

NEW COMMERCIAL SITE PLAN:  
**PRO-CUTTERS LANDSCAPE INC.**

2970 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
MARCH 1, 2022

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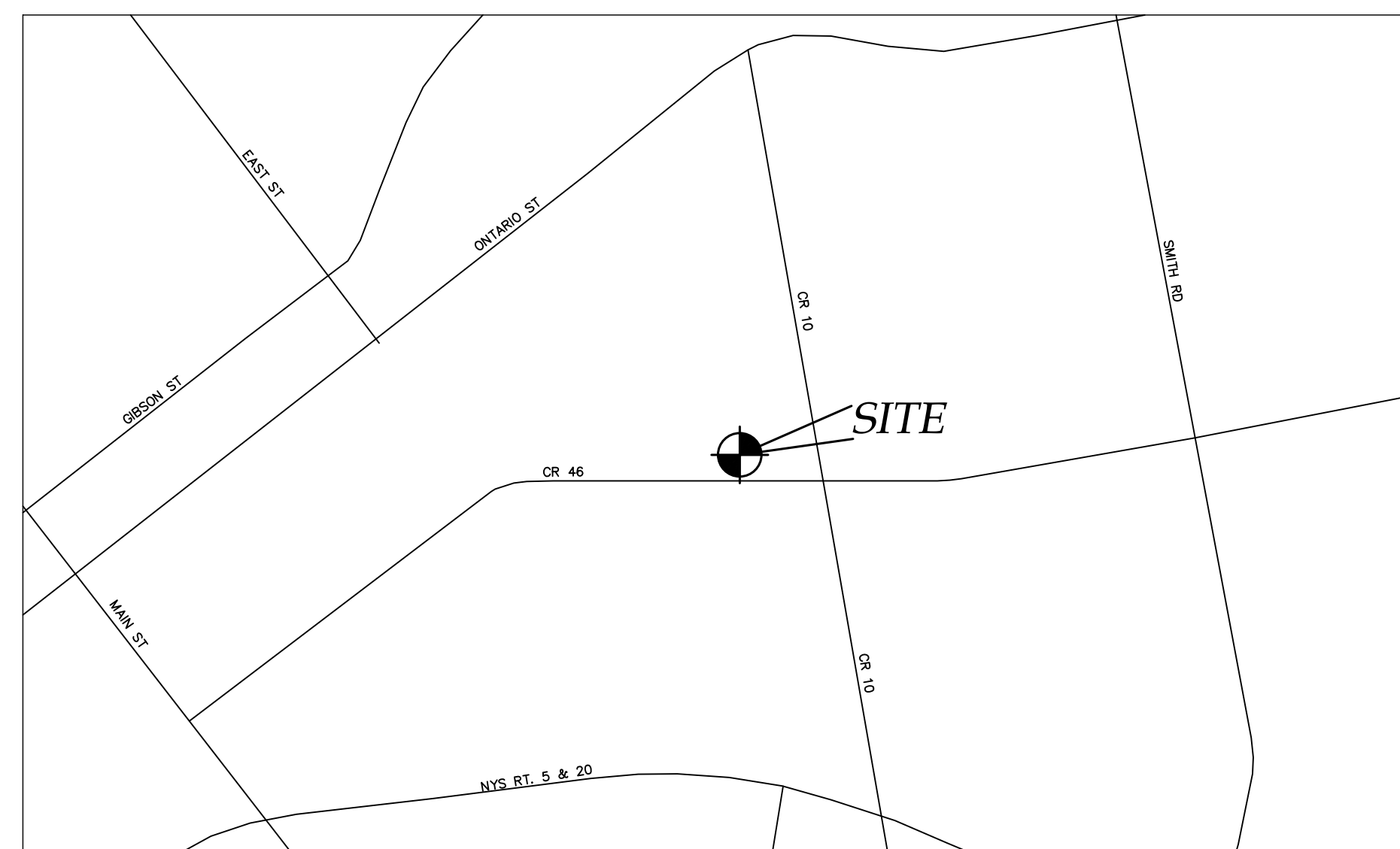
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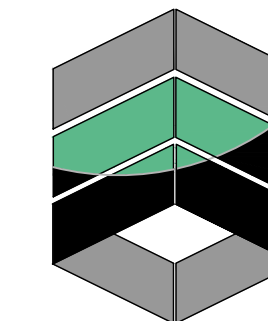
LOCATION MAP  
NTS



AERIAL PHOTO  
NTS



NOT FOR CONSTRUCTION



**MarksEngineering**

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PREPARED FOR:  
STEVE PISAREK

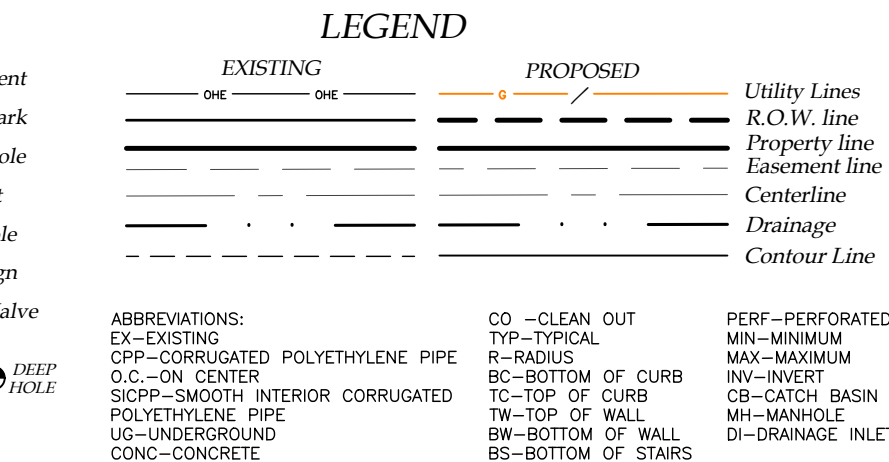
PROPERTY OWNER:  
STEVE PISAREK  
PO BOX 589  
CANANDAIGUA, NEW YORK  
14424

REVISED

PRO-CUTTERS  
2870 CR 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
NEW YORK

JOB #21-268  
03/01/2021



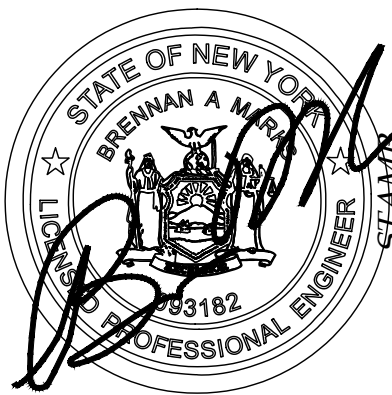


1. LIBER
2. FILED MAP NOS. 13951, 22350, 36725, 37122
3. MAPS: FINGERLAKES REFUSE DISPOSAL, INC. BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2007-230, DATED OCTOBER 9, 2007
4. PLAN OF LAND OF GREGORY WESTBROOK BY FREELAND-PARRINELLO LAND SURVEYORS JOB NO. 2016-169, DATED FEBRUARY 25, 2016
5. PARCEL IS ZONED INDUSTRIAL WITH MIXED USE OVERLAY
6. EASEMENTS: VILLAGE OF PALMYRA L.379 P.507; VILLAGE OF NEWARK L.540 P.1; RG&E L.344 P.450 & L.1079 P.60; RG&E & RTC L.745 P.1196; COUNTY OF ONTARIO L.1265 P.580
6. PARCEL IS LOCATED WITHIN ZONE X AS SHOWN ON FEMA MAP NO. 360598 0020C, DATED MARCH 3, 1997, UNLESS OTHERWISE NOTED.
7. ANY WORK TO BE COMPLETED WITHIN THE COUNTY RIGHT OF WAY WILL REQUIRE A OCDPW PERMIT.
8. BEARINGS SHOWN ARE BASED ON FILED MAP NO. 37122
9. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED SEARCH OF TITLE MAY REVEAL.
10. ELEVATION DATUM: NAVD 88 GEOID 18NGS
11. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL

I CERTIFY THAT THIS PLAN WAS PREPARED  
FEBRUARY 23, 2022 FROM NOTES OF AN  
INSTRUMENT SURVEY COMPLETED  
FEBRUARY 7, 2022 AND FROM MATERIALS  
REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724

PRELIMINARY  
NOT FOR CONSTRUCTION



## MarksEngineering

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*STAMP*

[illegible]

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
*PROCUTTERS LANDSCAPE INC.*  
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE:  
EXISTING CONDITIONS

<i>DRAWN BY:</i>	<i>KRB</i>
<i>DESIGNED BY:</i>	
<i>CHECKED BY:</i>	<i>DMP</i>
<i>SCALE:</i>	<i>1"=80'</i>
<i>JOB NO.:</i>	<i>21-268</i>
<i>DATE:</i>	<i>03/01/2022</i>
<i>TAX MAP#:</i>	<i>84.00-1-111</i>

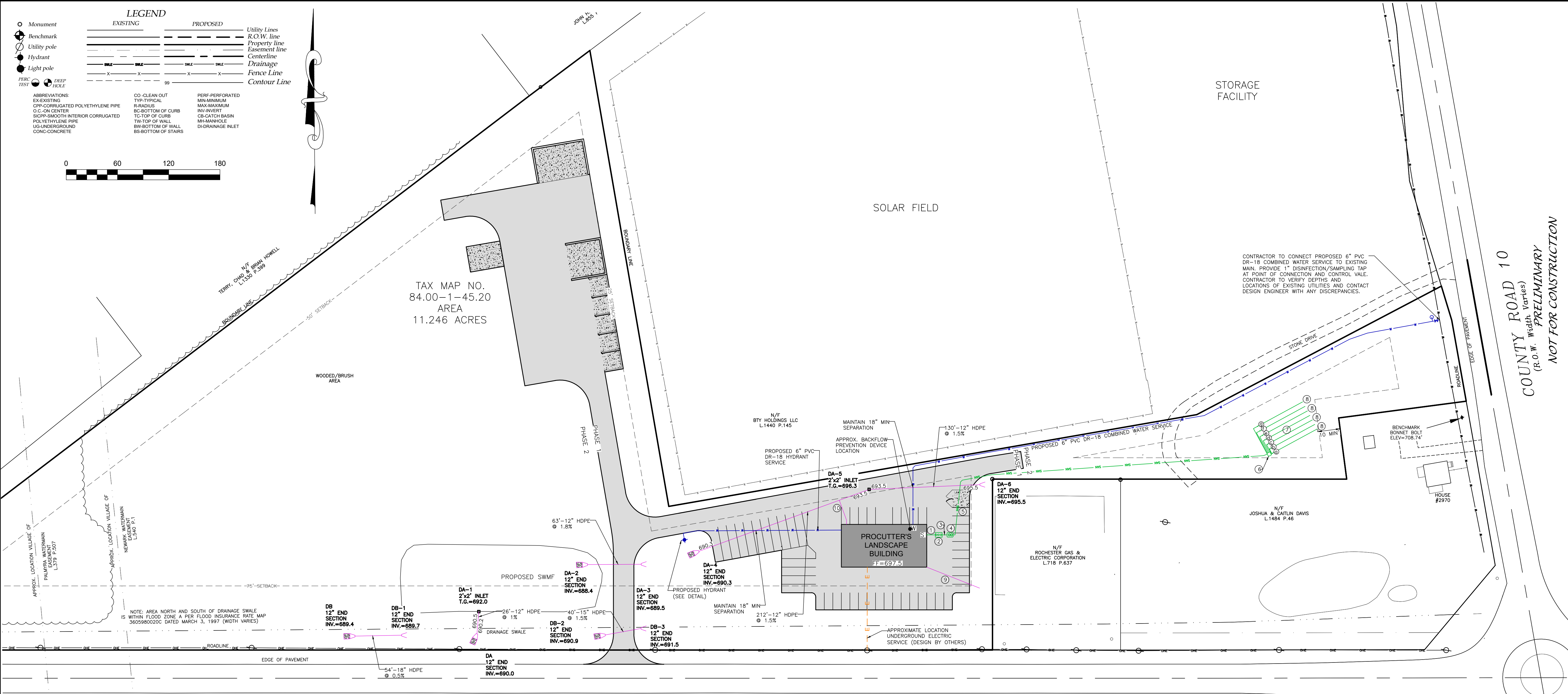
*EX100*

It is a violation of NYS Education Law Section 7209 for any person to alter a document in any way, unless acting under the direction of a licensed professional. If a document bearing the seal is altered, the altering professional shall affix to the document their seal and the notation "altered by" followed by their signature and the date of the alteration, and a specific description of the alteration.









SOIL DATA	
DEEP HOLE RESULTS	
DEEP HOLE SYMBOL —	PERCOLATION TESTS — SYMBOL
0-12" TOPSOIL	#1 6, 18, 22, 23 MIN.
12-36" SILT LOAM	#2 10, 25, 26 MIN.

WASTEWATER TREATMENT SYSTEM DESIGN TABLE AND NOTES							
DESIGN PERC. RATE (MIN.)	SYSTEM DESIGN FLOW (GPD)	SEPTIC TANK (GAL.)	LF TILE REQUIRED (FT)	LENGTH OF LATERALS (FT)	No. OF LATERALS	LF TILE PROVIDED (FT)	
21-30 MIN/INCH	500	2,000	420	60	7	420	

RETAIL BLDG FIRST FLOOR ELEVATION	INVERT @ BLDG WALL	SEPTIC TANK IN	SEPTIC TANK OUT	PUMP TANK IN	PUMP TANK OUT	DISTRIBUTION BOX IN	DISTRIBUTION BOX OUT	INVERT IN @ BEGINNING OF LEACH LINE	LENGTH OF LEACH LINE	PIPE DROP ACROSS SYSTEM
±697.5	± 693.5	693.5	693.2	693.0	703.4	703.2		703.00	60'	-0.2
								702.75	60'	-0.2
								702.50	60'	-0.2
								702.25	60'	-0.2
								702.00	60'	-0.2
								701.75	60'	-0.2
								701.50	60'	-0.2

- SPECIFICATION LEGEND:**
- ALL STRUCTURES, PIPING AND OTHER COMPONENTS TO COMPLY WITH THE NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTE WATER TREATMENT SYSTEM REQUIREMENTS.
- BUILDING TO SEPTIC TANK - 6" SCH. 40 PVC @ 1/4" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE. 10' MINIMUM SEPARATION DISTANCE BETWEEN BUILDING AND SEPTIC TANK TO BE MAINTAINED.
  - SEPTIC TANK SHALL BE A KISTNER PRODUCTS CONCRETE TANK OR EQUAL. THE TANK SHALL BE DUAL COMPARTMENT WITH A CAPACITY OF 2000 GALLONS WITH A MINIMUM LIQUID SURFACE AREA OF 52 SQ. FT. FOR THE WWTS DESIGN FOR THE PROPOSED SITE.
  - SEPTIC TANK TO PUMP TANK - 4" SCH. 40 PVC @ 1/8" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE.
  - PUMP TANK TO BE 1000 GALLON ROTH PUMP TANK OR EQUIVALENT TO BE EQUIPPED WITH COULDS PUMP MODEL WEO5H EFFLUENT PUMP. SEE PUMP TANK DETAILS FOR ADDITIONAL SPECIFICATION REQUIREMENTS.
  - PROPOSED FORCEMAIN TO DISTRIBUTION BOX TO BE 1.5" 160 PSI FORCEMAIN BURIED AT MIN 48" DEEP.
  - DISTRIBUTION BOX SHALL BE A 7 OUTLET MINIMUM, KISTNER PRECAST CONCRETE BOX OR EQUAL AND INSTALLED PER DETAIL.
  - PROPOSED SHALLOW MODIFIED ABSORPTION TRENCH WASTEWATER SYSTEM WITH PREFERRED FILL MATERIAL OF APPROXIMATELY THE SAME PERCOLATION RATE AS THE UNDERLYING PERMEABLE SOIL. FILL MATERIAL, INCLUDING 6" TOPSOIL LAYER, SHALL NOT BE MORE THAN 30 INCHES ABOVE ORIGINAL GRADE. PREFERENCE IS FOR THE TRENCH BOTTOM TO EXTEND INTO THE IN-SITU SOILS TO PROMOTE VERTICAL DISTRIBUTION TO SOILS. ENGINEER SHALL INSPECT PRIOR TO AND AFTER FILL IS PLACED. INSTALL NEW LEACH LINES IN FILL MATERIAL. SEED AND MULCH AND MAINTAIN AS LAWN. LENGTH AND QUANTITY PER WASTEWATER DESIGN TABLE SIZING AND INVERTS.
  - LEACH LINES - 4" PERFORATED PVC PER ASTM D2729 (MINIMUM 3000 LBS CRUSH STRENGTH) @ 1/32" PER FT. MINIMUM AND 1/16" PER FT. MAXIMUM, ALL LINES ARE TO HAVE TIGHT JOINTS.
  - BUILDING FOOTER (AS NECESSARY) AND SEPARATE ROOF DRAINAGE SYSTEMS (6" PVC SDR 21 @ 1 MIN) SHALL DISCHARGE WATER AWAY FROM THE WASTEWATER TREATMENT SYSTEM AND TO THE LOW SIDE OF THE AREA TO BE DEVELOPED.
  - BACKFLOW PREVENTION DEVICE DRAIN - 6" PVC SDR-21 @ 2% MIN. CONNECT TO STORM SEWER AND PROVIDE BACKWATER CHECK VALVE WITHIN BUILDING

- SEPTIC NOTES:**
- LEACH LINES SHALL NOT CROSS WATER OR GAS LINES.
  - FOUNDATION DRAINS OF UNMAINTAINED GROUNDWATER SHALL DISCHARGE ONTO SPLASH BLOCKS OR DAYLIGHT.
  - ALL NON-WASTEWATER FLOWS ARE TO BE DIVERTED AWAY FROM THE SEPTIC SYSTEM.
  - THE PROPOSED ABSORPTION FIELD AREA SHOULD BE STAKED OUT TO PREVENT ENTRY OF VEHICLES AND MATERIALS. IF THIS AREA IS DISTURBED, NEW PERCOLATION TESTS MAY BE REQUIRED AND SEPTIC SYSTEM APPROVAL MAY BE REVOKED. CONTRACTOR TO BE RESPONSIBLE FOR ALL COSTS FOR REDESIGN AND REMEDIATION IF THE AREA OF THE ABSORPTION FIELD IS DISTURBED BEFORE OR AFTER SYSTEM INSTALLATION.
  - RISE TO GRADE IS REQUIRED IF THE DIFFERENCE BETWEEN THE FINISHED GRADE AND TOP OF SEPTIC TANK EXCEEDS 12".

