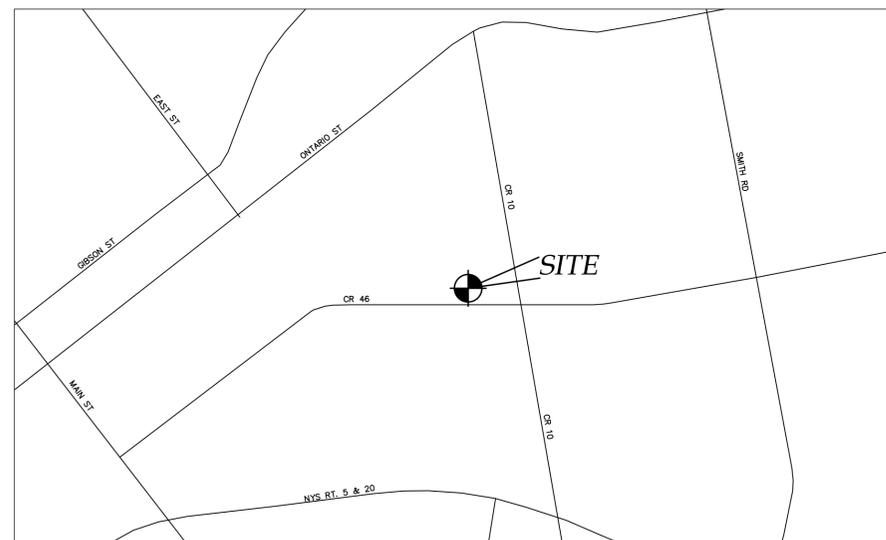


NEW COMMERCIAL SITE PLAN:  
**PRO-CUTTERS LANDSCAPE INC.**

2970 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
MARCH 1, 2022

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COVER  
EX100 - EXISTING CONDITIONS MAP  
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L100 - LANDSCAPE PLAN  
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C501 - DETAILS



LOCATION MAP  
NTS



AERIAL PHOTO  
NTS



NOT FOR CONSTRUCTION



**MarksEngineering**

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PREPARED FOR:  
STEVE PISAREK

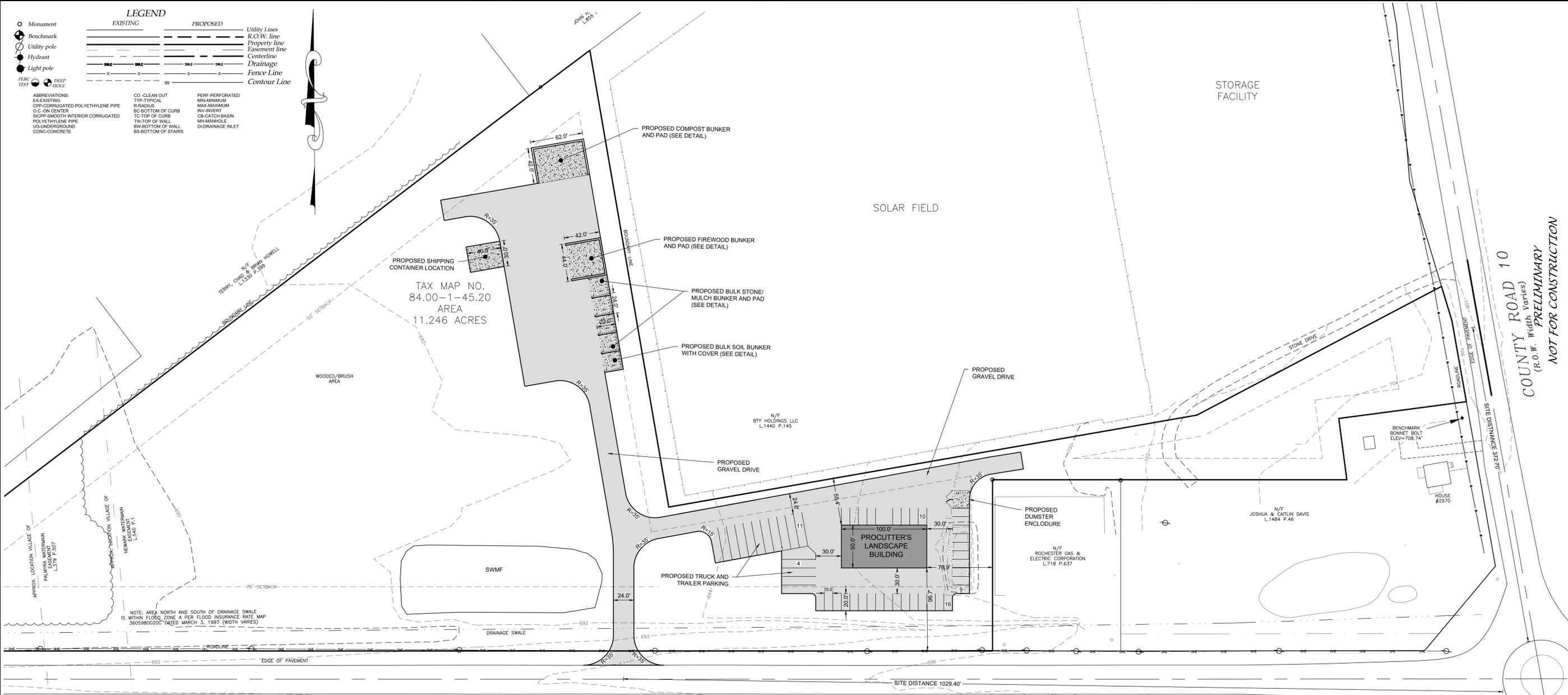
PROPERTY OWNER:  
STEVE PISAREK  
PO BOX 589  
CANANDAIGUA, NEW YORK  
14424

REVISED

PRO-CUTTERS  
2870 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
NEW YORK

JOB #21-268  
03/01/2021





**LEGEND**

EXISTING		PROPOSED		Utility Lines
○	Monument	○	Monument	R.O.W. line
●	Benchmark	●	Benchmark	Property line
○	Utility pole	○	Utility pole	Easement line
○	Hydrant	○	Hydrant	Centerline
○	Light pole	○	Light pole	Drainage
○	PERC TEST	○	DEEP HOLE	Fence Line
○	ABBREVIATIONS:	CO. CLEAN OUT	PERF-PERFORATED	Contour Line
○	EX-EXISTING	TYP-TYPICAL	MIN-MINIMUM	
○	CP-CORRUGATED POLYETHYLENE PIPE	R-RADIUS	MAX-MAXIMUM	
○	O.C.-ON CENTER	BC-BOTTOM OF CURB	INV-INVERT	
○	SI-SMOOTH INTERIOR CORRUGATED	TC-TOP OF CURB	CS-CATCH BASIN	
○	POLYETHYLENE PIPE	TW-TOP OF WALL	MH-MANHOLE	
○	US-UNDERGROUND	BIW-BOTTOM OF WALL	D-DRAINAGE INLET	
○	CONC-CONCRETE	BS-BOTTOM OF STAIRS		

NOTE: AREA NORTH AND SOUTH OF DRAINAGE SWALE IS WITHIN FLOOD ZONE A PER FLOOD INSURANCE RATE MAP 3605980020C DATED MARCH 3, 1997 (WIDTH VARIES)

- GENERAL NOTES:**
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
  - THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCINGS, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
  - PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
  - CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
  - ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARD.
  - ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.
  - NO APPROVALS HAVE BEEN PROVIDED FOR ANY COMMERCIAL SPEECH SIGNS AND ANY FUTURE COMMERCIAL SPEECH SIGNS WILL REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE TOWN OF CANANDAIGUA PLANNING BOARD.
- SITE NOTES:**
- THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
  - THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#360960 0005B DATED SEPTEMBER 29, 1989.
  - WATER SUPPLY: PRIVATE WELL ON-SITE
  - NYS SPDES PERMIT IS REQUIRED FOR THESE CONSTRUCTION ACTIVITIES AS DISTURBANCE SHALL BE GREATER THAN ONE ACRE.
  - ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

