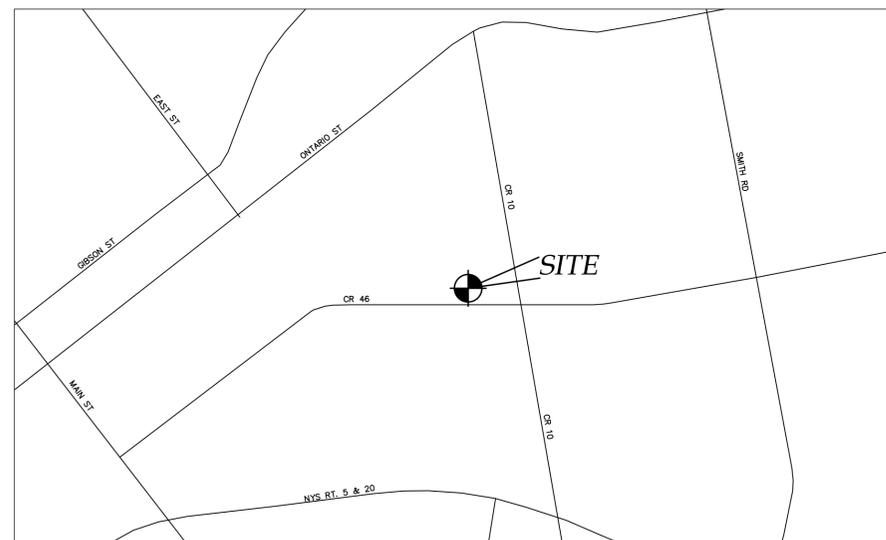


NEW COMMERCIAL SITE PLAN:
PRO-CUTTERS LANDSCAPE INC.

2970 CR 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK
MARCH 1, 2022

INDEX:
COVER
EX100 - EXISTING CONDITIONS MAP
C100 - SITE PLAN
C200 - UTILITY PLAN
C300 - GRADING PLAN
C400 - CONSTRUCTION EROSION CONTROL PLAN
L100 - LANDSCAPE PLAN
C500 - DETAILS
C501 - DETAILS



LOCATION MAP
NTS



AERIAL PHOTO
NTS



NOT FOR CONSTRUCTION



MarksEngineering

MARKS ENGINEERING, P.C.
42 BEEMAN STREET
CANANDAIGUA, NY 14424
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WWW.MARKSENGINEERING.COM

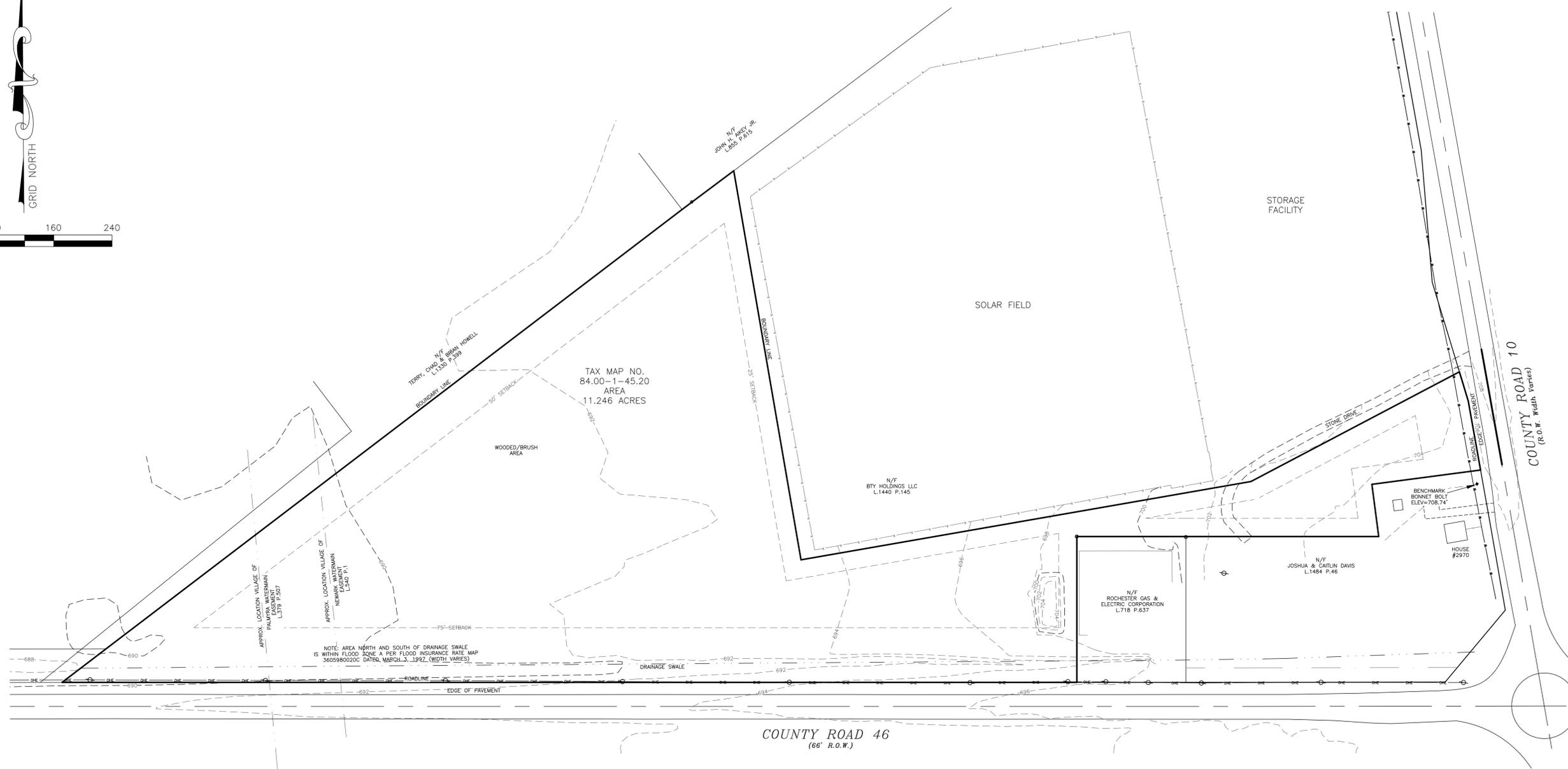
PREPARED FOR:
STEVE PISAREK

PROPERTY OWNER:
STEVE PISAREK
PO BOX 589
CANANDAIGUA, NEW YORK
14424

REVISED

PRO-CUTTERS
2870 CR 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
NEW YORK

JOB #21-268
03/01/2020



1 EXISTING CONDITIONS
1" = 80'

MAP REFERENCES

- LIBER
- FILED MAP NOS. 13951, 22350, 36725, 37122
- MAPS: FINGERLAKES REFUSE DISPOSAL, INC. BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2007-230, DATED OCTOBER 9, 2007
PLAN OF LAND OF GREGORY WESTBROOK BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2016-169, DATED FEBRUARY 25, 2016
- PARCEL IS ZONED INDUSTRIAL WITH MIXED USE OVERLAY
- EASEMENTS: VILLAGE OF PALMYRA L.379 P.507; VILLAGE OF NEWARK L.540 P.1; RG&E L.344 P.450 & L.1079 P.60; RG&E & RTC L.745 P.1196; COUNTY OF ONTARIO L.1265 P.580
- PARCEL IS LOCATED WITHIN ZONE X AS SHOWN ON FEMA MAP NO. 360598 0020C, DATED MARCH 3, 1997, UNLESS OTHERWISE NOTED.
- ANY WORK TO BE COMPLETED WITHIN THE COUNTY RIGHT OF WAY WILL REQUIRE A OCDPW PERMIT.
- BEARINGS SHOWN ARE BASED ON FILED MAP NO. 37122
- THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
- ELEVATION DATUM: NAVD 88 GEOID 18NGS
- HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL

ZONING:
INDUSTRIAL: MIXED USE OVERLAY
MINIMUM LOT SIZE - 1 ACRES
MINIMUM LOT WIDTH - 175 FEET
MAXIMUM PRINCIPAL BUILDING HEIGHT - 48 FEET
MAXIMUM BUILDING COVERAGE - 30%
SETBACKS PRINCIPAL STRUCTURE:
FRONT - 75 FEET
REAR - 50 FEET
SIDE - 25 FEET
SETBACKS ACCESSORY STRUCTURE:
REAR - 40 FEET
SIDE - 25 FEET

PRELIMINARY
NOT FOR CONSTRUCTION

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4.3 DEEMANT
CANANDAIGUA, NY 14424
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Fax: 585.485.6285