- CONSTRUCTION PROCEDURES:**
- HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE AREA OF THE SYSTEM. THE ORIGINAL SOIL MUST BE LEFT IN PLACE. THE SOIL MUST NOT BE WET DURING WWTS INSTALLATION.
  - NO STANDING WATER IN THE WWTS AREA IS ALLOWED.
  - EXCAVATED TRENCH MATERIAL MUST BE PLACED ON THE EDGE OF THE TRENCHES AND PUSHED INTO PLACE BY A BULLDOZER OR TRACKED MACHINE WHILE MAINTAINING AT LEAST SIX (6) INCHES OF FILL UNDER THE TRACKS.
  - THE ABSORPTION TRENCHES SHALL BE CONSTRUCTED IN THE INSITU MATERIAL.
  - THE ENTIRE SURFACE OF THE SYSTEM, SHALL BE PROVIDED / COVERED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL MOUND TO ENHANCE RUNOFF FROM THE SYSTEM AND SEEDED TO GRASS.
  - SWALES SHALL BE CONSTRUCTED TO DIVERT SURFACE WATER AROUND THE SYSTEM AND PROVIDE DRAINAGE AWAY FROM THE SYSTEM.

## UTILITY PLAN

1"=60'

- UTILITY NOTES:**
- GENERAL:**
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF CANANDAIGUA.
  - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
  - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA, THE APPROPRIATE AGENCIES UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
  - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
  - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
  - HIGHWAY DRAINAGE ALONG COUNTY ROAD 46 & 10 IS TO BE MAINTAINED.
- WATER NOTES:**
- WATER SERVICES AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA.
  - MINIMUM SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SEWER MAINS SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE WATER SERVICE CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER SERVICE.
  - WATER METERS ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING GREATER THAN 1" METER, A BY-PASS AROUND THE METER IS REQUIRED.
- STORM SEWER NOTES:**
- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION REQUIREMENTS.
  - STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN.

PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

**MarksEngineering**  
1-800-888-0000  
CANANDAIGUA, NY 14424  
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bmarks@marksengineering.com

STAMP

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
**PROCUTTERS LANDSCAPE INC.**  
**NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY**  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

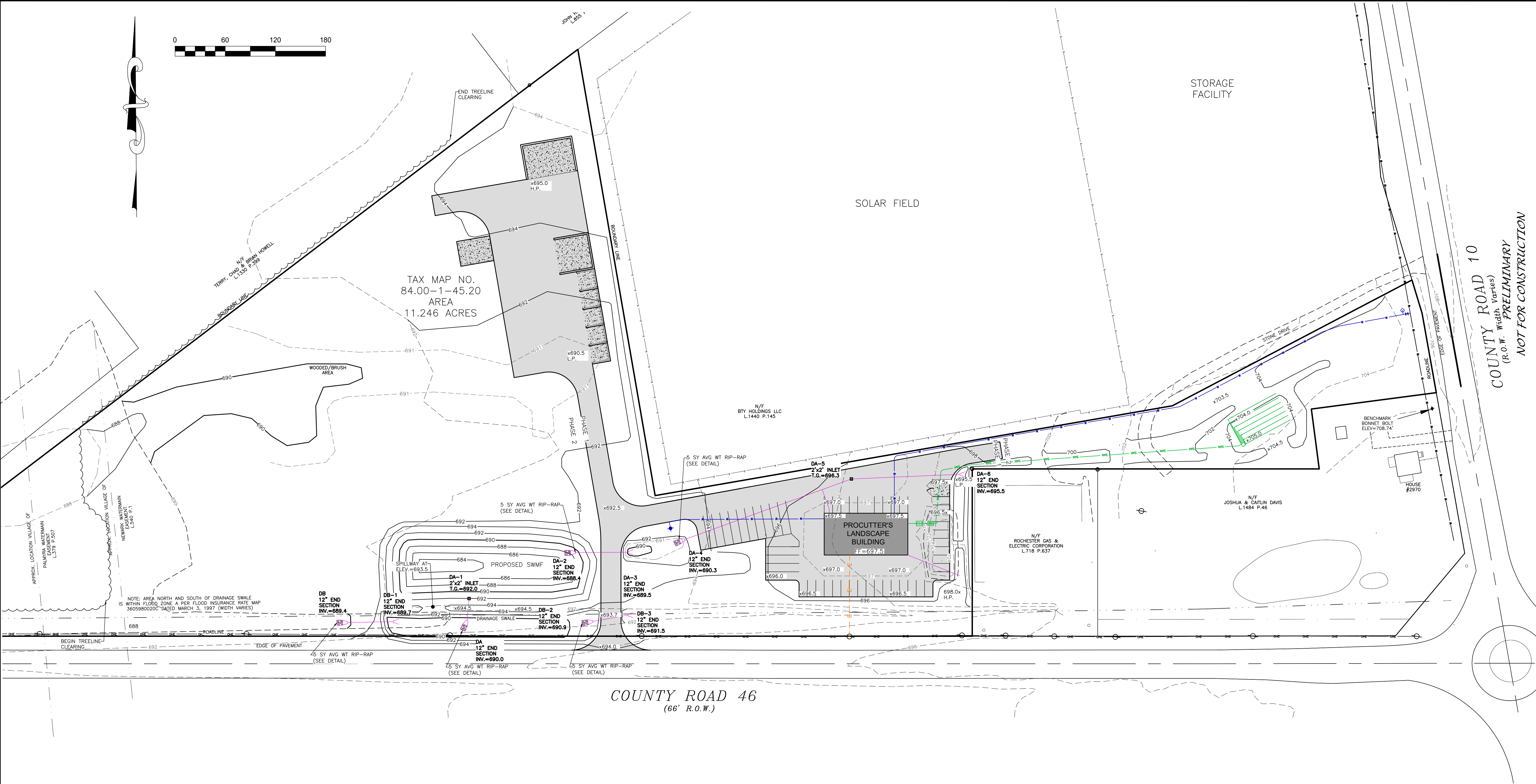
DRAWING TITLE:  
**UTILITY PLAN**

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

**C200**

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GRADING NOTES:

1. CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
2. SEPTIC TANK EFFLUENT SHALL NOT INFILTRATE OR DISCHARGE TO THE COUNTY HIGHWAY DRAINAGE DITCH.
3. NO CUT OR FILL SHALL BE MADE IN THE AREA OF THE LEACH FIELDS.
4. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
5. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.
6. FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).

1 GRADING PLAN  
1"=60'

**LEGEND**

EXISTING

PROPOSED

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

Monument

Benchmark

Utility pole

Hydrant

Light pole

PERC TEST

DEEP HOLE

ABBREVIATIONS:

EXISTING

CO-CLEAN OUT

PERF-PERFORATED

CONC-CONCRETE

TRP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TIW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MI-MANHOLE

DI-DRAINAGE INLET

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NEW COMMERCIAL SITE PLANS PREPARED FOR:

PROCUTTERS LANDSCAPE INC.  
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY

SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE:  
GRADING PLAN

DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	1"=60'
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-F-111

C300

REVISIONS	
NO.	DESCRIPTION OF REVISION

STATE OF NEW YORK  
BENJAMIN A. MARKS  
Professional Engineer  
No. 93182  
Exp. 12/31/2024

STAMP

**MarksEngineering**

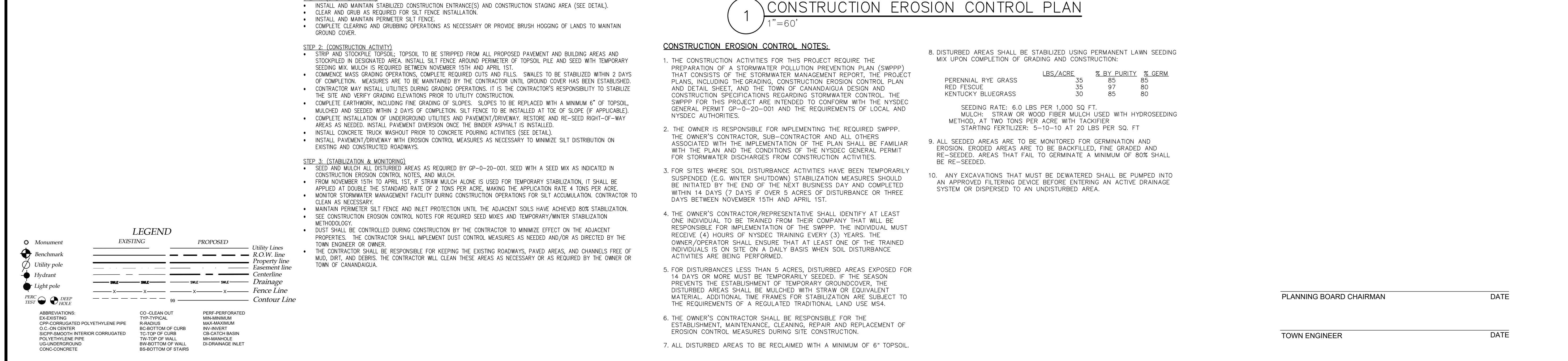
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CANANDAIGUA, NY 14424  
www.marksengineering.com bmarks@marksengineering.com

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Fax: 585-585-6205

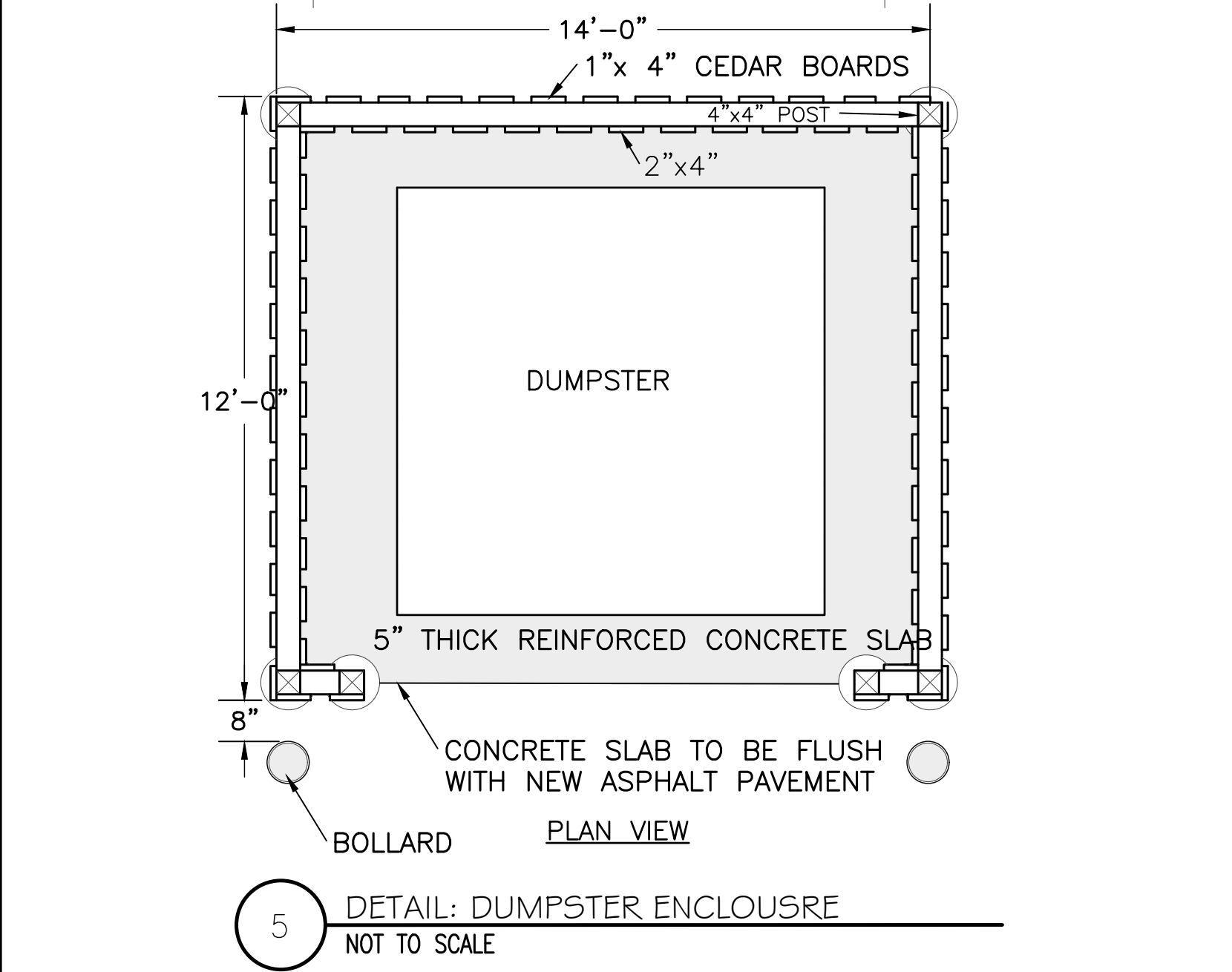
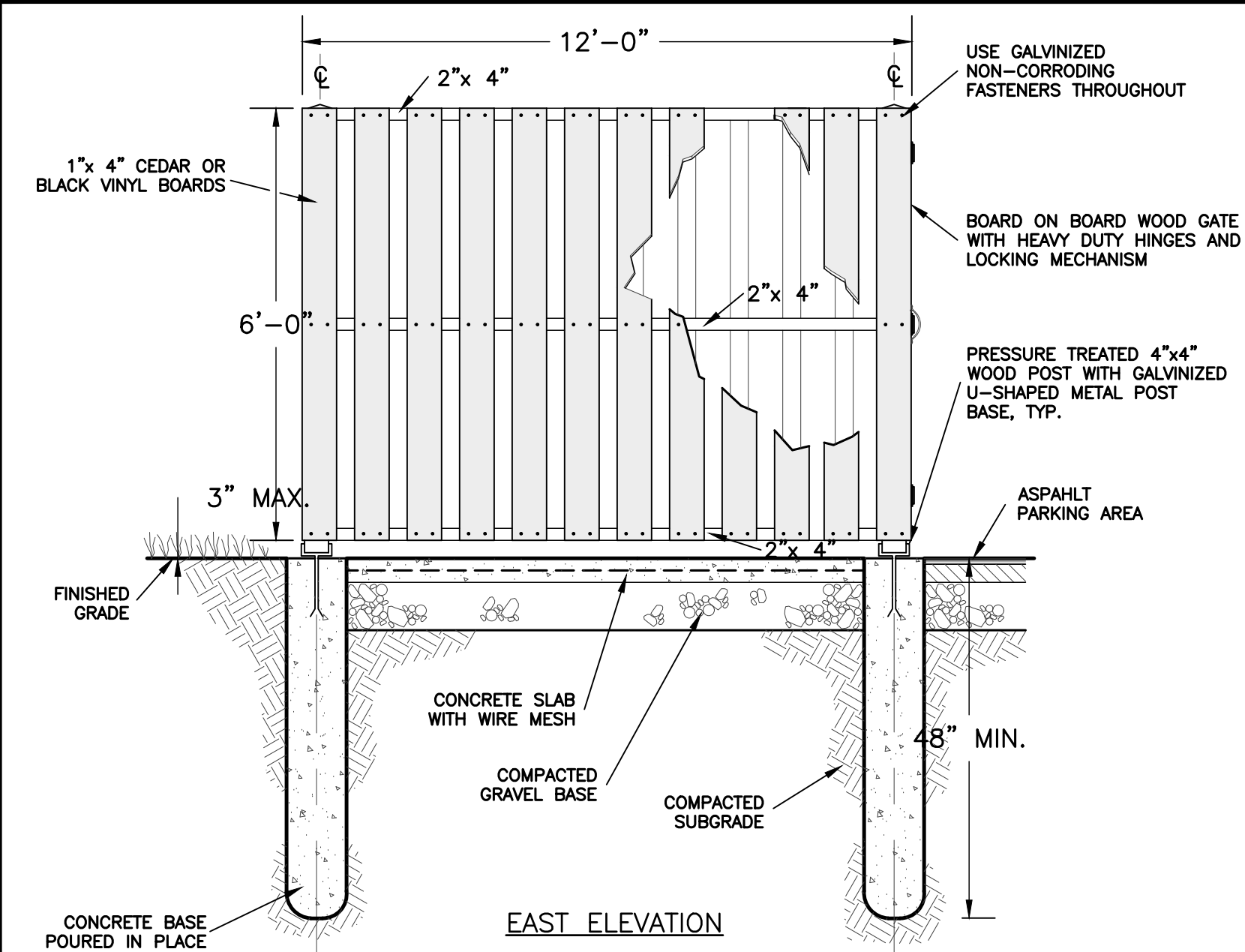
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5 DETAIL: DUMPSTER ENCLOSURE  
NOT TO SCALE