- TOWN OF CANANDAIGUA NOTES**
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN CODE ENFORCEMENT OFFICER, ENGINEER AND ALL CONTRACTORS PRIOR TO START OF CONSTRUCTION.
  - ANY DISTURBED AREAS TO REMAIN FOR A PERIOD LONGER THAN 3 DAYS SHALL BE STABILIZED WITH EROSION CONTROL FABRIC OR OTHER APPROVED EROSION AND SEDIMENT CONTROL PRACTICES.
- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
  - ELC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
  - SAFETY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK
- PHOSPHOROUS NOTES:**
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
  - IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

	BULK TABLE	
	PROPOSED	REQUIRED
ZONING/USE - PRINCIPAL	COMMERCIAL BUILDINGS	I-INDUSTRIAL
ZONING/USE - ACCESSORY	N/A	N/A
FRONT SETBACK	75'	75'
SIDE SETBACK	40'	40'
REAR SETBACK	50'	50'
BUILDING HEIGHT	<35'	35'
MAX. LOT COVERAGE	<30%	30%

**1 SITE PLAN**  
1"=60'

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

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STATE OF NEW YORK  
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NO.	DATE	REVISIONS	BY

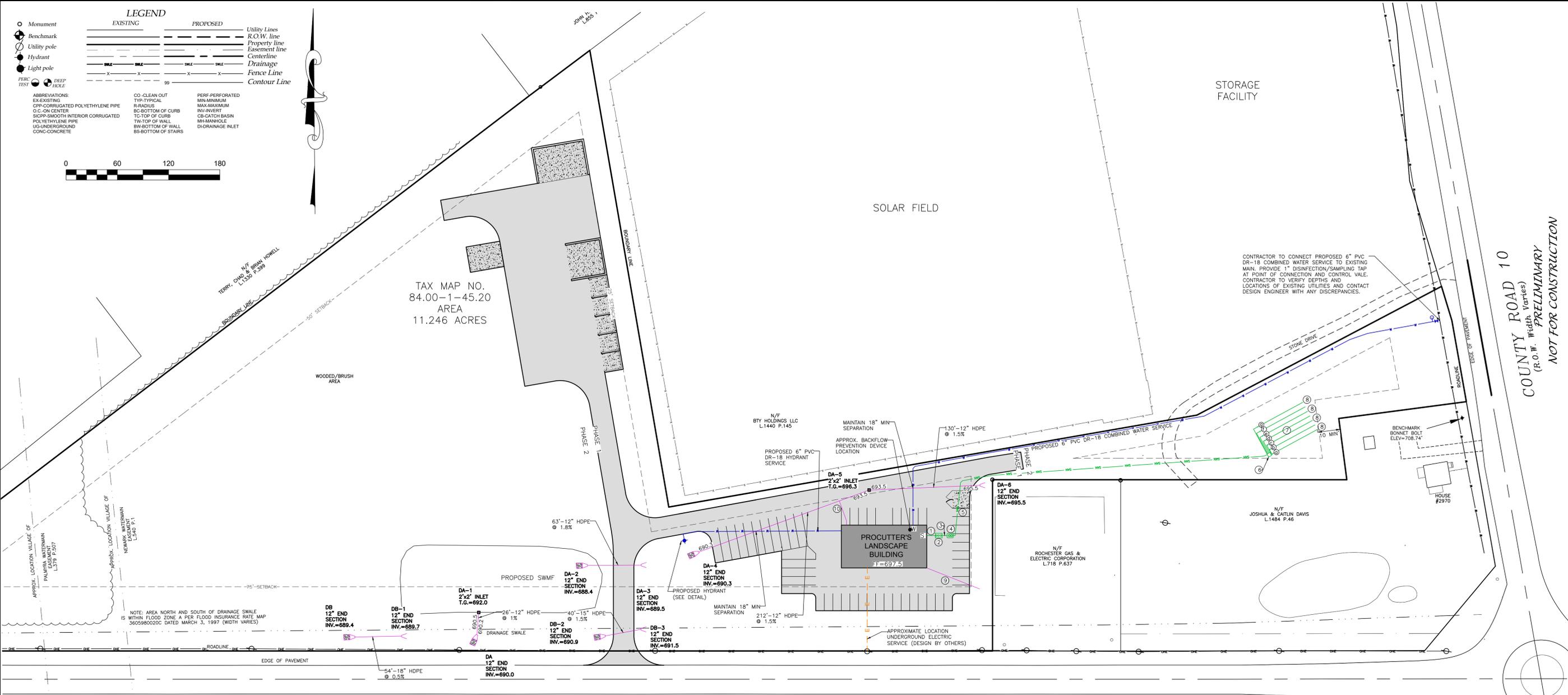
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NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
STATE OF NEW YORK

DRAWING TITLE:  
SITE PLAN

DRAWN BY:	LGR
DESIGNED BY:	LGR
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

**C100**

It is a violation of NYS Education Law Section 7209 for any person to offer a document bearing the seal or the notation "prepared by" followed by their signature and the date of such preparation, and a specific description of the alteration.



**SOIL DATA**

DEEP HOLE SYMBOL	DEPTH (MIN.)	PERCOLATION TESTS - SYMBOL	RESULTS
0-12" TOPSOIL	#1	6, 18, 22, 23 MIN.	
12-36" SILT LOAM	#2	10, 25, 26 MIN.	

**WASTEWATER TREATMENT SYSTEM DESIGN TABLE AND NOTES**

DESIGN PERC. RATE (MIN.)	SYSTEM DESIGN FLOW (GPD)	SEPTIC TANK (GAL)	LF TILE REQUIRED (FT)	LENGTH OF LATERALS (FT)	No. OF LATERALS PROVIDED	LF TILE PROVIDED (FT)
21-30 MIN./INCH	500	2,000	420	60	7	420

- SPECIFICATION LEGEND:**
- ALL STRUCTURES, PIPING AND OTHER COMPONENTS TO COMPLY WITH THE NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTE WATER TREATMENT SYSTEM REQUIREMENTS.
- BUILDING TO SEPTIC TANK - 6" SCH. 40 PVC @ 1/4" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE. 10' MINIMUM SEPARATION DISTANCE BETWEEN BUILDING AND SEPTIC TANK TO BE MAINTAINED.
  - SEPTIC TANK SHALL BE A KISTNER PRODUCTS CONCRETE TANK OR EQUAL. THE TANK SHALL BE DUAL COMPARTMENT WITH A CAPACITY OF 2000 GALLONS WITH A MINIMUM LIQUID SURFACE AREA OF 52 SQ. FT. FOR THE WWTS DESIGN FOR THE PROPOSED SITE.
  - SEPTIC TANK TO PUMP TANK - 4" SCH. 40 PVC @ 1/8" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE.
  - PUMP TANK TO BE 1000 GALLON ROTH PUMP TANK OR EQUIVALENT TO BE EQUIPPED WITH GOULDS PUMP MODEL WEOSH EFFLUENT PUMP. SEE PUMP TANK DETAILS FOR ADDITIONAL SPECIFICATION REQUIREMENTS.
  - PROPOSED FORCEMAIN TO DISTRIBUTION BOX TO BE 1.5" 160 PSI FORCEMAIN BURIED AT MIN 48" DEEP.
  - DISTRIBUTION BOX SHALL BE A 7 OUTLET MINIMUM, KISTNER PRECAST CONCRETE BOX OR EQUAL AND INSTALLED PER DETAIL.
  - PROPOSED SHALLOW MODIFIED ABSORPTION TRENCH WASTEWATER SYSTEM WITH PREFERRED FILL MATERIAL OF APPROXIMATELY THE SAME PERCOLATION RATE AS THE UNDERLYING PERMEABLE SOIL. FILL MATERIAL, INCLUDING 4" TOPSOIL LAYER, SHALL NOT BE MORE THAN 30 INCHES ABOVE ORIGINAL GRADE. PREFERENCE IS FOR THE TRENCH BOTTOM TO EXTEND INTO THE IN-SITU SOILS TO PROMOTE VERTICAL DISTRIBUTION TO SOILS. ENGINEER SHALL INSPECT PRIOR TO AND AFTER FILL IS PLACED. INSTALL NEW LEACH LINES IN FILL MATERIAL. SEED AND MULCH AND MAINTAIN AS LAWN. LENGTH AND QUANTITY PER WASTEWATER DESIGN TABLE SIZING AND INVERTS.
  - LEACH LINES - 4" PERFORATED PVC PER ASTM D2729 (MINIMUM 3000 LBS CRUSH STRENGTH) @ 1/32" PER FT. MINIMUM AND 1/16" PER FT. MAXIMUM, ALL LINES ARE TO HAVE TIGHT JOINTS.
  - BUILDING FOOTER (AS NECESSARY) AND SEPARATE ROOF DRAINAGE SYSTEMS (6" PVC SDR 21 @ 1 MIN) SHALL DISCHARGE WATER AWAY FROM THE WASTEWATER TREATMENT SYSTEM AND TO THE LOW SIDE OF THE AREA TO BE DEVELOPED.
  - BACKFLOW PREVENTION DEVICE DRAIN - 6" PVC SDR-21 @ 2% MIN. CONNECT TO STORM SEWER AND PROVIDE BACKWATER CHECK VALVE WITHIN BUILDING.

