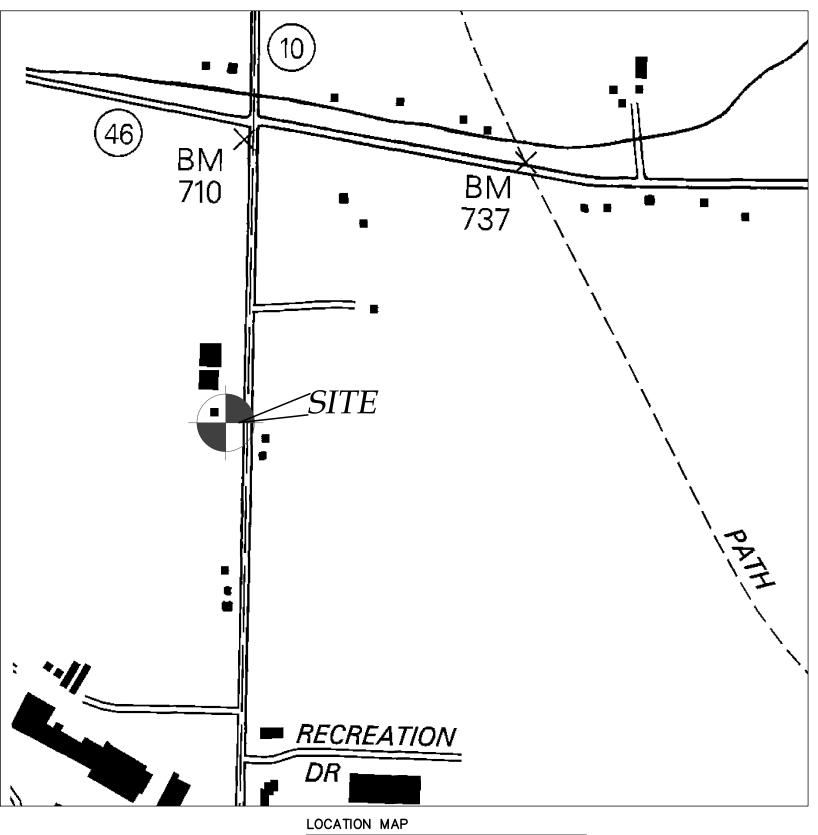
### NEW POLE BARN SITE PLAN PREPARED FOR:

## KEITH ROSA TO

3060 COUNTY ROAD 10 TOWN OF CANANDAIGUA COUNTY OF ONTARIO STATE OF NEW YORK JANUARY 10, 2020

REVISED 10/13/21



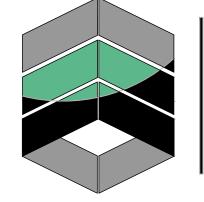
INDEX-COVER EX100 - EXISTING CONDITIONS C100 - NEW ACCESSORY POLE BARN SITE PLAN C500 - GENERAL DETAILS

PREPARED FOR:

KEITH ROSATO

PROPERTY OWNER:

KEITH ROSATO 3060 COUNTY ROAD 10 CANANDAIGUA, NY 14424

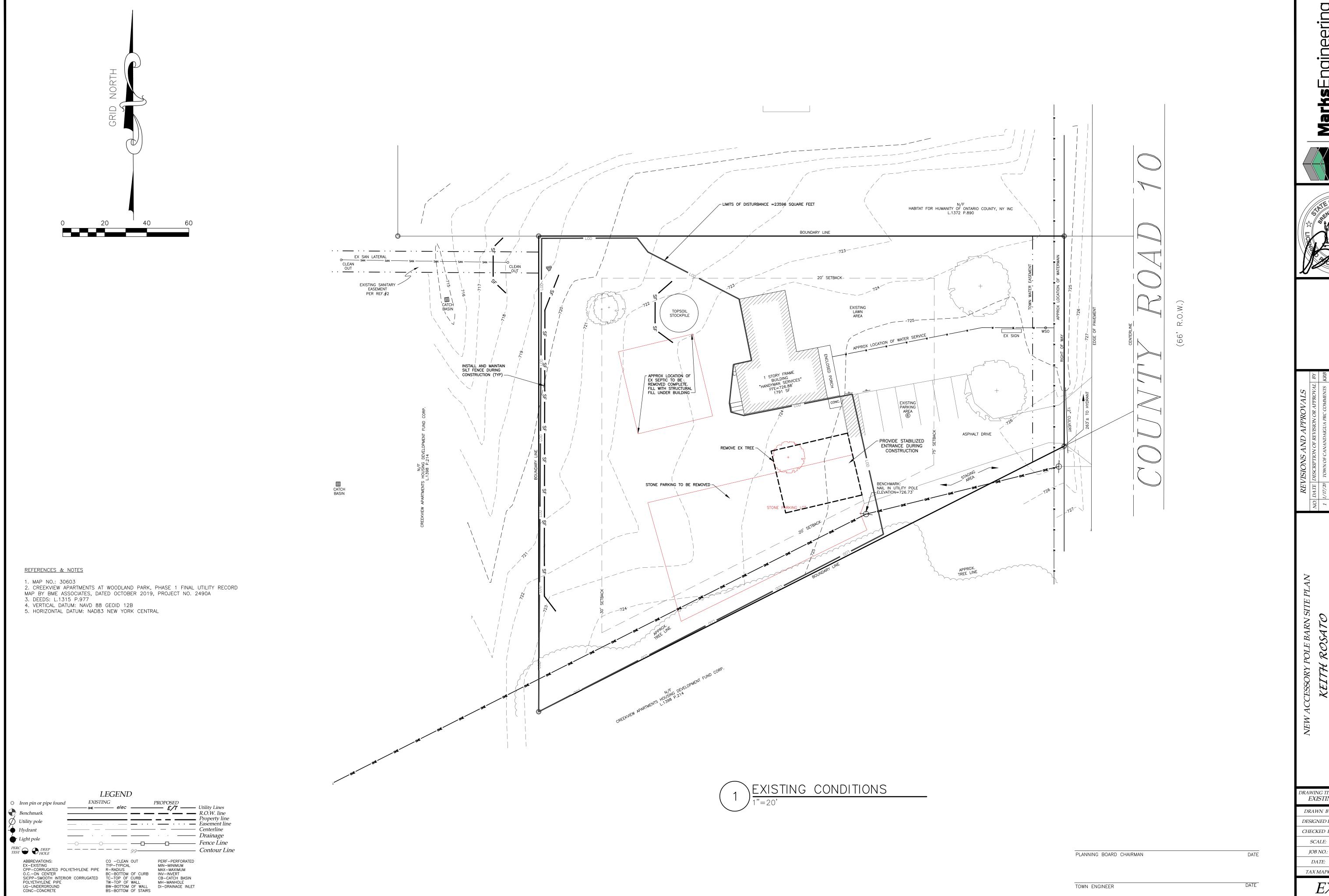


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	NO.	DATE	NO. DATE DESCRIPTION OF REVISION OR APPROVAL BY	BY
	I	1/17/20	1 1/17/20 TOWN OF CANANDAIGUA PRC COMMENTS KRB	КRВ
	7	2 1/28/20	TOWN OF CANANDAIGUA ZONING	KRB
	3	3/9/20	3 3/9/20 TOWN OF CANANDAIGUA PLANNING BOAD KRB	CRB
	4	10/13/21	4 10/13/21 TOWN OF CANANDAIGUA PRC COMMENTS KRB	KRB
)RK				

EXISTING CONDITIONS					
DRAWN BY:	KRB				
DESIGNED BY:	BAM				
СНЕСКЕД ВҮ:	BAM				
SCALE:	1"=20'				
JOB NO.:	19-251				
DATE:	1/10/2020				
TAX MAP#:	84.00-1-22.00				
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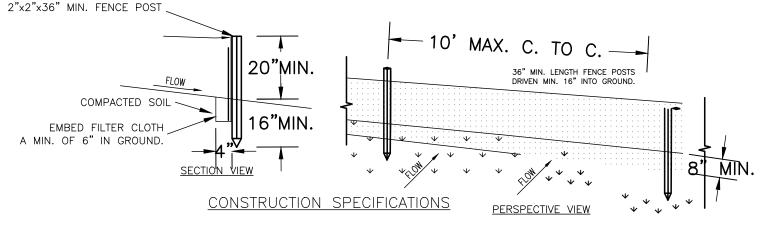
*EX100* 