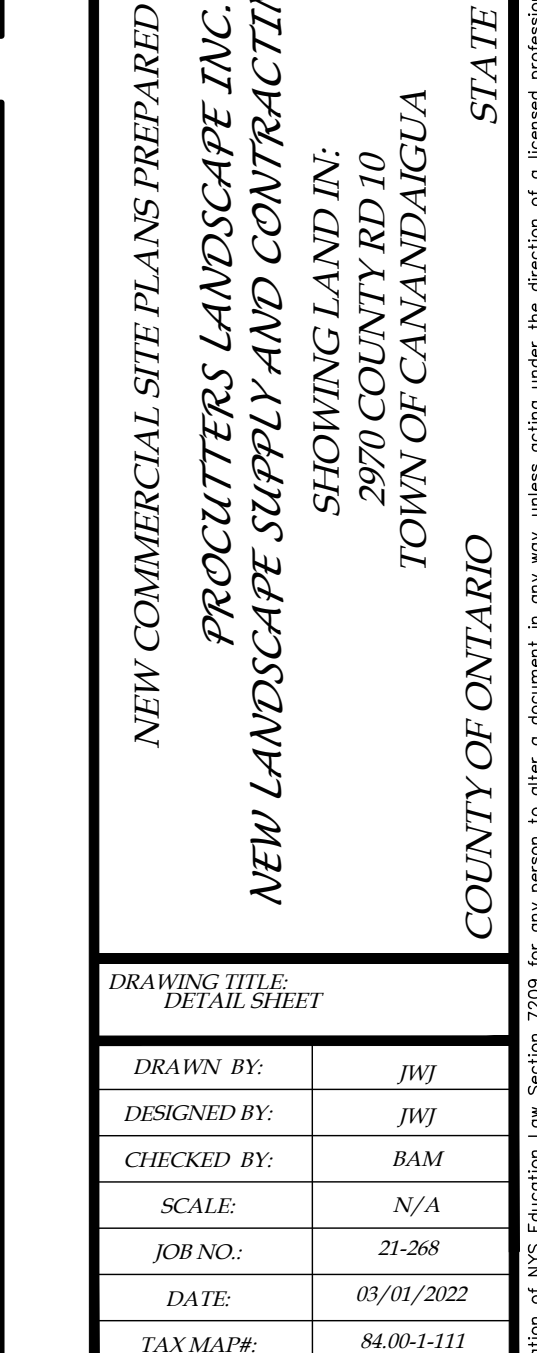
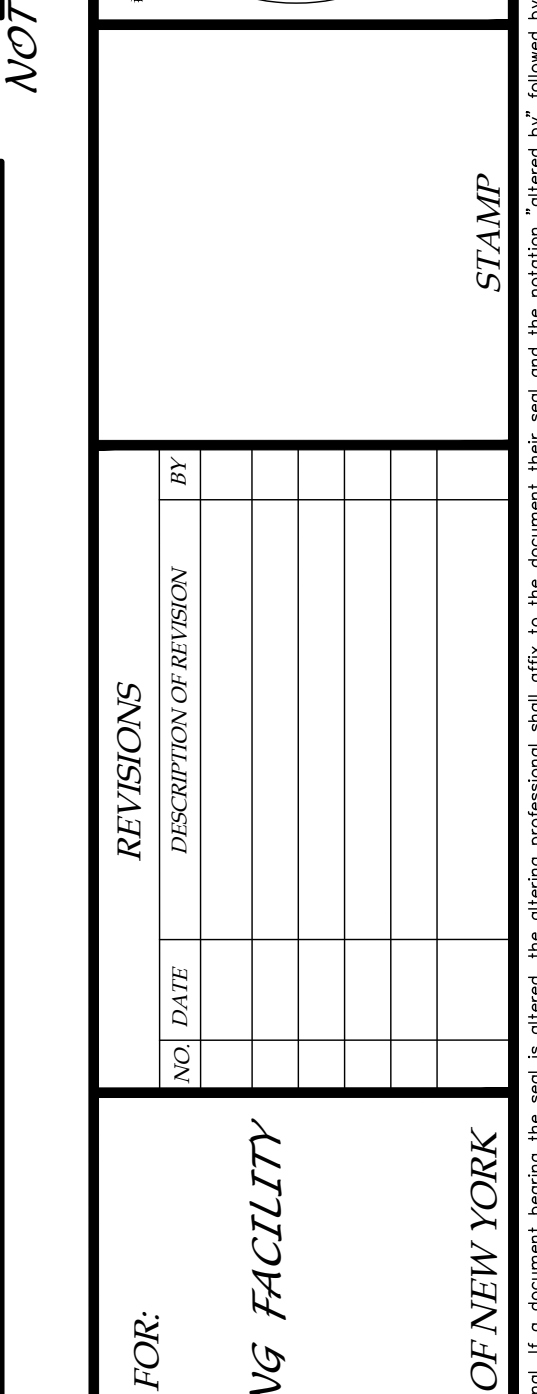
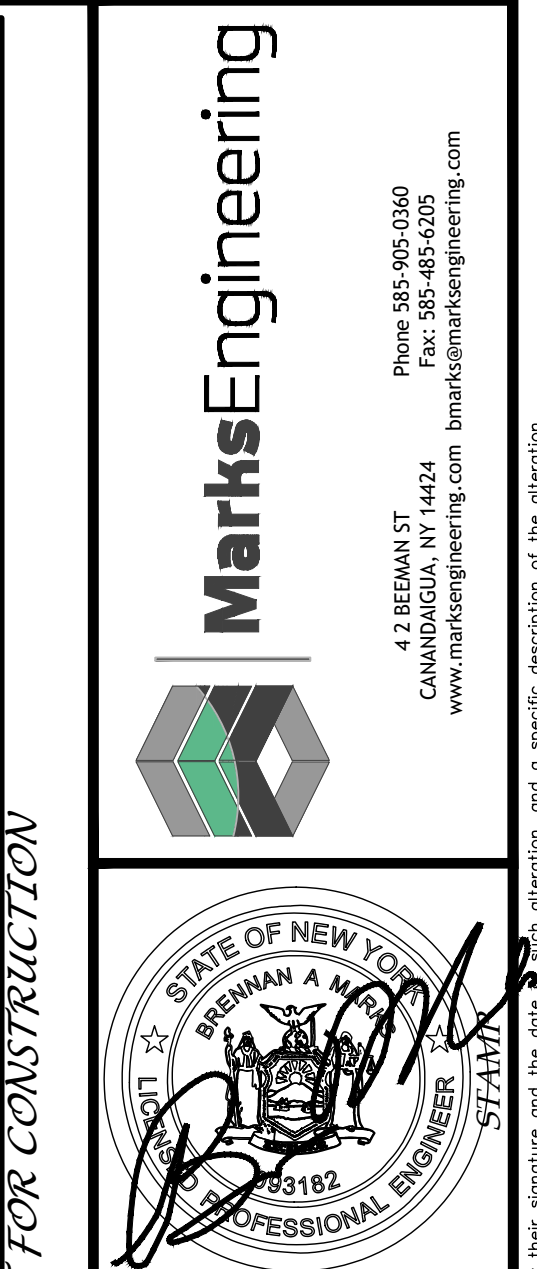
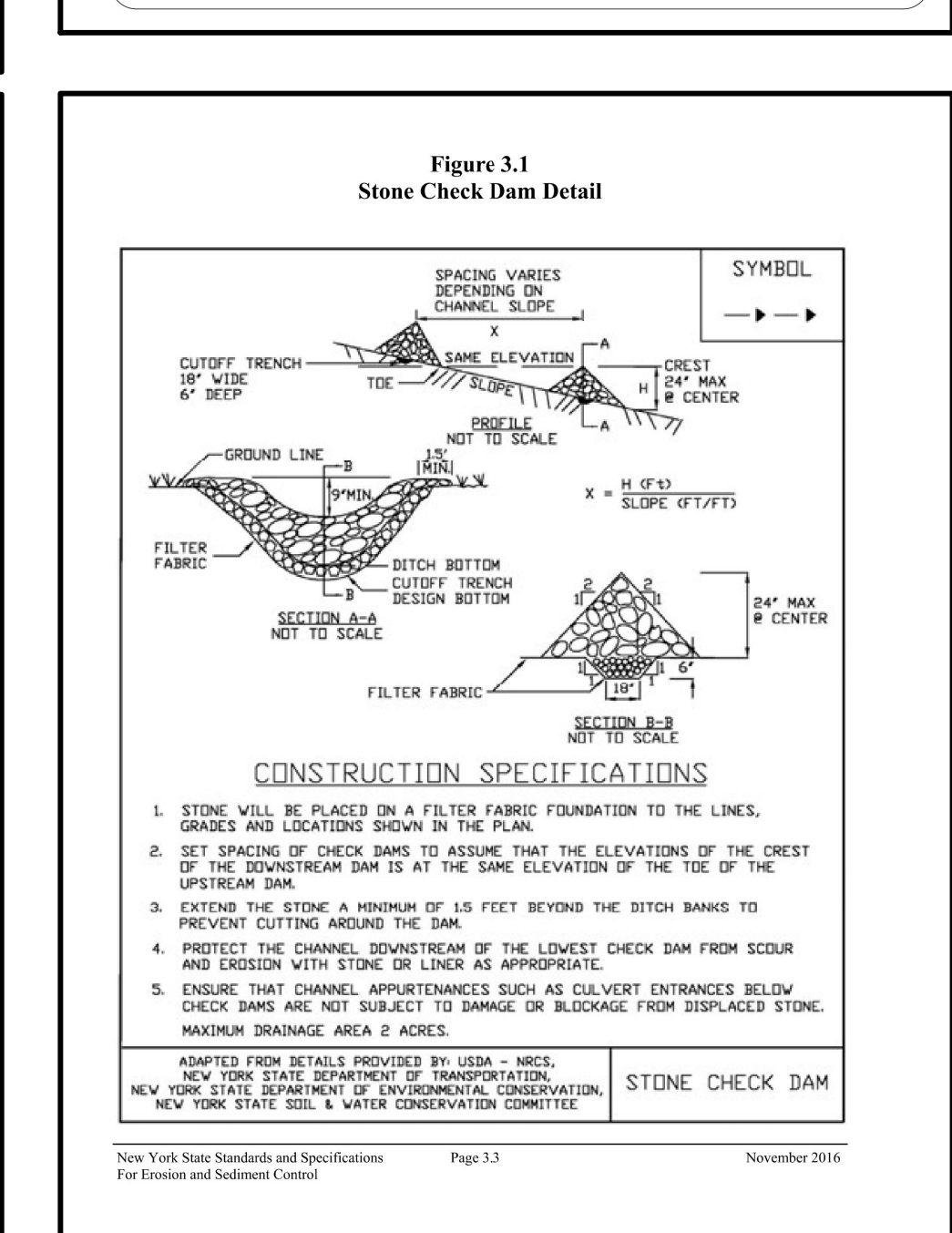
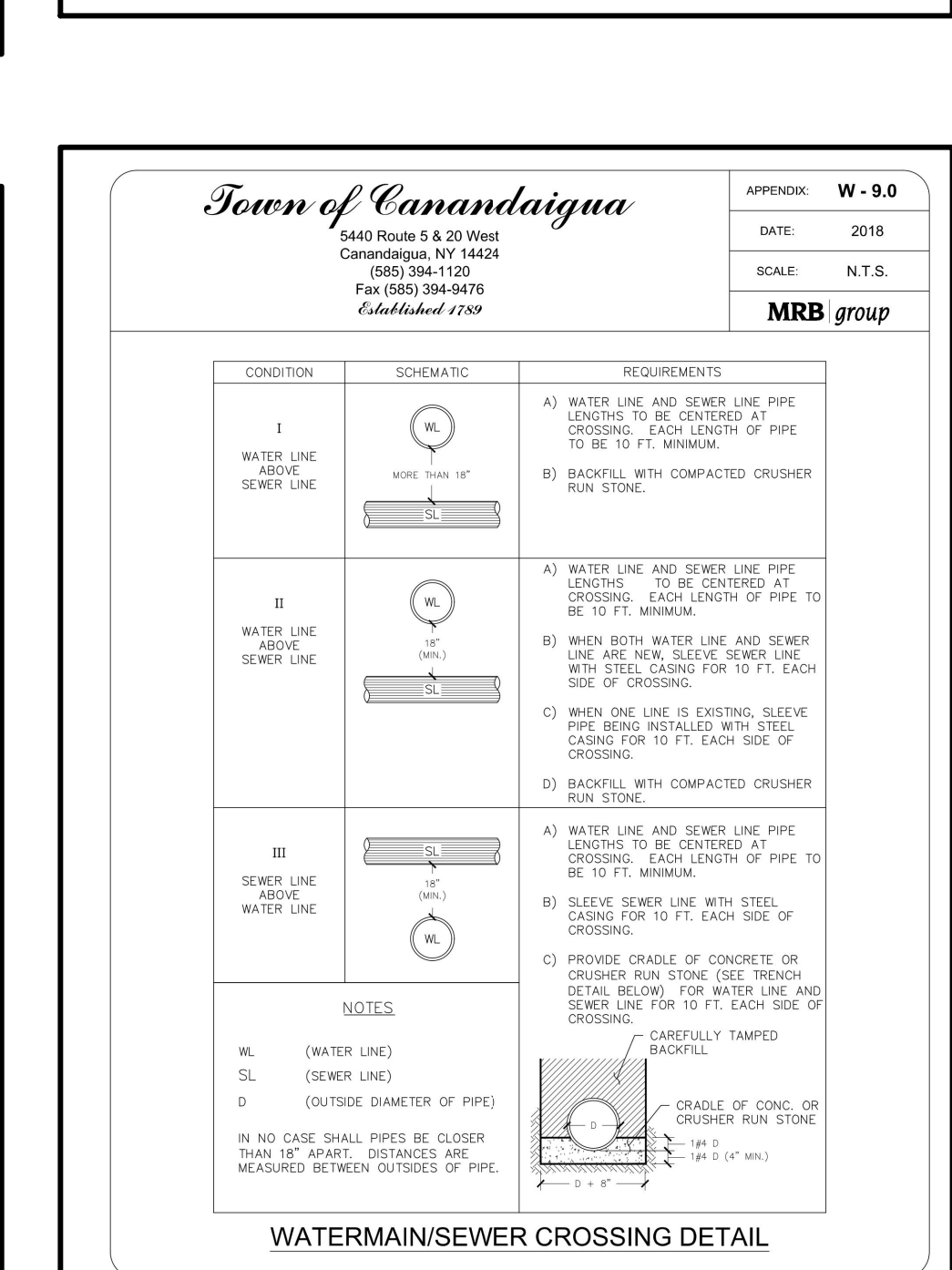
