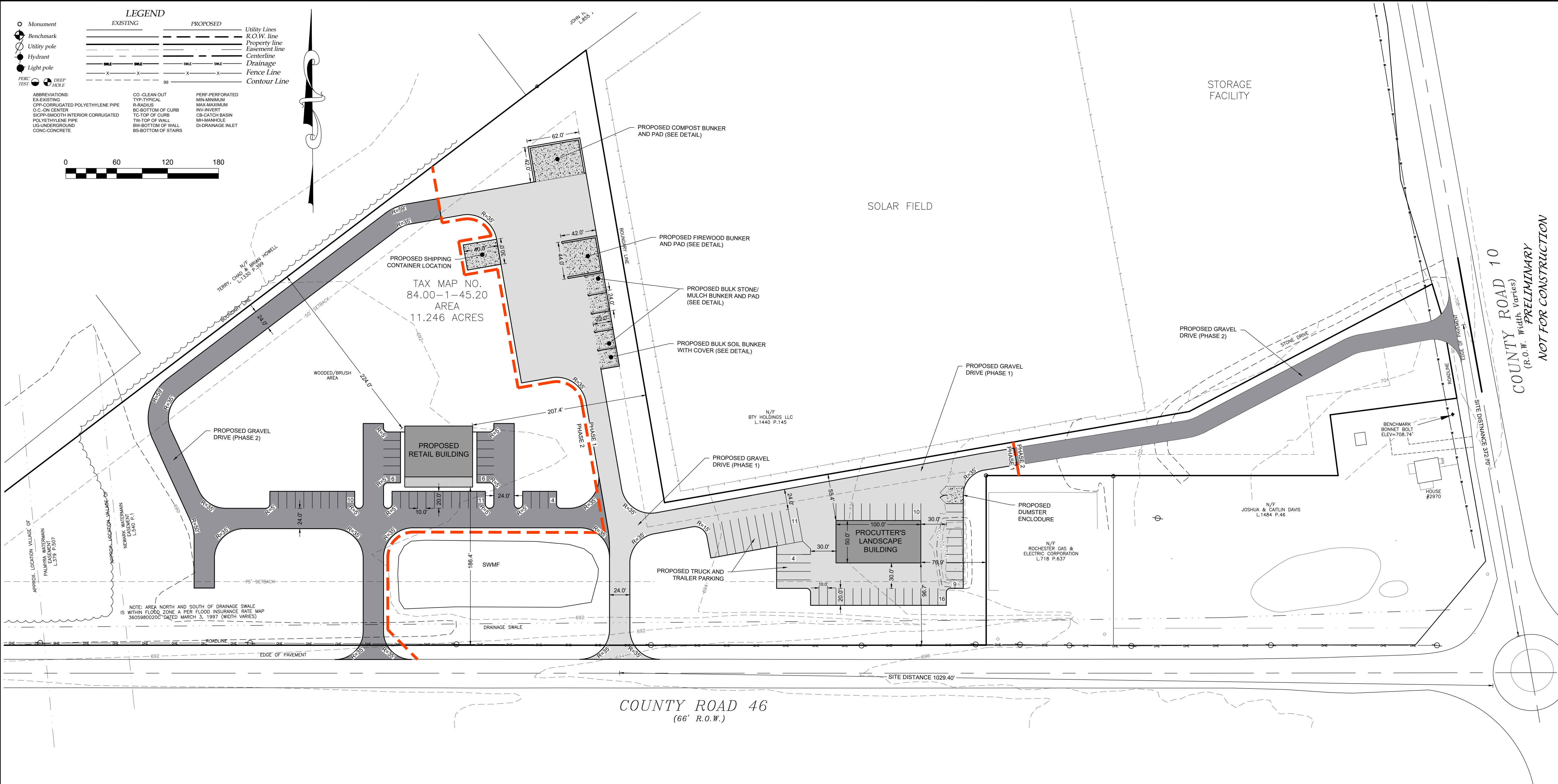
NEW COMMERCIAL SITE PLANS PREPARED FOR:  
*PROCLUTTERS LANDSCAPE INC.*  
 NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
 SHOWING LAND IN:  
 2970 COUNTY RD 10  
 TOWN OF CANANDAIGUA  
 COUNTY OF ONTARIO  
 STATE OF NEW YORK

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=80'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

*EX100*

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GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.
8. NO APPROVALS HAVE BEEN PROVIDED FOR ANY COMMERCIAL SPEECH SIGNS AND ANY FUTURE COMMERCIAL SPEECH SIGNS WILL REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE TOWN OF CANANDAIGUA PLANNING BOARD.

SITE NOTES:

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#360960 00056 DATED SEPTEMBER 29, 1989.
3. WATER SUPPLY: PRIVATE WELL ON-SITE
4. NYS SPDES PERMIT IS REQUIRED FOR THESE CONSTRUCTION ACTIVITIES AS DISTURBANCE SHALL BE GREATER THAN ONE ACRE.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

TOWN OF CANANDAIGUA NOTES:

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN CODE ENFORCEMENT OFFICER, ENGINEER AND ALL CONTRACTORS PRIOR TO START OF CONSTRUCTION.
2. ANY DISTURBED AREAS TO REMAIN FOR A PERIOD LONGER THAN 3 DAYS SHALL BE STABILIZED WITH EROSION CONTROL FABRIC OR OTHER APPROVED EROSION AND SEDIMENT CONTROL PRACTICES.

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
2. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
3. SAFTEY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK

PHOSPHOROUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY, THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

BULK TABLE		
	PROPOSED	REQUIRED
ZONING/USE - PRINCIPAL	COMMERCIAL BUILDINGS	I- INDUSTRIAL
ZONING/USE - ACCESSORY	N/A	N/A
FRONT SETBACK	75'	>75'
SIDE SETBACK	40'	>40'
REAR SETBACK	50'	>50'
BUILDING HEIGHT	<35'	35'
MAX. LOT COVERAGE	<30%	30%

1 SITE PLAN  
1"=60'



PLANNING BOARD CHAIRMAN DATE

TOWN ENGINEER DATE

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PROCUTTERS LANDSCAPE INC.**  
**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE: SITE PLAN	
DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-F-111

C100

1-888-888-8888  
CANANDAIGUA NY 14424  
www.marksengineering.com bmarks@marksengineering.com

REVISIONS	
NO.	DATE

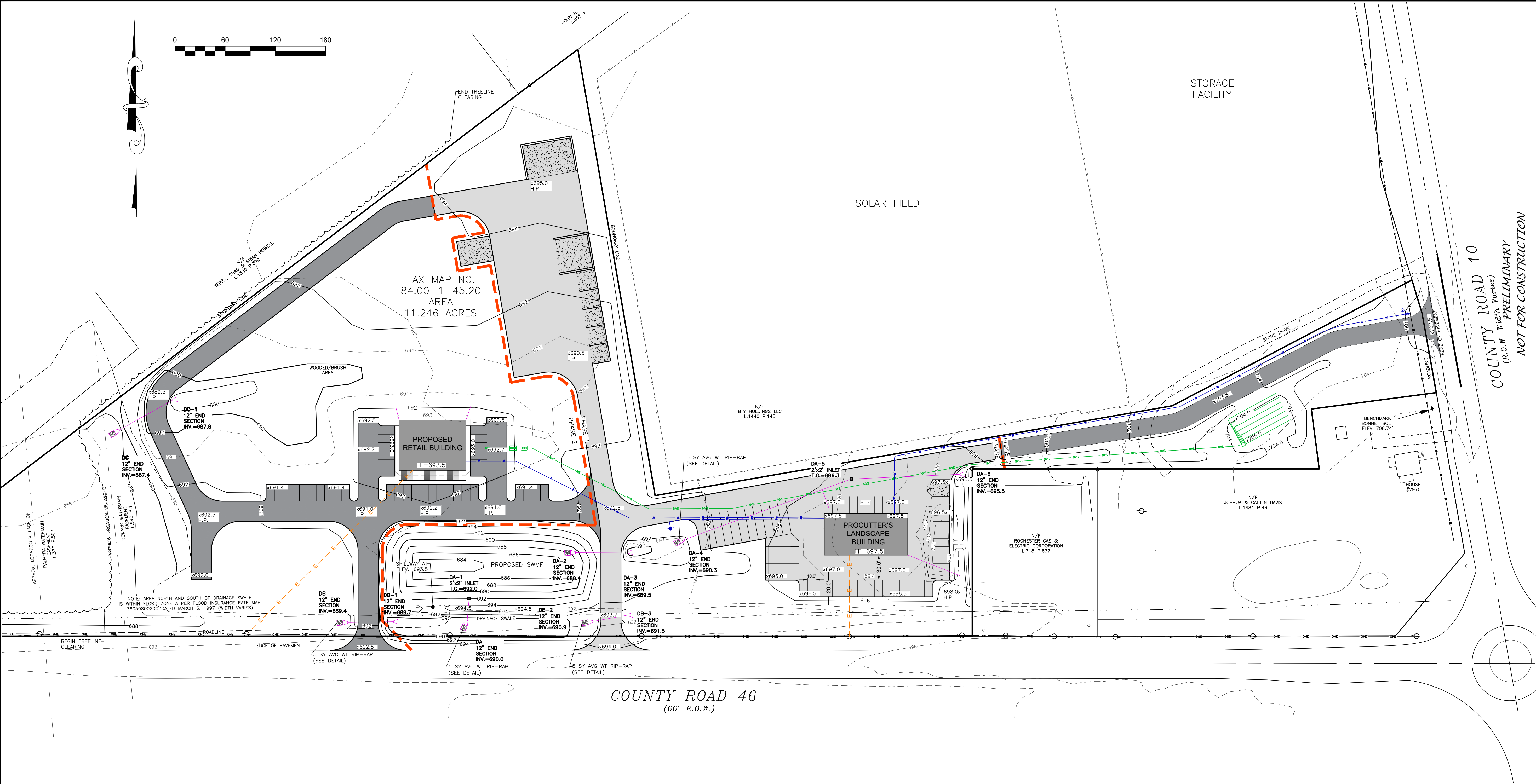
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GRADING NOTES:

- CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- SEPTIC TANK EFFLUENT SHALL NOT INFILTRATE OR DISCHARGE TO THE COUNTY HIGHWAY DRAINAGE DITCH.
- NO CUT OR FILL SHALL BE MADE IN THE AREA OF THE LEACH FIELDS.
- SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
- TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).

1 GRADING PLAN  
1"=60'

LEGEND

EXISTING      PROPOSED

Monument  
Benchmark  
Utility pole  
Hydrant  
Light pole

PERC TEST      DEEP HOLE

ABBREVIATIONS:  
EX-EXISTING  
COP-CORRUGATED POLYETHYLENE PIPE  
O.C.-ON CENTER  
SIPP-SMOOTH INTERIOR CORRUGATED  
POLYETHYLENE PIPE  
UG-UNDERGROUND  
CONC-CONCRETE

CO-CLEAN OUT  
TYP-TYPICAL  
R-RADIUS  
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MIN-MINIMUM  
MAX-MAXIMUM  
INV-INVERT  
CB-CATCH BASIN  
MH-MANHOLE  
DI-DRAINAGE INLET

Utility Lines  
R.O.W. line  
Property line  
Easement line  
Centerline  
Drainage  
Fence Line  
Contour Line

PLANNING BOARD CHAIRMAN      DATE

TOWN ENGINEER      DATE

NEW COMMERCIAL SITE PLANS PREPARED FOR:

PROCUTTERS LANDSCAPE INC.  
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY

SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO      STATE OF NEW YORK

DRAWING TITLE:  
GRADING PLAN

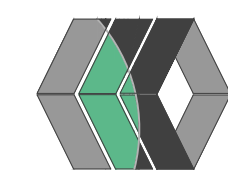
DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

C300

REVISIONS

NO.	DATE	DESCRIPTION OF REVISION	BY

STAMP

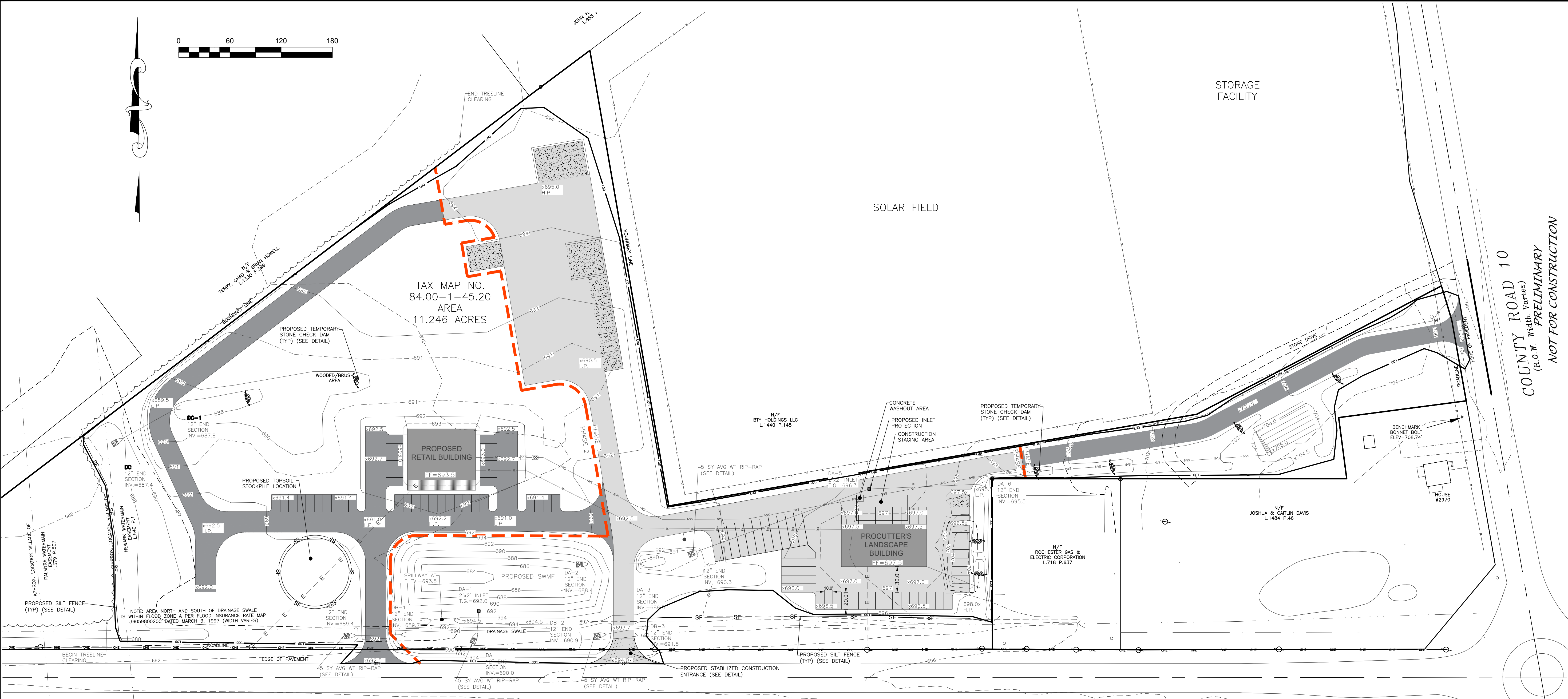


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SEQUENCE OF CONSTRUCTION STEPS:

- STEP 1: (SITE PREPARATION)**
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
  - CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
  - INSTALL AND MAINTAIN PERIMETER SILT FENCE.
  - COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.
- STEP 2: (CONSTRUCTION ACTIVITY)**
- STRIP AND STOCKPILE TOPSOIL: TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
  - COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
  - CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
  - COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH A MINIMUM 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
  - COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND PAVEMENT/DRIVEWAY. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
  - INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
  - INSTALL PAVEMENT/DRIVEWAY WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- STEP 3: (STABILIZATION & MONITORING)**
- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
  - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
  - MONITOR STORMWATER MANAGEMENT FACILITY DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
  - MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
  - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
  - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

COUNTY ROAD 46  
(66' R.O.W.)