#### **CONSTRUCTION SEQUENCE: UTILITY NOTES:** Engineering . INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, STABILIZED ENTRANCES, ETC. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED. 2. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS 2. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE. 3. PLACE SILT FENCE FOR STOCKPILE AREA 4. STRIP TOPSOIL. 5. CONSTRUCT BUILDING AND INSTALL UTILITIES **GRADING NOTES:** 6. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR . CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1 C. CONSTRUCTION SHALL CONFORM TO THE TOWN OF 7. IN THE EVENT THERE IS A SEDIMENT DISCHARGE OR FAILURE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION. CANANDAIGUA AND NYS CODES AND STANDARDS SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE EX RETAIL BLDG 8. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE. DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM. 4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. 9. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE OR ASPHALT. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE. **GENERAL NOTES:** LANDSCAPE AREAS NOTES: PLANT AROUND FRONT OF BUILDING W/ LOW NATIVE SHRUBS LIKE CREEPING JUNIPER, BAYBERRY AND PERENIAL FLOWERING I. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY PLANTS LIKE IRIS, DAYLILIES AND TULIPS. 2. APPLY LANDSCAPE FABRIC AND MAINTAIN 4" OF HARDWOOD 2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION. 3. PROVIDE RANDOM LARGE ROUND STONE COBBLES THROUGH 3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH 23,221 SQ. FT. DISTURBANCE AREA -LANDSCAPED AREA. DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES. CONCRETE WASH-OUT NOTES: 4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE 1. CONCRETE TRUCKS SHALL WASH OUT INTO A SEALED PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY. CONTAINER SUCH AS A HALF OF 55 GAL. DRUM. AFTER HABITAT FOR HUMANITY OF ONTARIO COUNTY, NY INC L.1372 P.890 COORDINATE ALL CONNECTIONS NEW 4" SOIL PIPE THROUGH FOUNDATION CONCRETE HAS CURED AND WATER HAS EVAPORATED, DISPOSE 5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY WITH CANANDAIGUA LAKE COUNTY SEWER DISTRICT FIELD VERIFY INVERT OF MATERIAL ACCORDINGLY. ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. 6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD. BOUNDARY LINE 7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE · · <del>\_\_</del> · DONE AT THE RISK OF THE CLIENT. 120FT NEW 4" SDR-35 SAN FX SAN LATERAL LATERAL @ MIN 1/4" PFR FT **EROSION AND SEDIMENT CONTROL NOTES:** THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND EXISTING SANITARY SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED. PER REF.#2 SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. NEW 4" SDR-35 PIPING FROM DOWNSPOUTS TO SWALE @ GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY 60' 8"SICPP BE INSTALLED AS AN ALTERNATE. NEW DWARF ARBORVITAE SHRUBS CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. W/ MIN. 2" CALIPER IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL - NEW NO PARKING SIGN IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. 32.45' SETBACK ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED AND SEEDED WITH STEEP SLOPE SEED MIX AS APPROVED BY THE ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN NEW 5'X5' 4"ØRIP RAP STONE SPILLWAY STALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS. I. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO NEW 8" RISER PIPE OUTLET STRUCTURE CONTROL RUNOFF DURING CONSTRUCTION. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION INV OUT=719.0' ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE × 724.75 ASPHALT DRIVE 722.50' -REMOVED AND DISPOSED OF PROPERLY. - NEW ASPHALT STRIPING 725SF X6"D 4"ø ROUND STONE PROTECTION -PHOSPHOROUS NOTES: . NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL NEW ACCESSORY STORAGE 5000 SF POLE BARN FFE= 724.75 NEW ASPHALT DRIVE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW <sub>/</sub>- 724.25 LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY. (4 SPACES) PARKING FOR SERVICE IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL NAIL IN UTILITY POLE -ELEVATION=726.73' 85LF 4" CURTAIN DRAIN VEHICLES INSIDE IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE INV=719.0' APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC. /723.75 <sub>7</sub> 149.22'SETBACK BULK TABLE PROPOSED EXISTING ACCESSORY COMMUNITY COMMUNITY ZONING/USE -STORAGE BLDG. COMMERCIAL COMMERCIAL PRINCIPAL ZONING/USE -POLE BARN N/A N/A ACCESSORY - NEW UNDERGROUND ELECTRIC SERVICE FRONT SETBACK 106.70 149.22 75' SIDE SETBACK 21.00' 20' 25.75' 30' 93.10' REAR SETBACK 32.45' 35' 35' <35' BUILDING HEIGHT - NEW GRASS SWALE STORMWATER TREATMENT AND RENTION AREA MAX. BUILDING 16.6% 35% 4.4% - NEW SPLASH BLOCKS TO GRADE AT DOWNSPOUTS COVERAGE NEW 6' HIGH BOARD FENCE -TOTAL LOT AREA = 40,799SF - 8" GRATED OPENING ELEV=721.50' 8"X8" HDPE TEE FITTING DEPRESS AREA OVER DRAIN OUTLET PIPE INV=719.00' PLANNING BOARD CHAIRMAN " DRILLED ORIFICE TOWN ENGINEER CONCRETE IN BOTTOM OF RISER LEGEND #1 WASHED STONE . SITE PLAN Iron pin or pipe found DRAWN BY: \*\*Benchmark MCFDESIGNED BY: Utility pole BAM4" DIA. PERF. STORM PIPE - Hydrant BAMCHECKED BY: Light pole 1"=20' Fence Line 19-251 JOB NO.: PERF-PERFORATED 1/10/2020 DATE: EX-EXISTING CPP-CORRUGATED POLYETHYLENE PIPE O.C.-ON CENTER SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TW-TOP OF MIN-MINIMUM MAX—MAXIMUM INV—INVERT CB—CATCH BASIN MH—MANHOLE 84.00-1-22.00 TAX MAP#: JG-UNDERGROUND DI-DRAINAGE INLET CONC-CONCRETE