RETAIL BLDG FLOOR ELEVATION	INVERT @ BLDG WALL	SEPTIC TANK IN	SEPTIC TANK OUT	PUMP TANK IN	DISTRIBUTION BOX IN	DISTRIBUTION BOX OUT	INVERT IN @ BEGINNING OF LEACH LINE	LENGTH OF LEACH LINE	PIPE DROP ACROSS SYSTEM
±697.5	± 693.5	693.5	693.2	693.0	703.4	703.2	(a) 703.00	60'	-0.2
							(b) 702.75	60'	-0.2
							(c) 702.50	60'	-0.2
							(d) 702.25	60'	-0.2
							(e) 702.00	60'	-0.2
							(f) 701.75	60'	-0.2
							(g) 701.50	60'	-0.2

- SEPTIC NOTES:**
- LEACH LINES SHALL NOT CROSS WATER OR GAS LINES.
  - FOUNDATION DRAINS OF UNMAINTAINED GROUNDWATER SHALL DISCHARGE ONTO SPLASH BLOCKS OR DAYLIGHT.
  - ALL NON-WASTEWATER FLOWS ARE TO BE DIVERTED AWAY FROM THE SEPTIC SYSTEM.
  - THE PROPOSED ABSORPTION FIELD AREA SHOULD BE STAKED OUT TO PREVENT ENTRY OF VEHICLES AND MATERIALS. IF THIS AREA IS DISTURBED, NEW PERCOLATION TESTS MAY BE REQUIRED AND SEPTIC SYSTEM APPROVAL MAY BE REVOKED. CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS FOR REDESIGN AND REMEDIATION IF THE AREA OF THE ABSORPTION FIELD IS DISTURBED BEFORE OR AFTER SYSTEM INSTALLATION.
  - RISER TO GRADE IS REQUIRED IF THE DIFFERENCE BETWEEN THE FINISHED GRADE AND TOP OF SEPTIC TANK EXCEEDS 12".

- CONSTRUCTION PROCEDURES:**
- HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE AREA OF THE SYSTEM. THE ORIGINAL SOIL MUST BE LEFT IN PLACE. THE SOIL MUST NOT BE WET DURING WWTS INSTALLATION.
  - NO STANDING WATER IN THE WWTS AREA IS ALLOWED.
  - EXCAVATED TRENCH MATERIAL MUST BE PLACED ON THE EDGE OF THE TRENCHES AND PUSHED INTO PLACE BY A BULLDOZER OR TRACKED MACHINE WHILE MAINTAINING AT LEAST SIX (6) INCHES OF FILL UNDER THE TRACKS.
  - THE ABSORPTION TRENCHES SHALL BE CONSTRUCTED IN THE INSITU MATERIAL.
  - THE ENTIRE SURFACE OF THE SYSTEM, SHALL BE PROVIDED / COVERED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL MOUND TO ENHANCE RUNOFF FROM THE SYSTEM AND SEEDED TO GRASS.
  - SWALES SHALL BE CONSTRUCTED TO DIVERT SURFACE WATER AROUND THE SYSTEM AND PROVIDE DRAINAGE AWAY FROM THE SYSTEM.

**UTILITY PLAN**  
1"=60'

- UTILITY NOTES:**
- GENERAL:**
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF CANANDAIGUA.
  - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
  - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA, THE APPROPRIATE AGENCIES UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
  - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
  - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
  - HIGHWAY DRAINAGE ALONG COUNTY ROAD 46 & 10 IS TO BE MAINTAINED.
- WATER NOTES:**
- WATER SERVICES AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA.
  - MINIMUM SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE WATER SERVICE CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER SERVICE.
  - WATER METERS ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING GREATER THAN 1" METER, A BY-PASS AROUND THE METER IS REQUIRED.
- STORM SEWER NOTES:**
- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION REQUIREMENTS.
  - STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN.

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

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STATE OF NEW YORK  
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REVISIONS

NO.	DATE	DESCRIPTION OF REVISION	BY

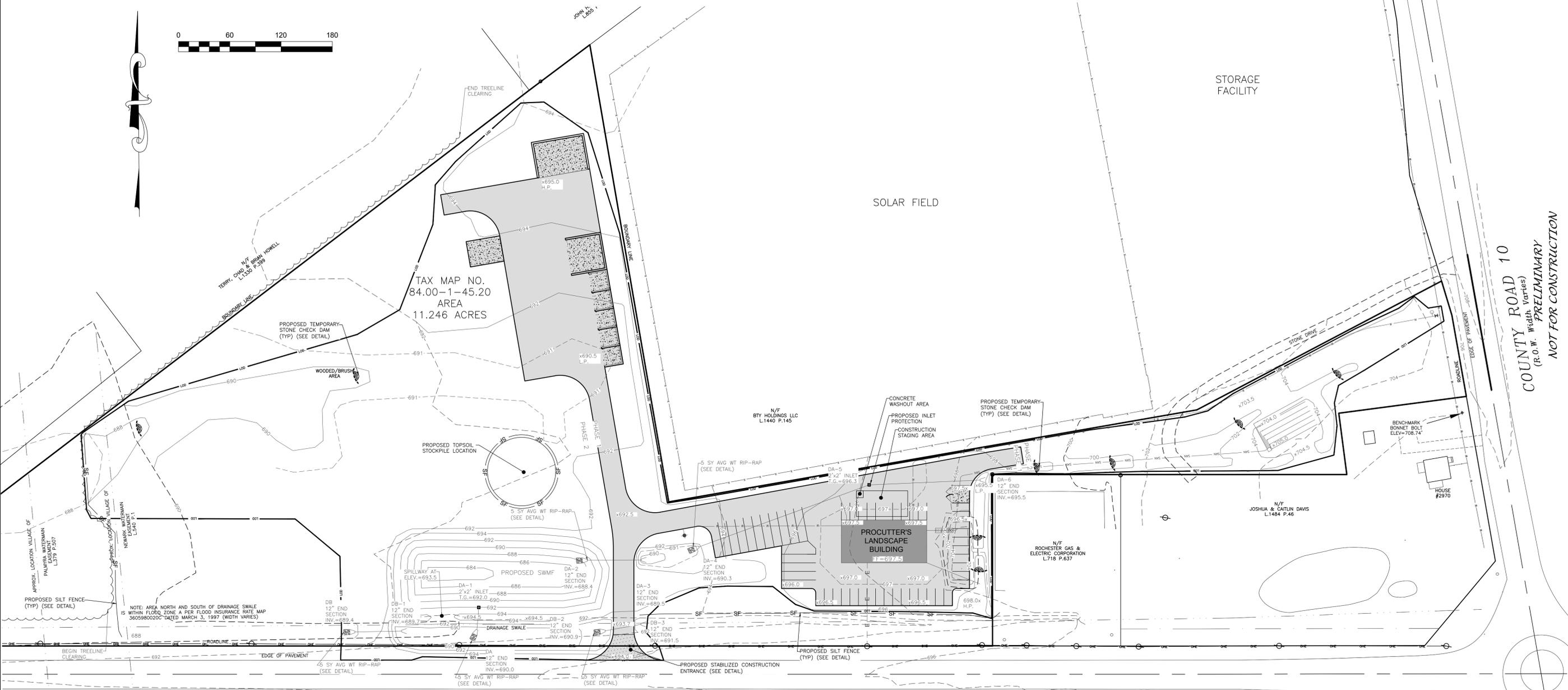
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**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
STATE OF NEW YORK

DRAWING TITLE:  
**UTILITY PLAN**

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

**C200**





**SEQUENCE OF CONSTRUCTION STEPS:**

**STEP 1: (SITE PREPARATION)**

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE.
- COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.