STAMP

NO.	DATE	REVISIONS	DESCRIPTION OF REVISION	BY

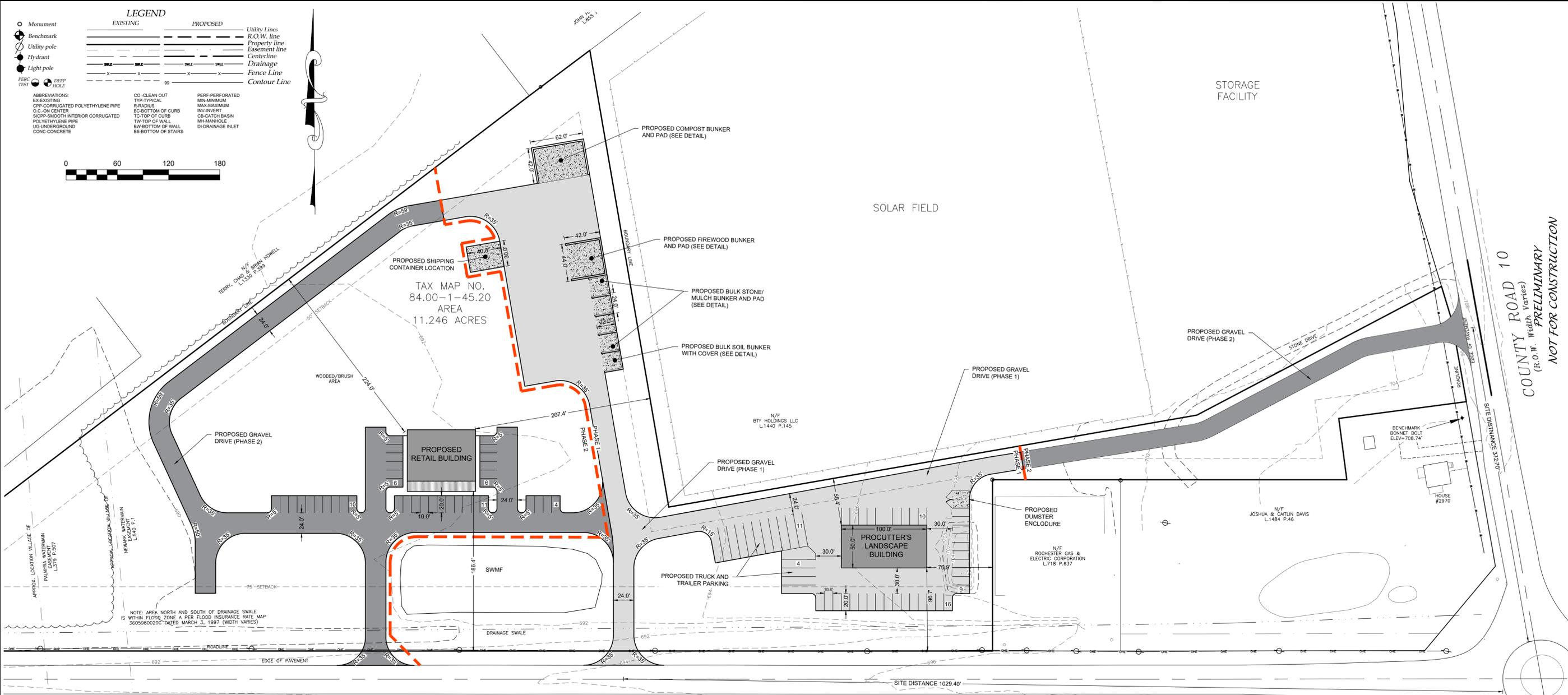
NEW COMMERCIAL SITE PLANS PREPARED FOR:
PROCUITERS LANDSCAPE INC.
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
SHOWING LAND IN:
2970 COUNTY RD 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	RRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=80'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

I CERTIFY THAT THIS PLAN WAS PREPARED FEBRUARY 23, 2022 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED FEBRUARY 7, 2022 AND FROM MATERIALS REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724

It is a violation of NYS Education Law Section 7209 for any person to offer a document bearing the seal of a licensed professional, if a document bearing the seal is altered, the altering professional shall affix to the document their seal and the notation "altered" followed by their signature and the date of such alteration, and a specific description of the alteration.



LEGEND

EXISTING	PROPOSED	Utility Lines
○ Monument	○ Monument	R.O.W. line
● Benchmark	● Benchmark	Property line
○ Utility pole	○ Utility pole	Easement line
○ Hydrant	○ Hydrant	Centerline
○ Light pole	○ Light pole	Drainage
○ PERC TEST	○ DEEP HOLE	Fence Line
		Contour Line

ABBREVIATIONS:
 EX-EXISTING
 C-CORRUGATED POLYETHYLENE PIPE
 O.C.-ON CENTER
 S-I-SMOOTH INTERIOR CORRUGATED
 P-POLYETHYLENE PIPE
 U-UNDERGROUND
 CONC-CONCRETE

CO. CLEAN OUT
 TYP-TYPICAL
 R-RADIUS
 BC-BOTTOM OF CURB
 TC-TOP OF CURB
 TW-TOP OF WALL
 BW-BOTTOM OF WALL
 BS-BOTTOM OF STAIRS

PERF-PERFORATED
 MIN-MINIMUM
 MAX-MAXIMUM
 INV-INVERT
 CB-CATCH BASIN
 MH-MANHOLE
 DI-DRAINAGE INLET



NOTE: AREA NORTH AND SOUTH OF DRAINAGE SWALE IS WITHIN FLOOD ZONE A PER FLOOD INSURANCE RATE MAP 3605980020C DATED MARCH 3, 1997 (WIDTH VARIES)

- GENERAL NOTES:**
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
 - THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
 - PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
 - CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
 - ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARD.
 - ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.
 - NO APPROVALS HAVE BEEN PROVIDED FOR ANY COMMERCIAL SPEECH SIGNS AND ANY FUTURE COMMERCIAL SPEECH SIGNS WILL REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE TOWN OF CANANDAIGUA PLANNING BOARD.
- SITE NOTES:**
- THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
 - THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#360960 0005B DATED SEPTEMBER 29, 1989.
 - WATER SUPPLY: PRIVATE WELL ON-SITE
 - NYS SPDES PERMIT IS REQUIRED FOR THESE CONSTRUCTION ACTIVITIES AS DISTURBANCE SHALL BE GREATER THAN ONE ACRE.
 - ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

- TOWN OF CANANDAIGUA NOTES:**
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN CODE ENFORCEMENT OFFICER, ENGINEER AND ALL CONTRACTORS PRIOR TO START OF CONSTRUCTION.
 - ANY DISTURBED AREAS TO REMAIN FOR A PERIOD LONGER THAN 3 DAYS SHALL BE STABILIZED WITH EROSION CONTROL FABRIC OR OTHER APPROVED EROSION AND SEDIMENT CONTROL PRACTICES.
- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
 - ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
 - SAFETY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK
- PHOSPHOROUS NOTES:**
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

	PROPOSED	REQUIRED
ZONING/USE - PRINCIPAL	COMMERCIAL BUILDINGS	I-INDUSTRIAL
ZONING/USE - ACCESSORY	N/A	N/A
FRONT SETBACK	75'	>75'
SIDE SETBACK	40'	>40'
REAR SETBACK	50'	>50'
BUILDING HEIGHT	<35'	35'
MAX. LOT COVERAGE	<30%	30%

1 SITE PLAN
1"=60'



PLANNING BOARD CHAIRMAN _____ DATE _____
 TOWN ENGINEER _____ DATE _____

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 Fax: 585.695.6205
 www.marksengineering.com bmarks@marksengineering.com

STATE OF NEW YORK
 BRENNAN A
 193182
 PROFESSIONAL ENGINEER
 STAMP

REVISIONS

NO.	DATE	DESCRIPTION OF REVISION

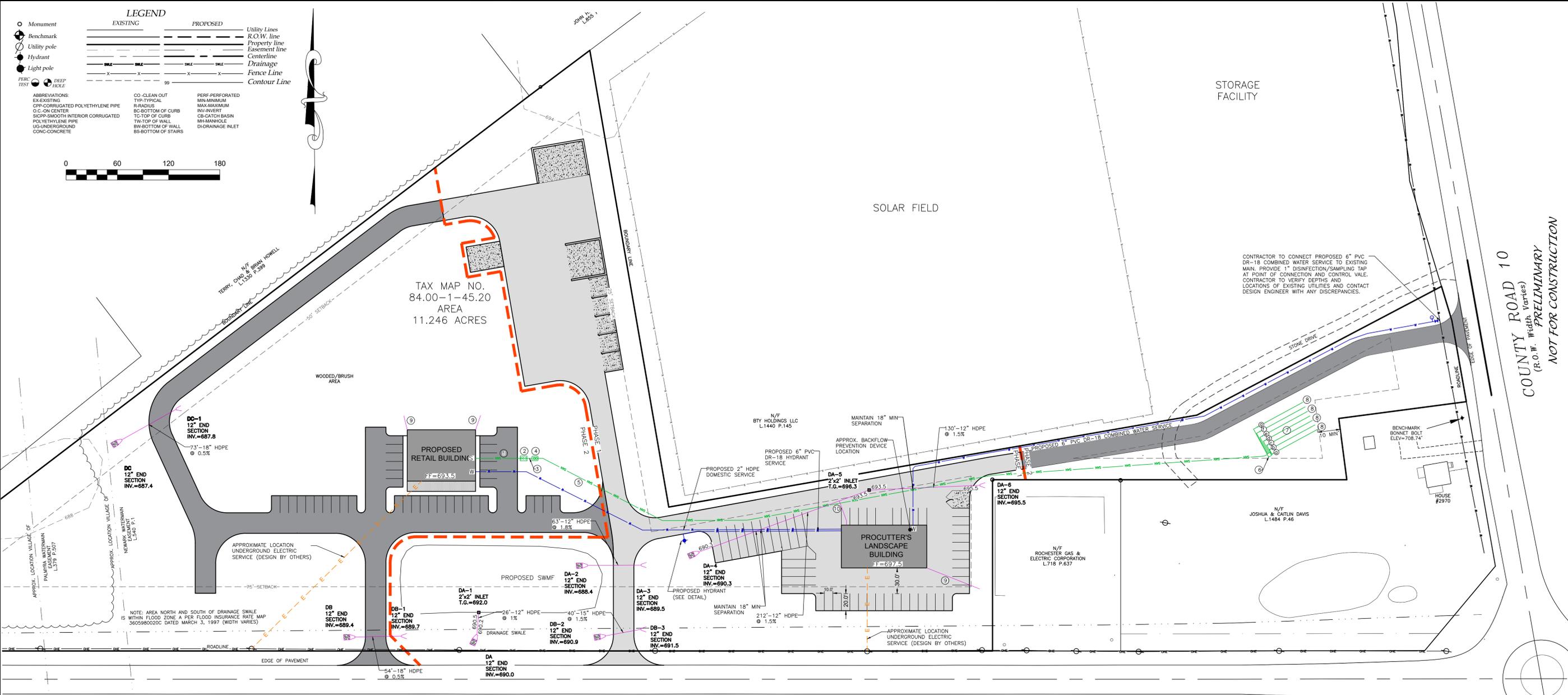
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 NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
 SHOWING LAND IN:
 2970 COUNTY RD 10
 TOWN OF CANANDAIGUA
 COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE:
 SITE PLAN