### CONSTRUCTION SPECIFICATIONS

- 1. STONE SIZE USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH





1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.

- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
- 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

## TYPICAL SILT FENCE DETAIL

#### **ALL PROJECTS**

1. All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of Recommended Standards For Wastewater Facilities and any other agencies having jurisdiction.

SANITARY LATERAL NOTES

- 2. No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
- 3. District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
- 4. The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
- 5. Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to
- 6. Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
- 7. Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the watermain joints.
- 8. The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
- 9. The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
- 10. The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
- 11. Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer groundwater from draining into the sanitary sewer pipe cradle.

12. Lateral connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.

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MARIFI 500X OR EQUAL

TYPICAL GRAVEL DRIVE SECTION

ASTERNATION OF THE PROPERTY OF

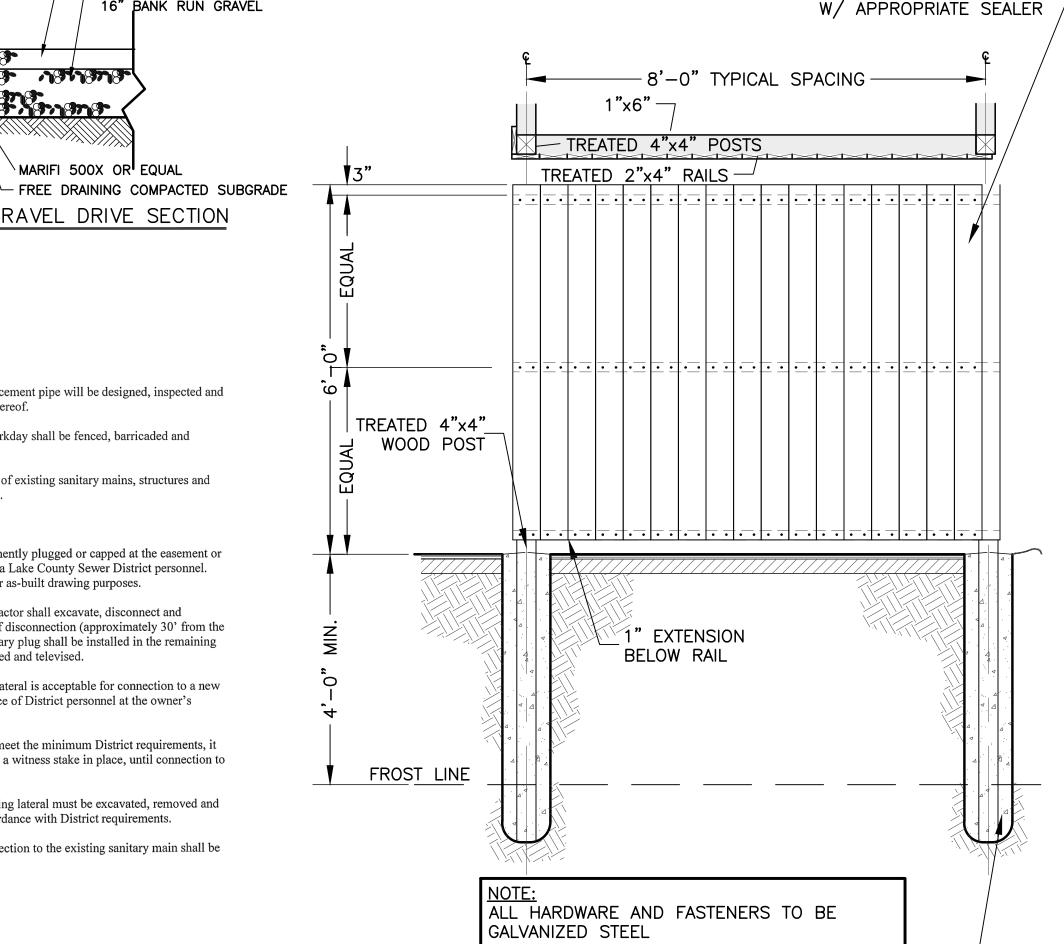
3" TYPE 7F DRIVEWAY MIX

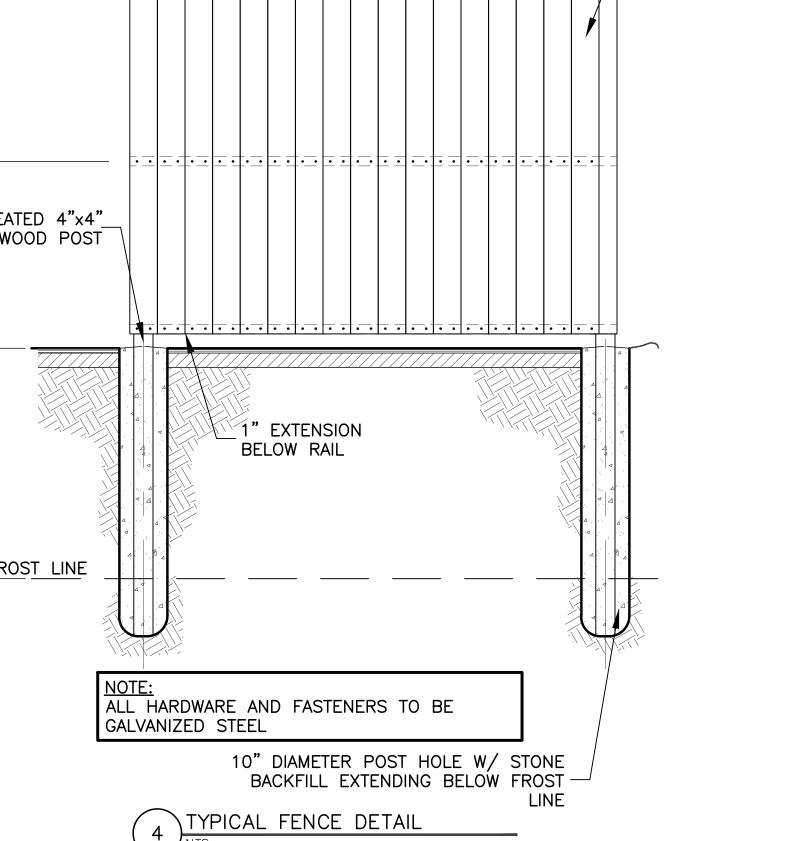
12" CR#2 GRAVEL OR 16" BANK RUN GRAVEL

- 13. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted for safety and protection of the public.
- 14. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.