**STEP 2: (CONSTRUCTION ACTIVITY)**

- STRIP AND STOCKPILE TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS. COMPLETE REQUIRED CUTS AND FILLS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH A MINIMUM 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND PAVEMENT/DRIVEWAY. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- INSTALL PAVEMENT/DRIVEWAY WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.

**STEP 3: (STABILIZATION & MONITORING)**

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
- MONITOR STORMWATER MANAGEMENT FACILITY DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF CANANDAIGUA.

**COUNTY ROAD 46**  
(66' R.O.W.)

**1 CONSTRUCTION EROSION CONTROL PLAN**  
1"=60'

**CONSTRUCTION EROSION CONTROL NOTES:**

1. THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS (7 DAYS IF OVER 5 ACRES OF DISTURBANCE OR THREE DAYS BETWEEN NOVEMBER 15TH AND APRIL 1ST).
4. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
5. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.

8. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

9. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.

10. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

**LEGEND**

<ul style="list-style-type: none"> <li>○ Monument</li> <li>⊕ Benchmark</li> <li>⊙ Utility pole</li> <li>⊙ Hydrant</li> <li>⊙ Light pole</li> <li>PERK TEST</li> <li>DEEP HOLE</li> </ul>	<table border="0"> <tr> <th>EXISTING</th> <th>PROPOSED</th> <th>Utility Lines</th> </tr> <tr> <td>—</td> <td>—</td> <td>Utility Lines</td> </tr> <tr> <td>—</td> <td>—</td> <td>R.O.W. line</td> </tr> <tr> <td>—</td> <td>—</td> <td>Property line</td> </tr> <tr> <td>—</td> <td>—</td> <td>Easement line</td> </tr> <tr> <td>—</td> <td>—</td> <td>Centerline</td> </tr> <tr> <td>—</td> <td>—</td> <td>Drainage</td> </tr> <tr> <td>—</td> <td>—</td> <td>Fence Line</td> </tr> <tr> <td>—</td> <td>—</td> <td>Contour Line</td> </tr> </table>	EXISTING	PROPOSED	Utility Lines	—	—	Utility Lines	—	—	R.O.W. line	—	—	Property line	—	—	Easement line	—	—	Centerline	—	—	Drainage	—	—	Fence Line	—	—	Contour Line	<table border="0"> <tr> <td>CO-CLEAN OUT</td> <td>PERF-PERFORATED</td> </tr> <tr> <td>TYP-TYPICAL</td> <td>MIN-MINIMUM</td> </tr> <tr> <td>R-RADIUS</td> <td>MAX-MAXIMUM</td> </tr> <tr> <td>BC-BOTTOM OF CURB</td> <td>INV-INVERT</td> </tr> <tr> <td>TC-TOP OF CURB</td> <td>CB-CATCH BASIN</td> </tr> <tr> <td>SI-SMOOTH INTERIOR CORRUGATED</td> <td>MI-MANHOLE</td> </tr> <tr> <td>TI-TOP OF WALL</td> <td>DI-DRAINAGE INLET</td> </tr> <tr> <td>UI-UNDERGROUND</td> <td></td> </tr> <tr> <td>CONC-CONCRETE</td> <td></td> </tr> </table>	CO-CLEAN OUT	PERF-PERFORATED	TYP-TYPICAL	MIN-MINIMUM	R-RADIUS	MAX-MAXIMUM	BC-BOTTOM OF CURB	INV-INVERT	TC-TOP OF CURB	CB-CATCH BASIN	SI-SMOOTH INTERIOR CORRUGATED	MI-MANHOLE	TI-TOP OF WALL	DI-DRAINAGE INLET	UI-UNDERGROUND		CONC-CONCRETE	
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UI-UNDERGROUND																																															
CONC-CONCRETE																																															

ABBREVIATIONS:  
 EX-EXISTING  
 CPP-CORRUGATED POLYETHYLENE PIPE  
 OC-ON CENTER  
 SI-SMOOTH INTERIOR CORRUGATED  
 POLY-ETHYLENE PIPE  
 UI-UNDERGROUND  
 CONC-CONCRETE

STORAGE FACILITY

SOLAR FIELD

TAX MAP NO.  
84.00-1-45.20  
AREA  
11.246 ACRES

N/F BY HOLDINGS LLC  
L1440 P.145

PROCUTTERS LANDSCAPE BUILDING  
F=697.5

N/F ROCHESTER GAS & ELECTRIC CORPORATION  
L719 P.637

N/F JOSHUA & CATLIN DAVIS  
L1464 P.46

BENCHMARK BONNET BOLT  
ELEV=708.74'

COUNTY ROAD 10  
(R.O.W. Width Varies)  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

**MarksEngineering**  
4.3 DEGRAN LT  
CANANDAIGUA, NY 14424  
www.marksengineering.com bmarks@marksengineering.com  
Phone: 585.695.0300  
Fax: 585.485.6205

STATE OF NEW YORK  
BRENNAN A. WAGNER  
Professional Engineer  
No. 193182  
STAMP