1 CONSTRUCTION EROSION CONTROL PLAN  
1"=60'

CONSTRUCTION EROSION CONTROL NOTES:

1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5 ACRES OF DISTURBANCE OR THREE DAYS BETWEEN NOVEMBER 15TH AND APRIL 1ST).
4. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
5. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.

8. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

9. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.

10. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

**LEGEND**

**EXISTING**

- Monument
- Benchmark
- Utility pole
- Hydrant
- Light pole

**PROPOSED**

- Utility Lines
- R.O.W. line
- Property line
- Easement line
- Centerline
- Drainage
- Fence Line
- Contour Line

**ABBREVIATIONS:**

EX-EXISTING  
COP-CORRUGATED POLYETHYLENE PIPE  
O-C-ON CENTER  
SIPP-SMOOTH INTERIOR CORRUGATED  
P-POLYETHYLENE PIPE  
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BW-BOTTOM OF WALL  
BS-BOTTOM OF STAIRS

PERF-PERFORATED  
MIN-MINIMUM  
MAX-MAXIMUM  
IN-INVERT  
CB-CATCH BASIN  
MI-MANHOLE  
DI-DRAINAGE INLET

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

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CANANDAIGUA, NY 14424  
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**STAMP**

NEW 'COMMERCIAL SITE PLANS PREPARED FOR:

**PROCUTTERS LANDSCAPE INC.**

**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**

SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

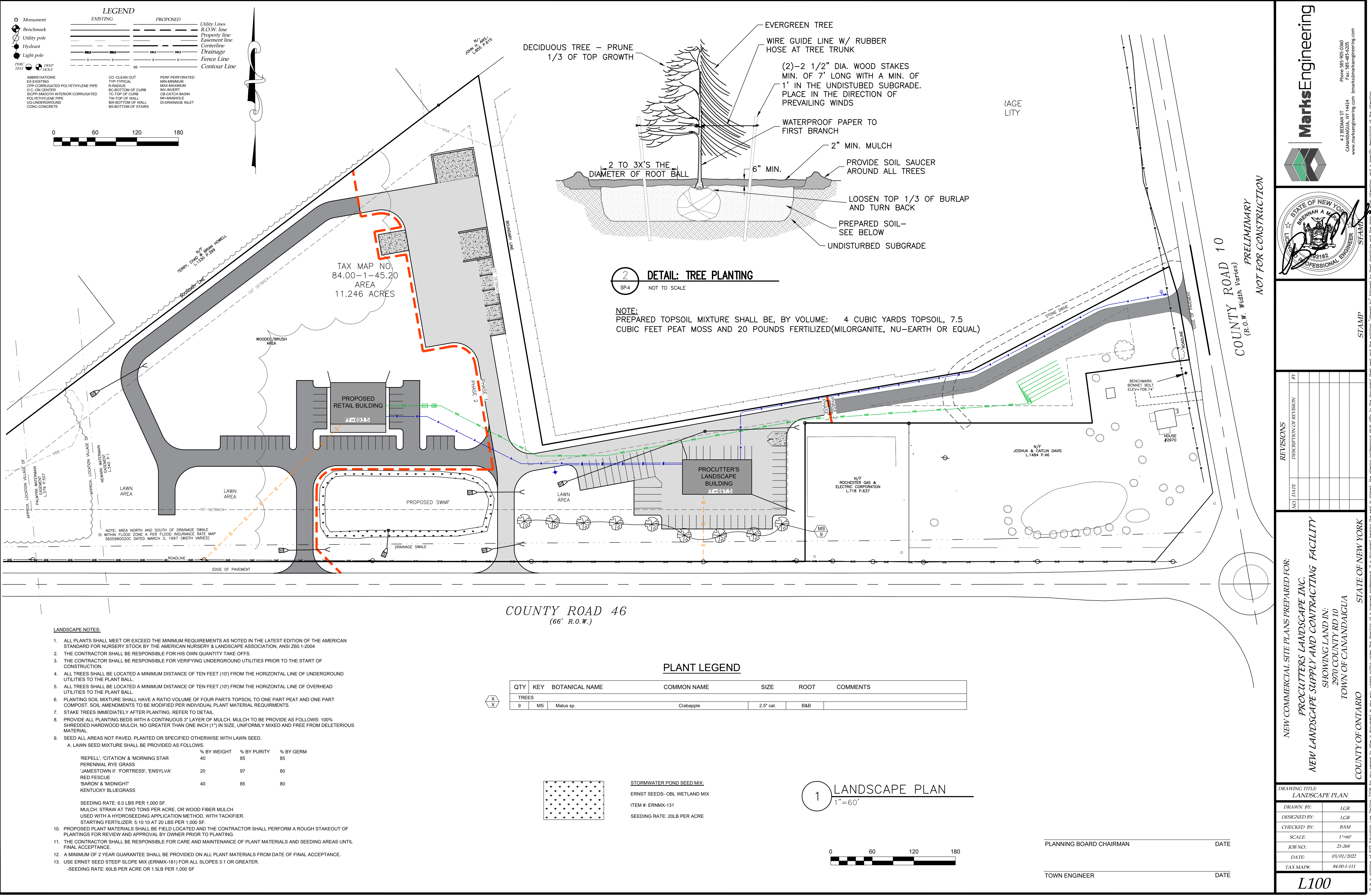
DRAWING TITLE:  
**CONSTRUCTION EROSION CONTROL PLAN**

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

**C400**

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www.marksengineering.com bmarks@marksengineering.com

STATE OF NEW YORK  
BRENNAN A. MCGLOTHLIN  
Professional Engineer  
No. 93182  
Stamp

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PROCUTTER'S LANDSCAPE INC.**  
**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
SHOWING LAND IN:  
2970 COUNTY RD 10  
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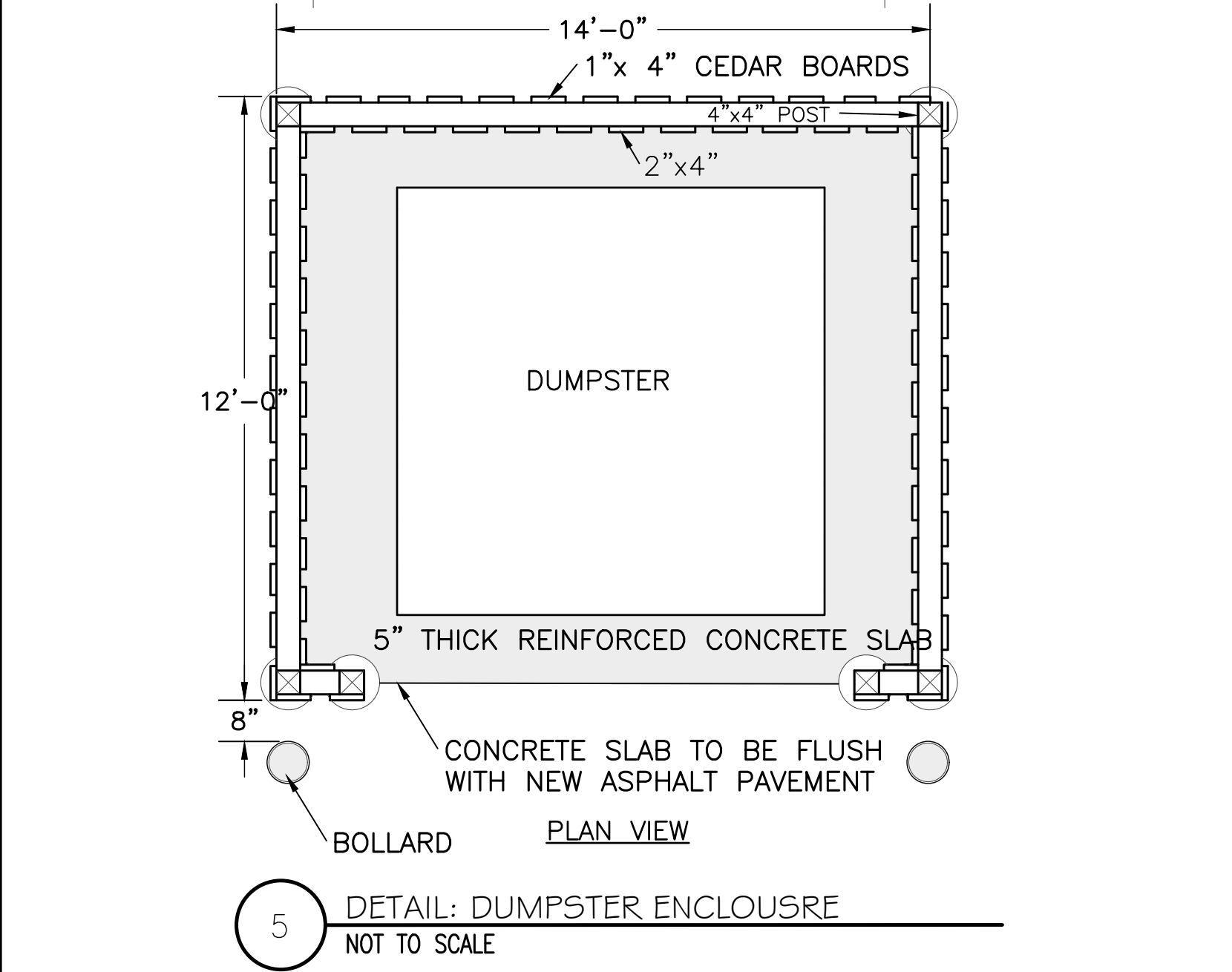
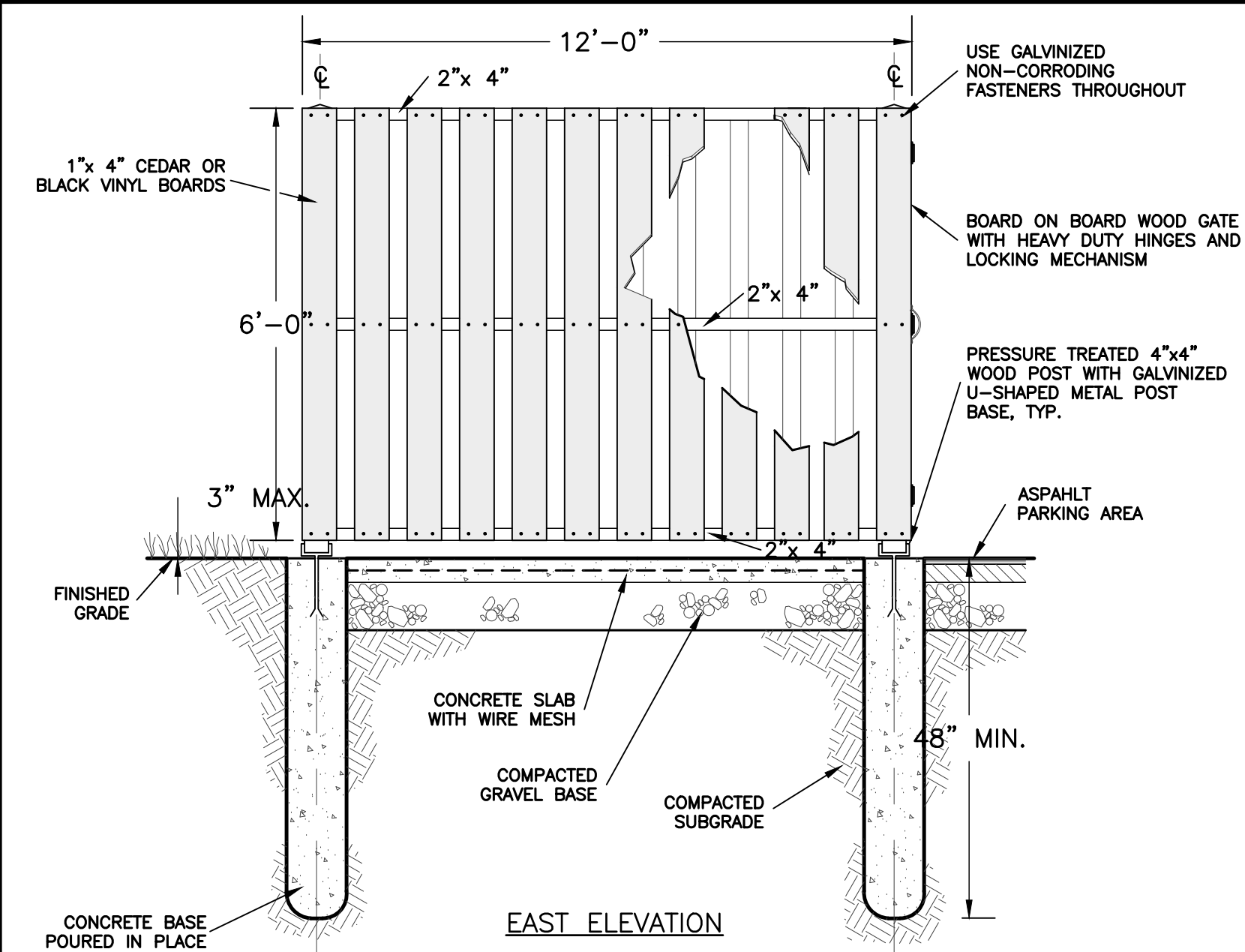
DRAWING TITLE:  
**LANDSCAPE PLAN**

DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

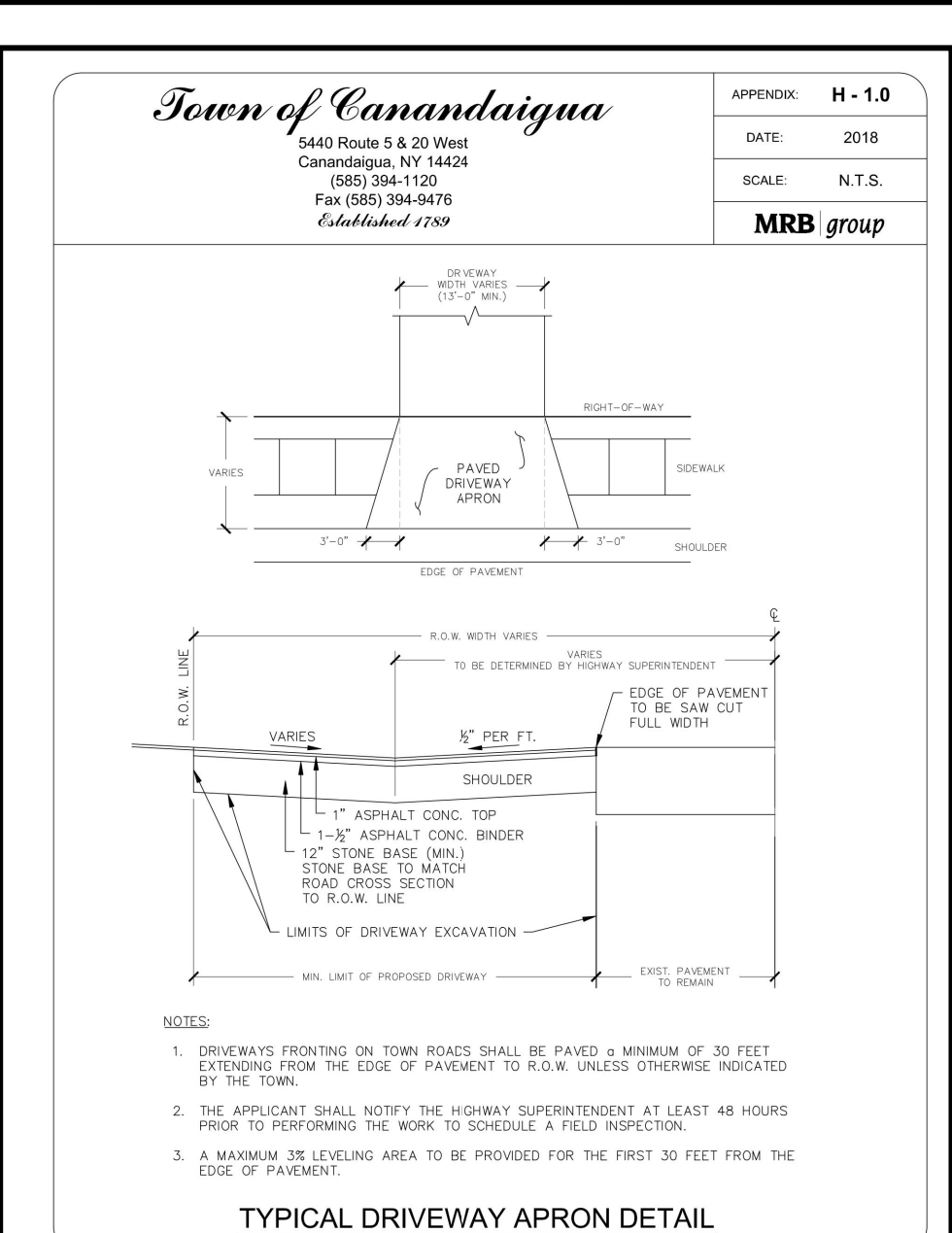
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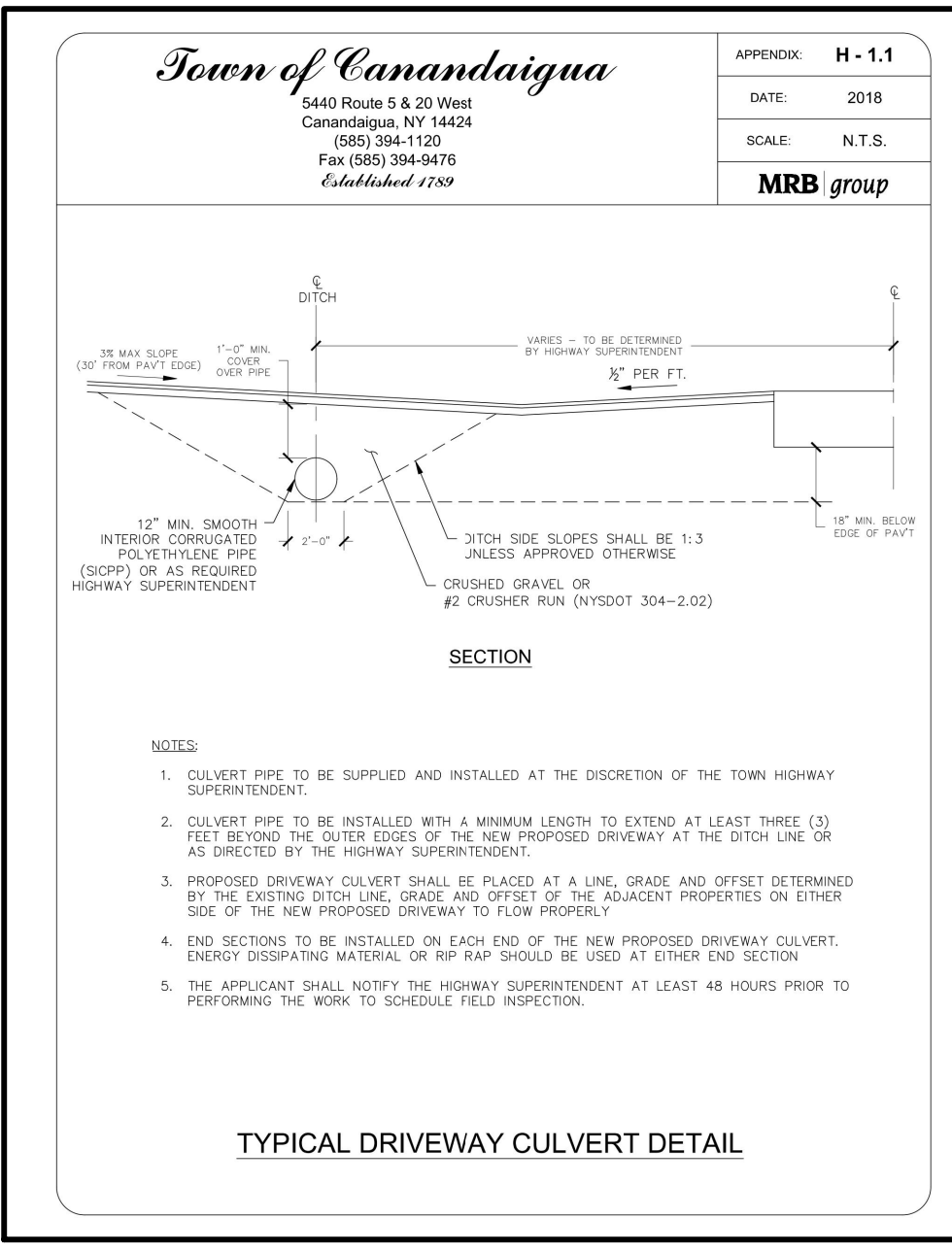




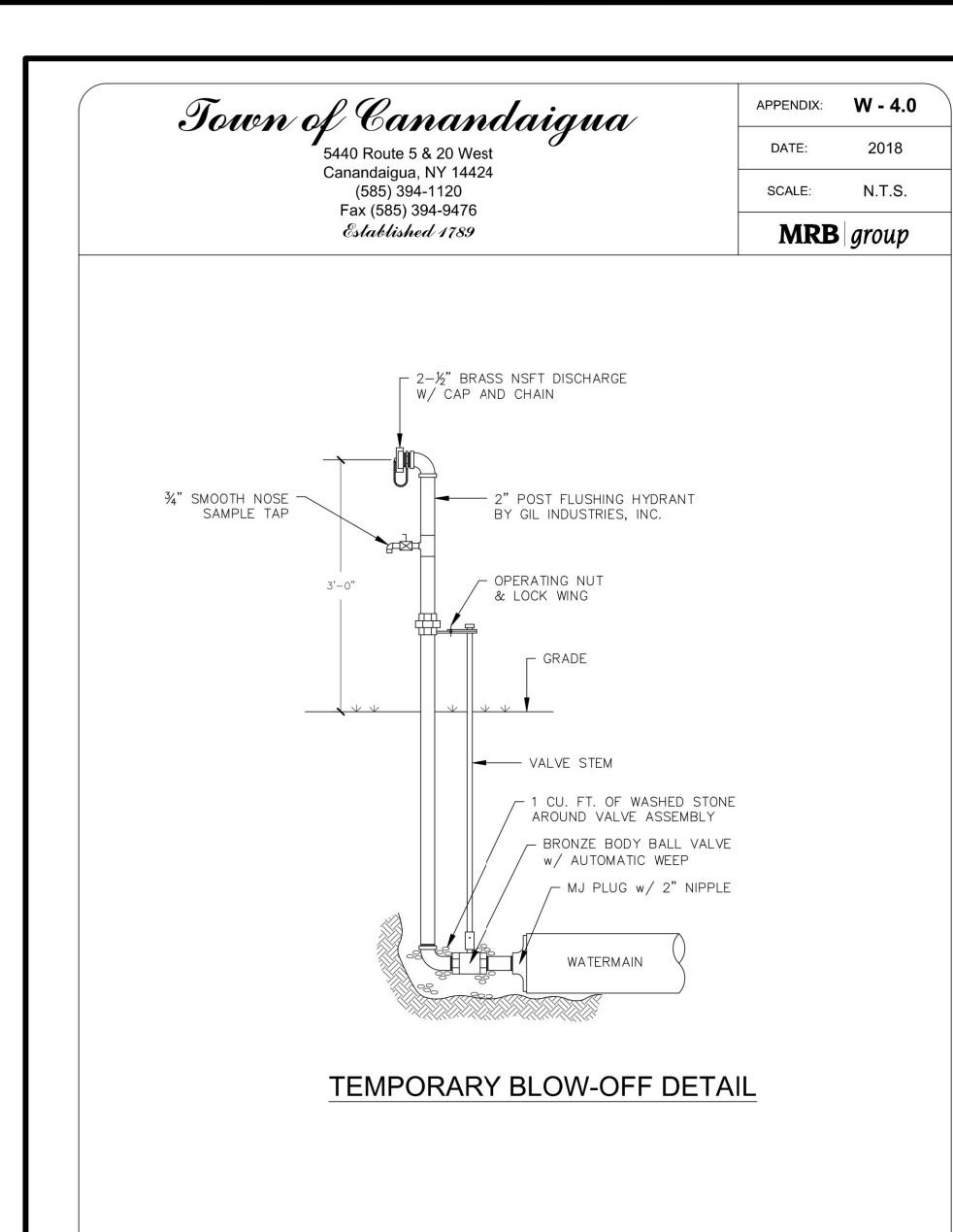
5 DETAIL: DUMPSTER ENCLOSURE  
NOT TO SCALE