DRAWN BY: LGR
 DESIGNED BY: LGR
 CHECKED BY: BAM
 SCALE: 1"=60'
 JOB NO.: 21-268
 DATE: 03/01/2022
 TAX MAP#: 84.00-1-111

C100

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TAX MAP NO. 84.00-1-45.20
AREA 11.246 ACRES

SOLAR FIELD

STORAGE FACILITY

COUNTY ROAD 10
(R.O.W. Width Varies)
PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

EXISTING	PROPOSED	Utility Lines
○ Monument	○ Monument	R.O.W. line
● Benchmark	● Benchmark	Property line
○ Utility pole	○ Utility pole	Easement line
○ Hydrant	○ Hydrant	Centerline
○ Light pole	○ Light pole	Drainage
PERC TEST	DEEP HOLE	Fence Line
		Contour Line

ABBREVIATIONS:
 EX-EXISTING
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 O.C.-ON CENTER
 SIPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE
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PERF-PERFORATED
 MIN-MINIMUM
 MAX-MAXIMUM
 INV-INVERT
 CS-CATCH BASIN
 MH-MANHOLE
 DI-DRAINAGE INLET

SOIL DATA

DEEP HOLE SYMBOL	PERCOLATION TESTS - SYMBOL
0-12" TOPSOIL	#1 6, 18, 22, 23 MIN.
12-36" SILT LOAM	#2 10, 25, 26 MIN.

WASTEWATER TREATMENT SYSTEM DESIGN TABLE AND NOTES

DESIGN PERC. RATE (MIN.)	SYSTEM DESIGN FLOW (GPD)	SEPTIC TANK (GAL)	LF TILE REQUIRED (FT)	LENGTH OF LATERALS (FT)	No. OF LATERALS PROVIDED	LF TILE PROVIDED (FT)
21-30 MIN/INCH	500	2,000	420	60	7	420

RETAIL BLDG FIRST FLOOR ELEVATION	INVERT @ BLDG WALL	SEPTIC TANK IN	SEPTIC TANK OUT	PUMP TANK IN	PUMP TANK OUT	DISTRIBUTION BOX IN	DISTRIBUTION BOX OUT	INVERT IN @ BEGINNING OF LEACH LINE	LENGTH OF LEACH LINE	PIPE DROP ACROSS SYSTEM
±693.5	± 690.5	689.3	689.0	688.8	703.4	703.2	(b) 703.00	60'	-0.2	
							(c) 702.50	60'	-0.2	
							(d) 702.25	60'	-0.2	
							(e) 702.00	60'	-0.2	
							(f) 701.75	60'	-0.2	
							(g) 701.50	60'	-0.2	

- SPECIFICATION LEGEND:**
- ALL STRUCTURES, PIPING AND OTHER COMPONENTS TO COMPLY WITH THE NSDSC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTE WATER TREATMENT SYSTEM REQUIREMENTS.
- BUILDING TO SEPTIC TANK - 6" SCH. 40 PVC @ 1/4" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE. 10' MINIMUM SEPARATION DISTANCE BETWEEN BUILDING AND SEPTIC TANK TO BE MAINTAINED.
 - SEPTIC TANK SHALL BE A KISTNER PRODUCTS CONCRETE TANK OR EQUAL. THE TANK SHALL BE DUAL COMPARTMENT WITH A CAPACITY OF 2000 GALLONS WITH A MINIMUM LIQUID SURFACE AREA OF 52 SQ. FT. FOR THE WWTS DESIGN FOR THE PROPOSED SITE.
 - SEPTIC TANK TO PUMP TANK - 4" SCH. 40 PVC @ 1/8" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE.
 - PUMP TANK TO BE 1000 GALLON ROTHPUMP TANK OR EQUIVALENT TO BE EQUIPPED WITH GULLDUS PUMP MODEL WEO5H EFFLUENT PUMP. SEE PUMP TANK DETAILS FOR ADDITIONAL SPECIFICATION REQUIREMENTS.
 - PROPOSED FORCEMAIN TO DISTRIBUTION BOX TO BE 1.5" 160 PSI FORCEMAIN BURIED AT MIN 48" DEEP.
 - DISTRIBUTION BOX SHALL BE A 7" OUTLET MINIMUM, KISTNER PRECAST CONCRETE BOX OR EQUAL AND INSTALLED PER DETAIL.
 - PROPOSED SHALLOW MODIFIED ABSORPTION TRENCH WASTEWATER SYSTEM WITH PREFERRED FILL MATERIAL OF APPROXIMATELY THE SAME PERCOLATION RATE AS THE UNDERLYING PERMEABLE SOIL. FILL MATERIAL, INCLUDING 4" TOPSOIL LAYER, SHALL NOT BE MORE THAN 30 INCHES ABOVE ORIGINAL GRADE. PREFERENCE IS FOR THE TRENCH BOTTOM TO EXTEND INTO THE IN-SITU SOILS TO PROMOTE VERTICAL DISTRIBUTION TO SOILS. ENGINEER SHALL INSPECT PRIOR TO AND AFTER FILL IS PLACED. INSTALL NEW LEACH LINES IN FILL MATERIAL. SEED AND MULCH AND MAINTAIN AS LAWN. LENGTH AND QUANTITY PER WASTEWATER DESIGN TABLE SIZING AND INVERTS.
 - LEACH LINES - 4" PERFORATED PVC PER ASTM D2729 (MINIMUM 3000 LBS CRUSH STRENGTH) @ 1/32" PER FT. MINIMUM AND 1/16" PER FT. MAXIMUM. ALL LINES ARE TO HAVE TIGHT JOINTS.
 - BUILDING FOOTER (AS NECESSARY) AND SEPARATE ROOF DRAINAGE SYSTEMS (6" PVC SDR 21 @ 1 MIN) SHALL DISCHARGE WATER AWAY FROM THE WASTEWATER TREATMENT SYSTEM AND TO THE LOW SIDE OF THE AREA TO BE DEVELOPED.
 - BACKFLOW PREVENTION DEVICE DRAIN - 6" PVC SDR-21 @ 2% MIN. CONNECT TO STORM SEWER AND PROVIDE BACKWATER CHECK VALVE WITHIN BUILDING.

- SEPTIC NOTES:**
- LEACH LINES SHALL NOT CROSS WATER OR GAS LINES.
 - FOUNDATION DRAINS OF UNMAINTAINED GROUNDWATER SHALL DISCHARGE ONTO SPLASH BLOCKS OR DAYLIGHT.
 - ALL NON-WASTEWATER FLOWS ARE TO BE DIVERTED AWAY FROM THE SEPTIC SYSTEM.
 - THE PROPOSED ABSORPTION FIELD AREA SHOULD BE STAKED OUT TO PREVENT ENTRY OF VEHICLES AND MATERIALS. IF THIS AREA IS DISTURBED, NEW PERCOLATION TESTS MAY BE REQUIRED AND SEPTIC SYSTEM APPROVAL MAY BE REVOKED. CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS FOR REDESIGN AND REMEDIATION IF THE AREA OF THE ABSORPTION FIELD IS DISTURBED BEFORE OR AFTER SYSTEM INSTALLATION.
 - RISER TO GRADE IS REQUIRED IF THE DIFFERENCE BETWEEN THE FINISHED GRADE AND TOP OF SEPTIC TANK EXCEEDS 12".

- CONSTRUCTION PROCEDURES:**
- HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE AREA OF THE SYSTEM. THE ORIGINAL SOIL MUST BE LEFT IN PLACE. THE SOIL MUST NOT BE WET DURING WWTS INSTALLATION.
 - NO STANDING WATER IN THE WWTS AREA IS ALLOWED.
 - EXCAVATED TRENCH MATERIAL MUST BE PLACED ON THE EDGE OF THE TRENCHES AND PUSHED INTO PLACE BY A BULLDOZER OR TRACKED MACHINE WHILE MAINTAINING AT LEAST SIX (6) INCHES OF FILL UNDER THE TRACKS.
 - THE ABSORPTION TRENCHES SHALL BE CONSTRUCTED IN THE INSITU MATERIAL.
 - THE ENTIRE SURFACE OF THE SYSTEM, SHALL BE PROVIDED / COVERED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL MOUND TO ENHANCE RUNOFF FROM THE SYSTEM AND SEEDED TO GRASS.
 - SWALES SHALL BE CONSTRUCTED TO DIVERT SURFACE WATER AROUND THE SYSTEM AND PROVIDE DRAINAGE AWAY FROM THE SYSTEM.