NO.	DATE	REVISIONS	BY

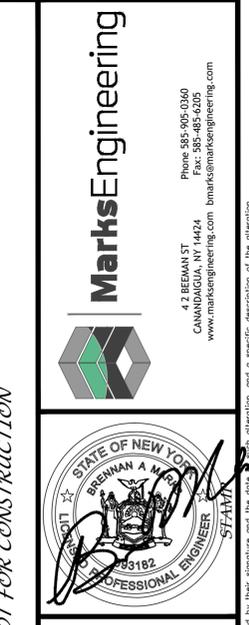
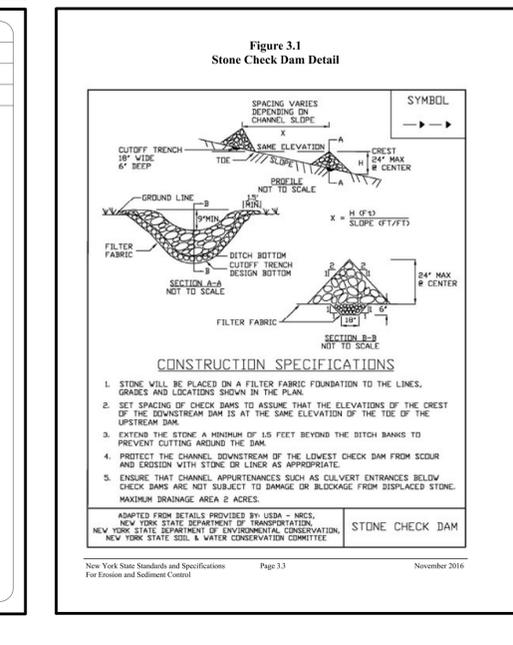
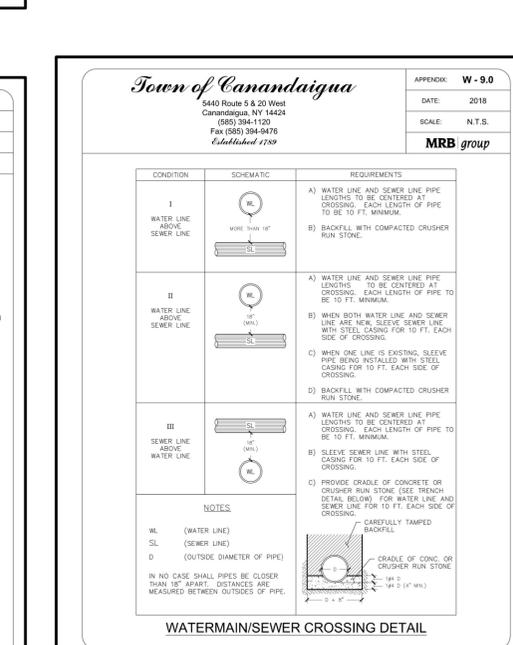
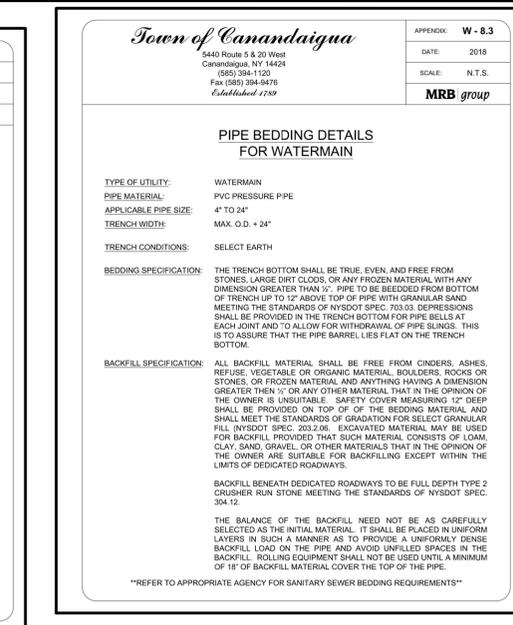
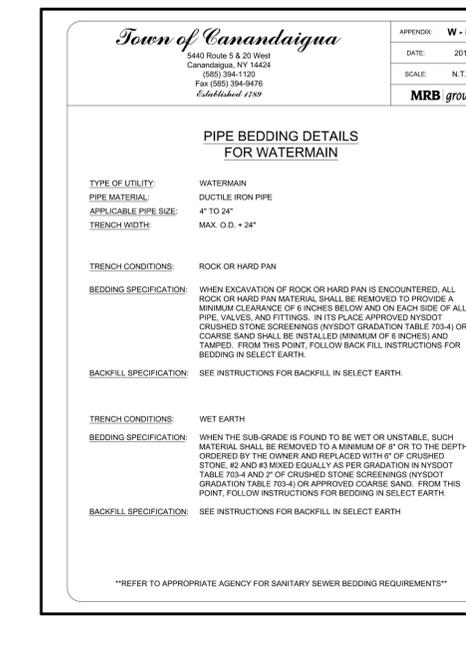
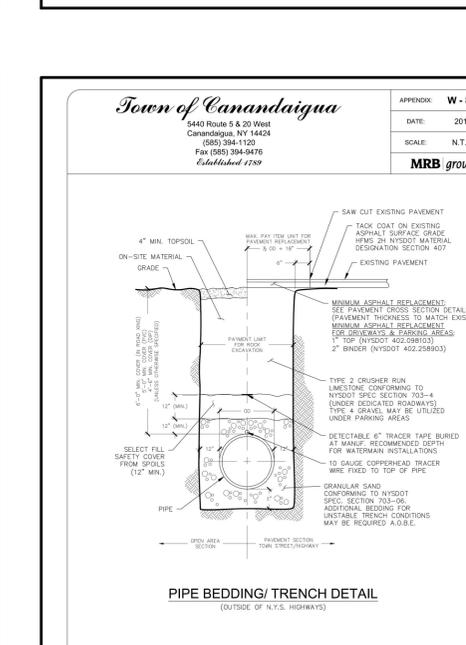
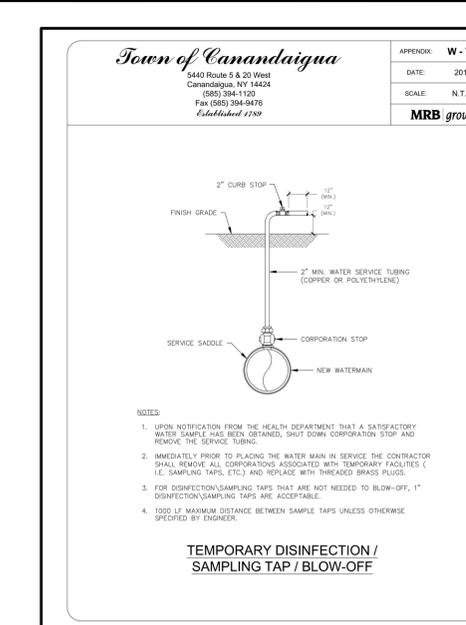
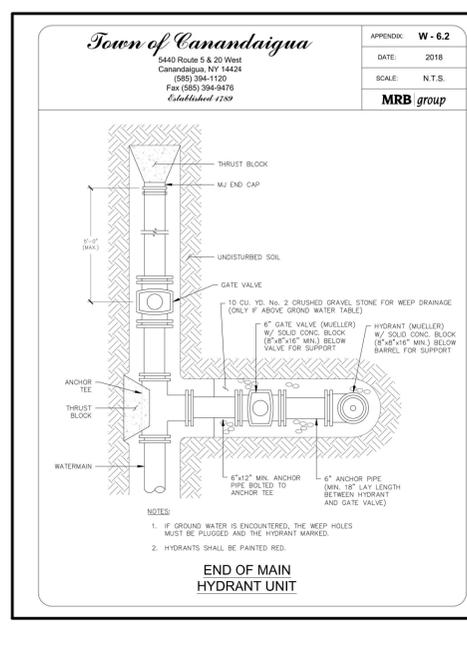
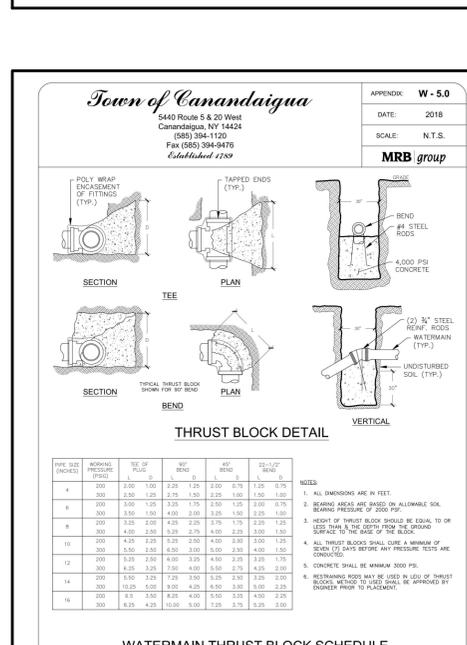
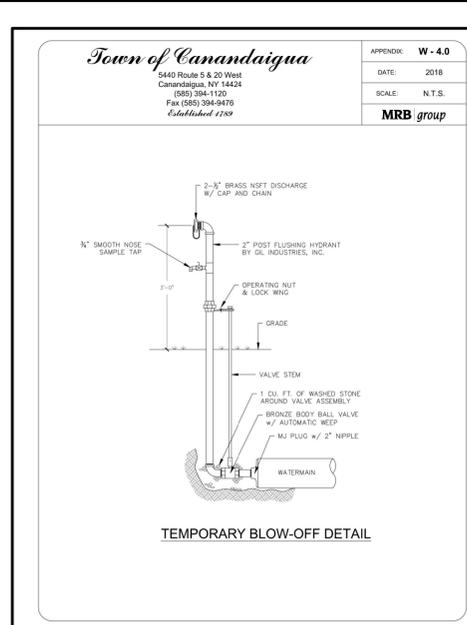