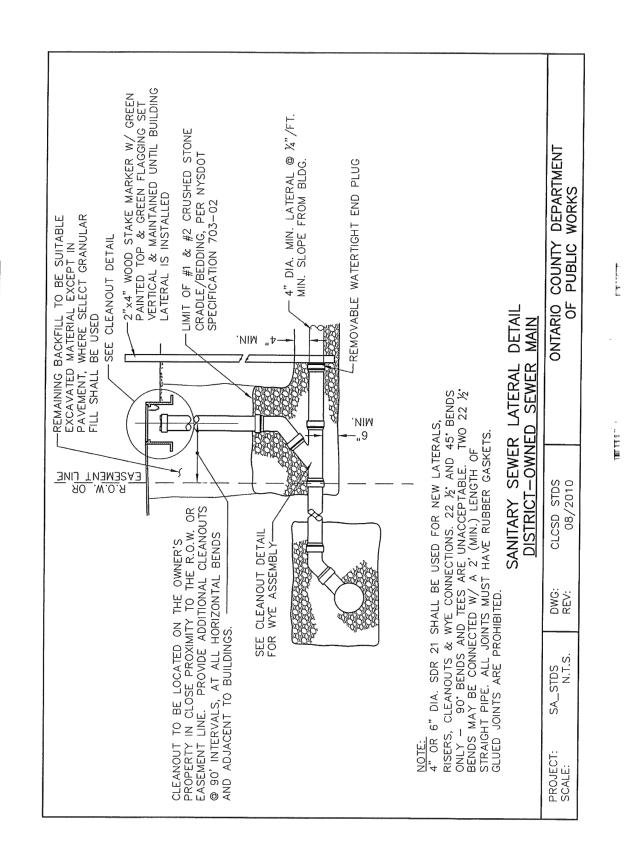
#### RENOVATION PROJECTS ONLY

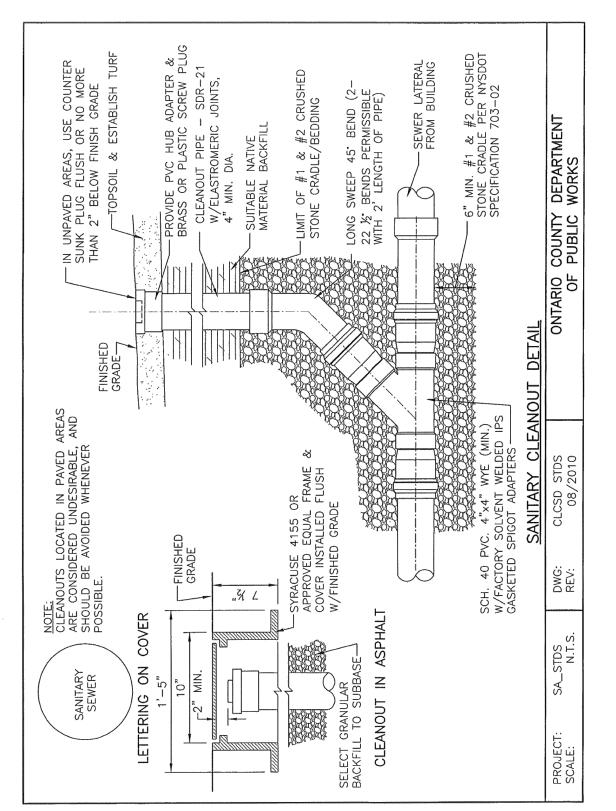
- 15. Existing laterals to be disconnected must be permanently plugged or capped at the easement or right of way line under the direction of Canandaigua Lake County Sewer District personnel. The location of the plug or cap shall be recorded for as-built drawing purposes.
- 16. Prior to demolishing an existing building, the contractor shall excavate, disconnect and abandon the lateral from the building to the point of disconnection (approximately 30' from the existing building) per District standards. A temporary plug shall be installed in the remaining portion of the existing sanitary lateral until it is tested and televised.
- 17. In order to determine whether an existing sanitary lateral is acceptable for connection to a new building, the lateral shall be televised in the presence of District personnel at the owner's
- 18. If an existing lateral is found to be acceptable and meet the minimum District requirements, it shall be temporarily re-plugged and backfilled with a witness stake in place, until connection to the new building can take place.
- 19. If a new sanitary sewer lateral is required, the existing lateral must be excavated, removed and capped at the easement or right of way line in accordance with District requirements.
- 20. If a new sanitary sewer lateral is required, the connection to the existing sanitary main shall be made per District standards.