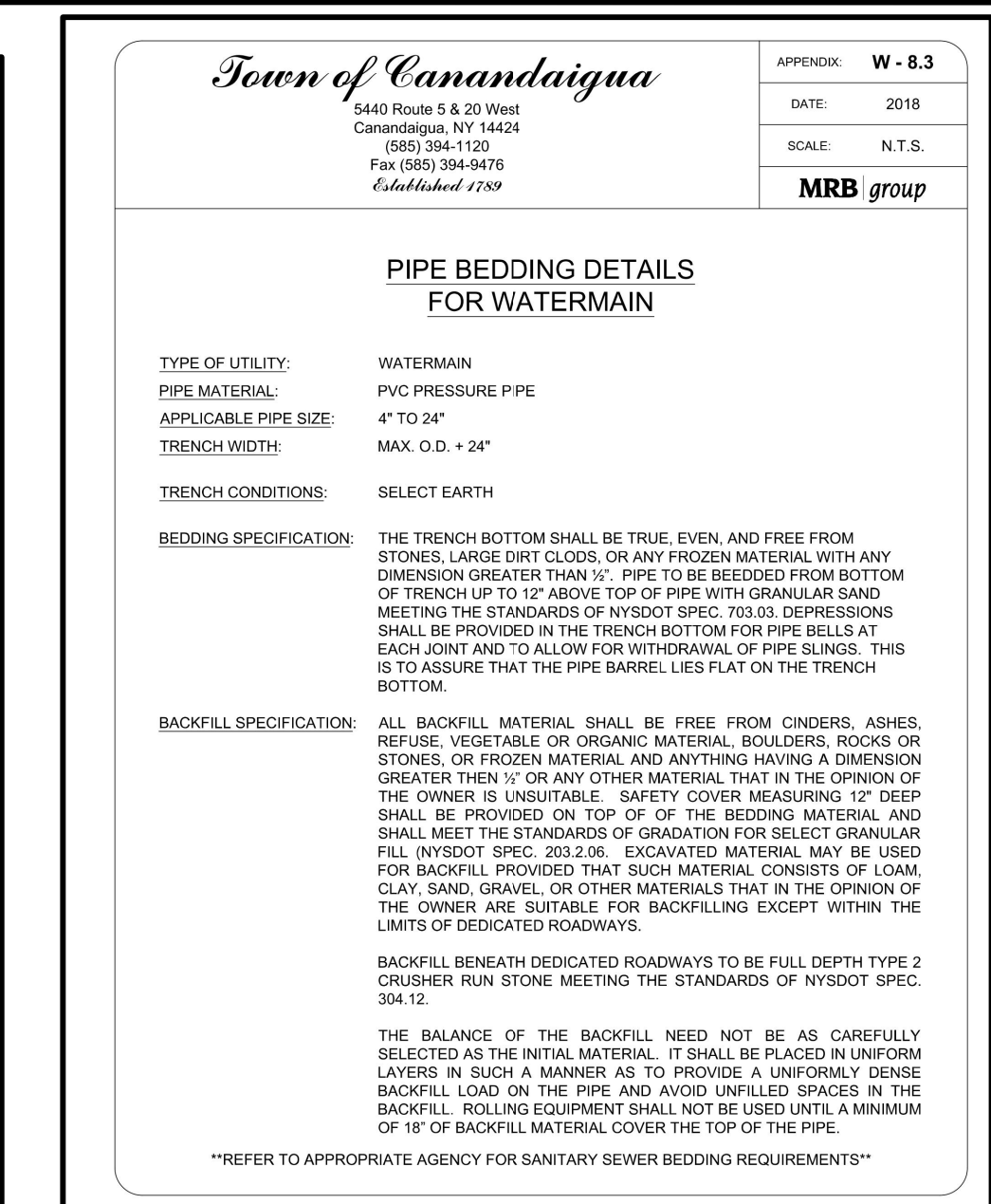
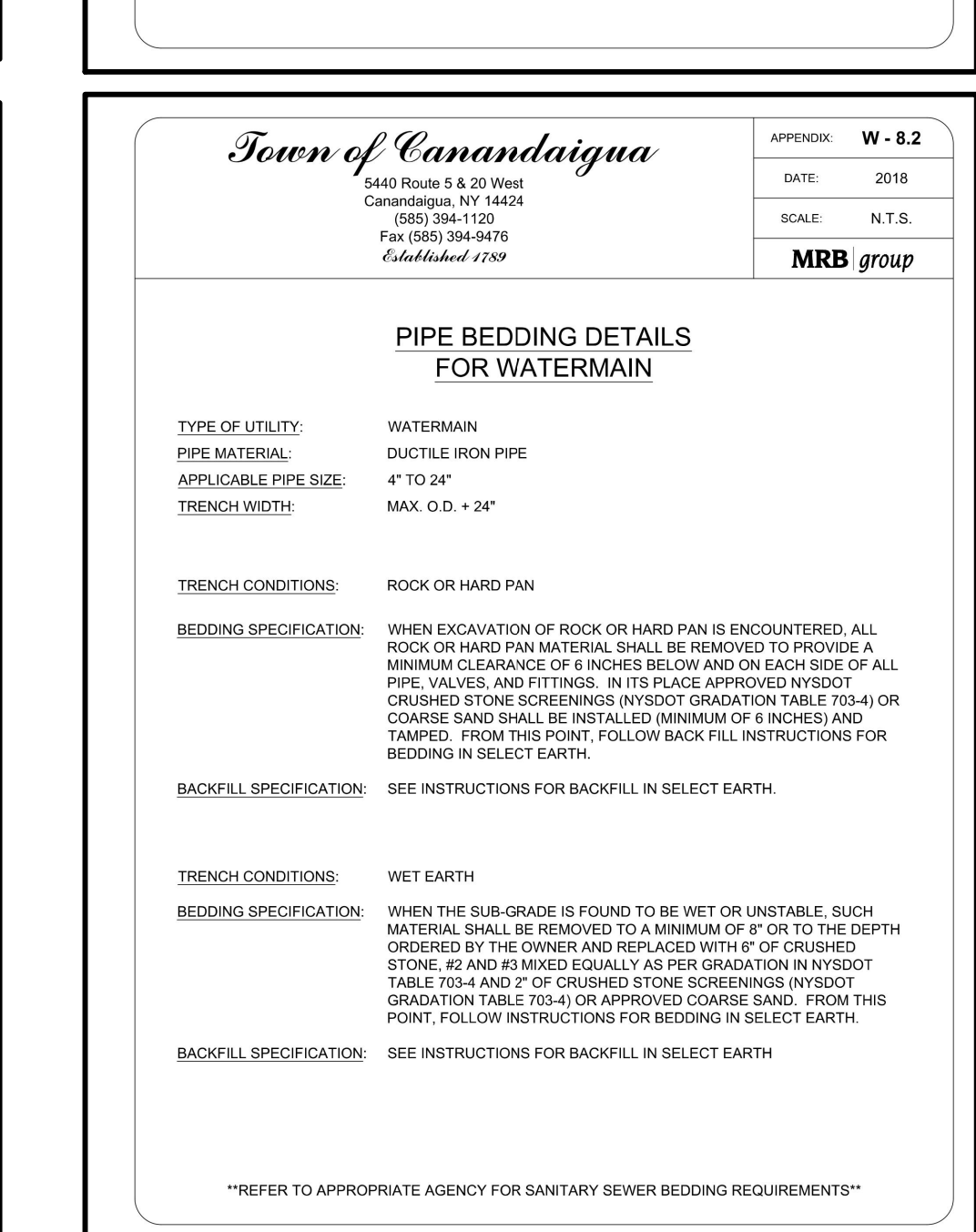
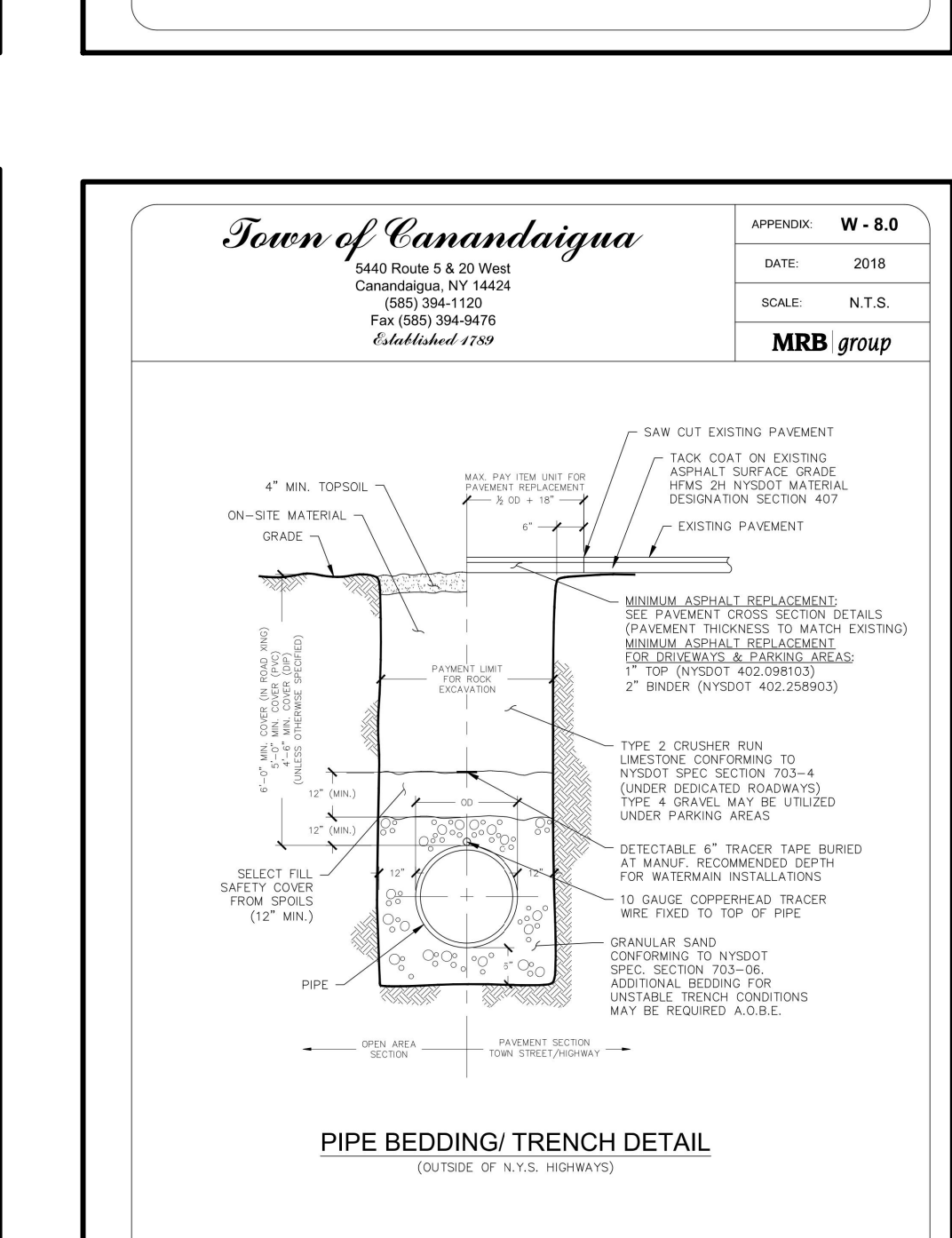
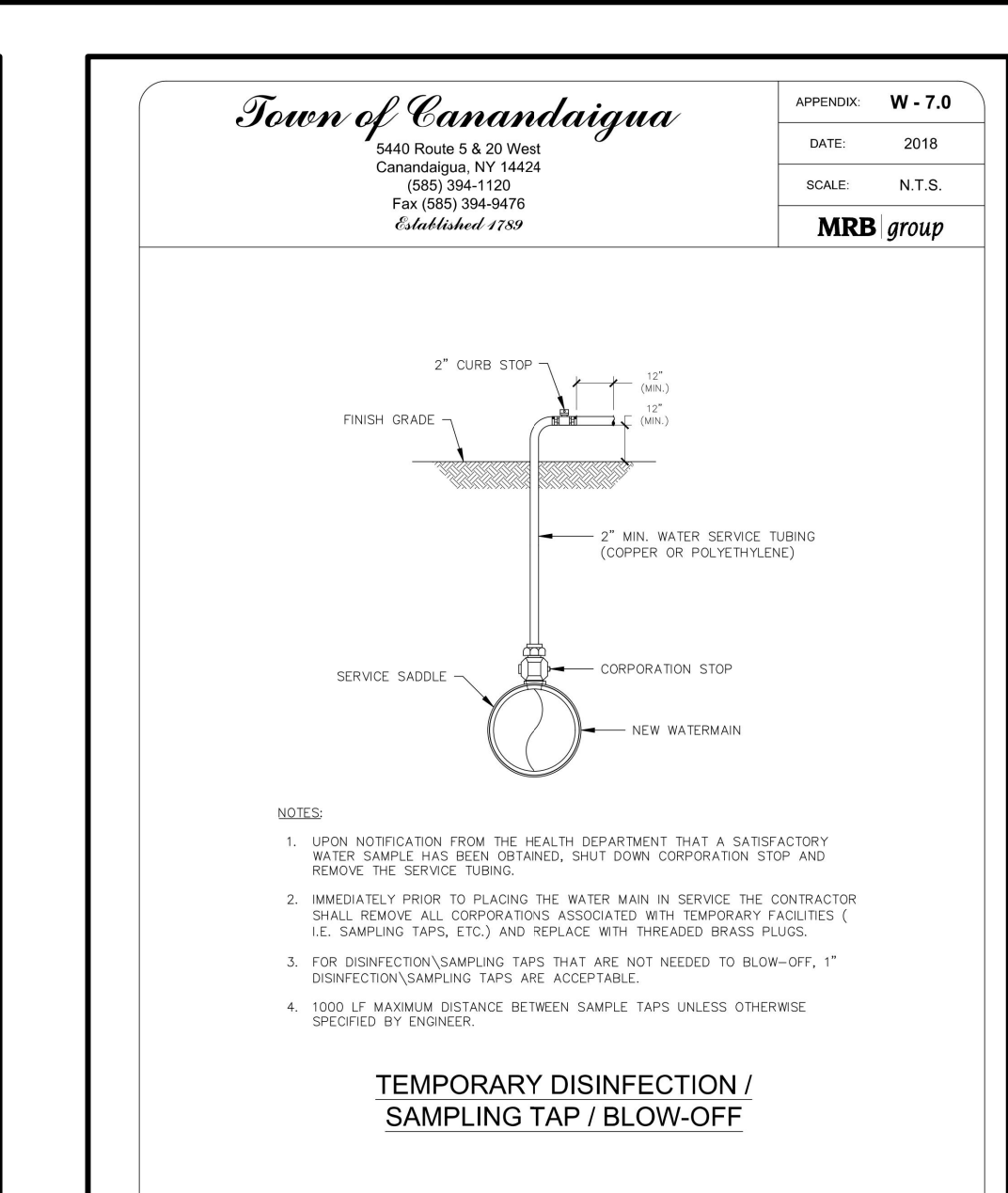
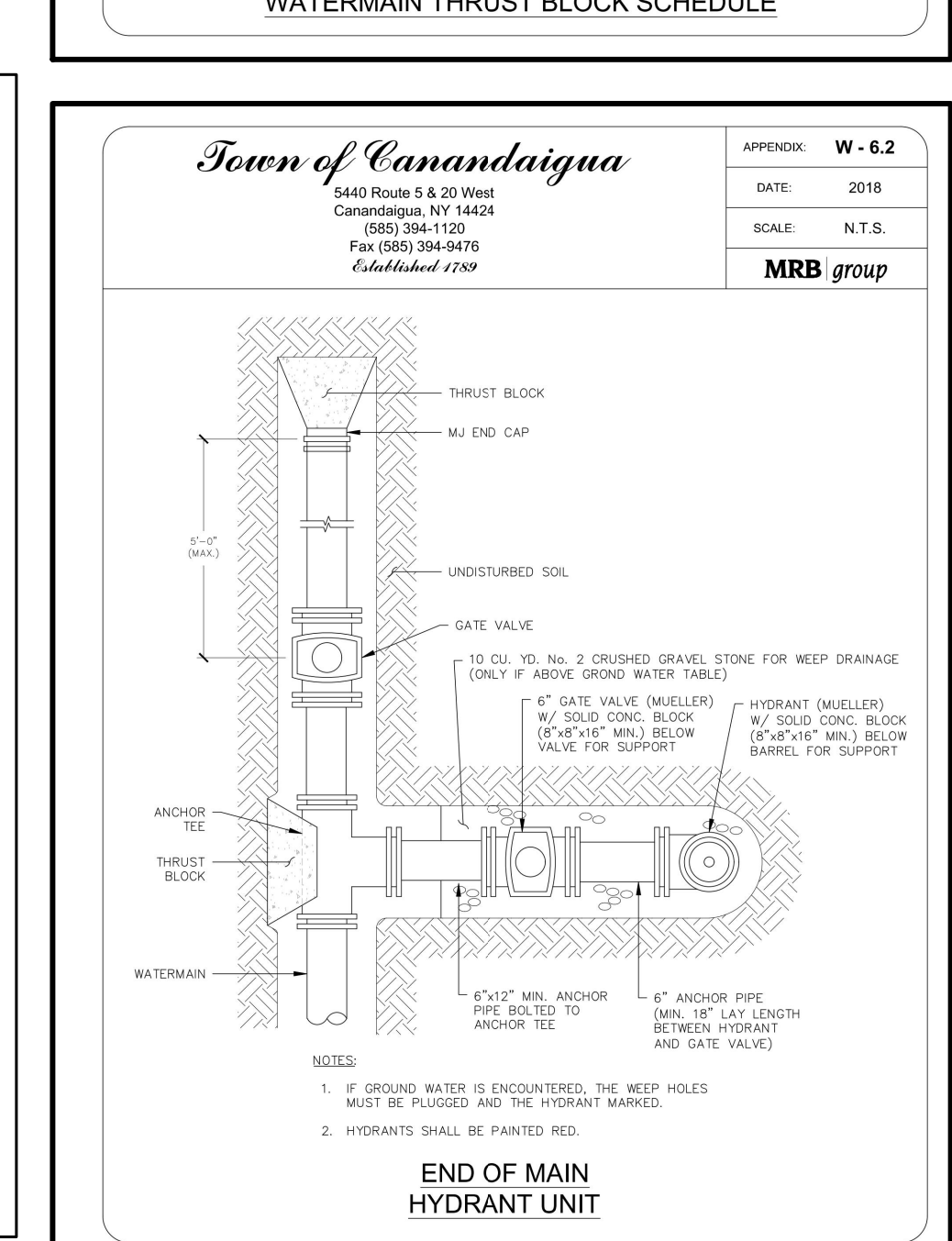
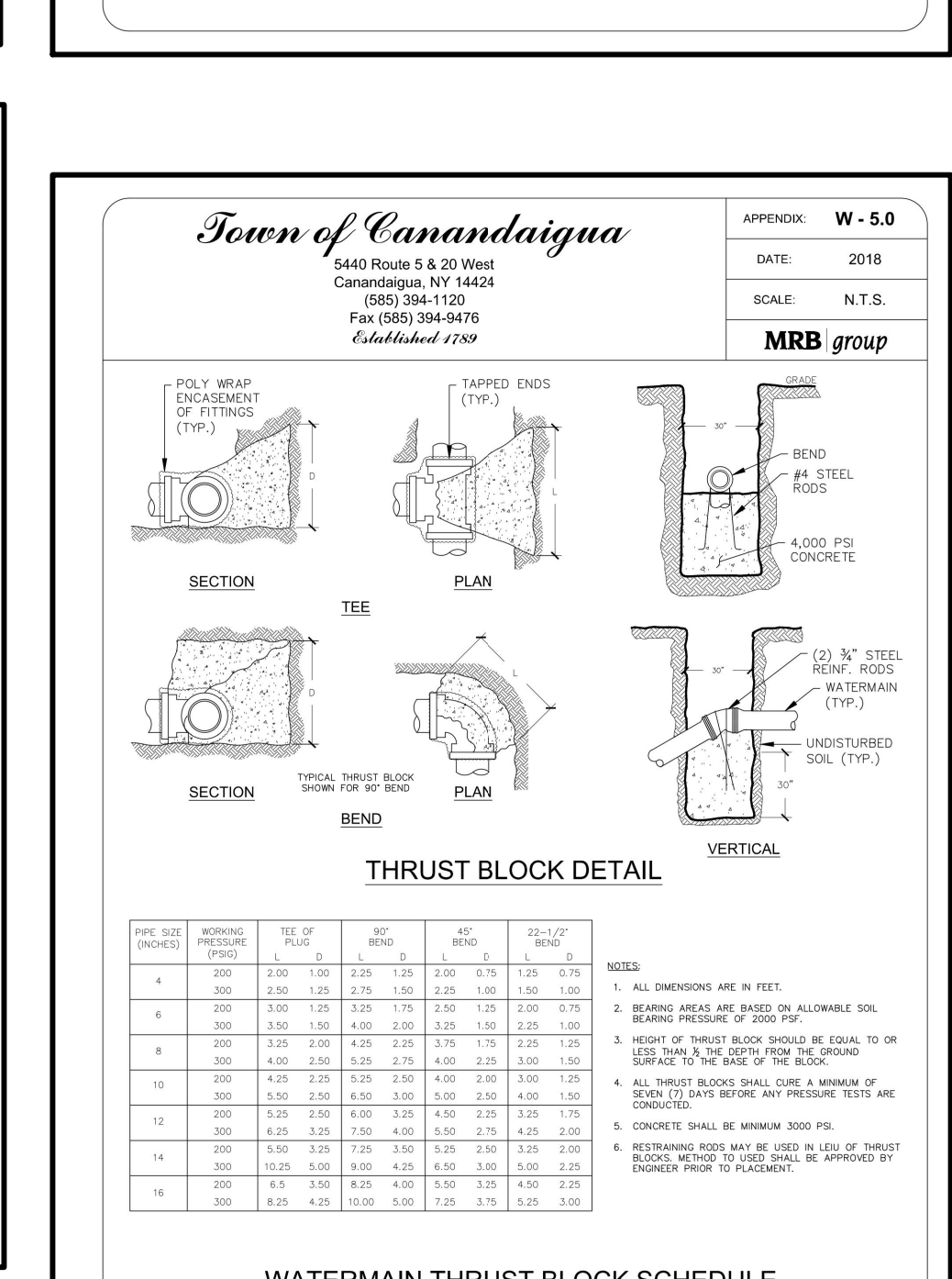