UTILITY PLAN
1"=60'

- UTILITY NOTES:**
- GENERAL:**
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF CANANDAIGUA.
 - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA, THE APPROPRIATE AGENCIES UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 - HIGHWAY DRAINAGE ALONG COUNTY ROAD 46 & 10 IS TO BE MAINTAINED.
- WATER NOTES:**
- WATER SERVICES AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA.
 - MINIMUM SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE WATER SERVICE CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER SERVICE.
 - WATER METERS ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING GREATER THAN 1" METER, A BY-PASS AROUND THE METER IS REQUIRED.
- STORM SEWER NOTES:**
- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION REQUIREMENTS.
 - STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN.

PLANNING BOARD CHAIRMAN _____ DATE _____
 TOWN ENGINEER _____ DATE _____

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 CANANDAIGUA, NY 14424
 Phone: 585.695.0330
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STATE OF NEW YORK
 BRENNAN A. WOOD
 193182
 PROFESSIONAL ENGINEER
 STAMP

REVISIONS

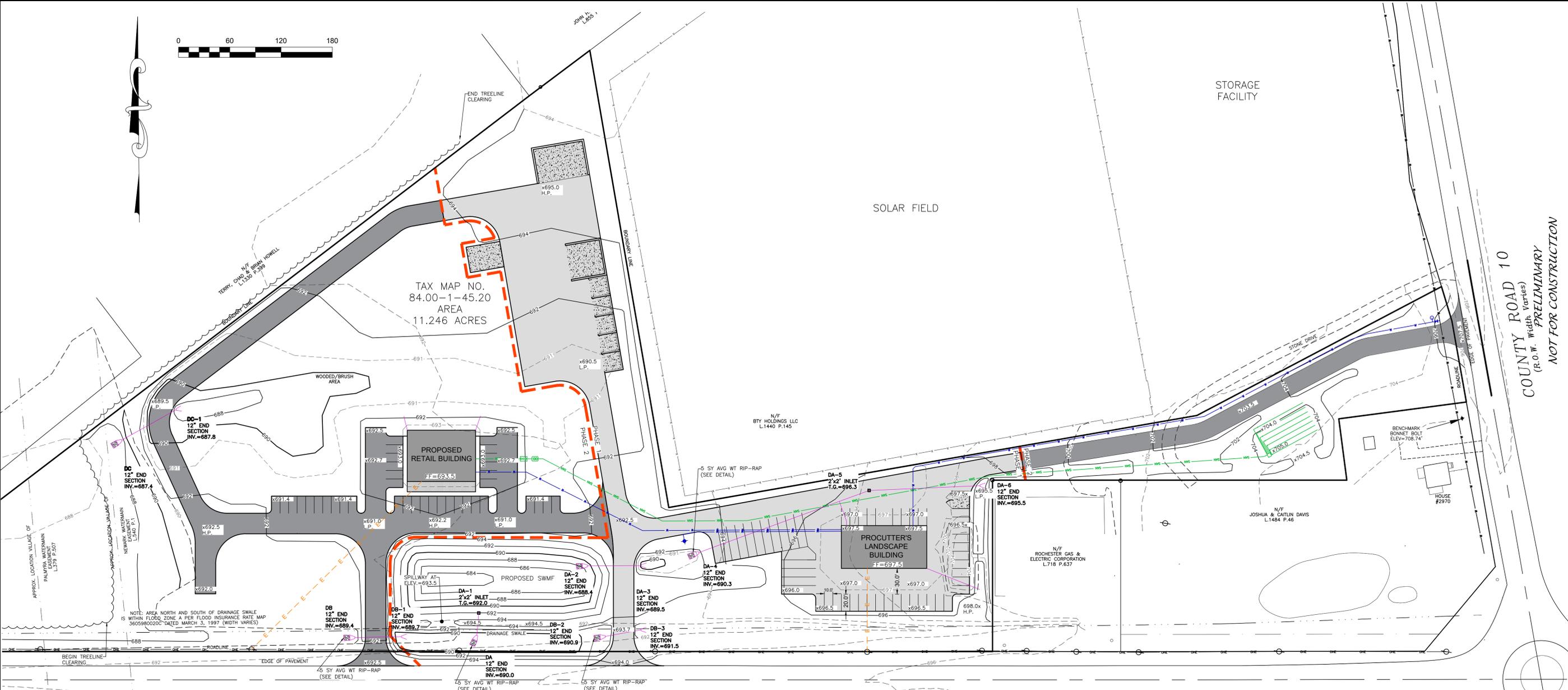
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PROCUITTERS LANDSCAPE INC.
 NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
 SHOWING LAND IN:
 2970 COUNTY RD 10
 TOWN OF CANANDAIGUA
 COUNTY OF ONTARIO
 STATE OF NEW YORK

DRAWING TITLE:
UTILITY PLAN

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

C200



TAX MAP NO.
84.00-1-45.20
AREA
11.246 ACRES

SOLAR FIELD

STORAGE FACILITY

COUNTY ROAD 10
(R.O.W. Width Varies)
PRELIMINARY
NOT FOR CONSTRUCTION

COUNTY ROAD 46
(66' R.O.W.)

GRADING NOTES:

- CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- SEPTIC TANK EFFLUENT SHALL NOT INFILTRATE OR DISCHARGE TO THE COUNTY HIGHWAY DRAINAGE DITCH.
- NO CUT OR FILL SHALL BE MADE IN THE AREA OF THE LEACH FIELDS.
- SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
- TOPSOIL SHALL BE STRIPPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).

1 GRADING PLAN
1"=60'

LEGEND

○ Monument	— EXISTING	— PROPOSED	Utility Lines
⊙ Benchmark	— RADIUS	— RADIUS	R.O.W. line
⊙ Utility pole	— O.C. ON CENTER	— O.C. ON CENTER	Property line
⊙ Hydrant	— TW-TOP OF WALL	— TW-TOP OF WALL	Easement line
⊙ Light pole	— BW-BOTTOM OF WALL	— BW-BOTTOM OF WALL	Centerline
⊙ PERK TEST	— 99	— 99	Drainage
⊙ DEEP HOLE			Fence Line
			Contour Line

ABBREVIATIONS:

CO-CLEAN OUT	FERR-PERFORATED
EX-EXISTING	MIN-MINIMUM
CPP-CORRUGATED POLYETHYLENE PIPE	MAX-MAXIMUM
R-RADIUS	INV-INVERT
O.C.-ON CENTER	CB-CATCH BASIN
SI-PP-SMOOTH INTERIOR CORRUGATED	IRI-MANHOLE
TI-TOP OF CURB	DI-DRAINAGE INLET
PL-POLYETHYLENE PIPE	
UG-UNDERGROUND	
CONC-CONCRETE	
BS-BOTTOM OF STAIRS	

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STAMP

NO.	DATE	REVISIONS	BY

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NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
SHOWING LAND IN:
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STATE OF NEW YORK

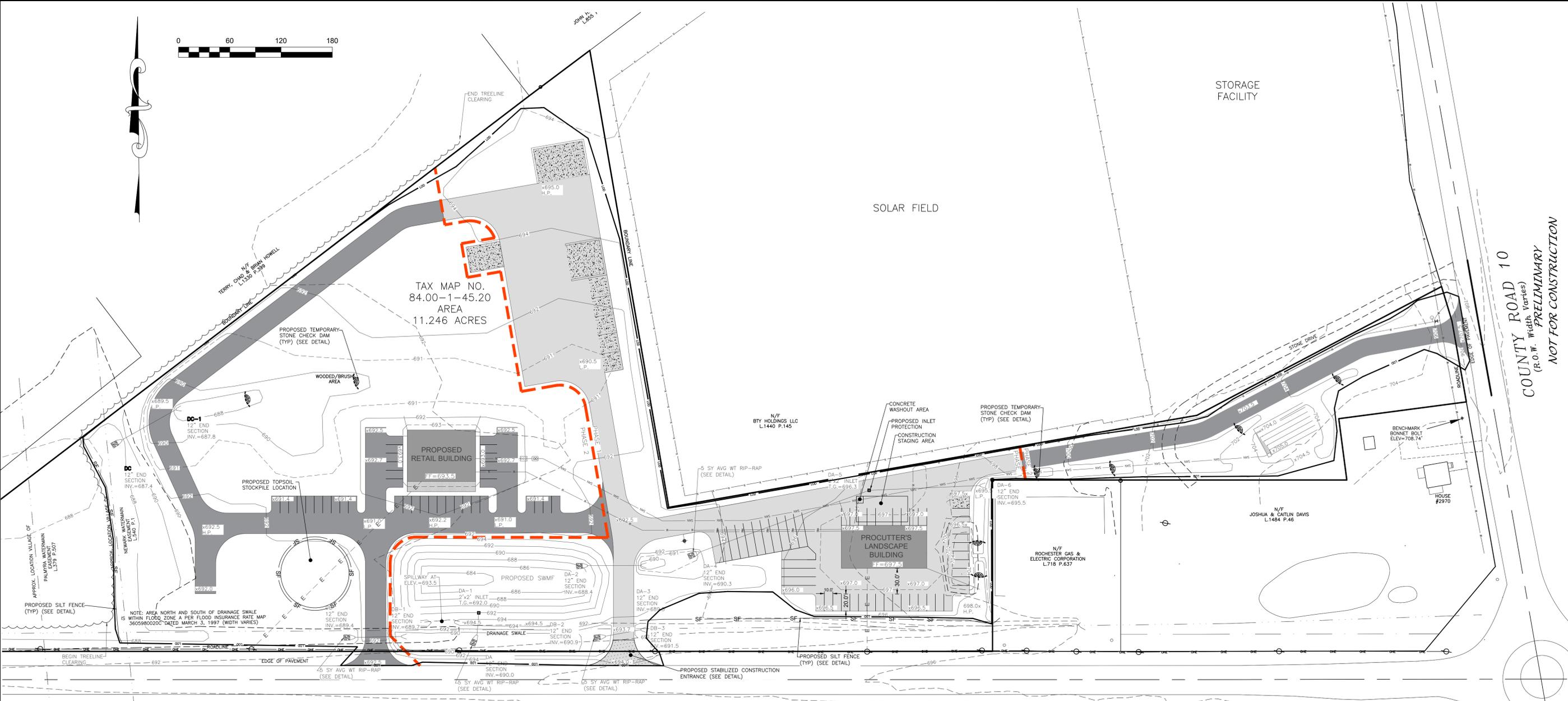
DRAWING TITLE:
GRADING PLAN

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

PLANNING BOARD CHAIRMAN _____ DATE _____
TOWN ENGINEER _____ DATE _____

C300

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SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE.
- COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS. COMPLETE REQUIRED CUTS AND FILLS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH A MINIMUM 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND PAVEMENT/DRIVEWAY. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- INSTALL PAVEMENT/DRIVEWAY WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.