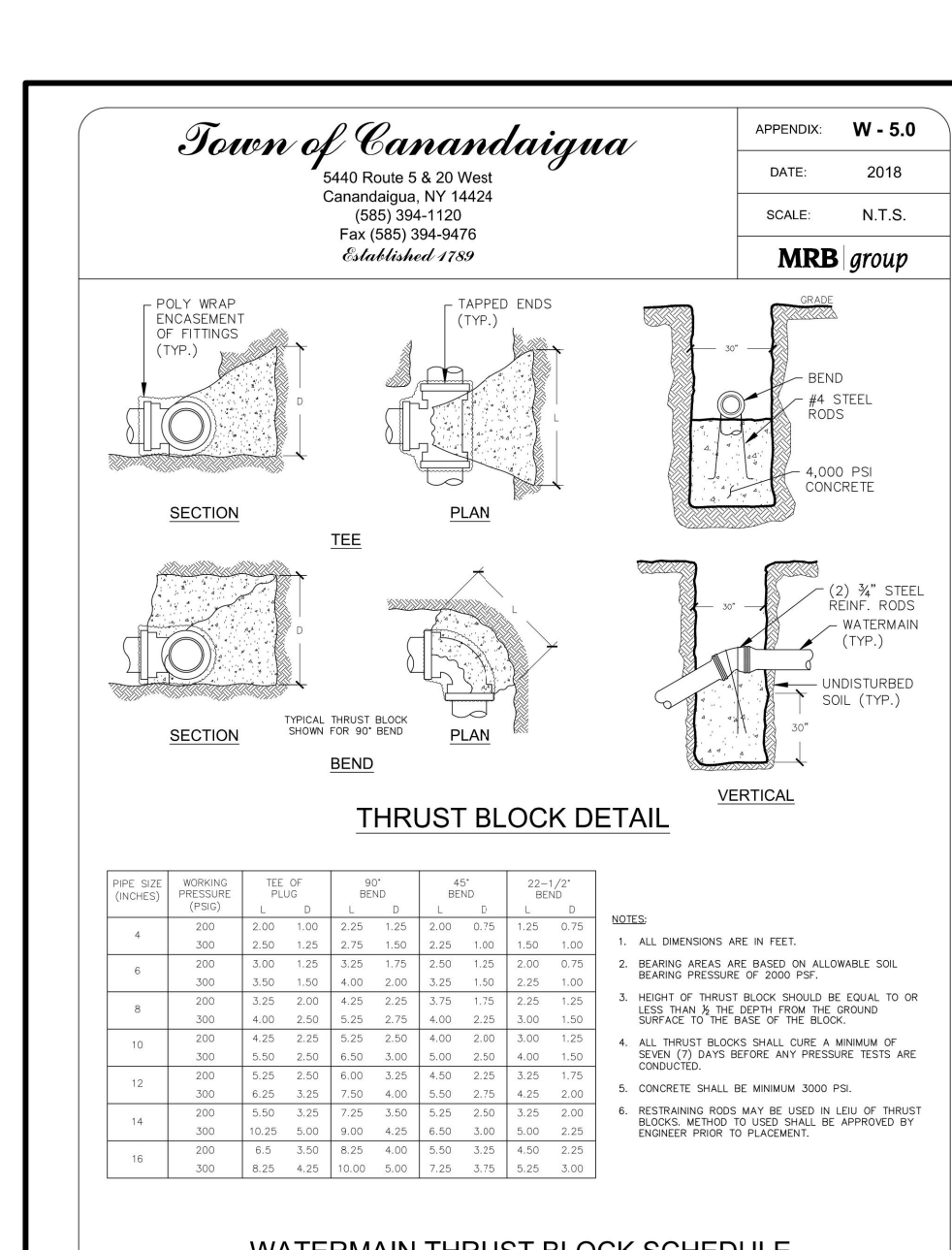
TYPICAL DRIVEWAY APRON DETAIL



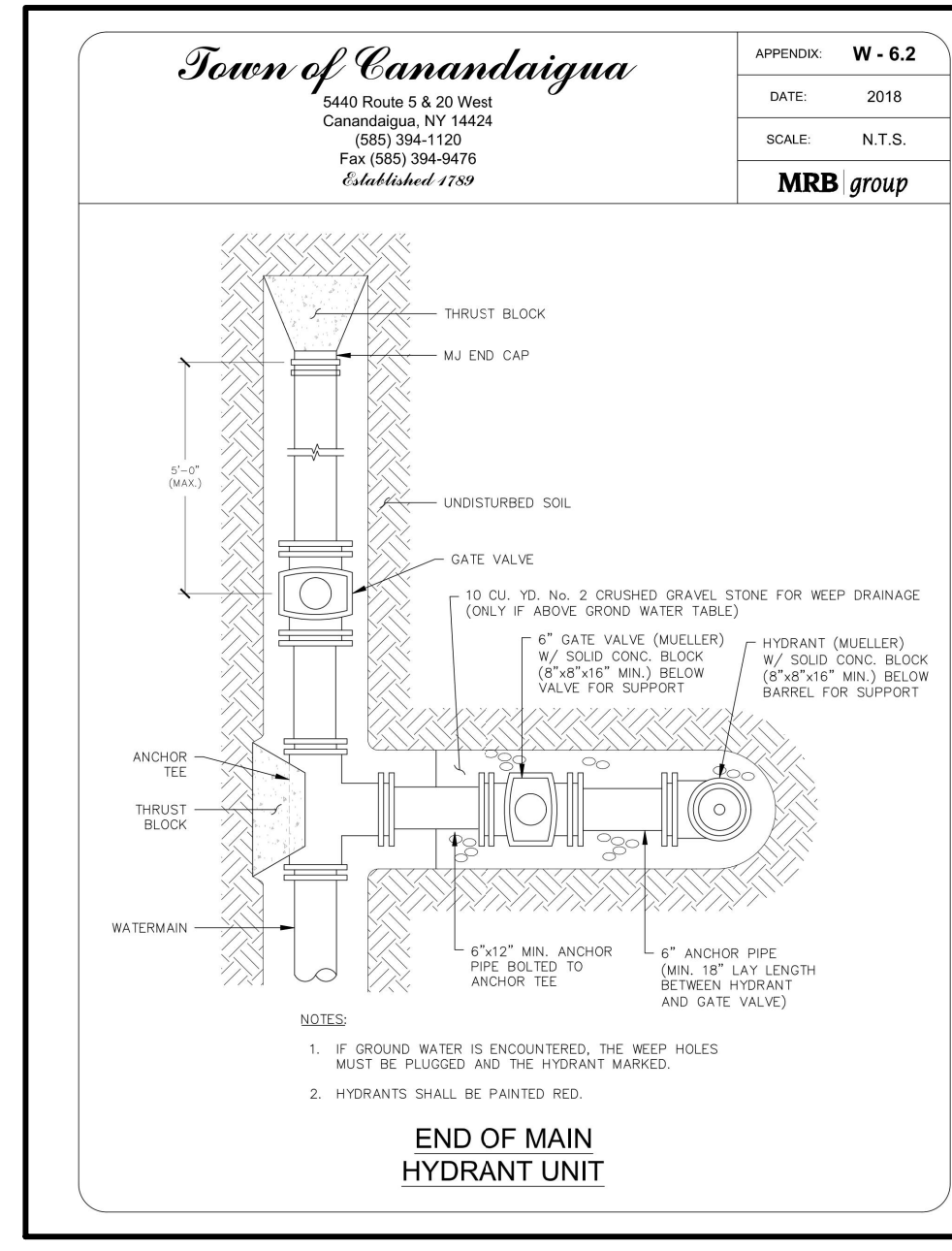
TYPICAL DRIVEWAY CULVERT DETAIL



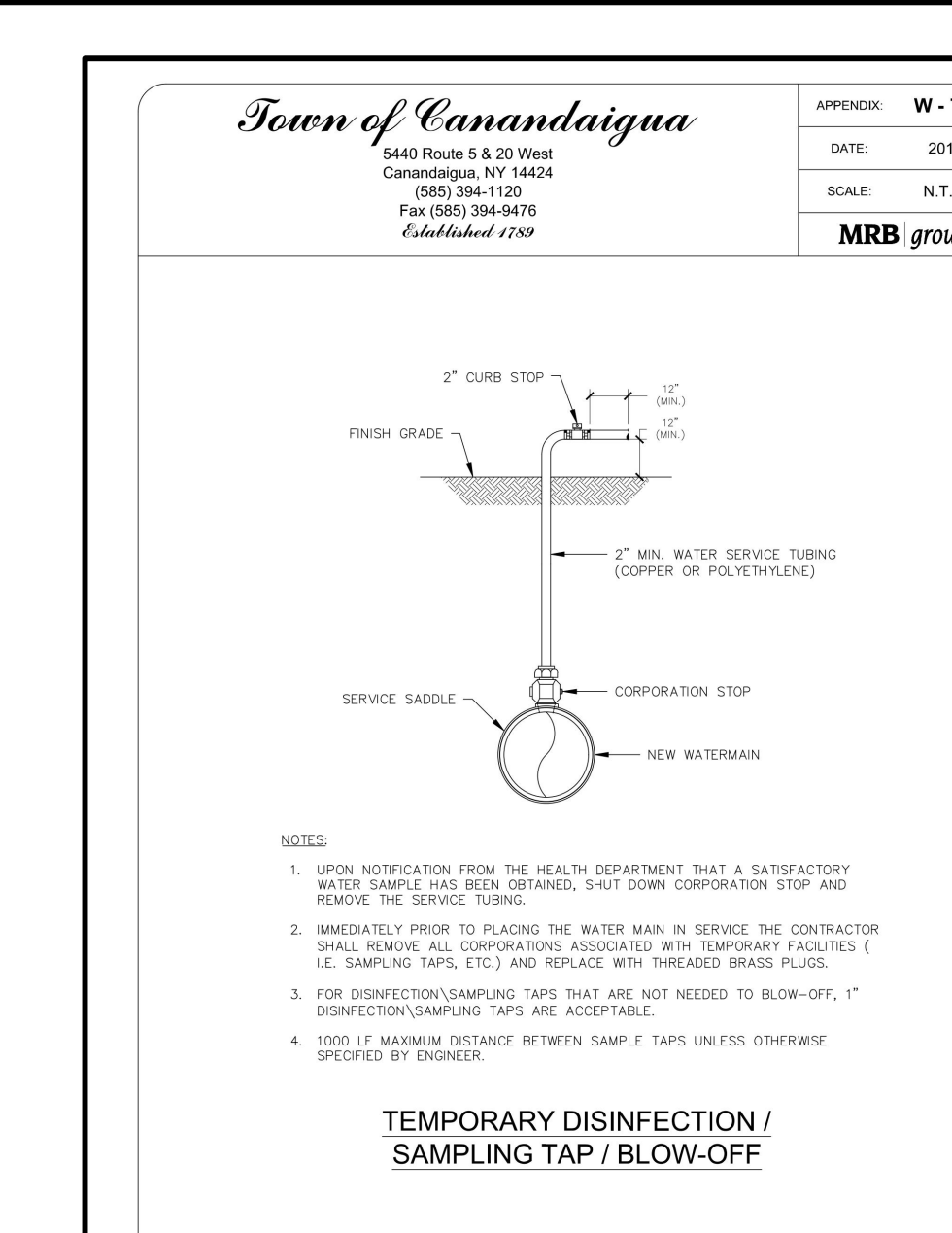
TEMPORARY BLOW-OFF DETAIL



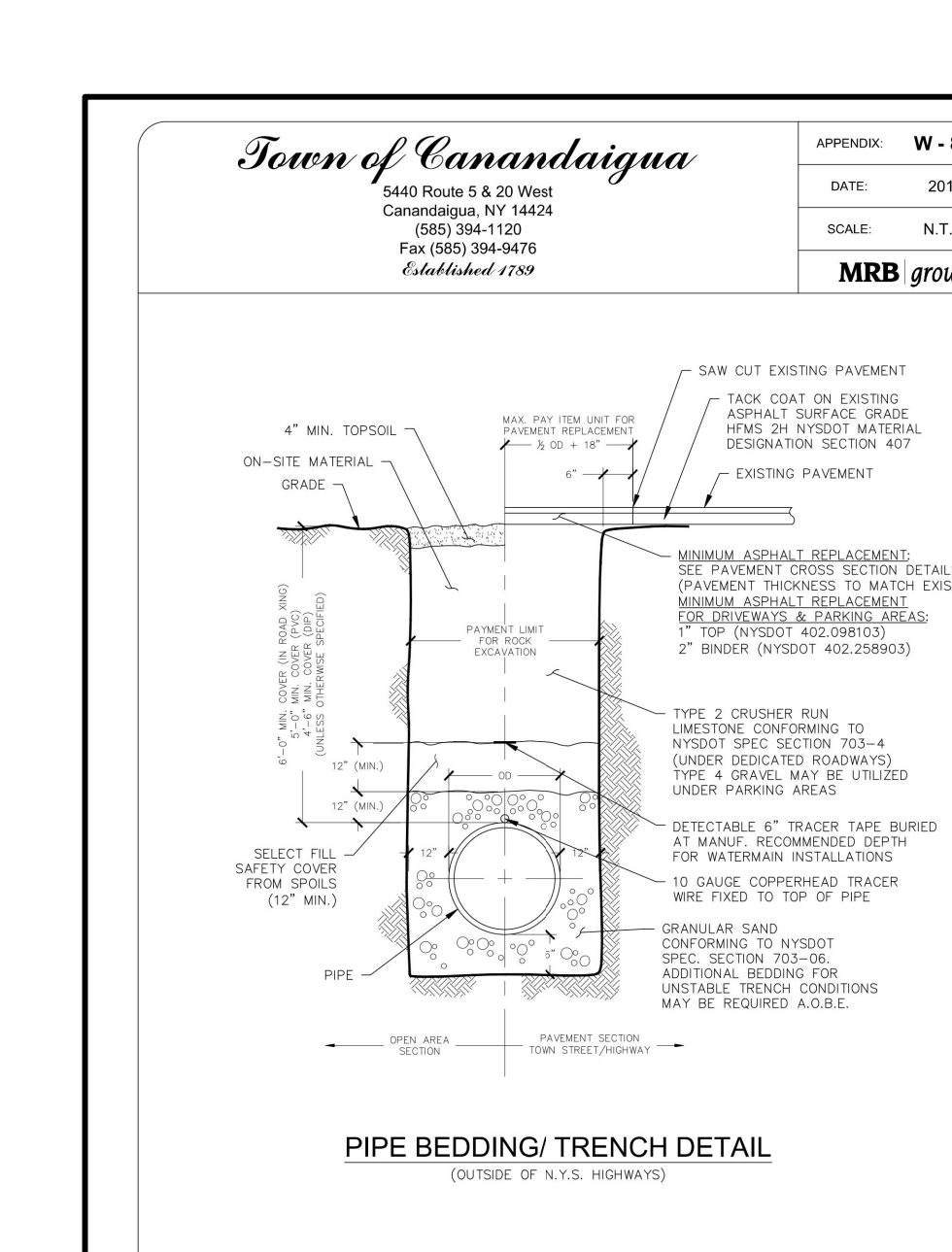
WATERMAIN THRUST BLOCK SCHEDULE



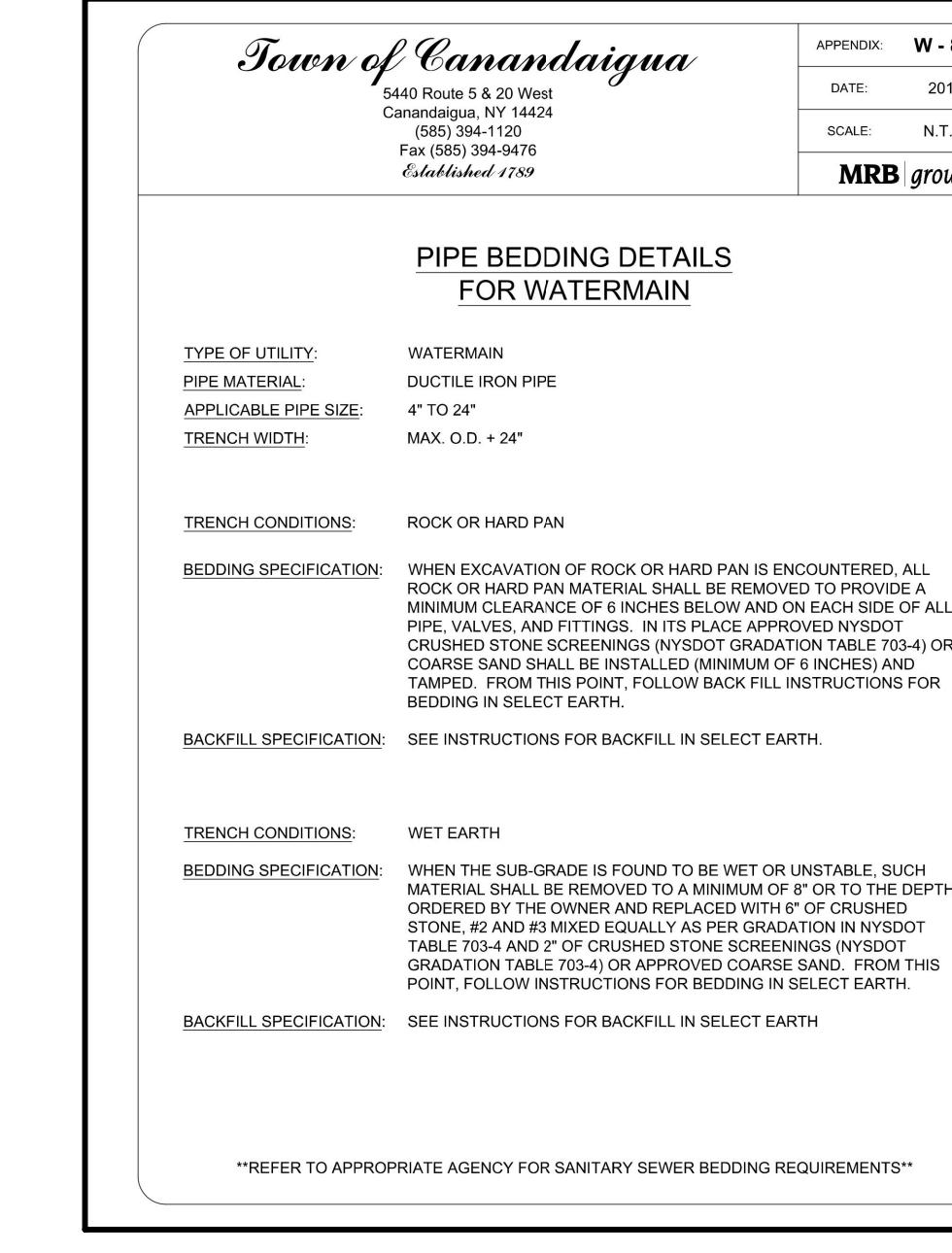
END OF MAIN HYDRANT UNIT