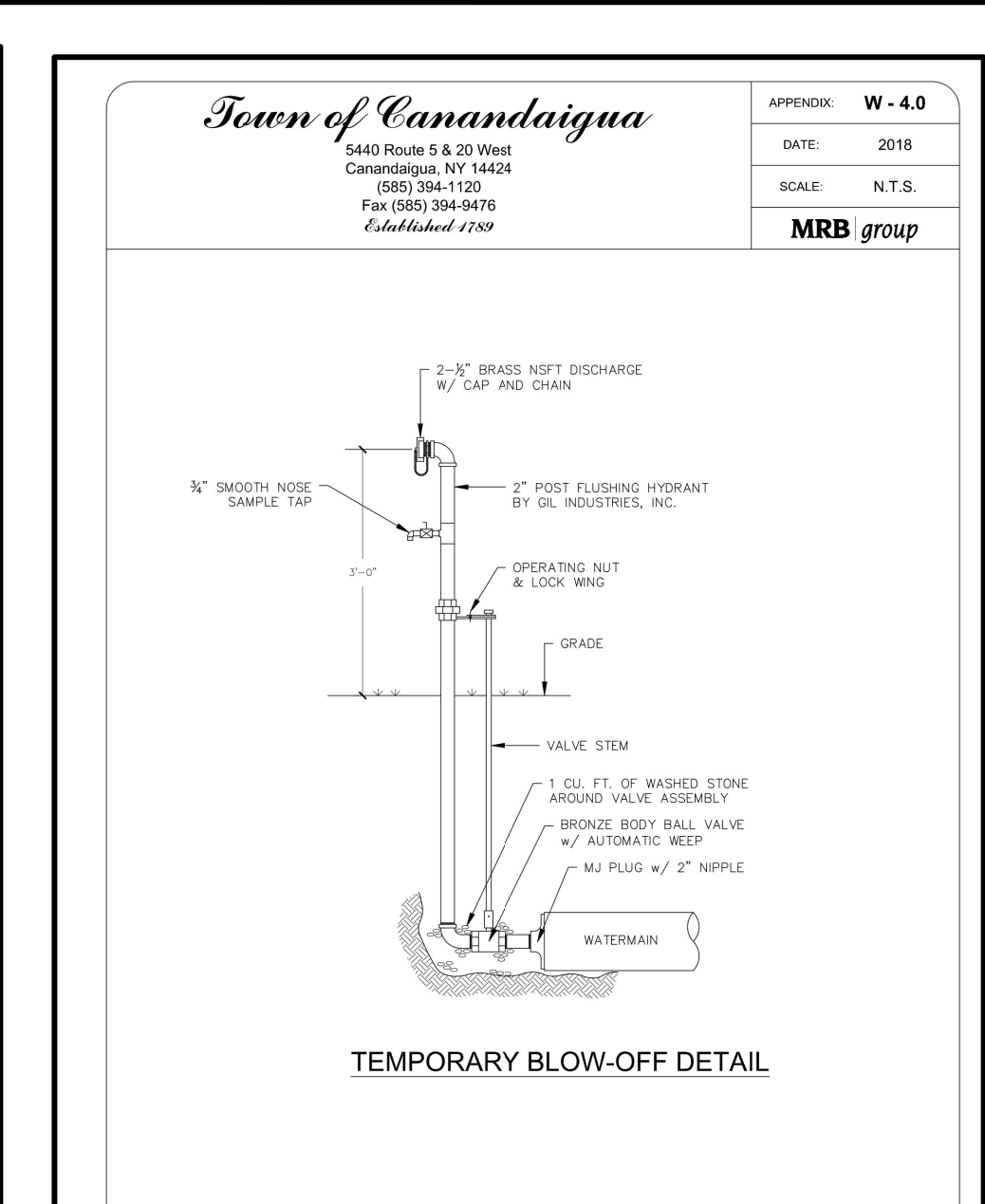
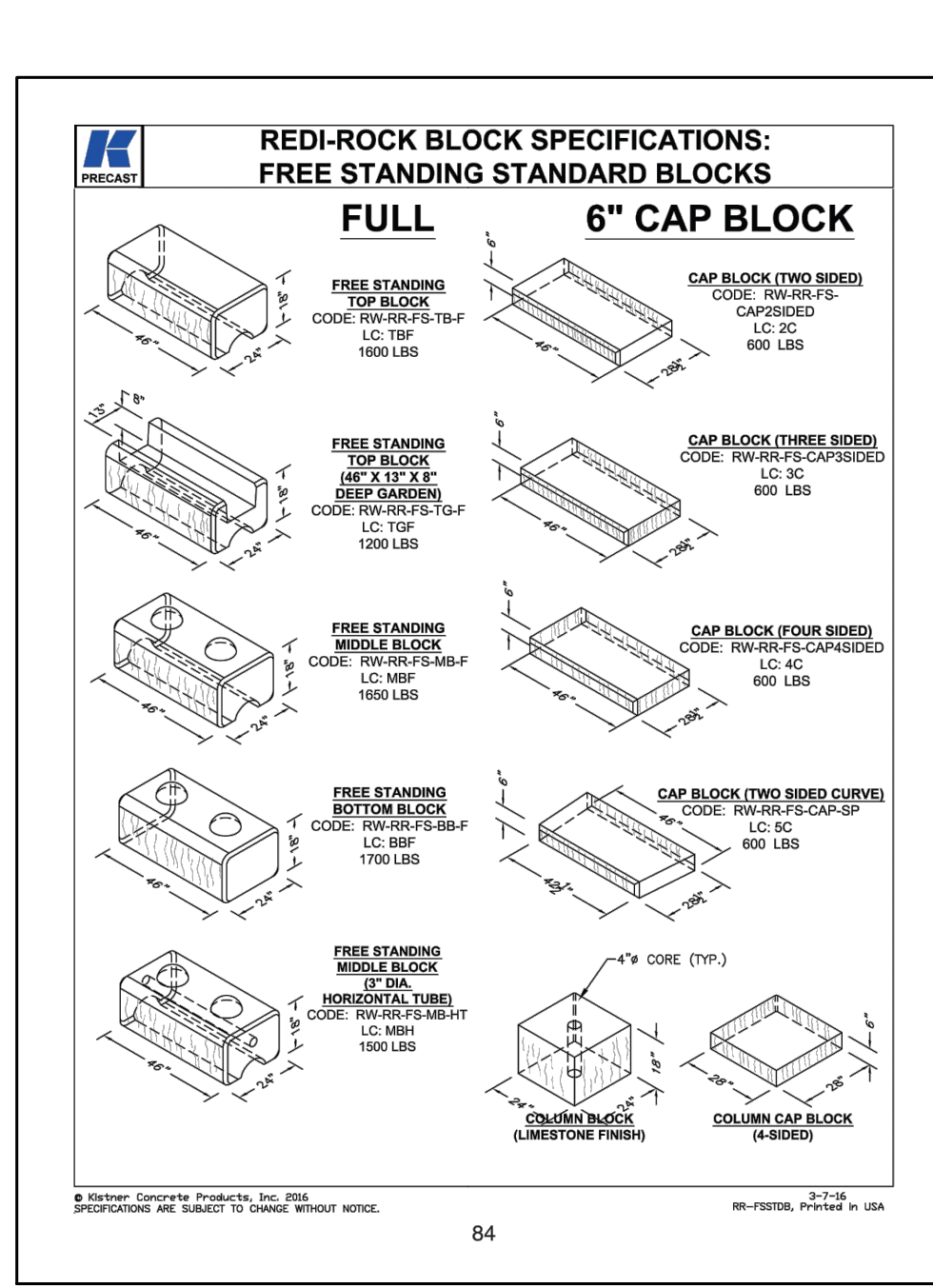
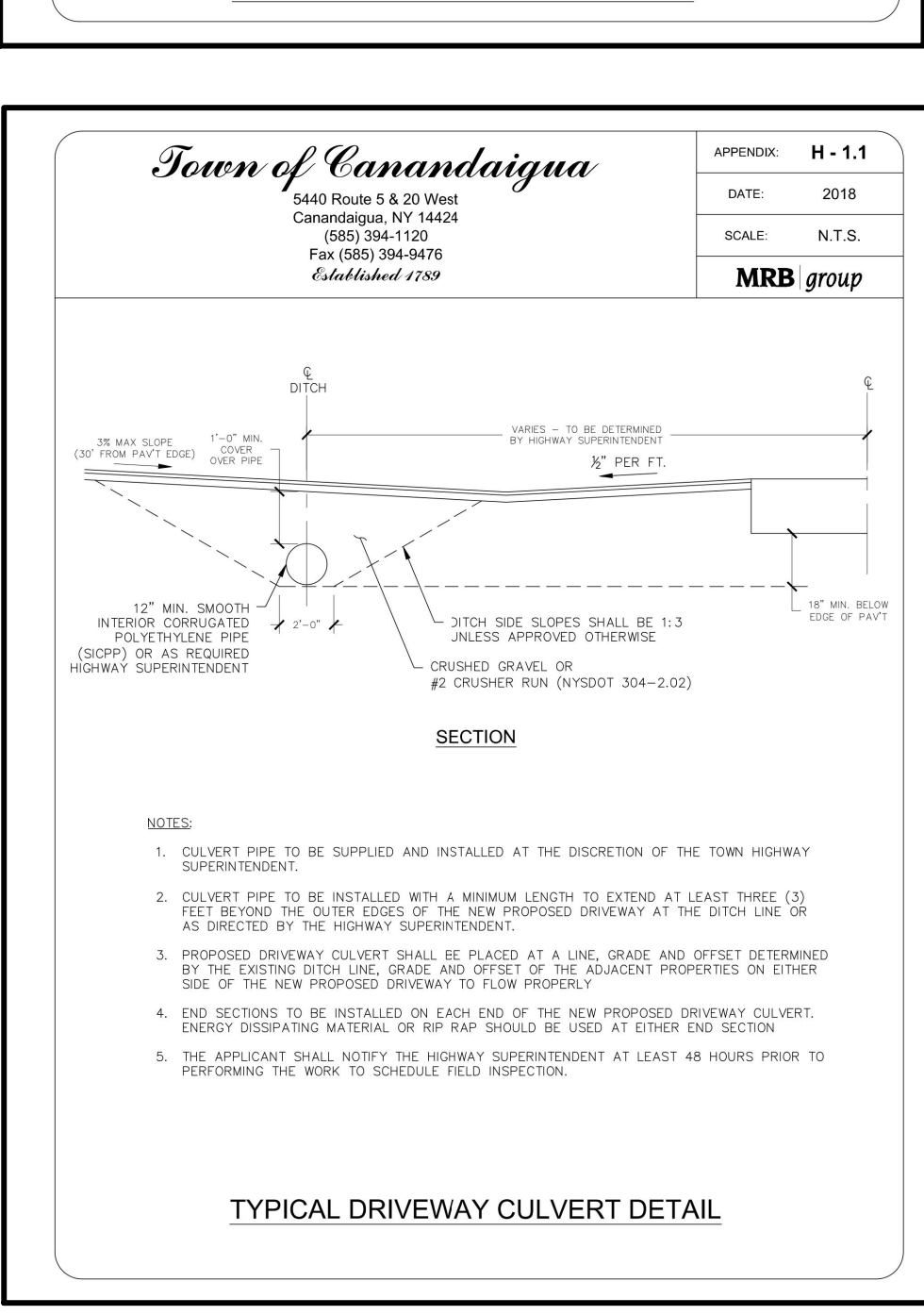
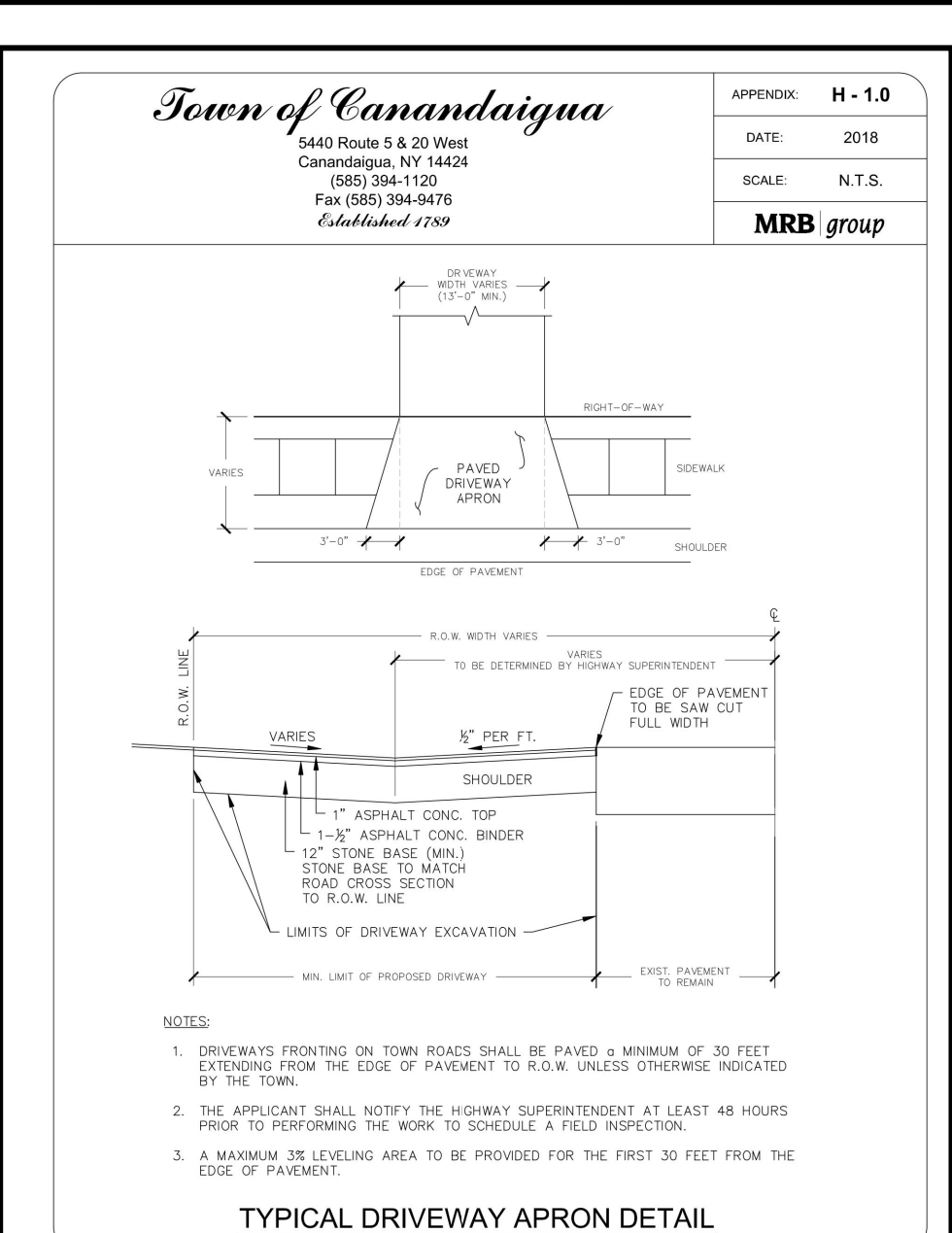
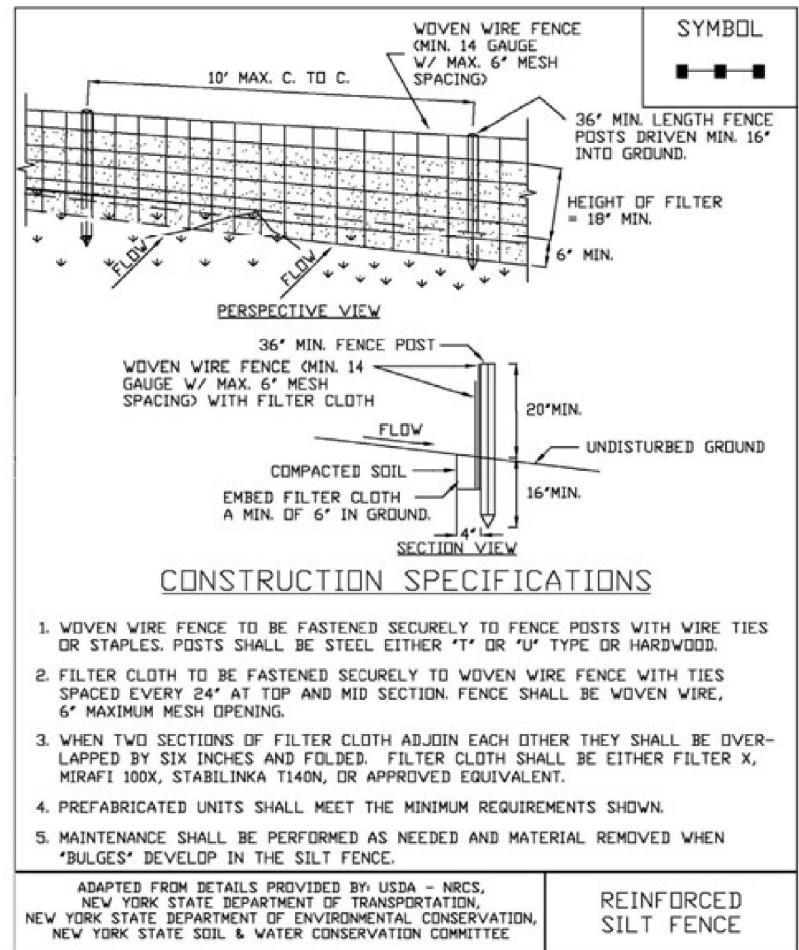