STEP 3: (STABILIZATION & MONITORING)

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
- MONITOR STORMWATER MANAGEMENT FACILITY DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

COUNTY ROAD 46
(66' R.O.W.)

1 CONSTRUCTION EROSION CONTROL PLAN
1"=60'

CONSTRUCTION EROSION CONTROL NOTES:

1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5 ACRES OF DISTURBANCE OR THREE DAYS BETWEEN NOVEMBER 15TH AND APRIL 1ST).
4. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
5. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.

8. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

9. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.

10. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

LEGEND

<ul style="list-style-type: none"> ○ Monument ⊕ Benchmark ⊙ Utility pole ⊙ Hydrant ⊙ Light pole PERF PERFORATED TEST DEEP HOLE 	<p>ABBREVIATIONS:</p> <table border="0"> <tr> <td>EX-EXISTING</td> <td>CO-CLEAN OUT</td> <td>PERF-PERFORATED</td> </tr> <tr> <td>CPP-CORRUGATED POLYETHYLENE PIPE</td> <td>R-RADIUS</td> <td>MIN-MINIMUM</td> </tr> <tr> <td>OC-ON CENTER</td> <td>SC-BOTTOM OF CURB</td> <td>MAX-MAXIMUM</td> </tr> <tr> <td>SIPP-SMOOTH INTERIOR CORRUGATED</td> <td>TC-TOP OF CURB</td> <td>INV-INVERT</td> </tr> <tr> <td>POLYETHYLENE PIPE</td> <td>TW-TOP OF WALL</td> <td>MB-MANHOLE</td> </tr> <tr> <td>US-UNDERGROUND</td> <td>BW-BOTTOM OF WALL</td> <td>CB-CATCH BASIN</td> </tr> <tr> <td>CONC-CONCRETE</td> <td>BS-BOTTOM OF STAIRS</td> <td>DI-DRAINAGE INLET</td> </tr> </table>	EX-EXISTING	CO-CLEAN OUT	PERF-PERFORATED	CPP-CORRUGATED POLYETHYLENE PIPE	R-RADIUS	MIN-MINIMUM	OC-ON CENTER	SC-BOTTOM OF CURB	MAX-MAXIMUM	SIPP-SMOOTH INTERIOR CORRUGATED	TC-TOP OF CURB	INV-INVERT	POLYETHYLENE PIPE	TW-TOP OF WALL	MB-MANHOLE	US-UNDERGROUND	BW-BOTTOM OF WALL	CB-CATCH BASIN	CONC-CONCRETE	BS-BOTTOM OF STAIRS	DI-DRAINAGE INLET
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US-UNDERGROUND	BW-BOTTOM OF WALL	CB-CATCH BASIN																				
CONC-CONCRETE	BS-BOTTOM OF STAIRS	DI-DRAINAGE INLET																				

EXISTING PROPOSED

Utility Lines
R.O.W. line
Property line
Easement line
Centerline
Drainage
Fence Line
Contour Line

STORAGE FACILITY

SOLAR FIELD

TAX MAP NO.
84.00-1-45.20
AREA
11.246 ACRES

PROPOSED RETAIL BUILDING
FF=693.5

PROCUTTER'S LANDSCAPE BUILDING
FF=697.5

N/F ROCHESTER GAS & ELECTRIC CORPORATION
L1484 P-637

N/F JOSHUA & CATLIN DAVIS
L1484 P-46

COUNTY ROAD 10
(R.O.W. Width Varies)
PRELIMINARY
NOT FOR CONSTRUCTION

MarksEngineering

4.3 BRENAN LT
CANANDAIGUA, NY 14424
www.marksengineering.com bmarks@marksengineering.com

Phone: 585.695.0300
Fax: 585.695.6205

STATE OF NEW YORK
BRENNAN A. WAGNER
Professional Engineer
No. 193182

REVISIONS

NO.	DATE	DESCRIPTION OF REVISION	BY

NEW COMMERCIAL SITE PLANS PREPARED FOR:
PROCUTTER'S LANDSCAPE INC.
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY

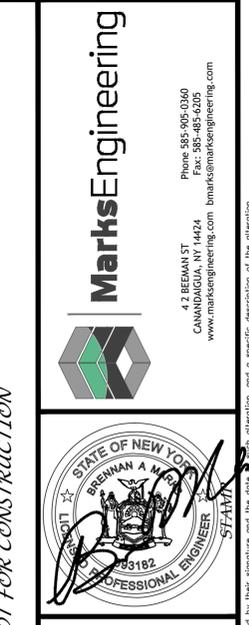
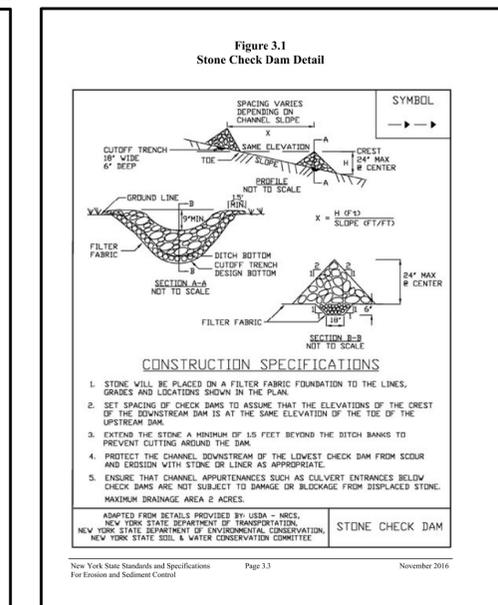
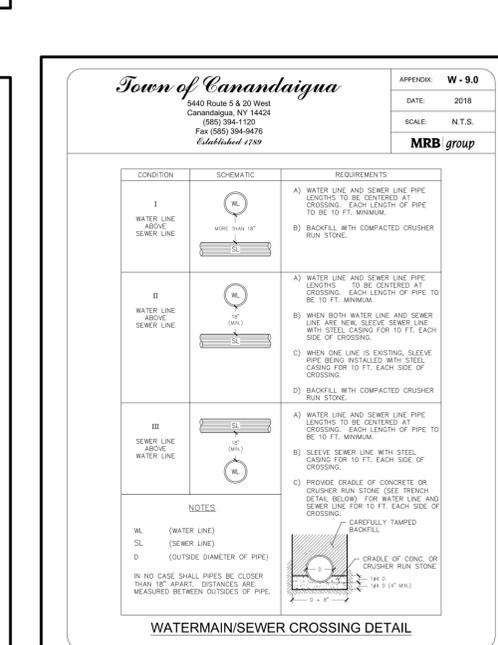
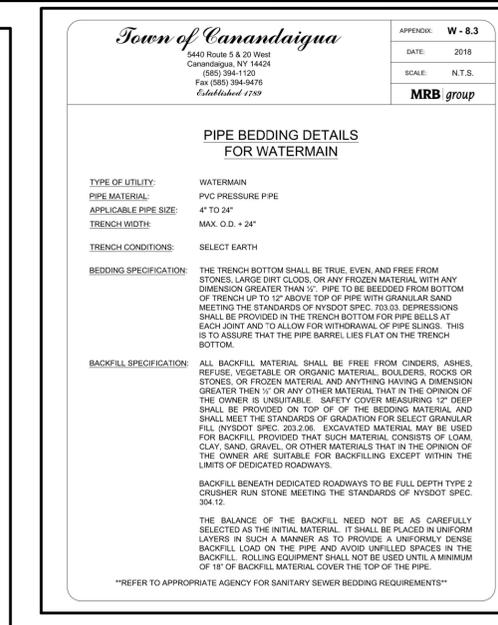
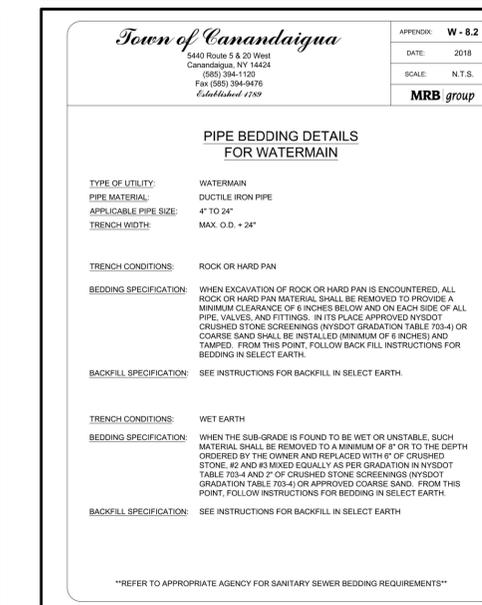
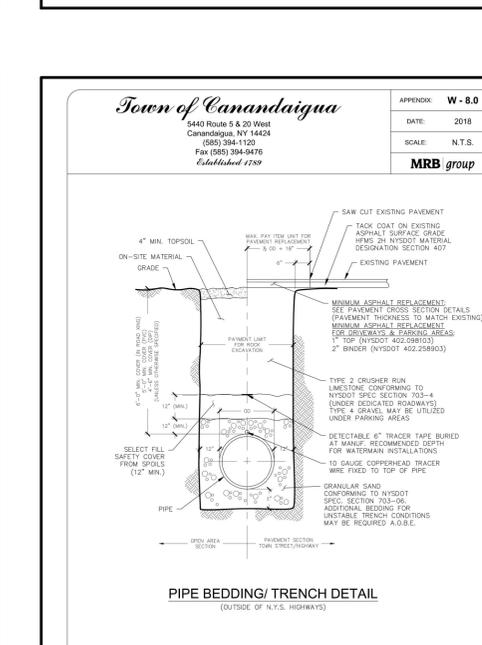
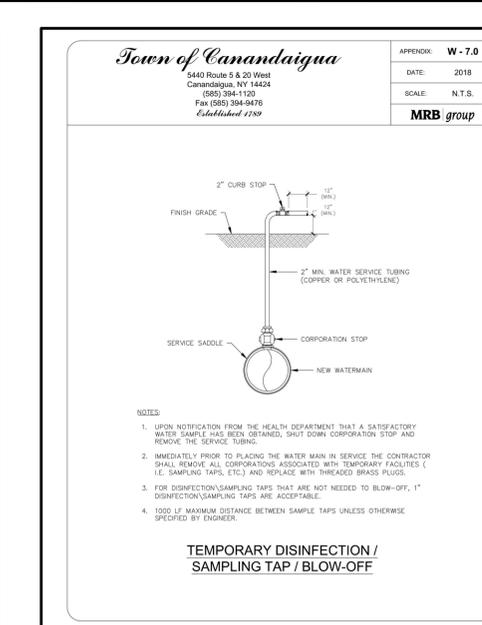
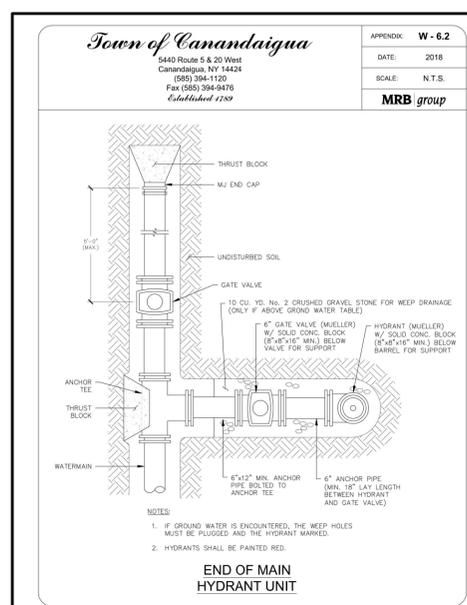
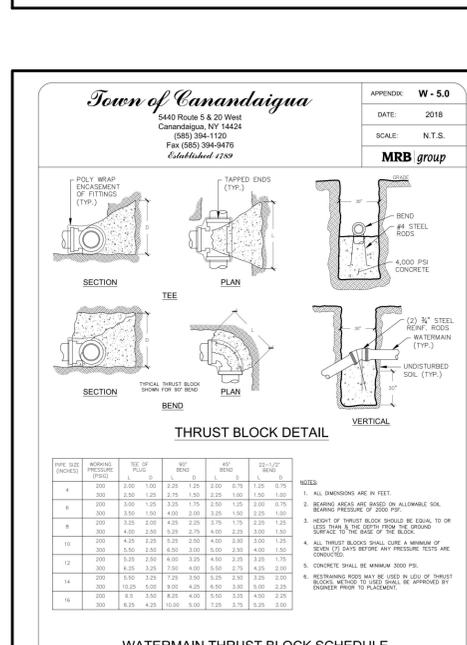
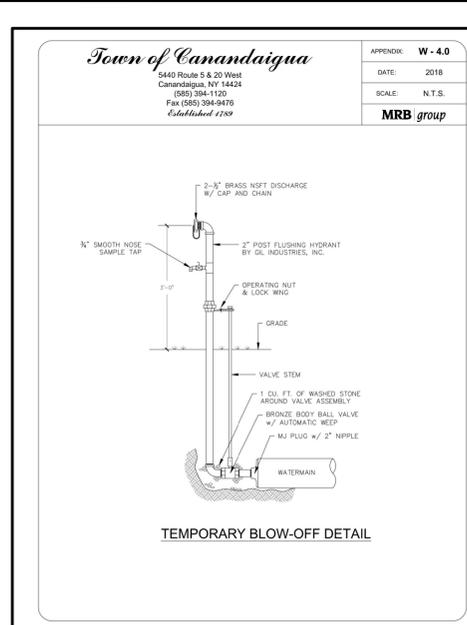
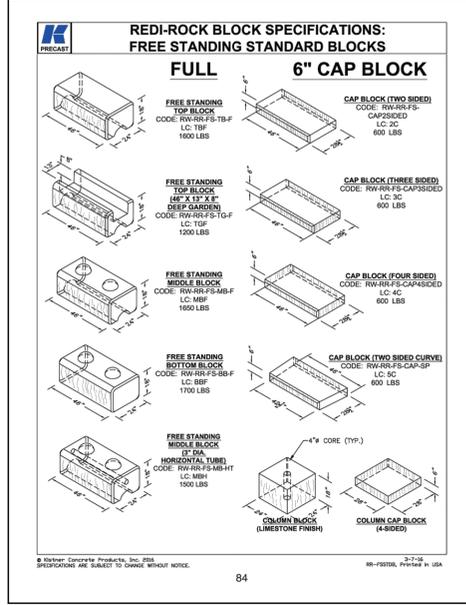
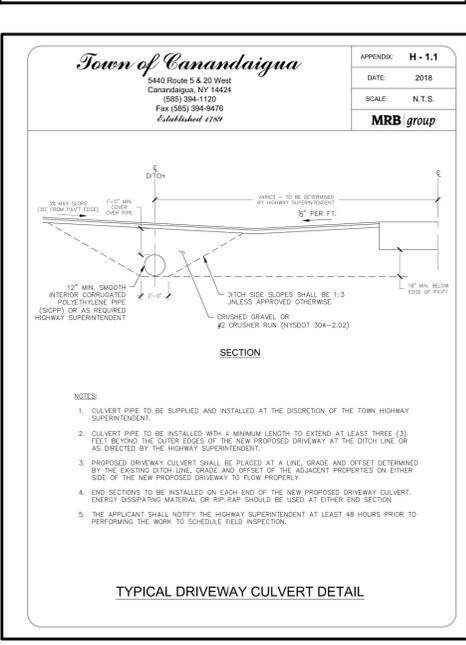
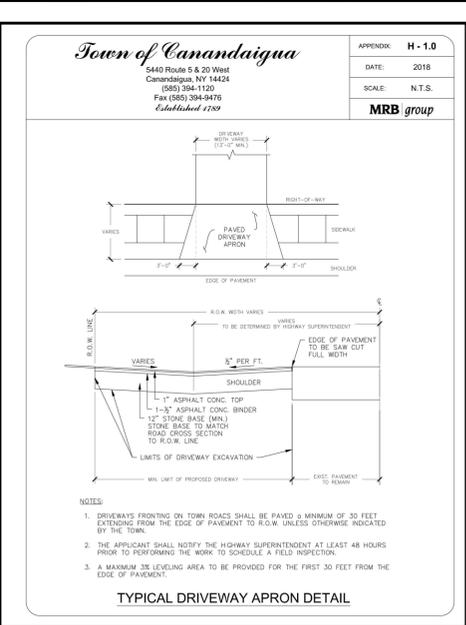
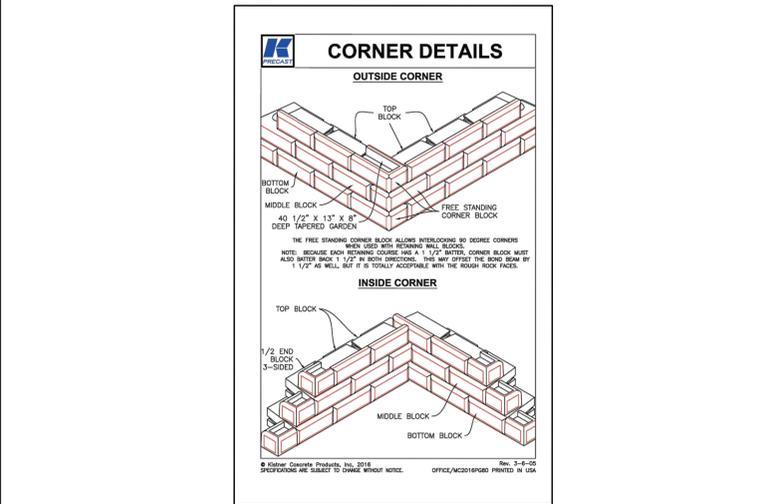
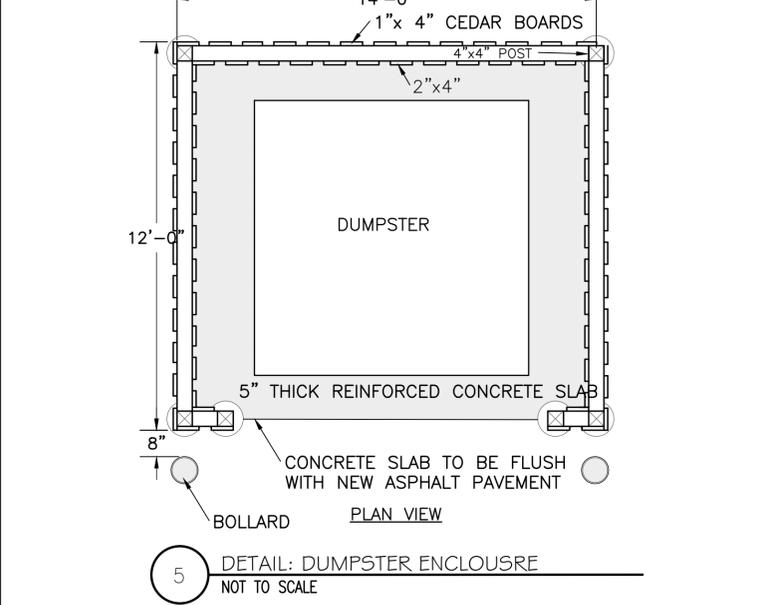
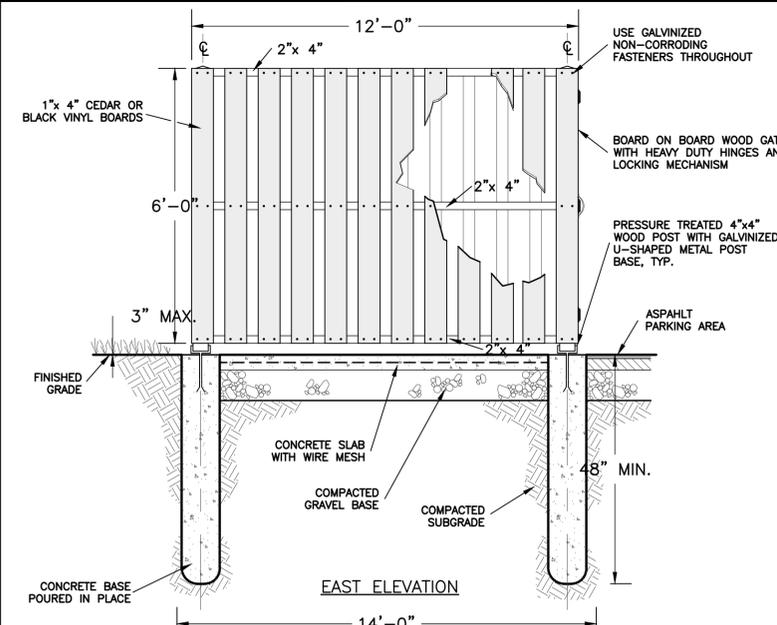
SHOWING LAND IN:
2970 COUNTY RD 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