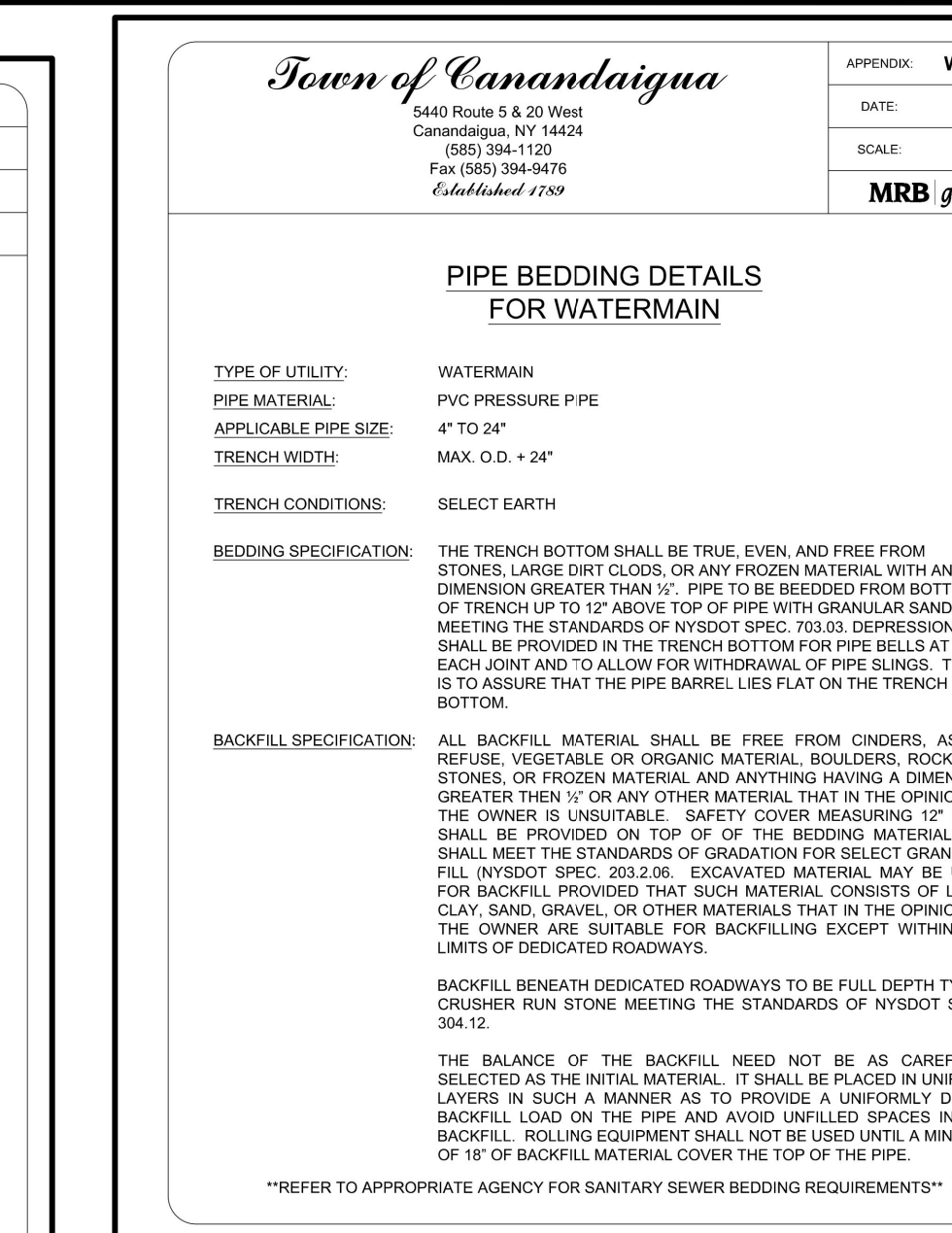
TEMPORARY DISINFECTION / SAMPLING TAP / BLOW-OFF



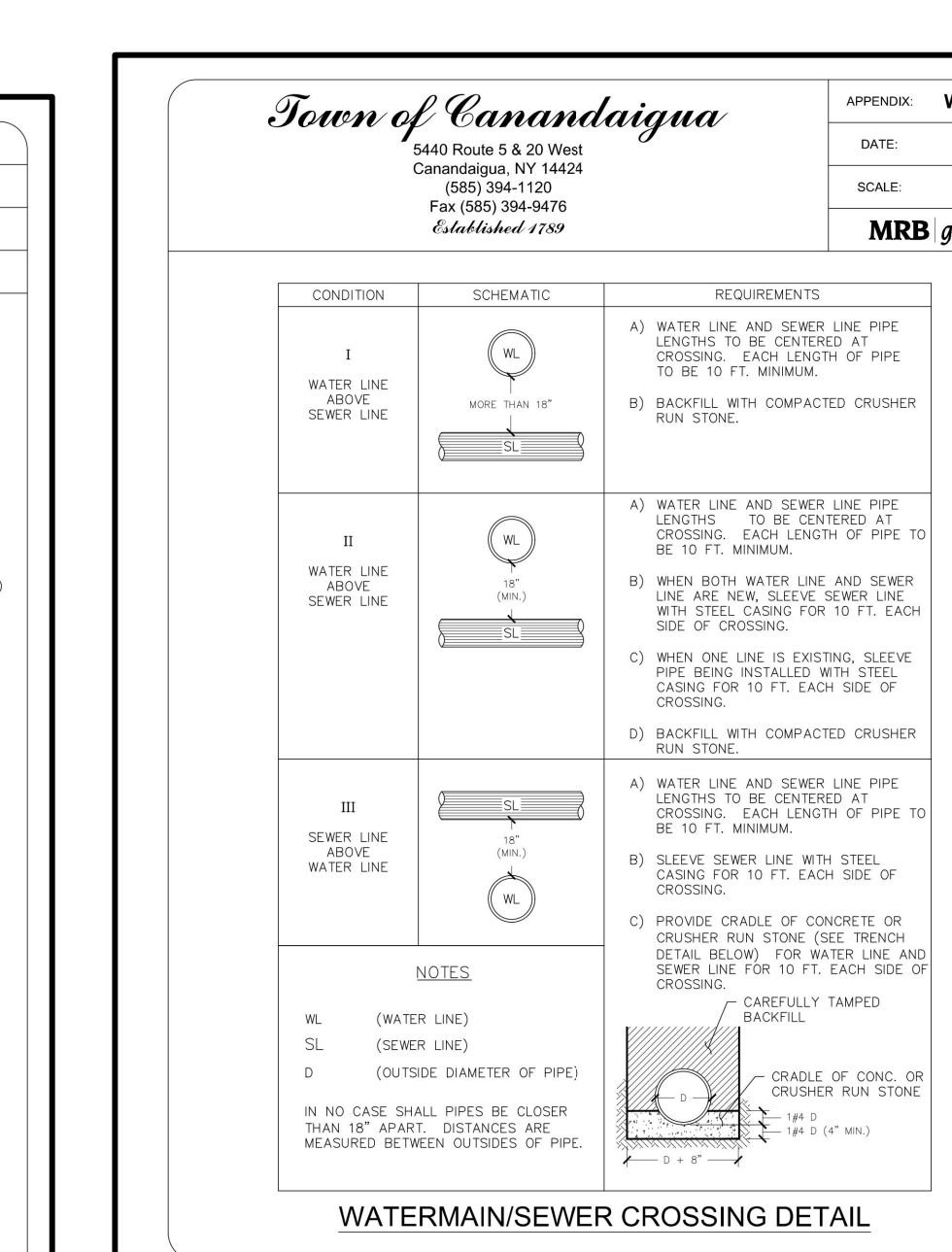
PIPE BEDDING/ TRENCH DETAIL



PIPE BEDDING DETAILS FOR WATERMAIN



PIPE BEDDING DETAILS FOR WATERMAIN



WATERMAIN/SEWER CROSSING DETAIL

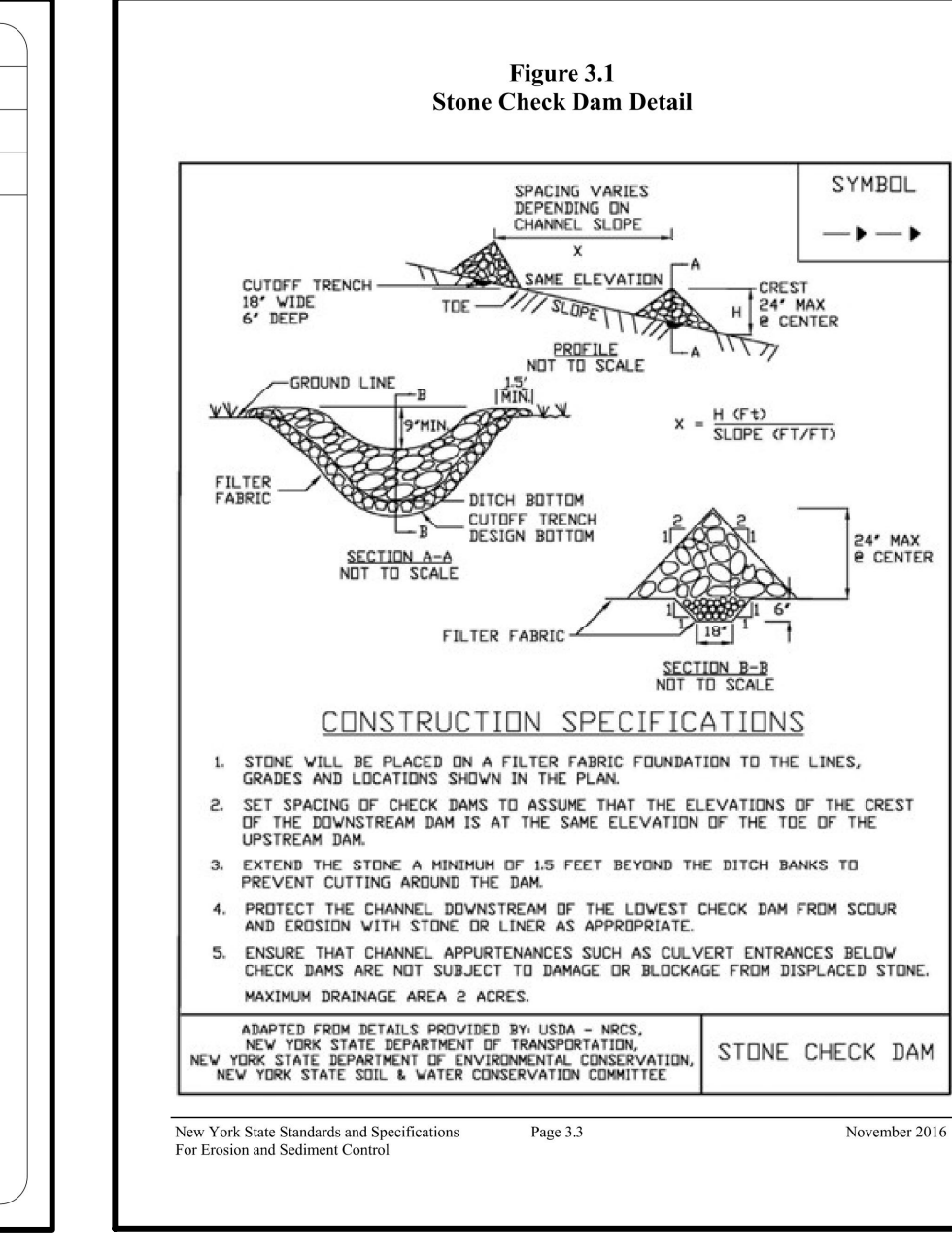
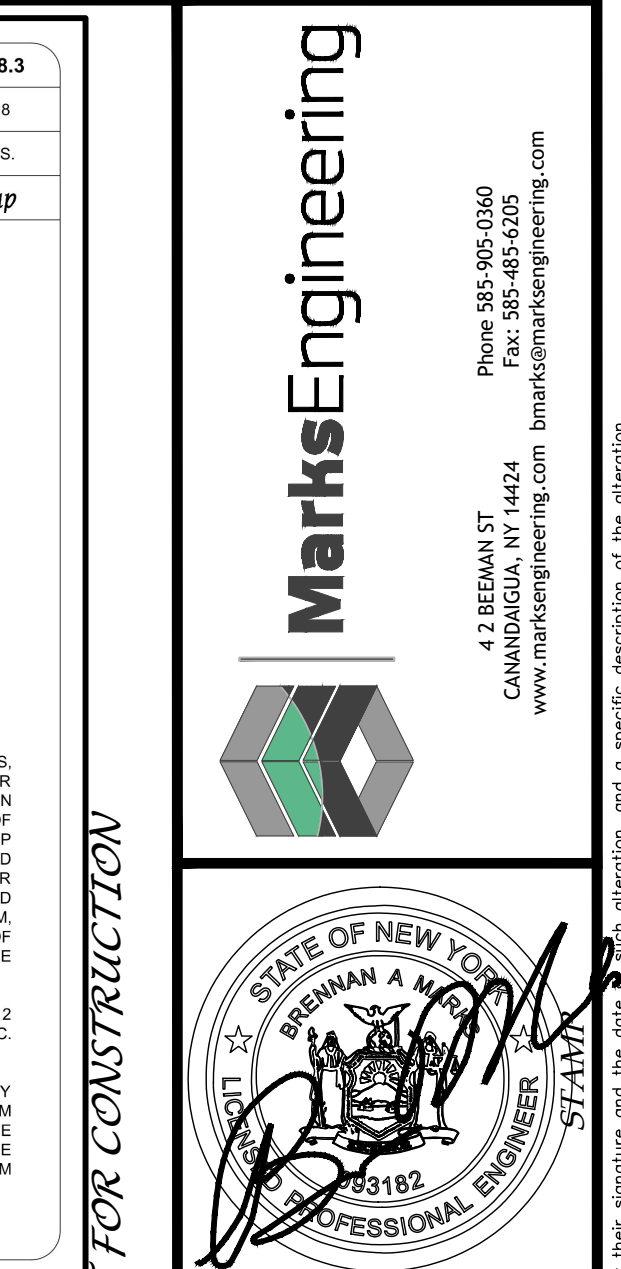