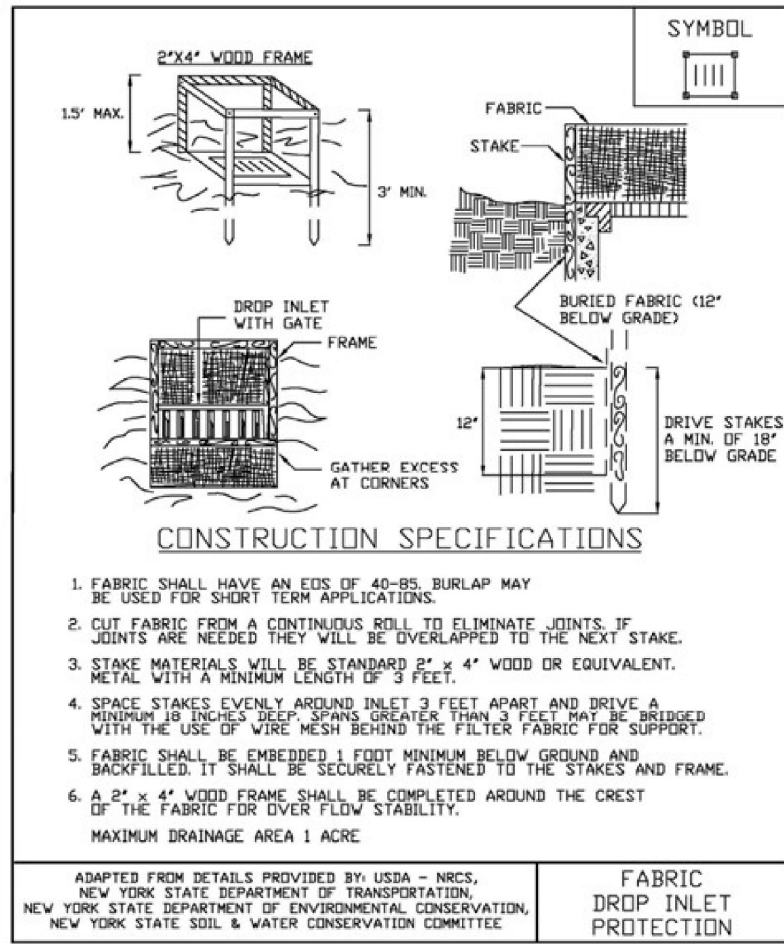


Figure 5.30  
Reinforced Silt Fence



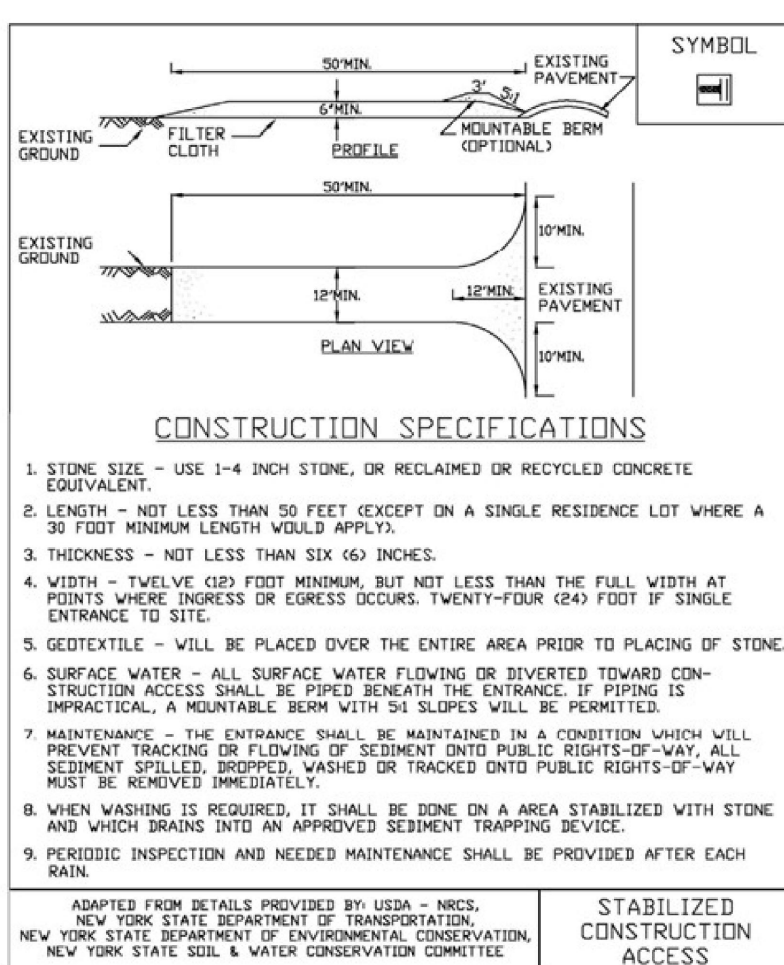
November 2016  
Page 5.56  
New York State Standards and Specifications  
For Erosion and Sediment Control