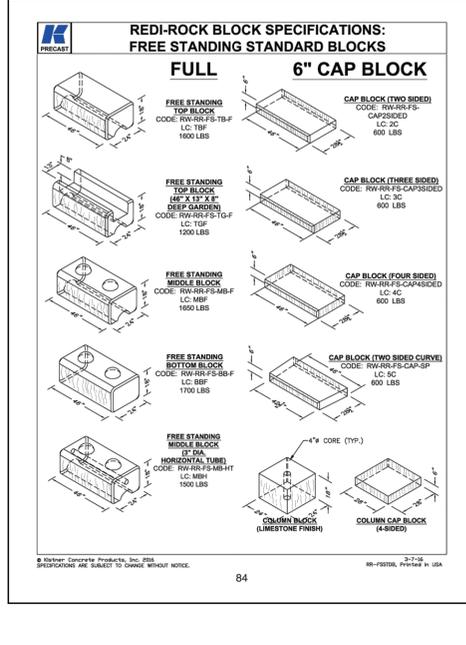
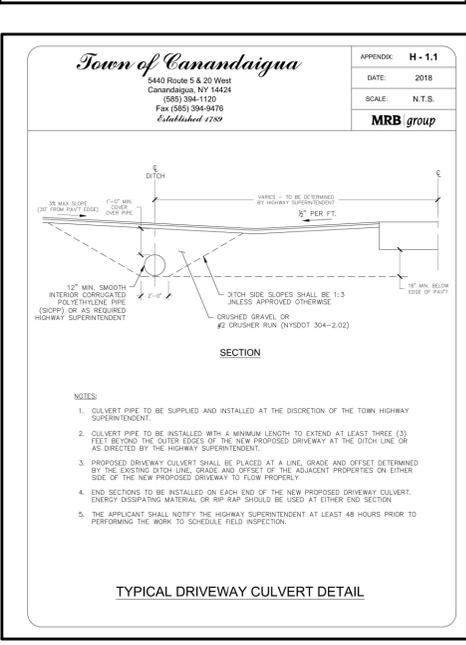
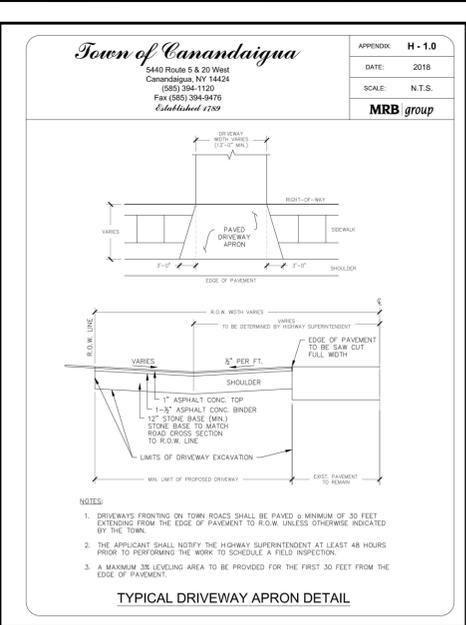
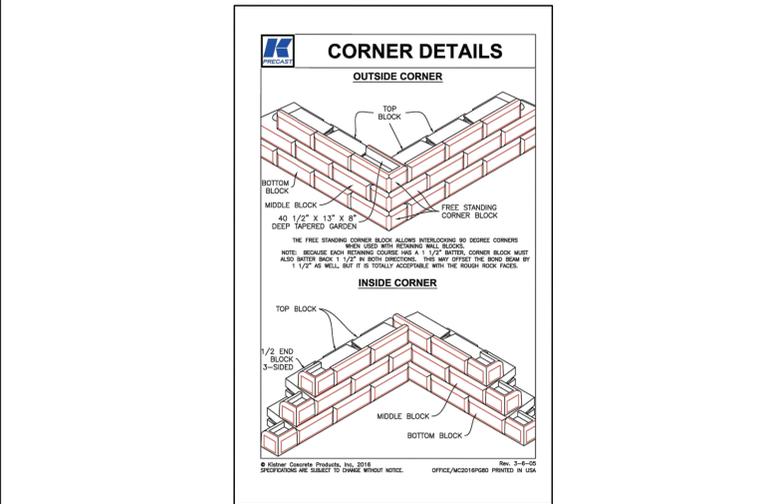
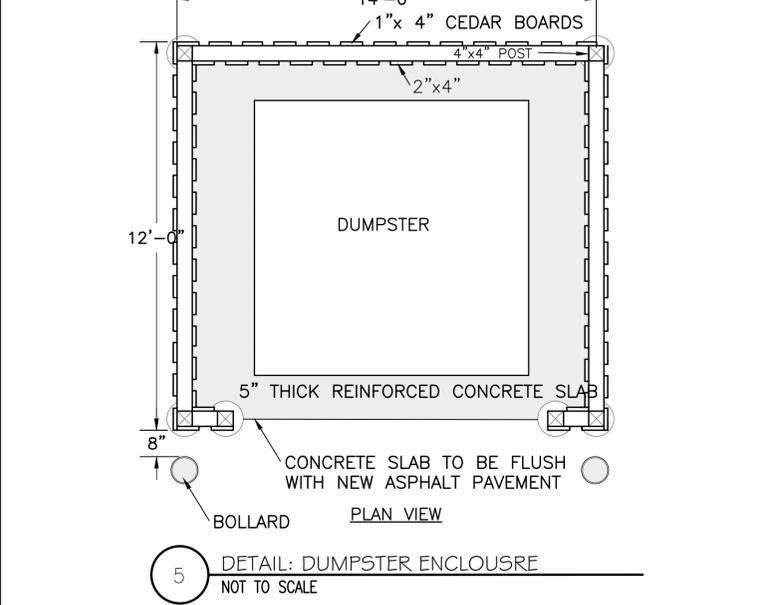
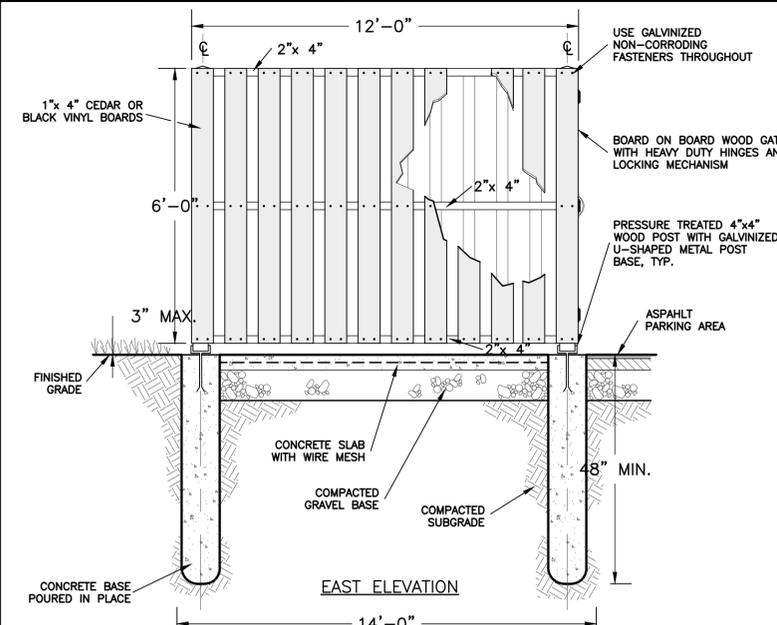
NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PROCUTTERS LANDSCAPE INC.**  
CONSTRUCTION EROSION CONTROL PLAN  
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**C400**