Figure 3.1 Stone Check Dam Detail



NOT FOR CONSTRUCTION

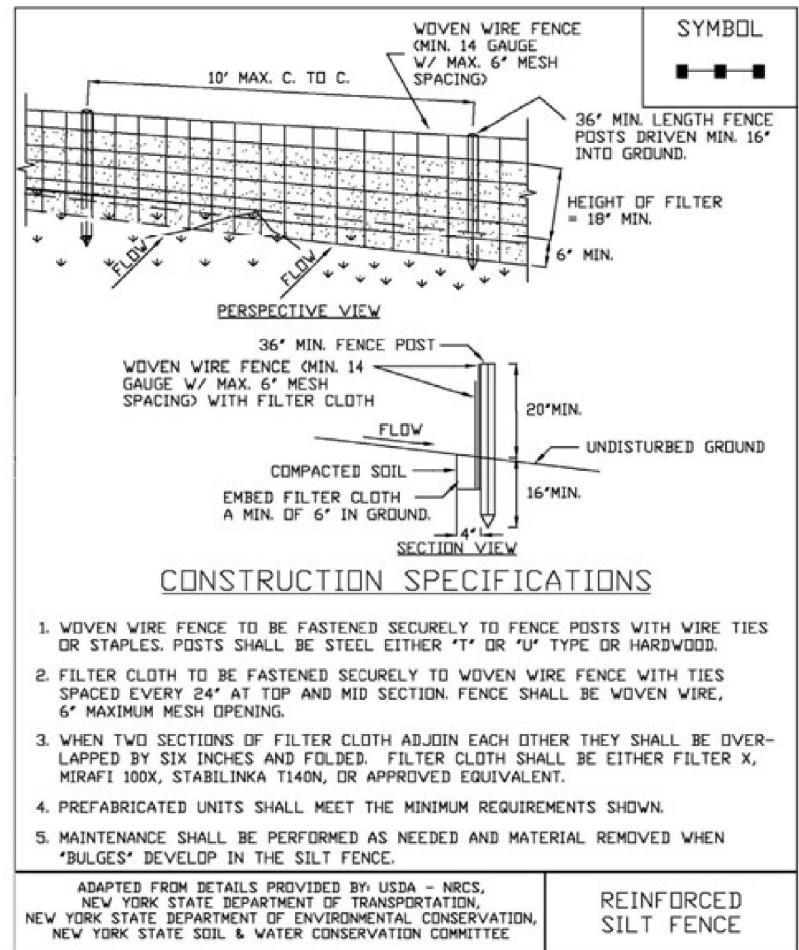
NO.	DATE	REVISIONS	DESCRIPTION OF REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PRO CUTTERS LANDSCAPE INC.**  
 NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
 SHOWING LAND IN:  
 2970 COUNTY RD 10  
 TOWN OF CANANDAIGUA  
 COUNTY OF ONTARIO  
 STATE OF NEW YORK

DRAWING TITLE: DETAIL SHEET  
 DRAWN BY: J/W  
 DESIGNED BY: J/W  
 CHECKED BY: BAM  
 SCALE: N/A  
 JOB NO.: 21-268  
 DATE: 03/01/2022  
 TAX MAP#: 84.00-1-111

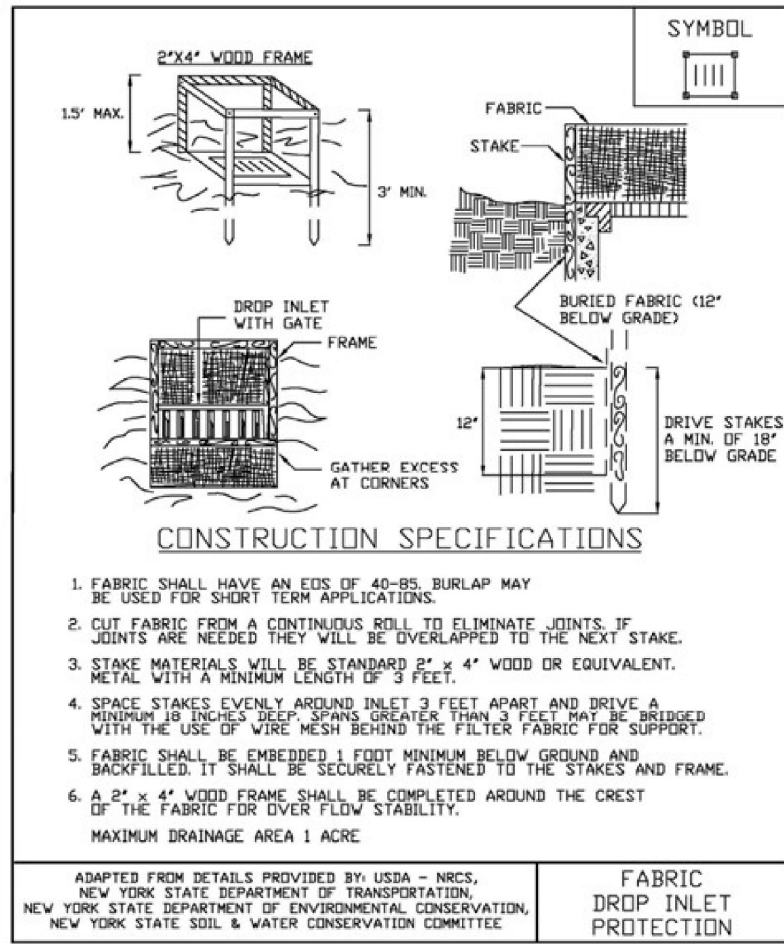


Figure 5.30  
Reinforced Silt Fence



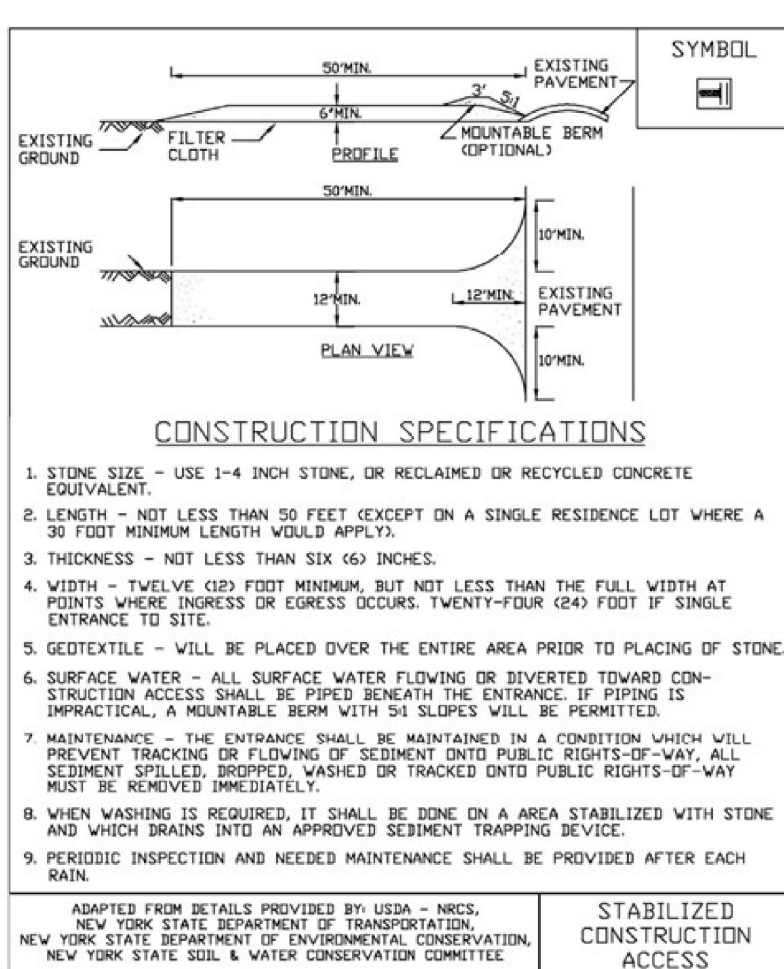
November 2016  
Page 5.56  
New York State Standards and Specifications  
For Erosion and Sediment Control

Figure 5.32  
Fabric Drop Inlet Protection

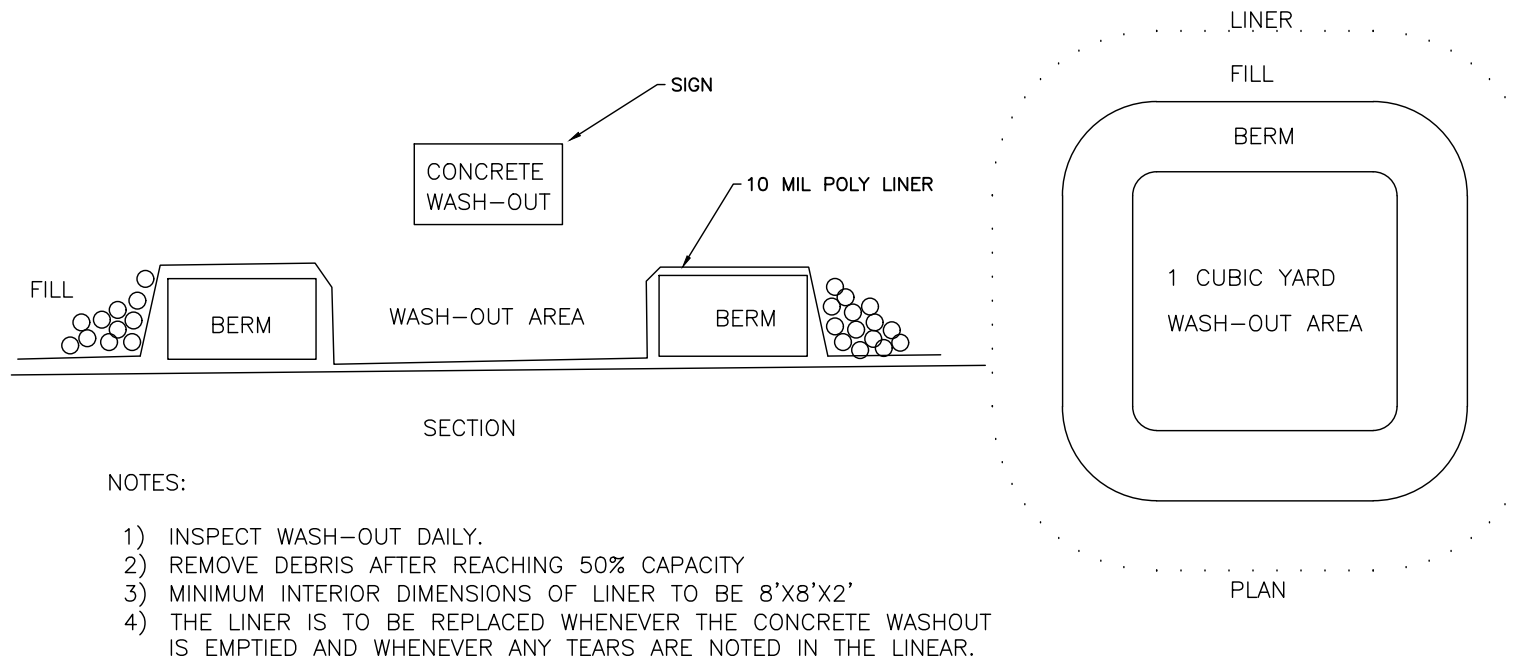


New York State Standards and Specifications  
For Erosion and Sediment Control  
Page 5.61  
November 2016

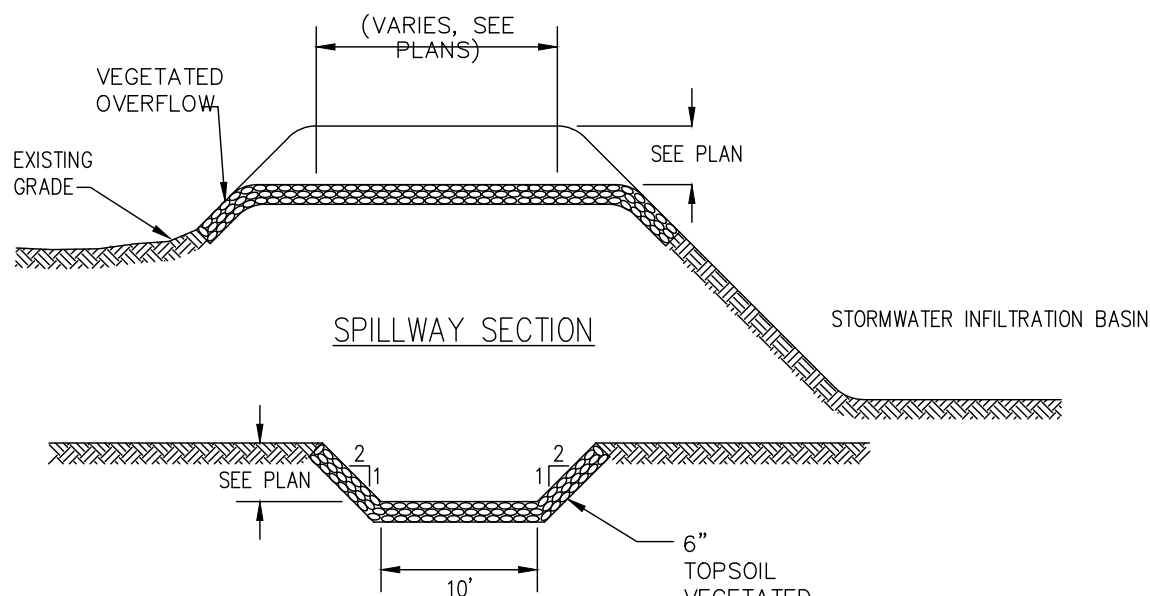
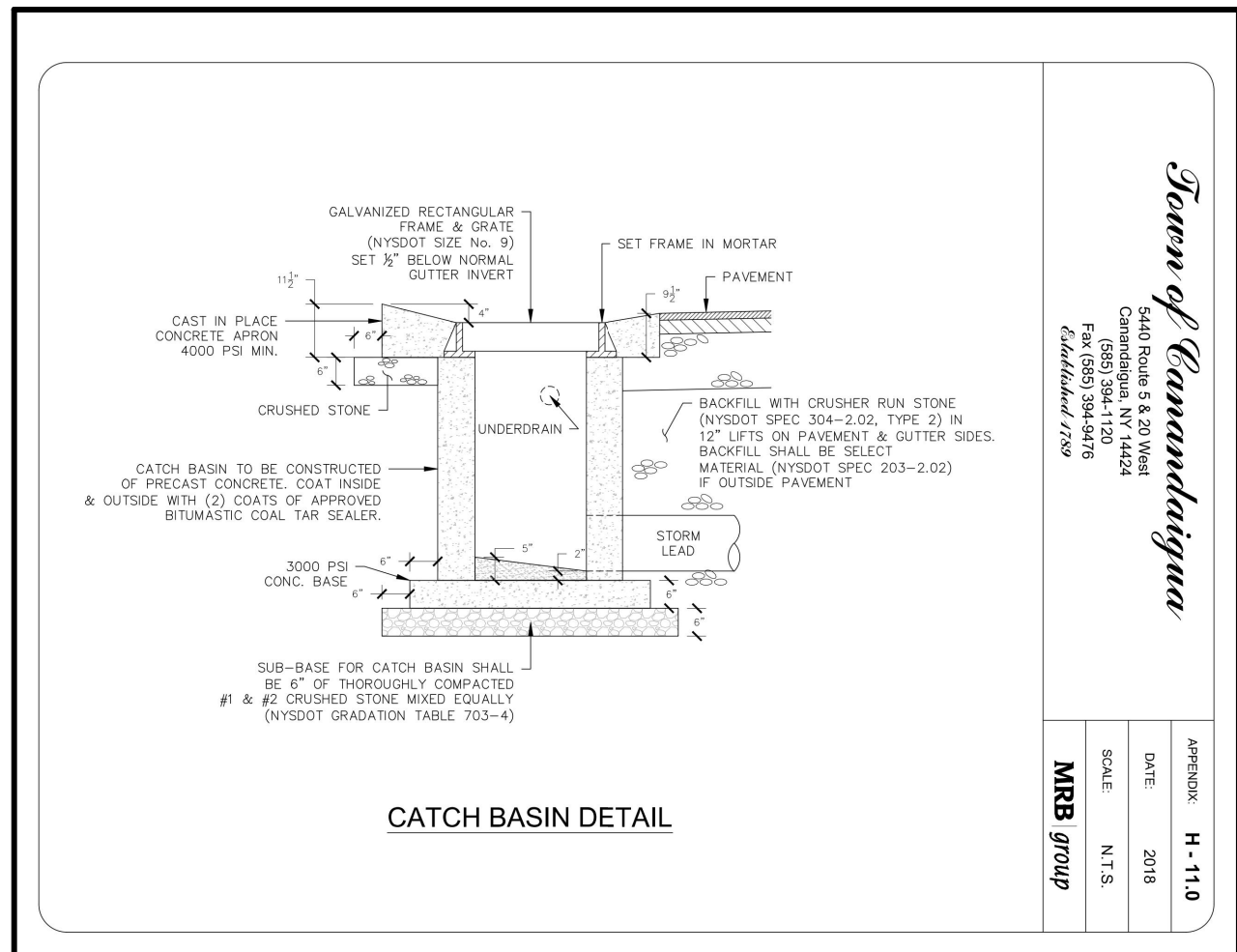
Figure 2.1  
Stabilized Construction Access