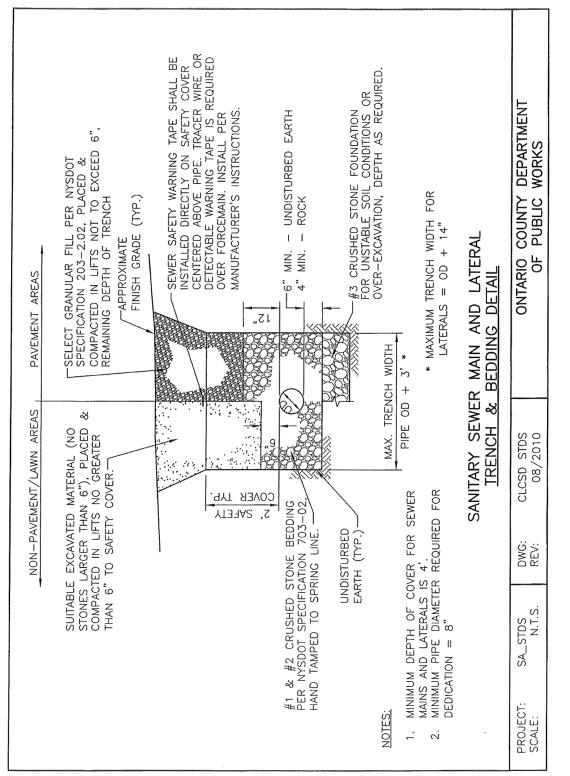


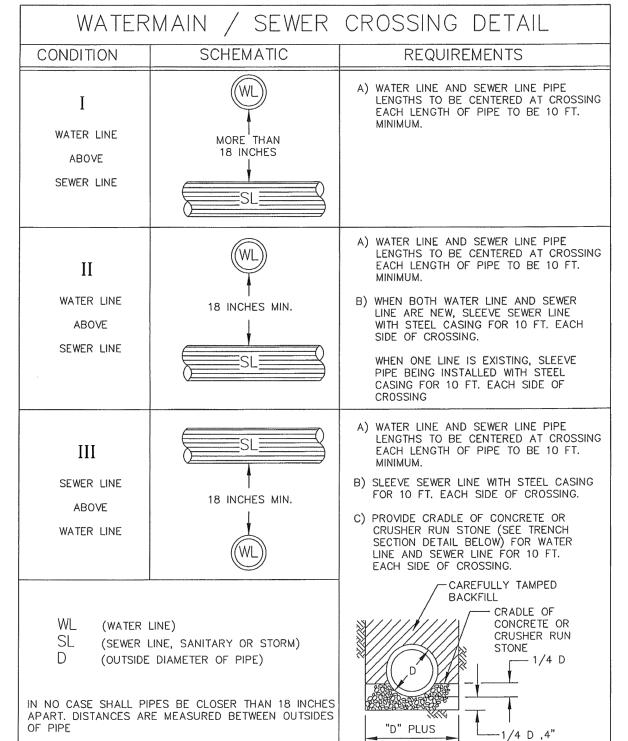


1"x6" CEDAR OR TREATED FENCE BOARDS;











ADA RESERVED PARKING SIGN



**DETAILS** DRAWN BY: MCFDESIGNED BY: BAMBAMCHECKED BY: NTS19-251 IOB NO. 84.00-1-22.00 TAX MAP#: C500

Engineering

Marks