DRAWING TITLE: CONSTRUCTION EROSION CONTROL PLAN

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN ENGINEER _____ DATE _____



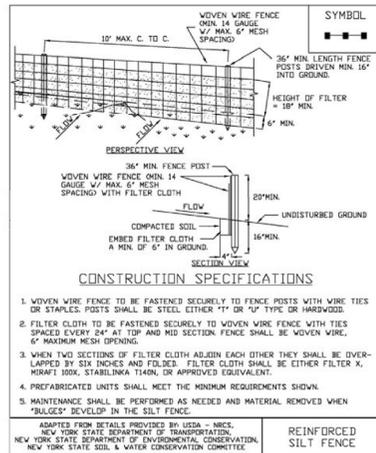
NO.	DATE	DESCRIPTION OF REVISION

NEW COMMERCIAL SITE PLANS PREPARED FOR:
PRO-CUTTERS LANDSCAPE INC.
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
 SHOWING LAND IN:
 2970 COUNTY RD 10
 TOWN OF CANANDAIGUA
 COUNTY OF ONTARIO
 STATE OF NEW YORK

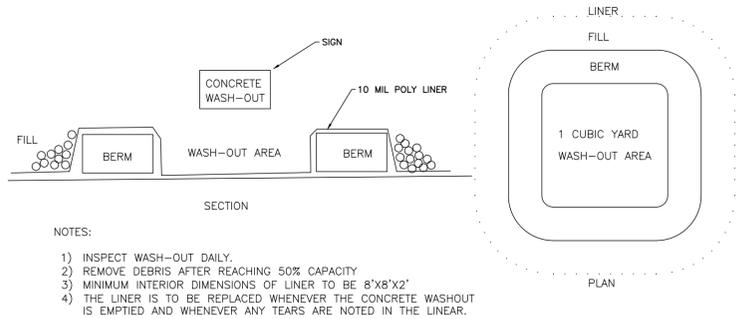
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DRAWN BY: JMW
 DESIGNED BY: JMW
 CHECKED BY: BAM
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 JOB NO.: 21-268
 DATE: 03/01/2022
 TAX MAP#: 84.00-1-111

Figure 5.30 Reinforced Silt Fence



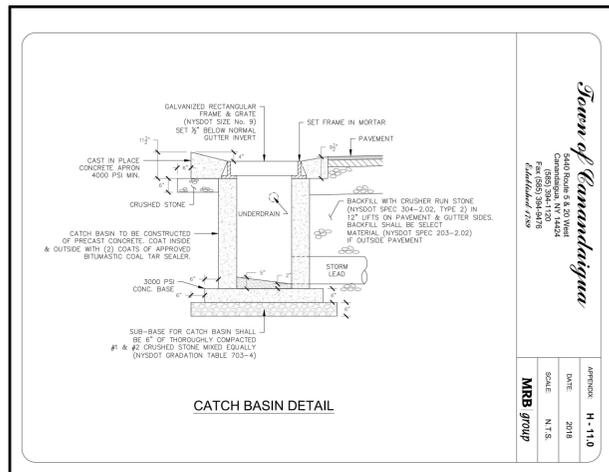
November 2016
Page 5.56
New York State Standards and Specifications
For Erosion and Sediment Control



NOTES:

- 1) INSPECT WASH-OUT DAILY.
- 2) REMOVE DEBRIS AFTER REACHING 50% CAPACITY
- 3) MINIMUM INTERIOR DIMENSIONS OF LINER TO BE 8'X8'X2'
- 4) THE LINER IS TO BE REPLACED WHENEVER THE CONCRETE WASHOUT IS EMPTIED AND WHENEVER ANY TEARS ARE NOTED IN THE LINER.

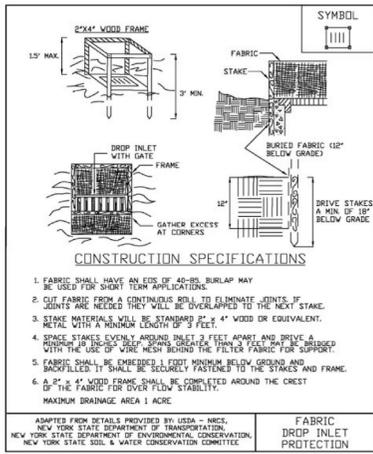
CONCRETE WASHOUT N.T.S



State of New York
Department of Transportation
Division of Environmental Conservation
Division of Soil & Water Conservation
Approved for use
MRR group

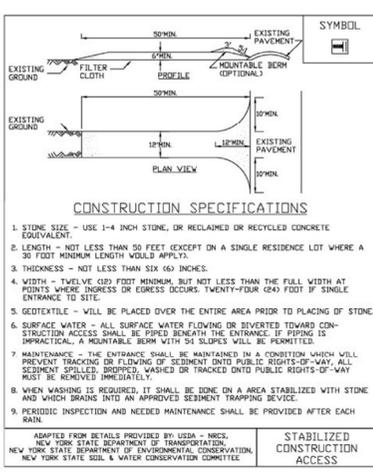
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APPENDIX: H-11.0