Figure 5.32  
Fabric Drop Inlet Protection

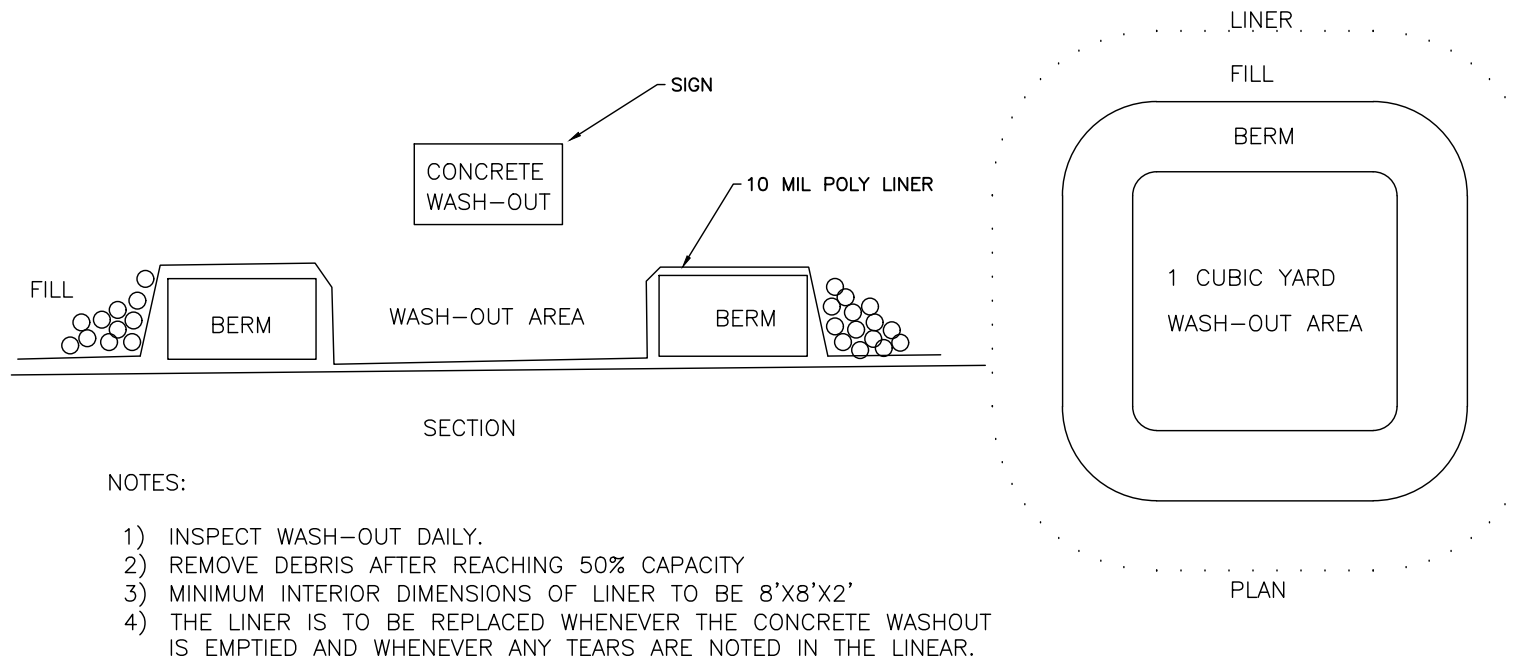


New York State Standards and Specifications  
For Erosion and Sediment Control  
Page 5.61  
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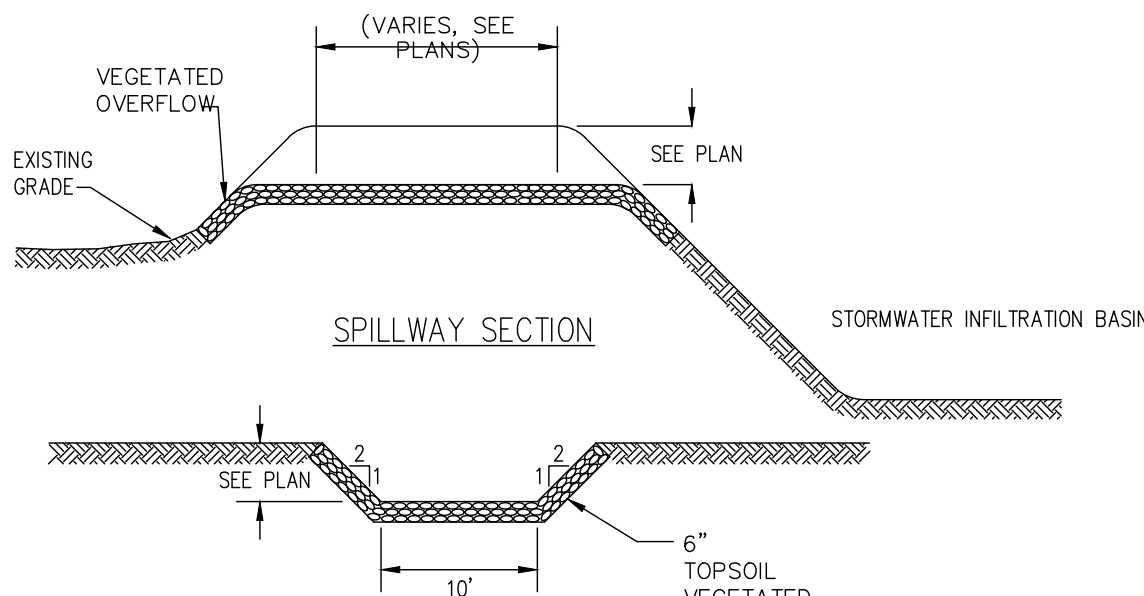
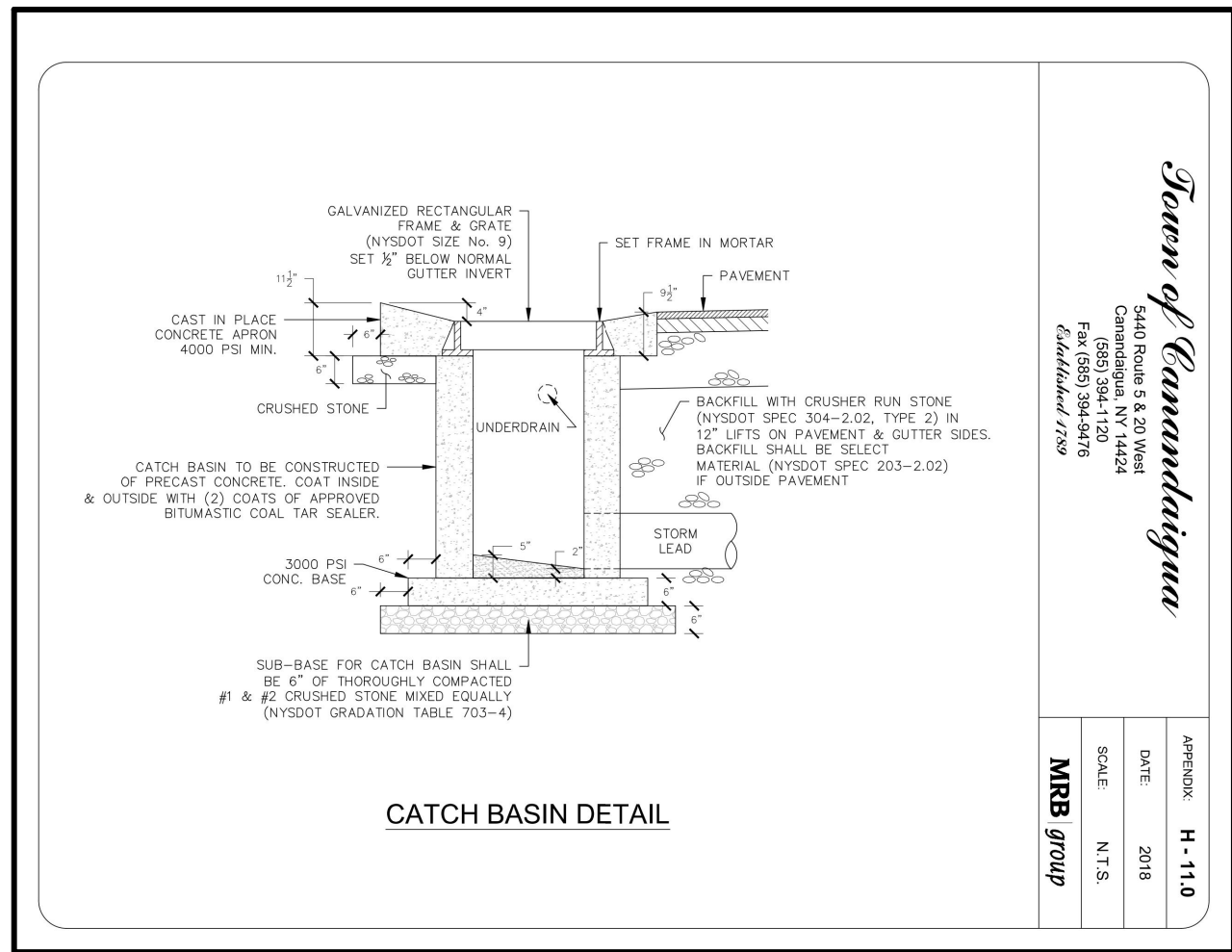
Figure 2.1  
Stabilized Construction Access



New York State Standards and Specifications  
For Erosion and Sediment Control  
Page 2.31  
November 2016



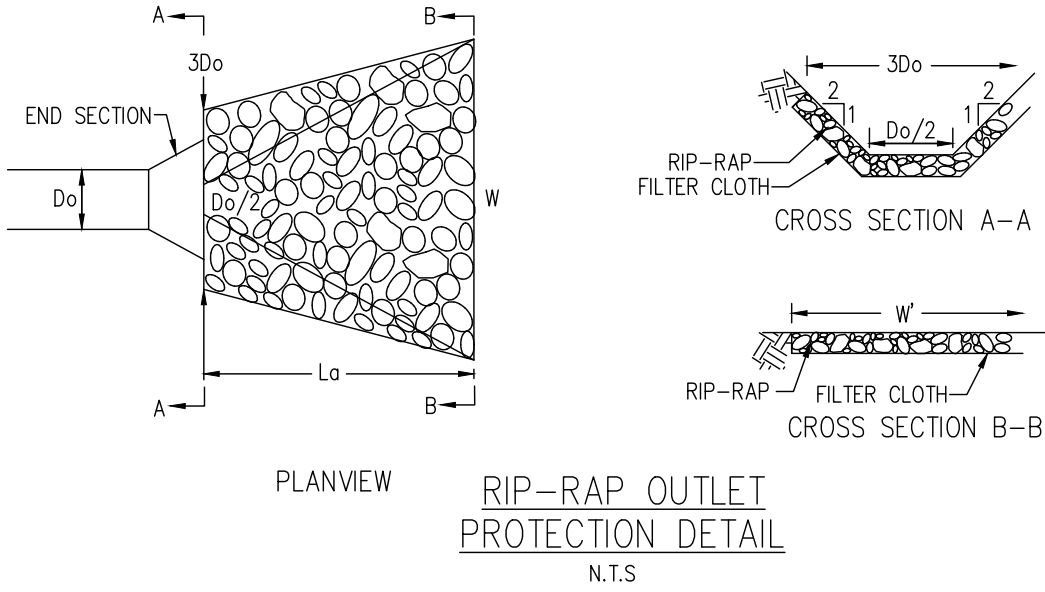
CONCRETE WASHOUT  
N.T.S.



TYPICAL RIP RAP SPILLWAY DETAIL  
N.T.S.

DESIGNATION	DIA. OF PIPE D <sub>o</sub>	3D <sub>o</sub>	L <sub>o</sub>	W	S.Y. OF RIP-RAP
UPPER CULVERT	12"	3'	4'	5'	5 SY
LOWER CULVERT	12"	3'	4'	5'	5 SY
ROOF LEADERS	6"	1.5'	4'	5'	5 SY

RIP-RAP OUTLET DIMENSIONS



RIP-RAP OUTLET  
PROTECTION DETAIL  
N.T.S.