New York State Standards and Specifications  
For Erosion and Sediment Control  
Page 2.31  
November 2016



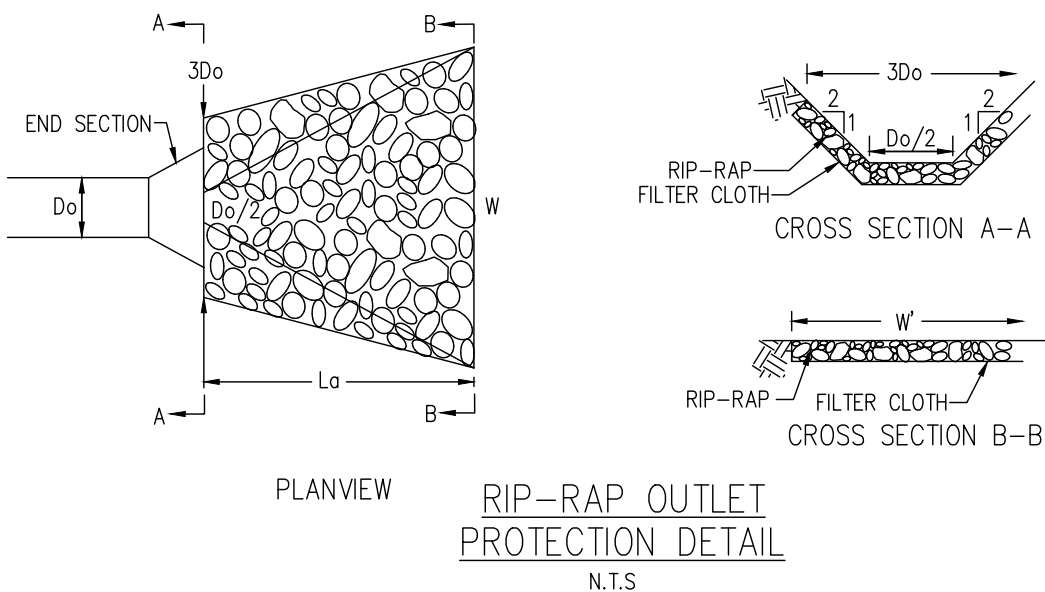
CONCRETE WASHOUT  
N.T.S.



TYPICAL RIP RAP SPILLWAY DETAIL  
N.T.S.

DESIGNATION	DIA. OF PIPE Do	3Do	Lo	W	S.Y. OF RIP-RAP
UPPER CULVERT	12"	3'	4'	5'	5 SY
LOWER CULVERT	12"	3'	4'	5'	5 SY
ROOF LEADERS	6"	1.5'	4'	5'	5 SY

RIP-RAP OUTLET DIMENSIONS



RIP-RAP OUTLET PROTECTION DETAIL  
N.T.S.