Figure 5.32 Fabric Drop Inlet Protection

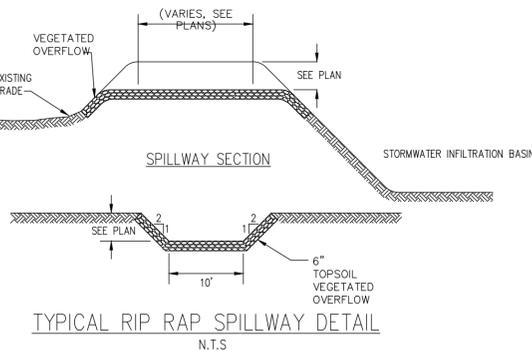


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For Erosion and Sediment Control
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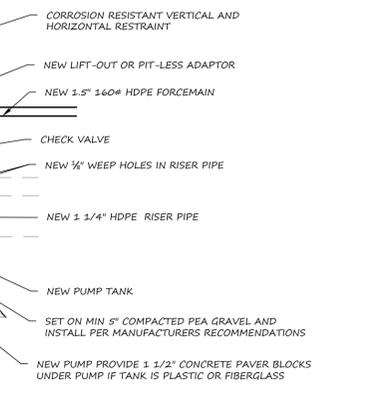
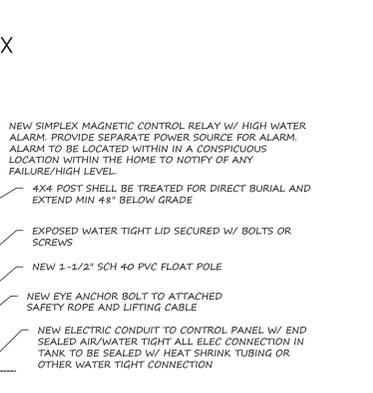
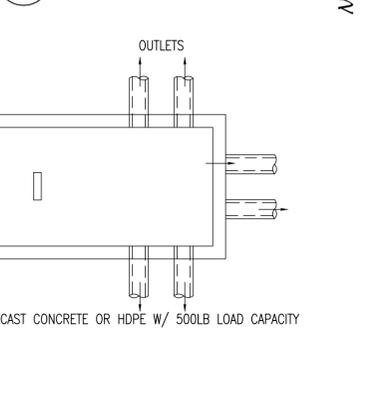
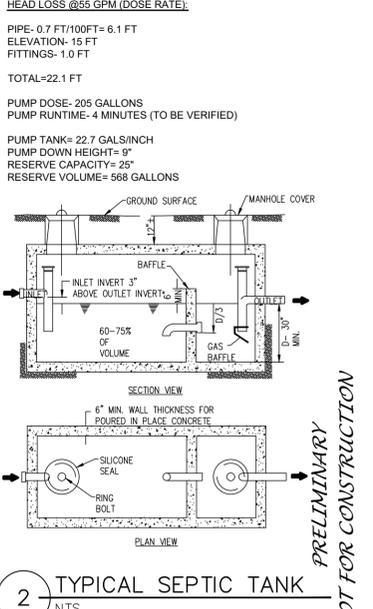
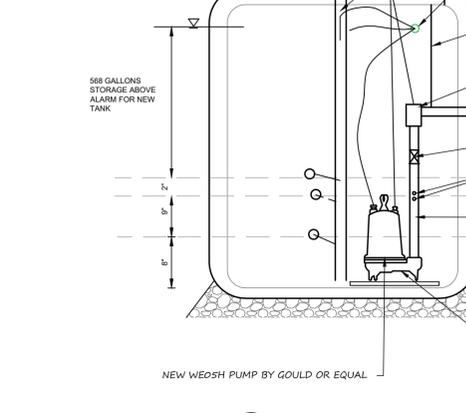
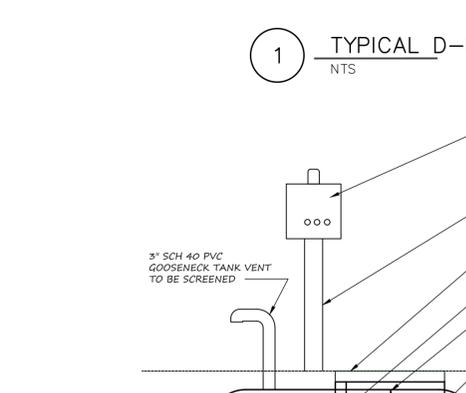
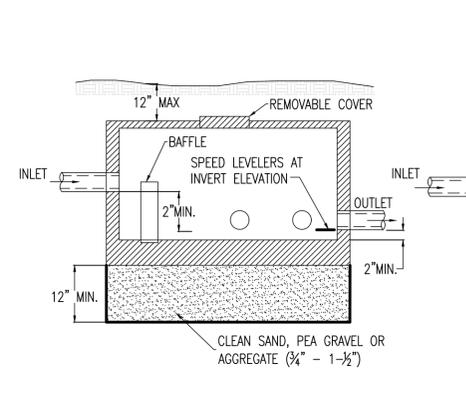
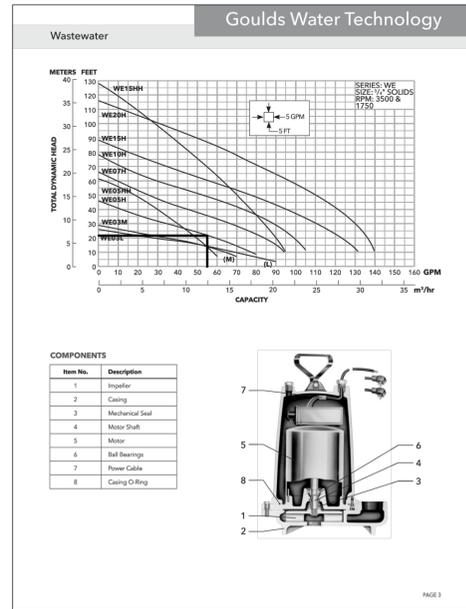
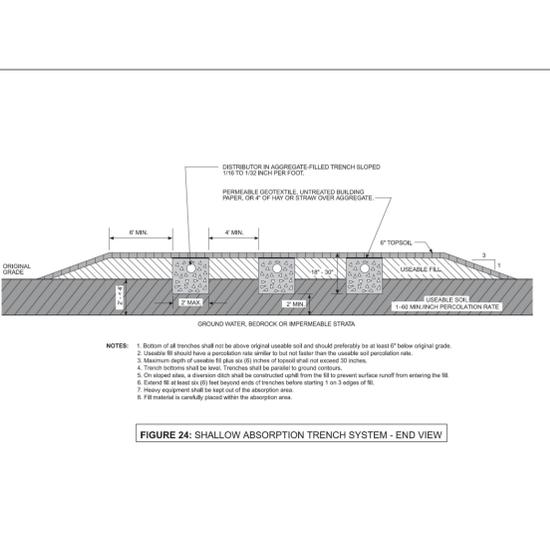
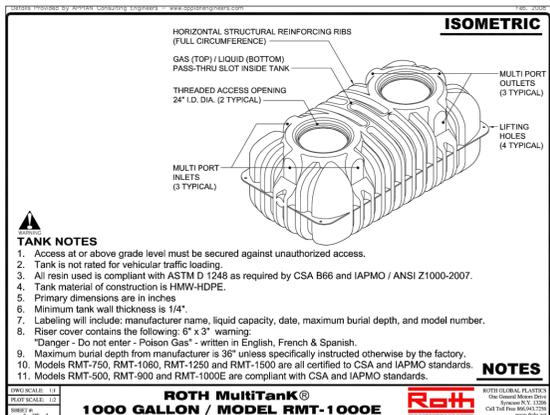
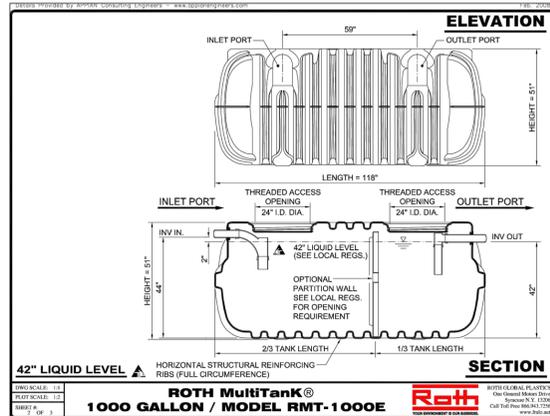
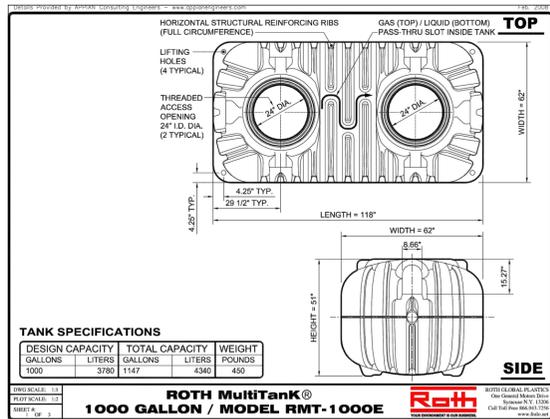
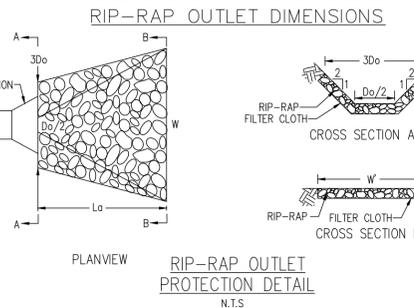
Figure 2.1 Stabilized Construction Access



New York State Standards and Specifications
For Erosion and Sediment Control
Page 2.31
November 2016



DESIGNATION	DIA. OF PIPE D _o	3D _o	L _o	W	S.Y. OF RIP-RAP
UPPER CULVERT	12"	3'	4'	5'	5 SY
LOWER CULVERT	12"	3'	4'	5'	5 SY
ROOF LEADERS	6"	1.5'	4'	5'	5 SY



Marks Engineering
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Fax: 585.895.6205
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STATE OF NEW YORK
BRENNAN A. WILSON
Professional Engineer
No. 193182

REVISIONS
NO. DATE DESCRIPTION OF REVISION BY

NEW COMMERCIAL SITE PLANS PREPARED FOR:
PRO CUTTERS LANDSCAPE INC.
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY
SHOWING LAND IN:
2970 COUNTY RD 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO

DRAWING TITLE: DETAIL SHEET

DRAWN BY: JWJ
DESIGNED BY: JWJ
CHECKED BY: BAM
SCALE: N/A
JOB NO.: 21-268
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TAX MAP#: 84.00-1-111