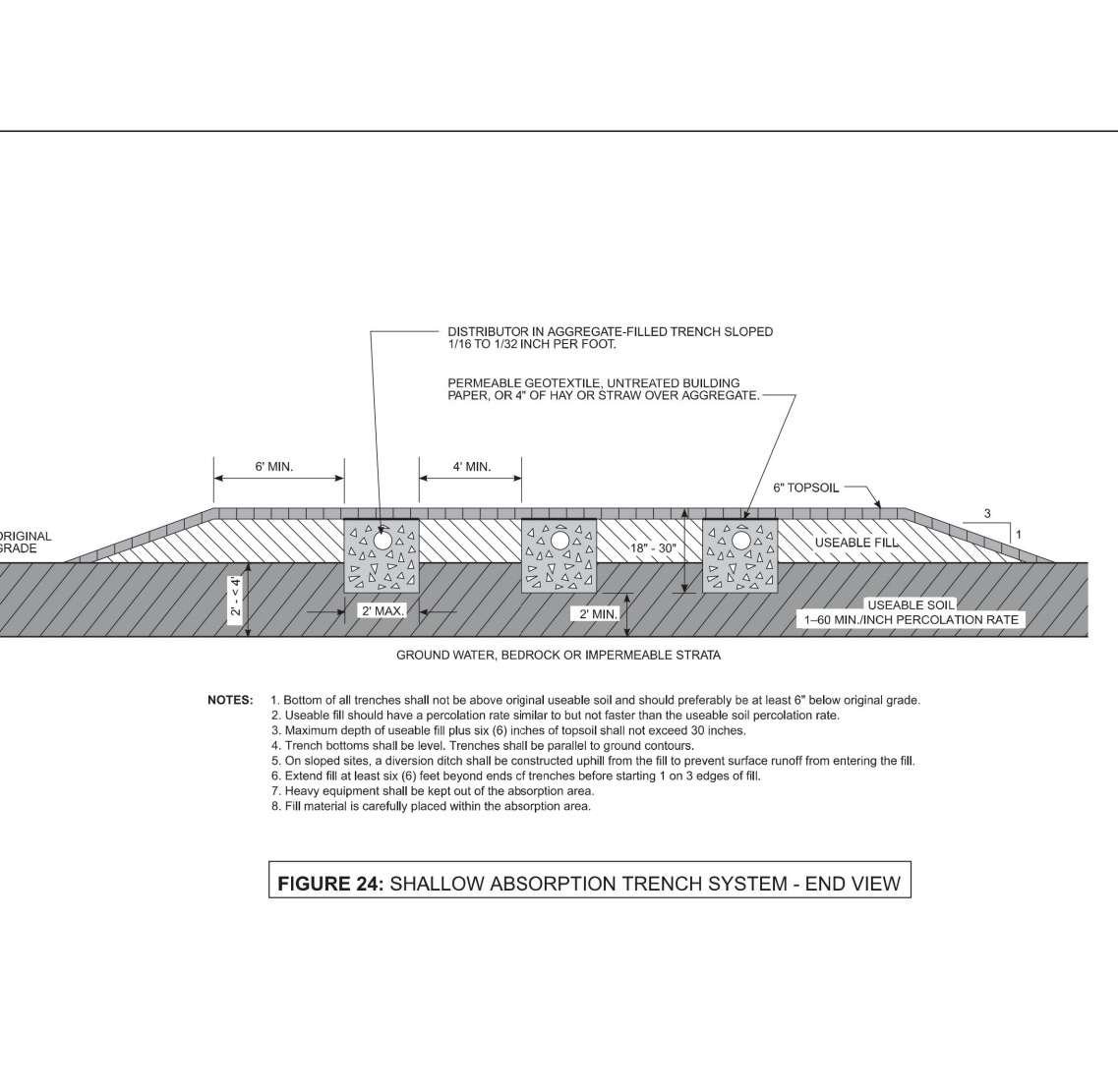
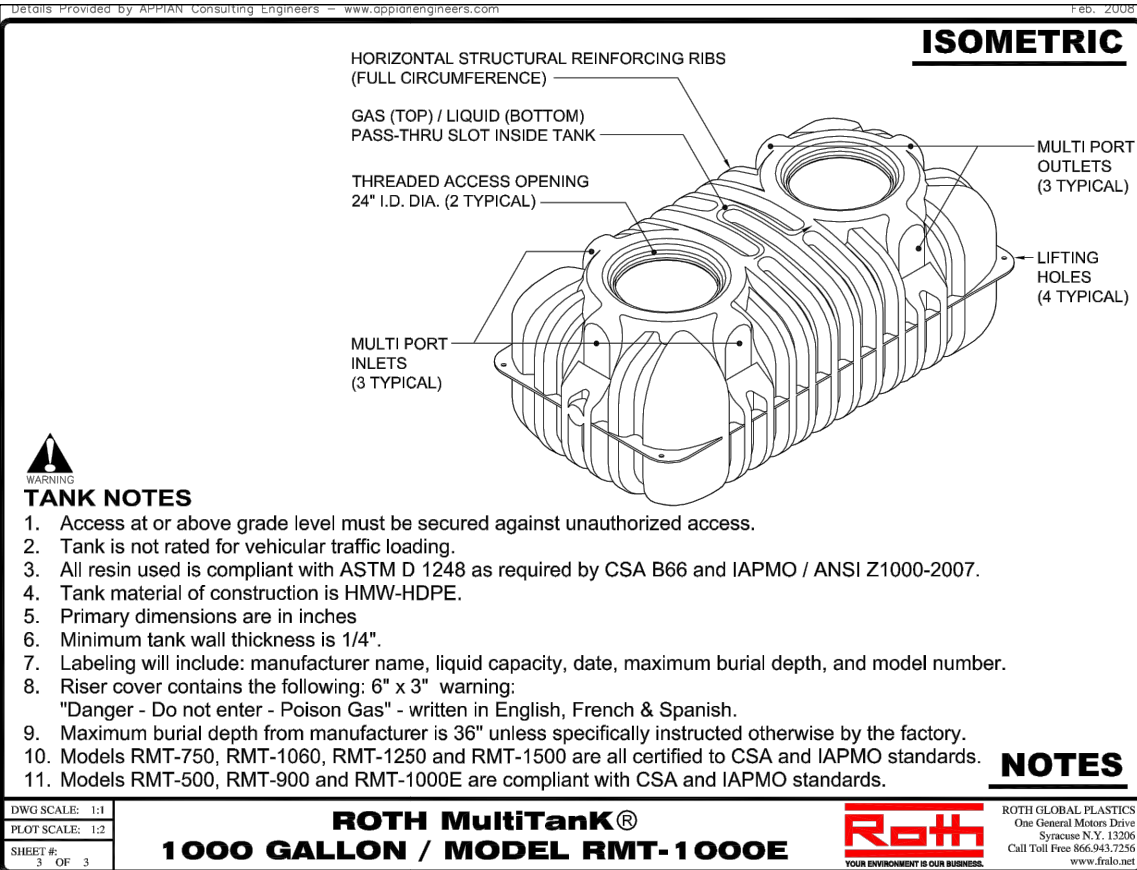
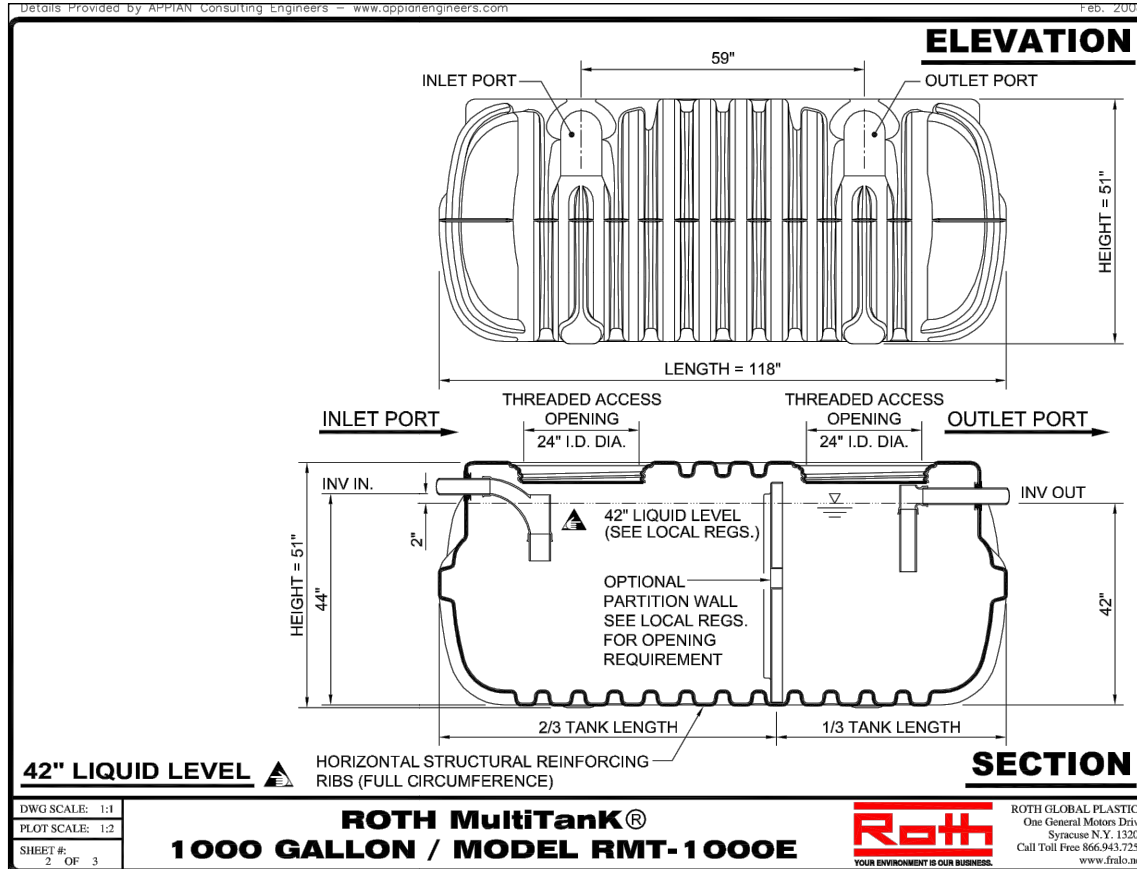
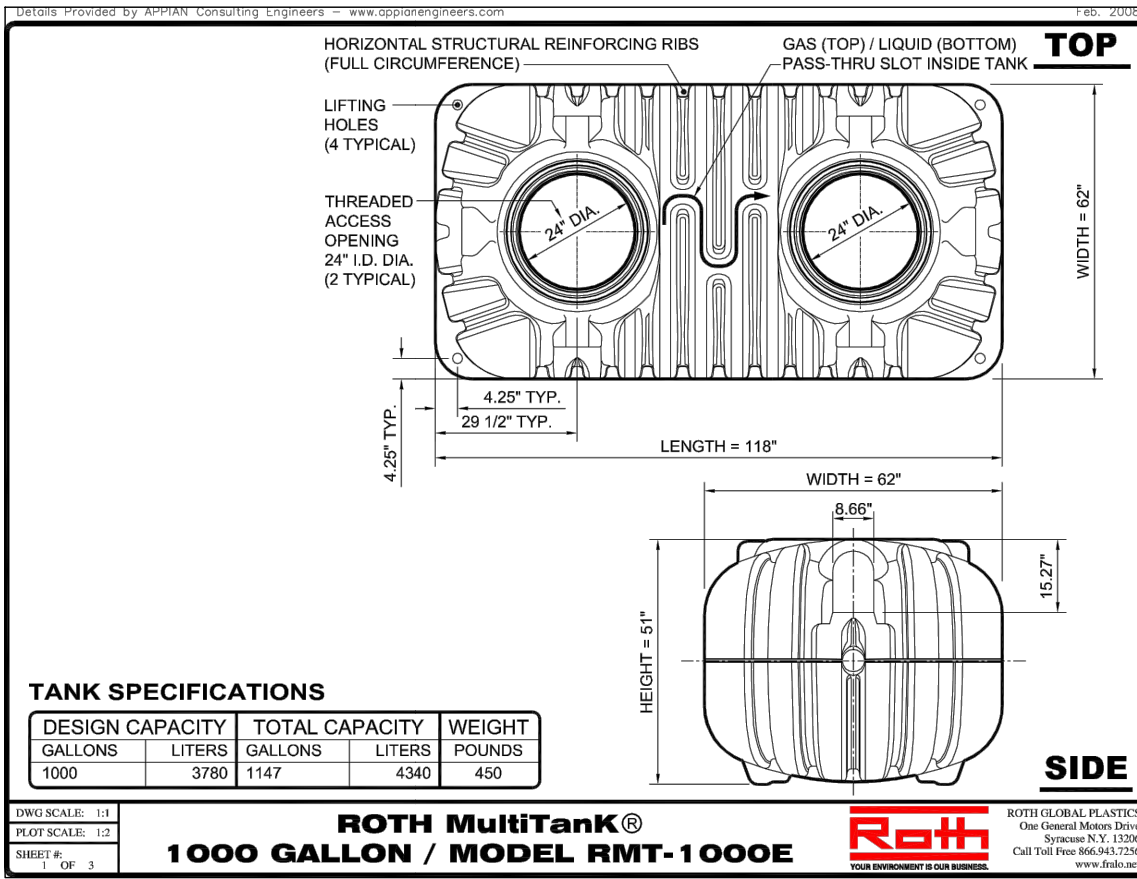
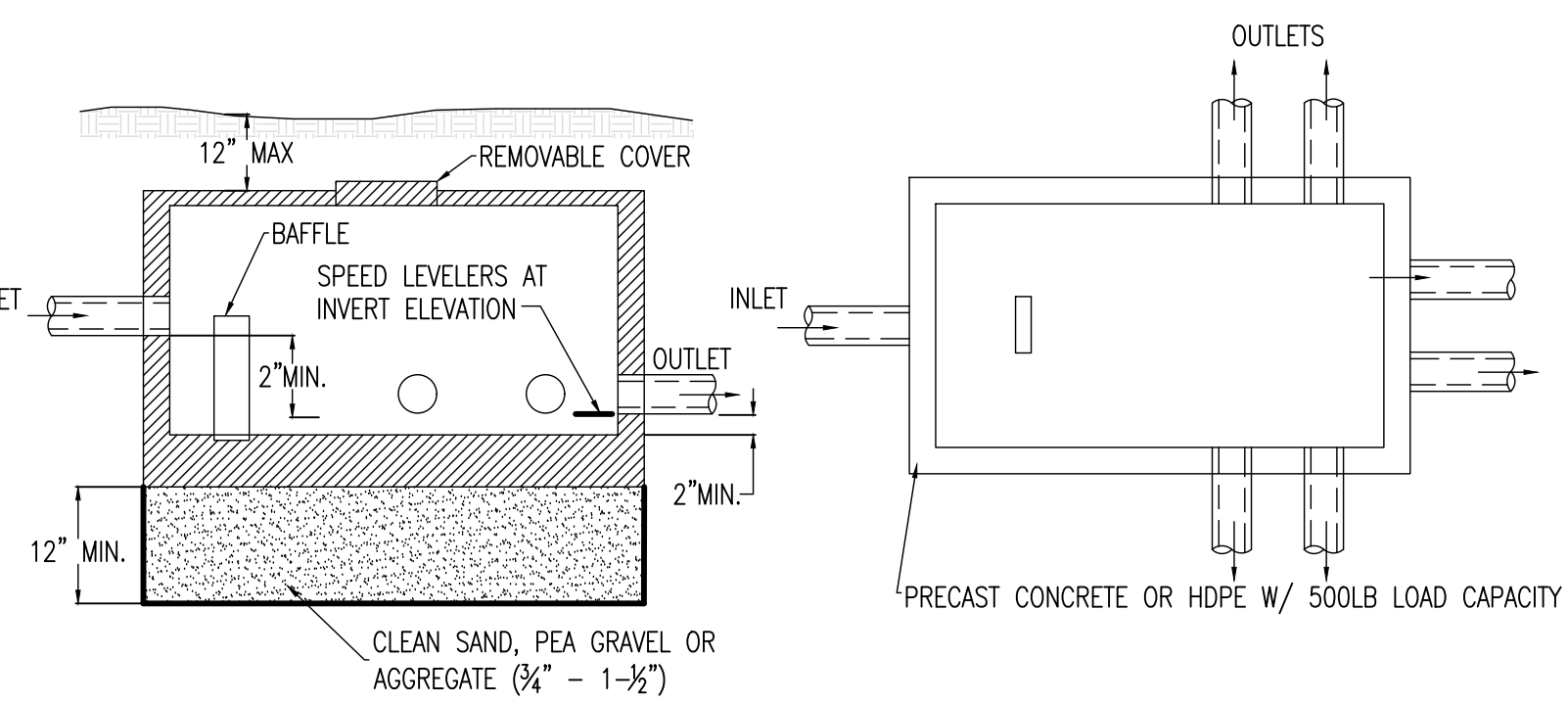
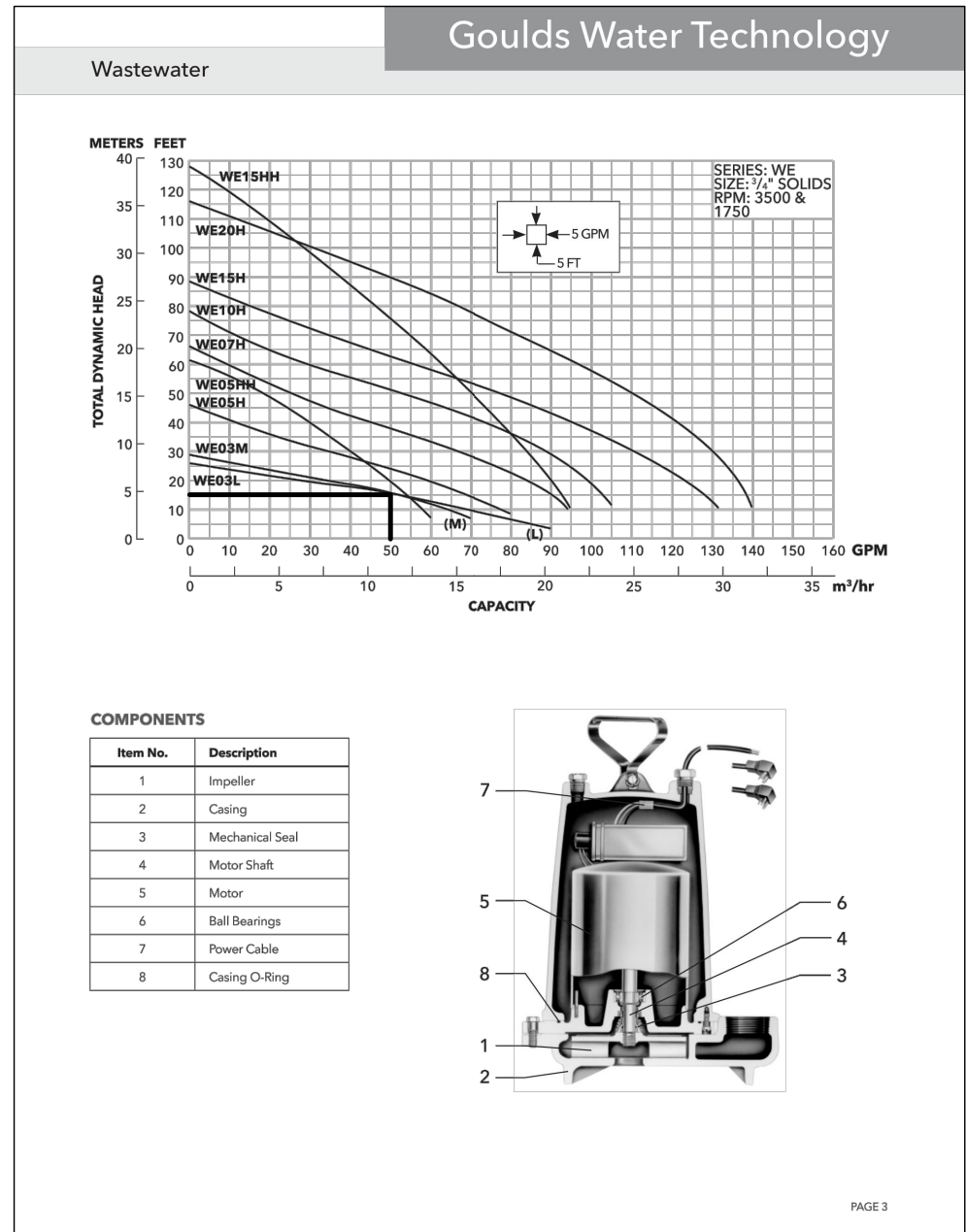
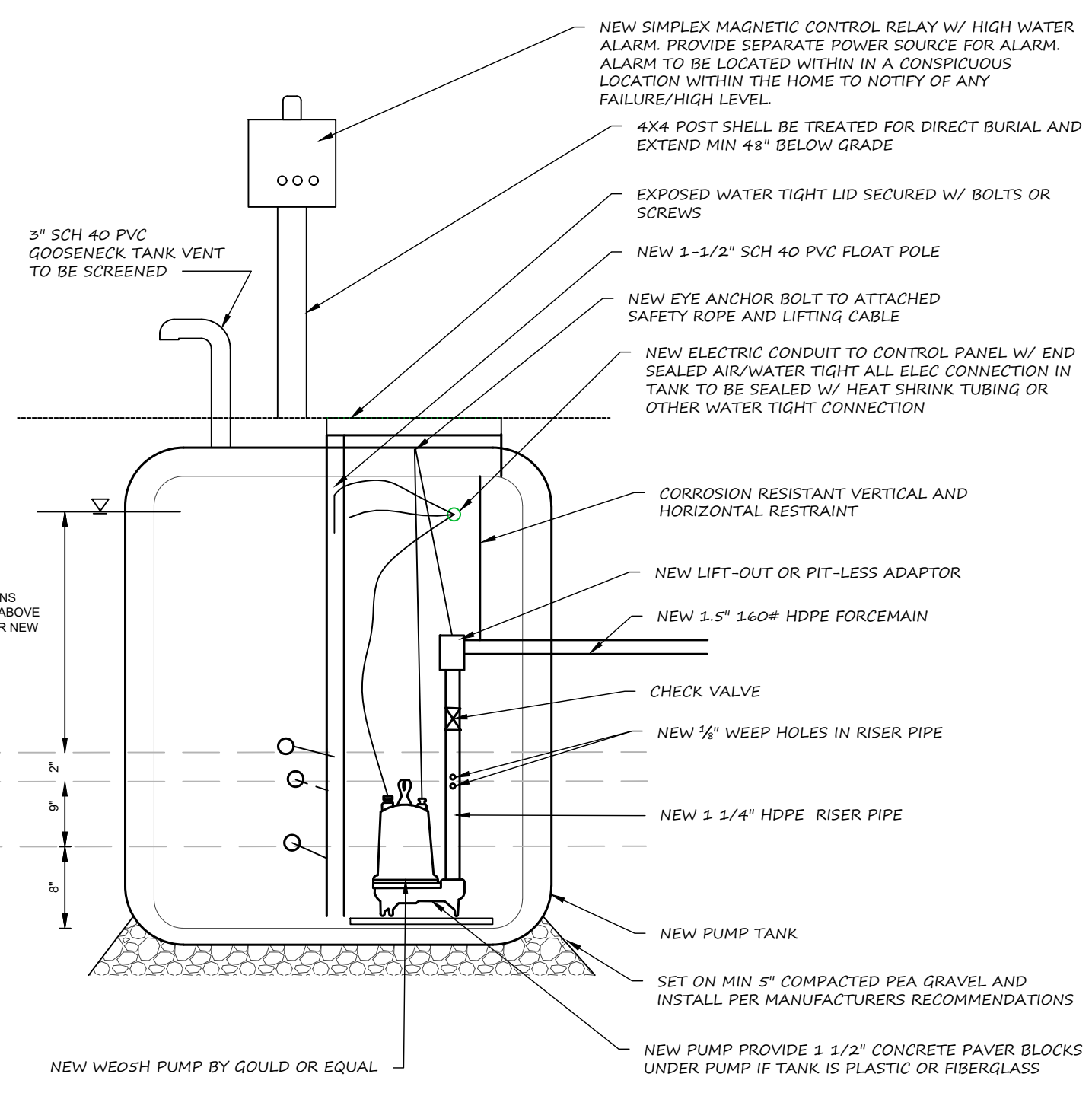


FIGURE 24: SHALLOW ABSORPTION TRENCH SYSTEM - END VIEW



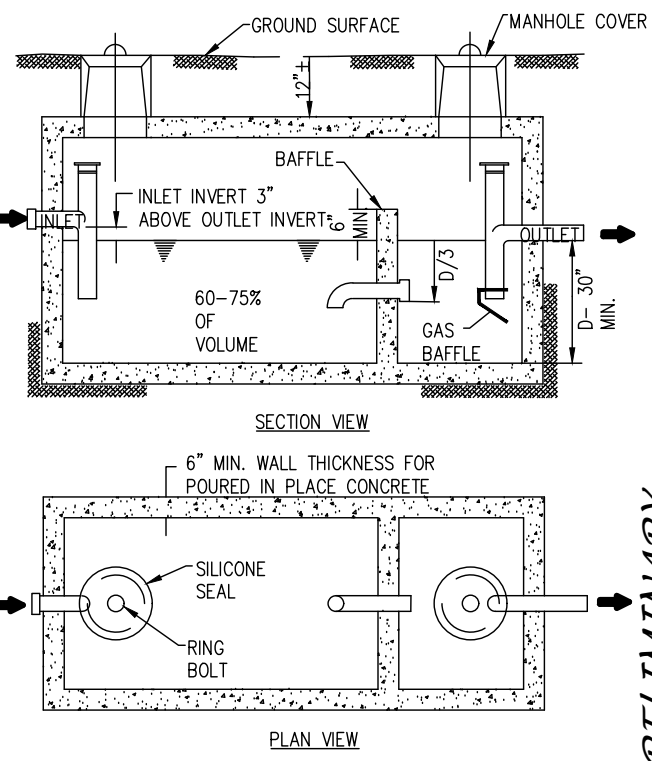
1 TYPICAL D-BOX  
N.T.S.



5 TYPICAL PUMP TANK DETAIL  
N.T.S.

HEAD LOSS @80 GPM (DOSE RATE):

PIPE: 0.7 FT/100FT = 3.0 FT  
ELEVATION: 11 FT  
FITTINGS: 1.0 FT  
TOTAL: 15.0 FT  
PUMP DOSE: 205 GALLONS  
PUMP RUNTIME: 4.1 MINUTES (TO BE VERIFIED)  
PUMP TANK = 22.7 GALS/INCH  
PUMP DOWN HEIGHT = 9"  
RESERVE CAPACITY = 25"  
RESERVE VOLUME = 568 GALLONS



2 TYPICAL SEPTIC TANK  
N.T.S.

MARKS ENGINEERING



NO.	DATE	REVISIONS	DESCRIPTION OF REVISION	BY

NEW COMMERCIAL SITE PLANS PREPARED FOR:  
PROCUTTERS LANDSCAPE INC.  
NEW LANDSCAPE SUPPLY AND CONTRACTING FACILITY  
SHOWING LAND IN:  
2970 COUNTY RD 10  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE:	DETAIL SHEET
DRAWN BY:	JWJ
DESIGNED BY:	JWJ
CHECKED BY:	BAM
SCALE:	N/A
JOB NO.:	21-268
DATE:	03/01/2022
TAX MAP#:	84.00-1-111

C501