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**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
 SHOWING LAND IN:  
 2970 COUNTY RD 10  
 TOWN OF CANANDAIGUA  
 COUNTY OF ONTARIO

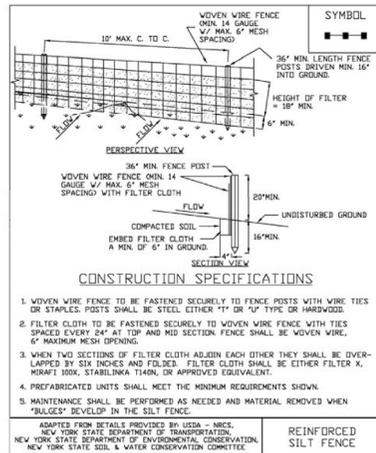
STATE OF NEW YORK  
 PROFESSIONAL ENGINEER  
 License No. 139182  
 dated 03/11/2012

DRAWING TITLE: DETAIL SHEET

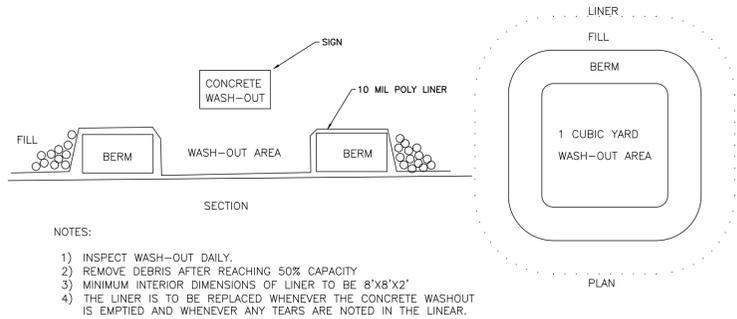
DRAWN BY: J/W  
 DESIGNED BY: J/W  
 CHECKED BY: B/M  
 SCALE: N/A  
 JOB NO.: 21-268  
 DATE: 03/01/2022  
 TAX MAP#: 84.00-1-111

C500

Figure 5.30 Reinforced Silt Fence



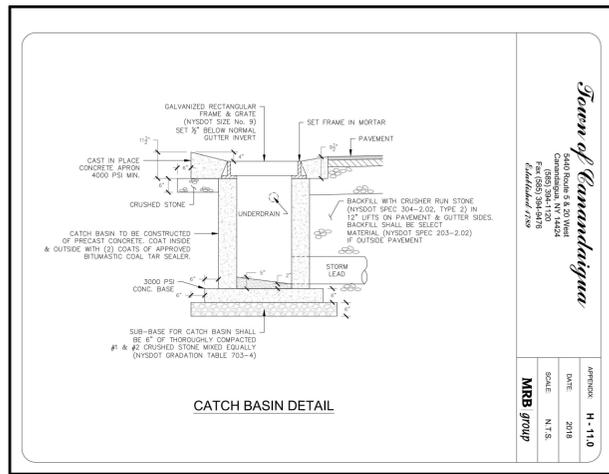
November 2016 Page 5.56 New York State Standards and Specifications For Erosion and Sediment Control



NOTES:

- 1) INSPECT WASH-OUT DAILY.
- 2) REMOVE DEBRIS AFTER REACHING 50% CAPACITY
- 3) MINIMUM INTERIOR DIMENSIONS OF LINER TO BE 8'X8'X2'
- 4) THE LINER IS TO BE REPLACED WHENEVER THE CONCRETE WASHOUT IS EMPTIED AND WHENEVER ANY TEARS ARE NOTED IN THE LINER.

CONCRETE WASHOUT N.T.S

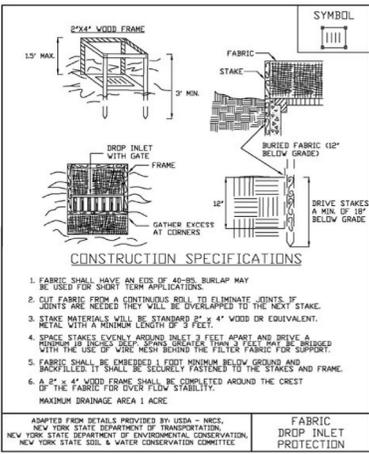


State of New York  
Department of Environmental Conservation  
Division of Environmental Planning  
609 West Albany Street  
Albany, NY 12242  
609-485-4200  
www.dec.ny.gov

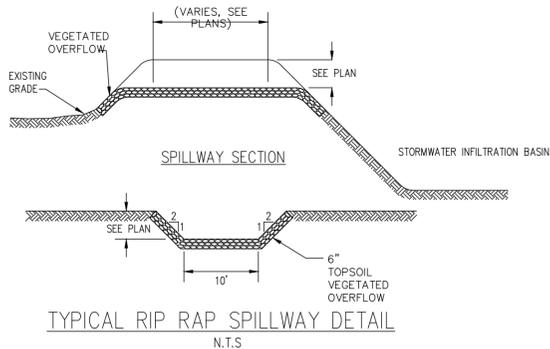
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SCALE: N.T.S.  
MRB group

APPENDIX: H-11.0

Figure 5.32 Fabric Drop Inlet Protection



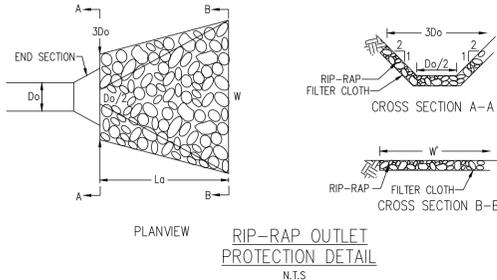
New York State Standards and Specifications Page 5.61 November 2016 For Erosion and Sediment Control



TYPICAL RIP RAP SPILLWAY DETAIL N.T.S

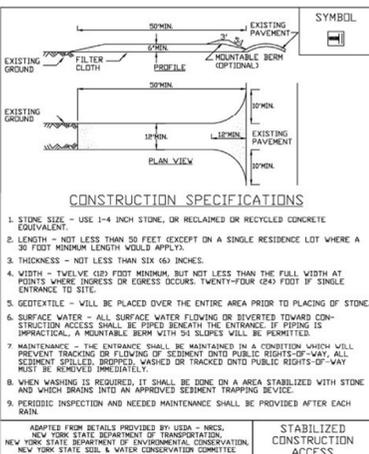
DESIGNATION	DIA. OF PIPE D <sub>o</sub>	3D <sub>o</sub>	L <sub>o</sub>	W	S.Y. OF RIP-RAP
UPPER CULVERT	12"	3'	4'	5'	5 SY
LOWER CULVERT	12"	3'	4'	5'	5 SY
ROOF LEADERS	6"	1.5'	4'	5'	5 SY

RIP-RAP OUTLET DIMENSIONS



RIP-RAP OUTLET PROTECTION DETAIL N.T.S

Figure 2.1 Stabilized Construction Access



New York State Standards and Specifications Page 2.31 November 2016 For Erosion and Sediment Control