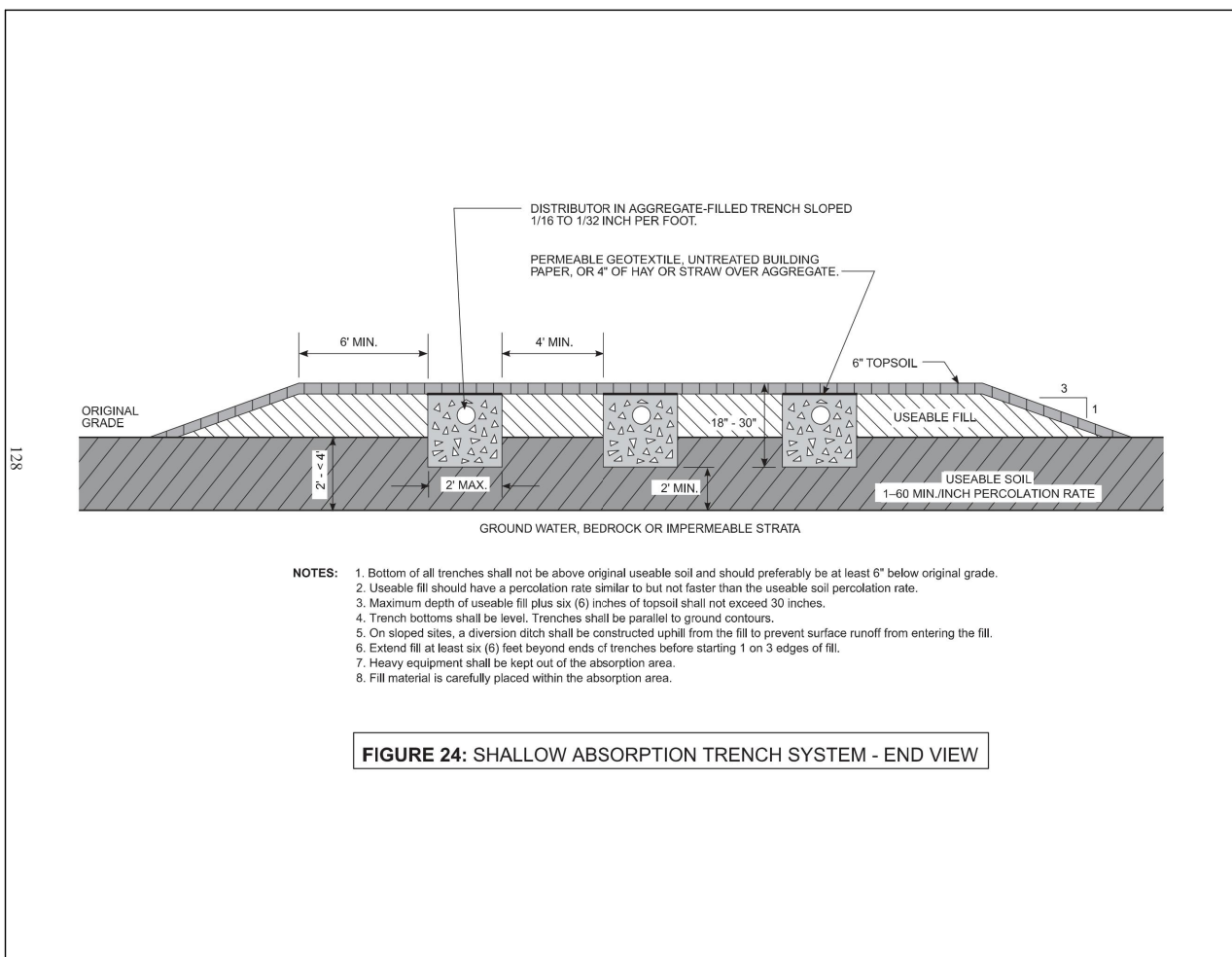
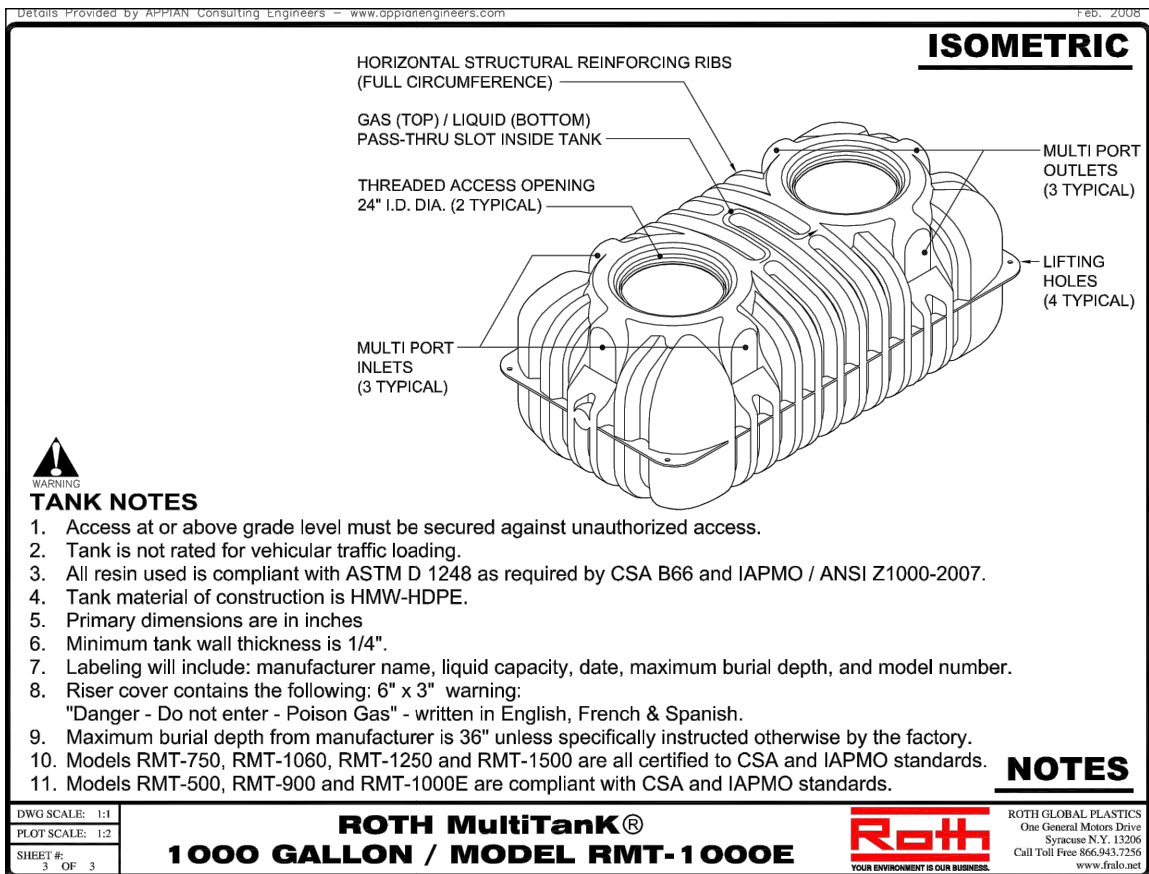
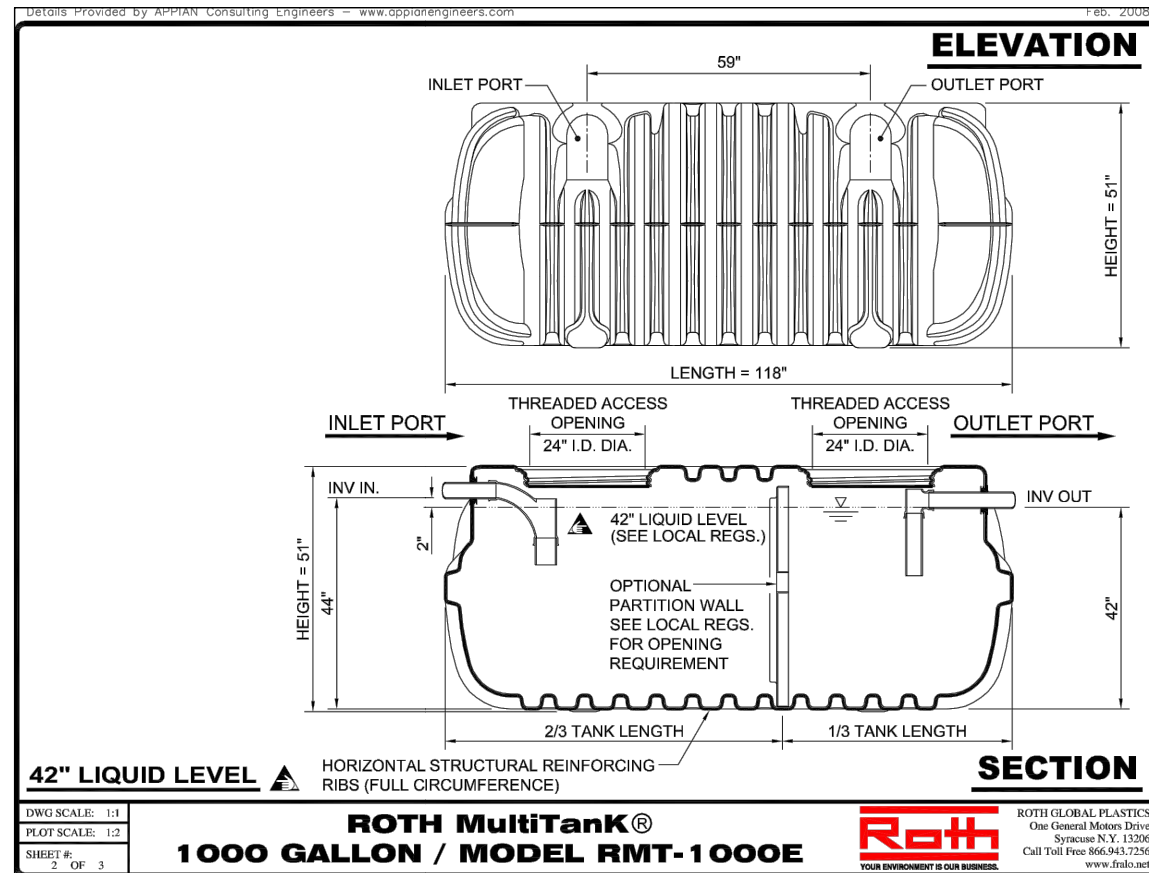
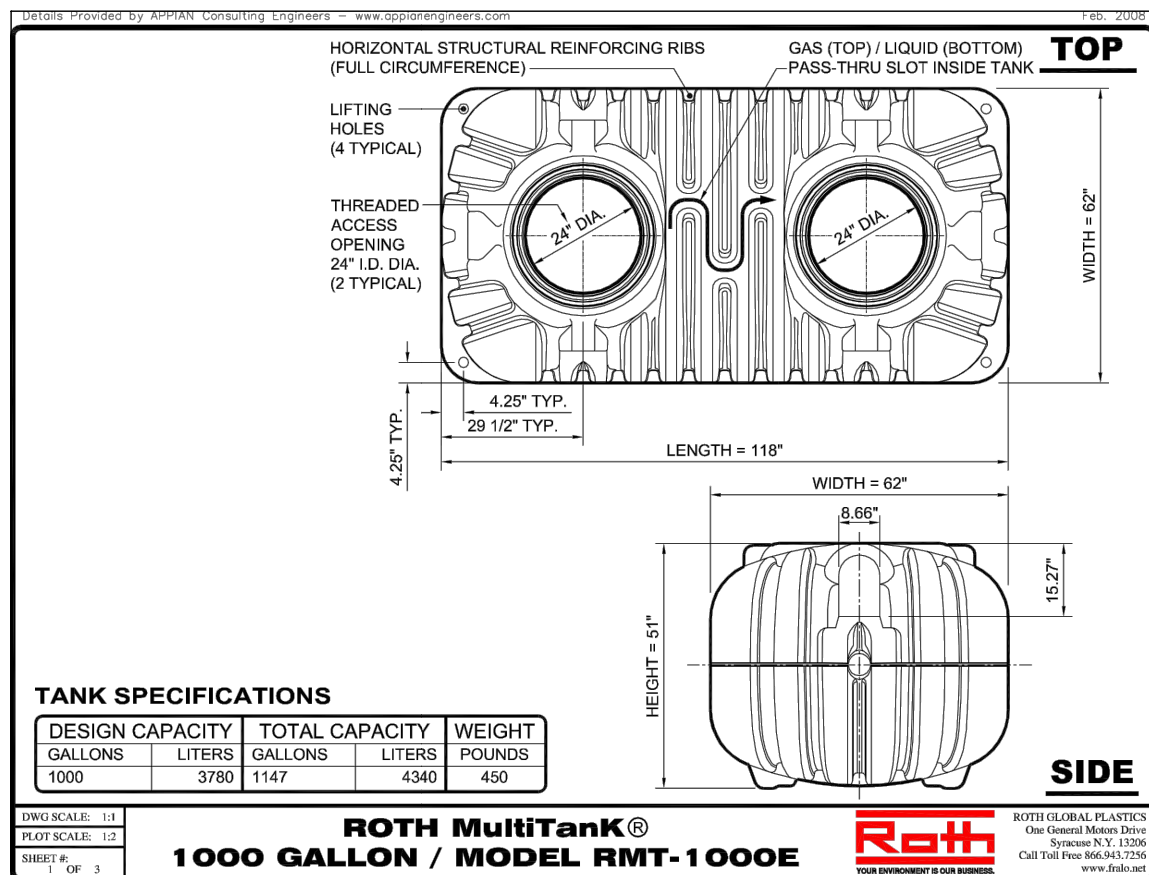
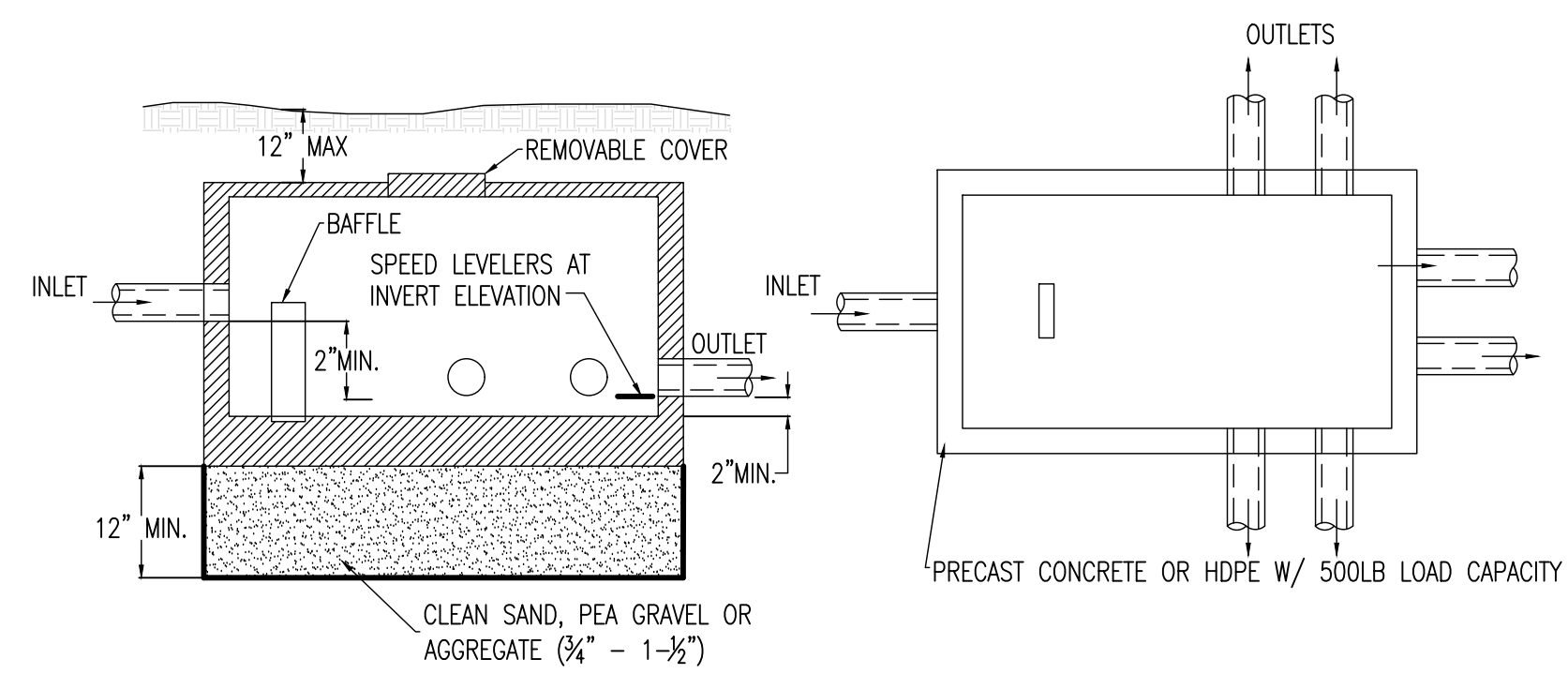
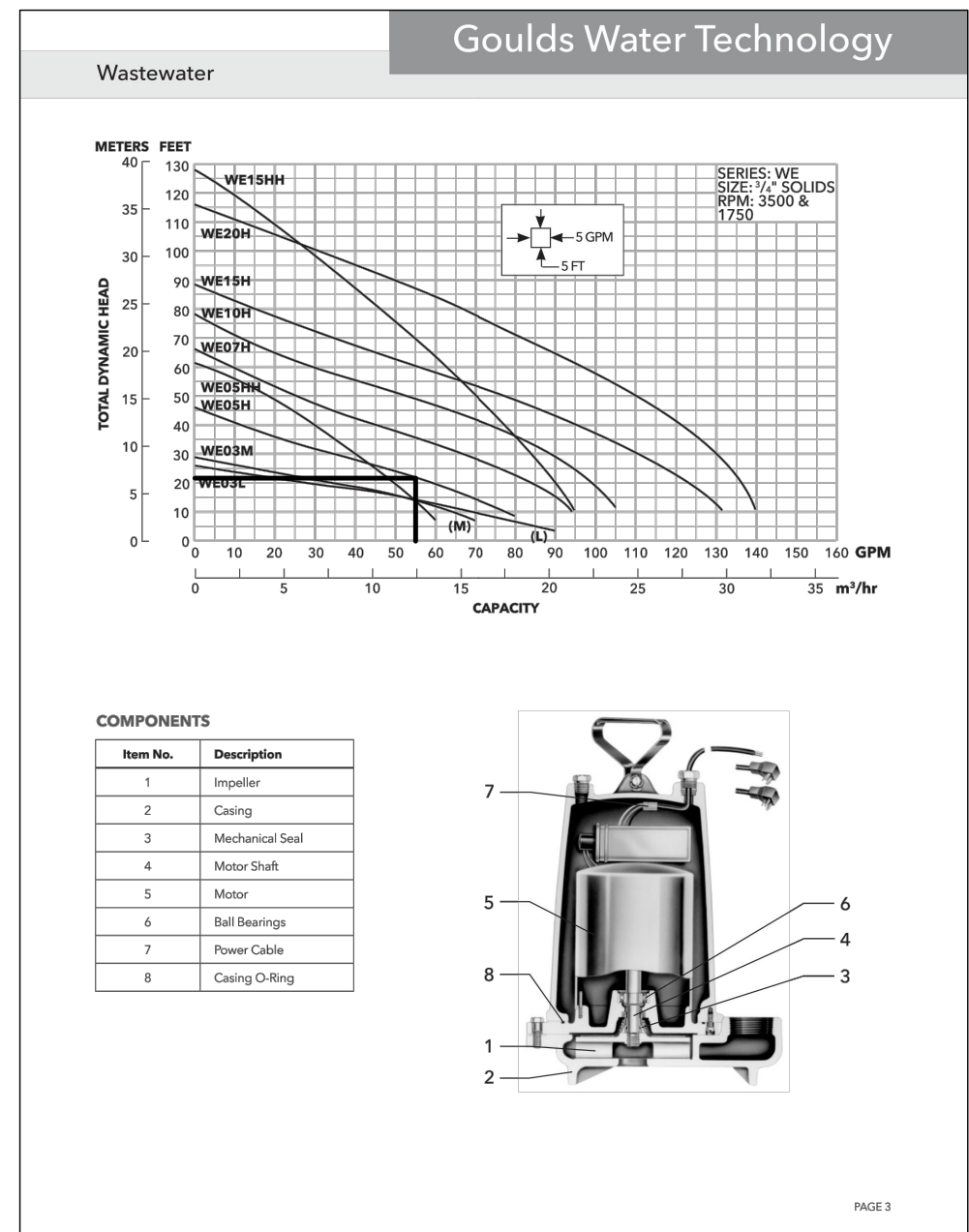
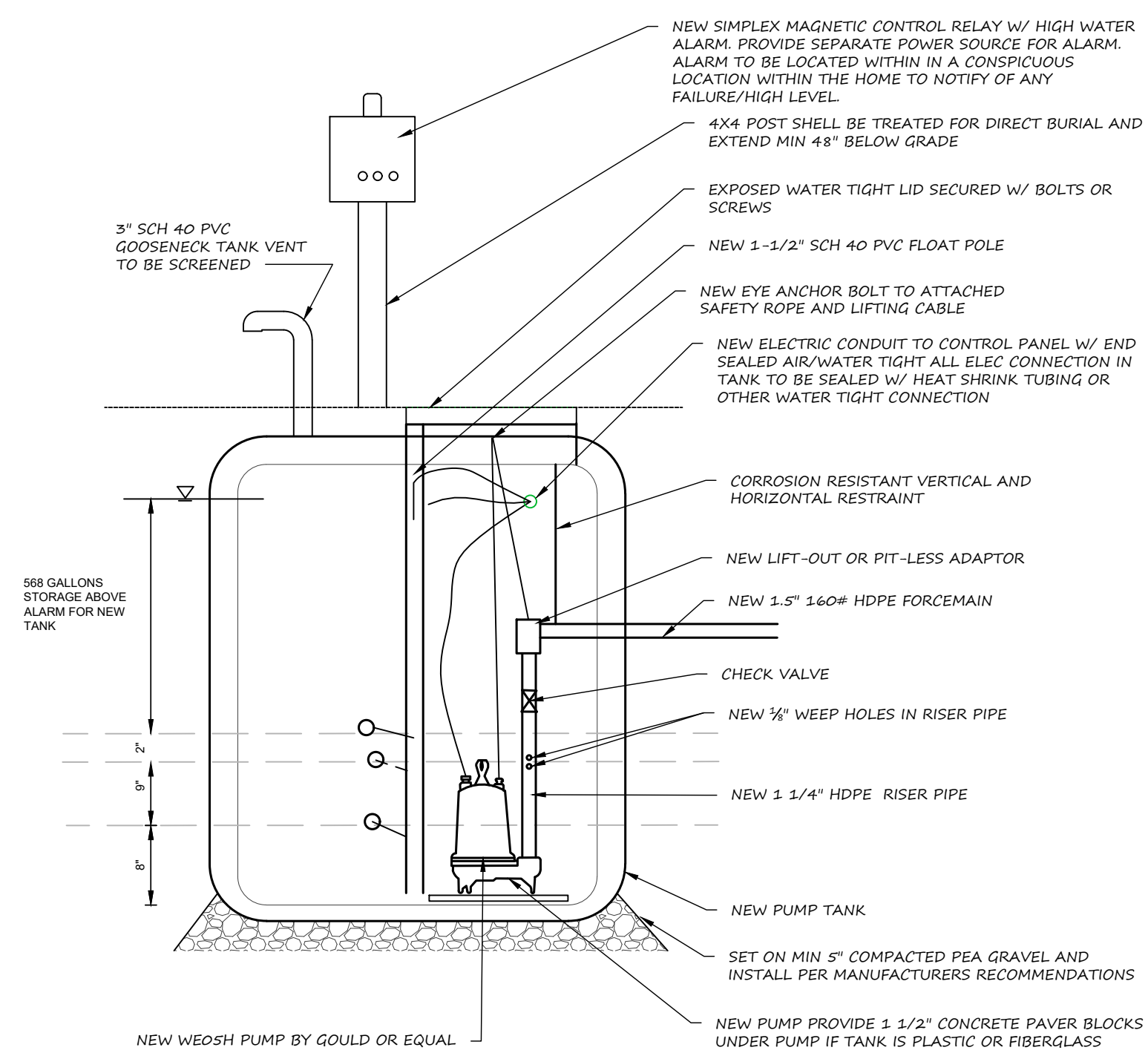


FIGURE 24: SHALLOW ABSORPTION TRENCH SYSTEM - END VIEW



TYPICAL D-BOX  
N.T.S.



TYPICAL PUMP TANK DETAIL  
N.T.S.

**MarksEngineering**

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STATE OF NEW YORK  
BREMEN A M.C. 93182  
PROFESSIONAL ENGINEER  
STAMP

REVISIONS

NO	DATE	DESCRIPTION OF REVISION	BY

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