STABILIZED CONSTRUCTION ACCESS

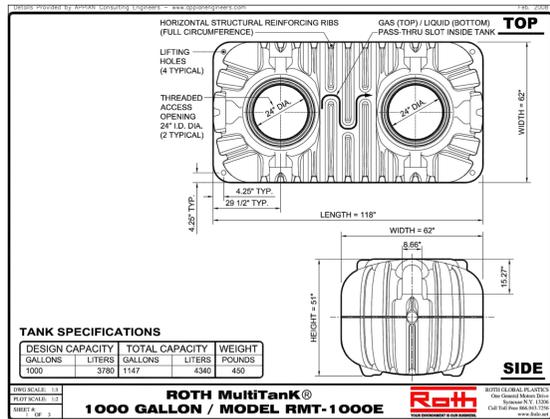


FIGURE 24: SHALLOW ABSORPTION TRENCH SYSTEM - END VIEW

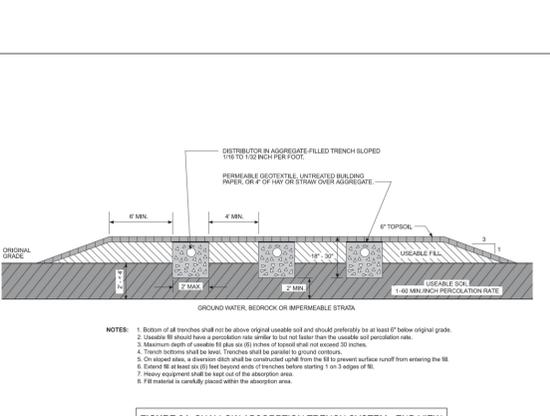
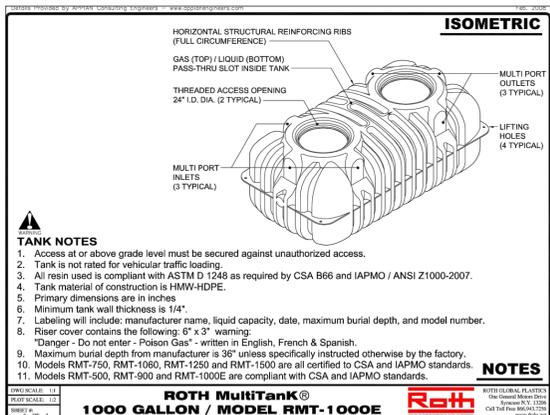
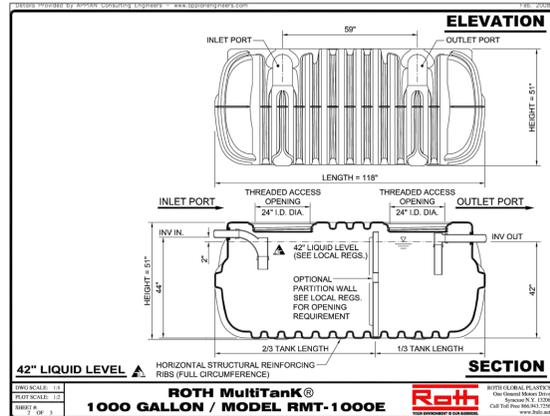
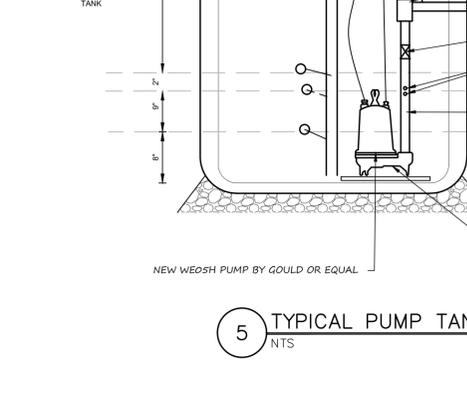
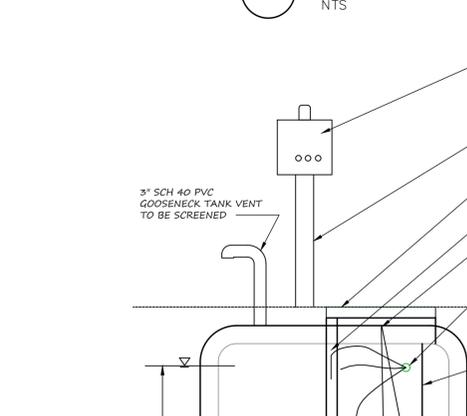
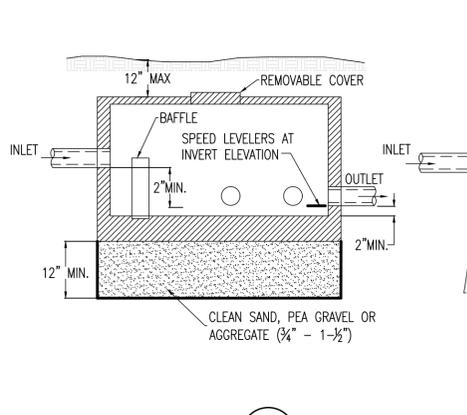
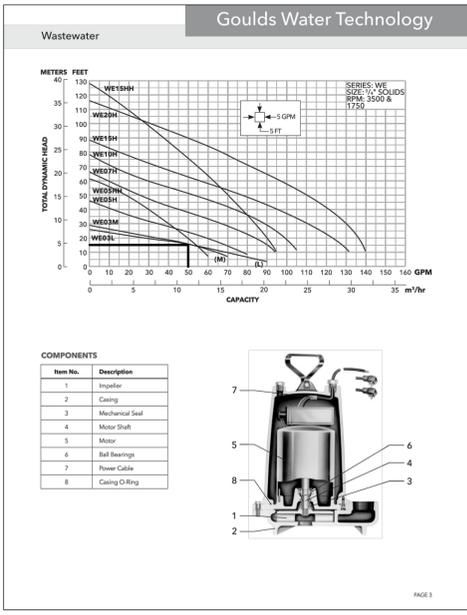
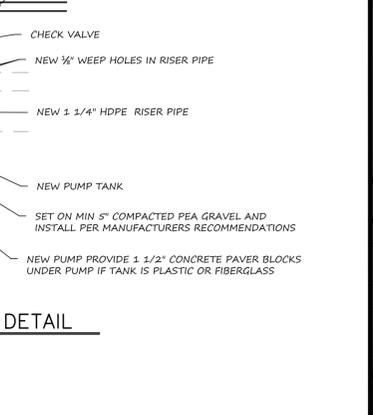
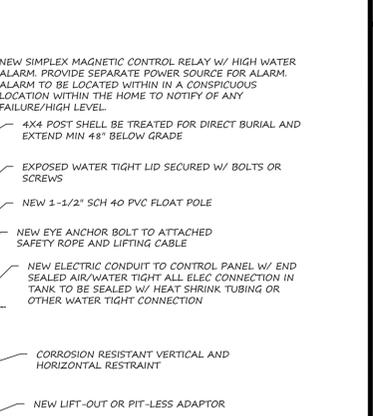
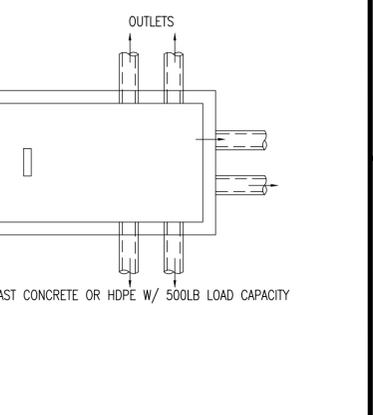
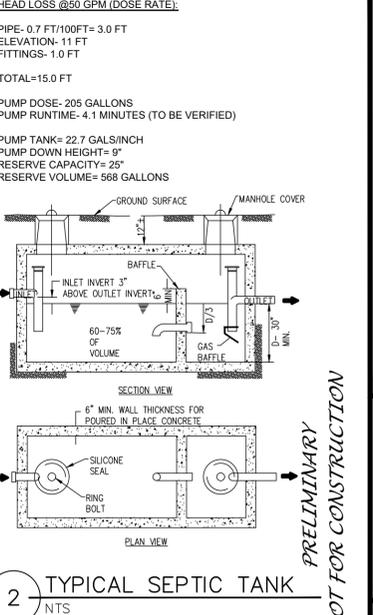


FIGURE 24: SHALLOW ABSORPTION TRENCH SYSTEM - END VIEW



TYPICAL PUMP TANK DETAIL N.T.S



TYPICAL PUMP TANK DETAIL N.T.S

**Marks Engineering**  
4.3 BECHAN LT  
CANANDAIGUA, NY 14224  
www.marksengineering.com  
Phone: 585.895.0330  
Fax: 585.895.6205  
bmarks@marksengineering.com

STATE OF NEW YORK  
BRENNAN A. WOLFE  
Professional Engineer  
No. 193182

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PROCUITERS LANDSCAPE INC.**  
**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

REVISIONS  
NO. DATE DESCRIPTION OF REVISION BY

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DRAWN BY: JWJ  
DESIGNED BY: JWJ  
CHECKED BY: BAM  
SCALE: N/A  
JOB NO.: 21-268  
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TAX MAP#: 84.00-1-111

**C501**