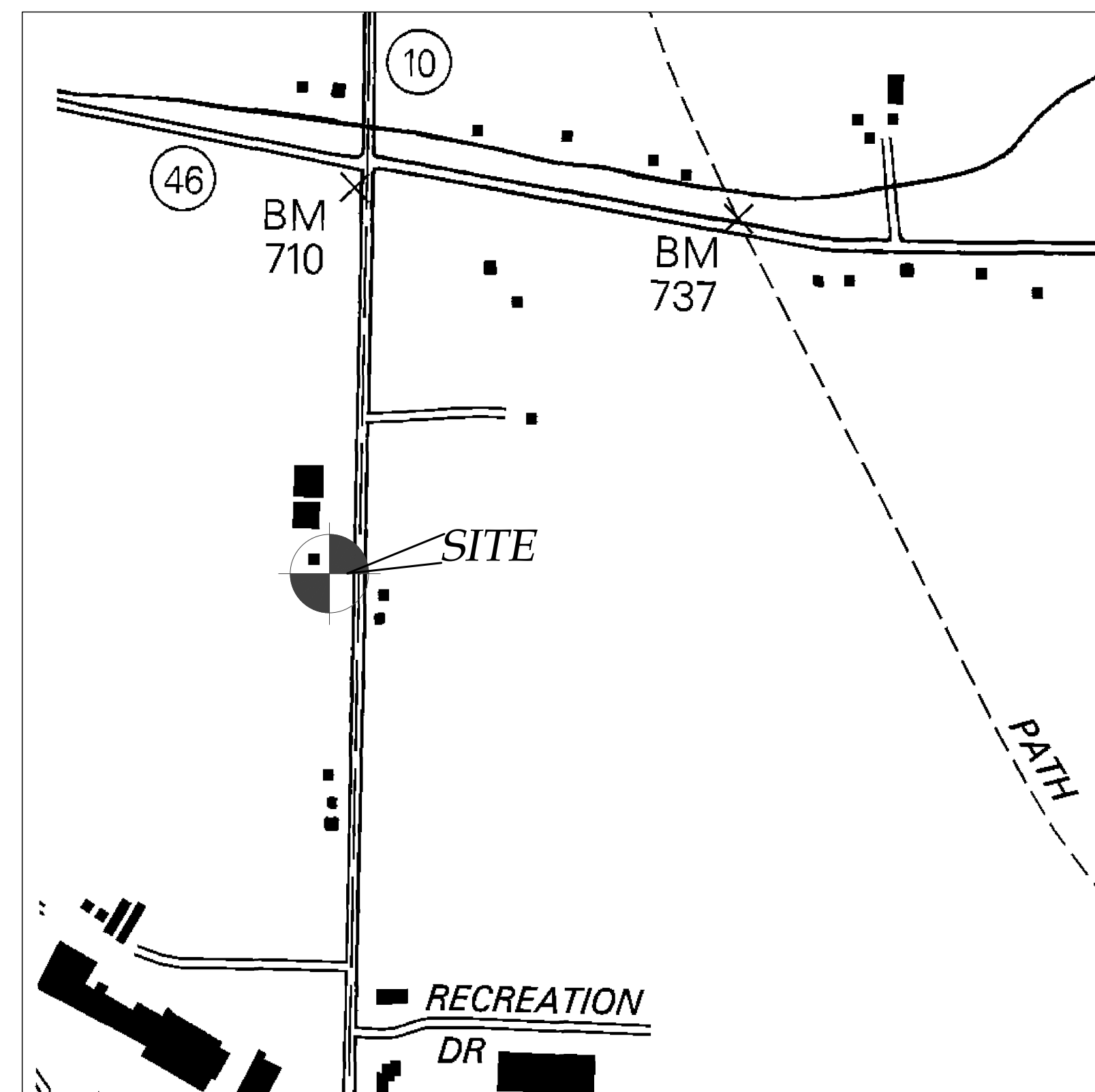


NEW POLE BARN SITE PLAN PREPARED FOR:

KEITH ROSATO
3060 COUNTY ROAD 10
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK
JANUARY 10, 2020

REVISED 10/13/21



LOCATION MAP
NTS

INDEX-
COVER

EX100 - EXISTING CONDITIONS

C100 - NEW ACCESSORY POLE BARN SITE PLAN

C500 - GENERAL DETAILS

PREPARED FOR:

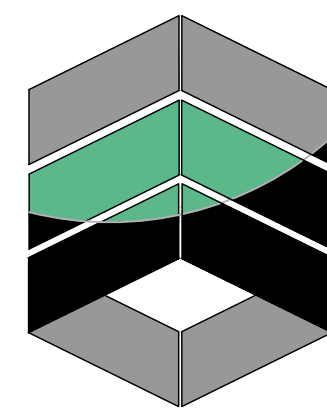
KEITH ROSATO

PROPERTY OWNER:

KEITH ROSATO
3060 COUNTY ROAD 10
CANANDAIGUA, NY 14424



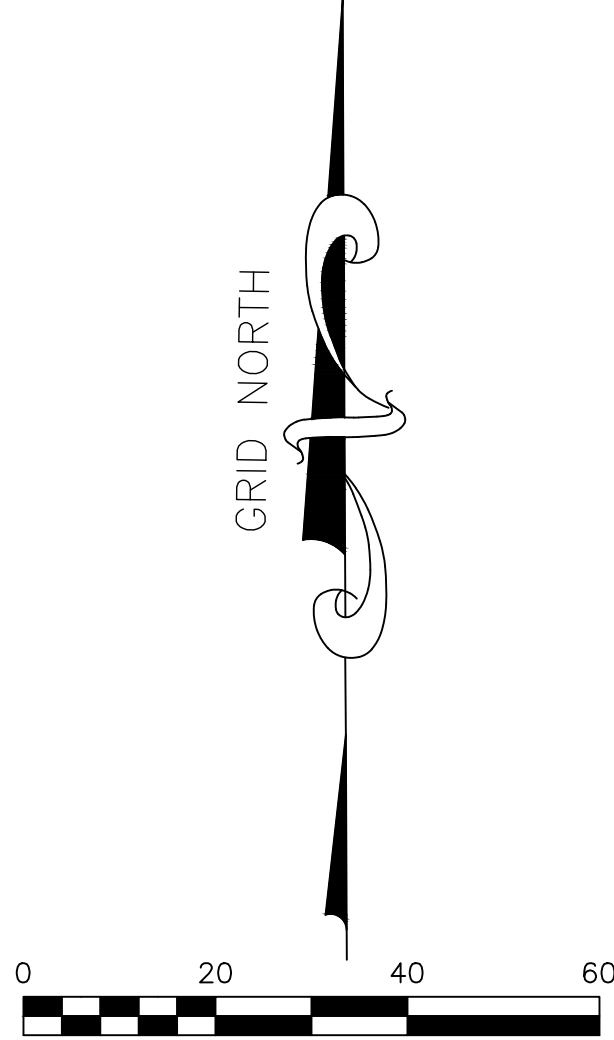
NOT FOR CONSTRUCTION



MarksEngineering

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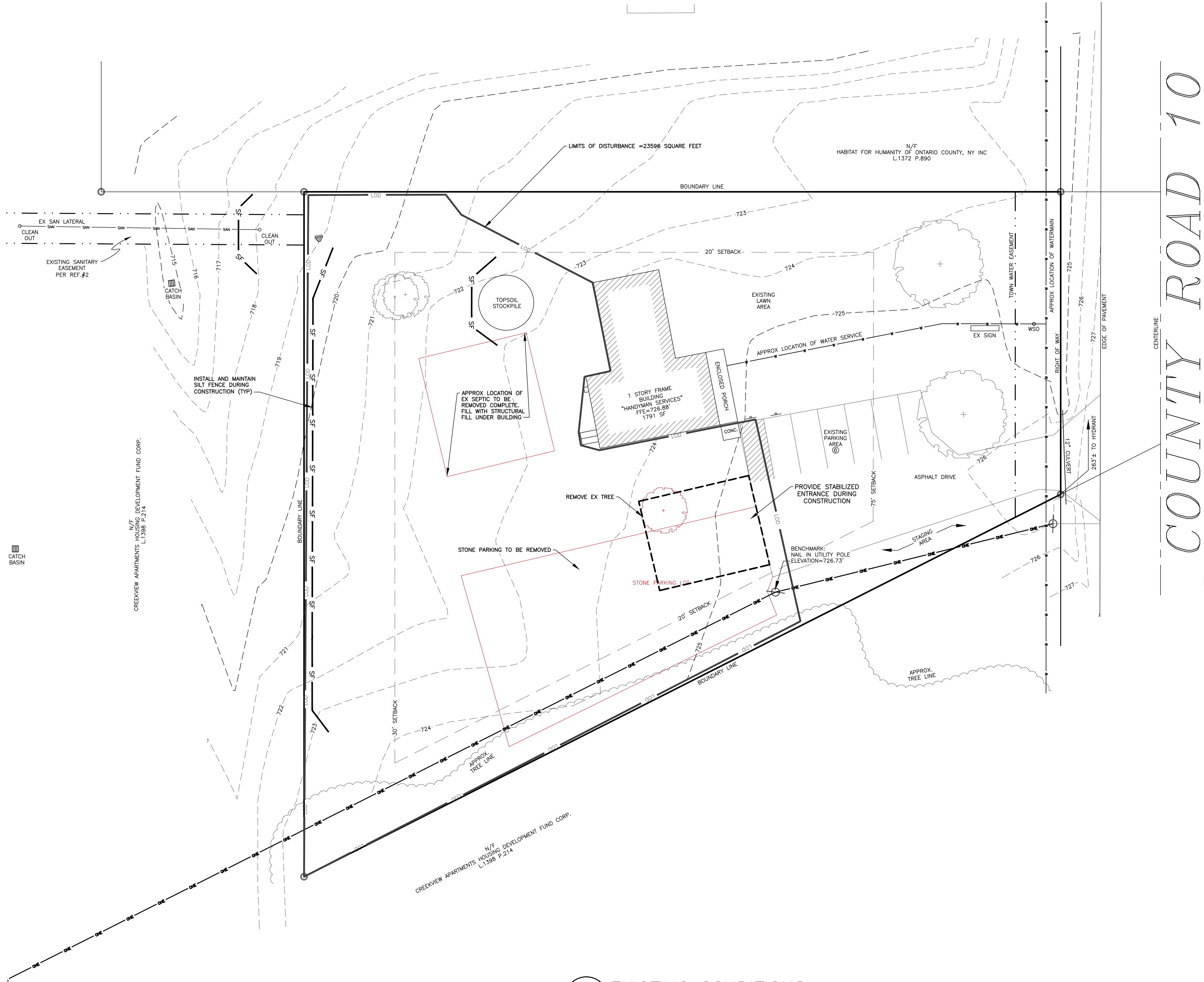
BRENNAN MARKS, P.E.
BMARKS@MARKSENGINEERING.COM



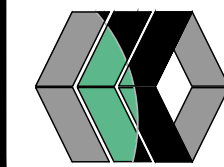
REFERENCES & NOTES

1. MAP NO.: 30603
2. CREEKVIEW APARTMENTS AT WOODLAND PARK, PHASE 1 FINAL UTILITY RECORD MAP BY BME ASSOCIATES, DATED OCTOBER 2019, PROJECT NO. 2490A
3. DEEDS: L.1315 P.977
4. VERTICAL DATUM: NAVD 88 GEOID 12B
5. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL

LEGEND	
Iron pin or pipe found	PROPOSED Utility Lines
Benchmark	PROPOSED R.O.W. line
Utility pole	PROPOSED Property line
Hydrant	PROPOSED Easement line
Light pole	PROPOSED Centerline
PERC TEST	PROPOSED Drainage
DEEP POLE	PROPOSED Fence Line
PROPOSED Contour Line	
ABBREVIATIONS:	
EX-EXISTING	CD-CLEAN OUT
CPP-CORRUGATED POLYETHYLENE PIPE	TYP-TYPICAL
O.C.-ON CENTER	R-RADIUS
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	CS-CATCH BASIN
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MarksEngineering



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STAMP

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	1/17/20	TOWN OF CANANDAIGUA PRC COMMENTS	KRB
2	1/28/20	TOWN OF CANANDAIGUA ZONING	KRB
3	3/9/20	TOWN OF CANANDAIGUA PLANNING BOARD	KRB
4	10/13/21	TOWN OF CANANDAIGUA PRC COMMENTS	KRB

NEW ACCESSORY POLE BARN SITE PLAN

KEITH ROSATO
SHOWING LAND IN:
3060 COUNTY ROAD 10
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

DRAWING TITLE:
EXISTING CONDITIONS

DRAWN BY:	KRB
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	19-251
DATE:	1/10/2020
TAX MAP#:	84.00-1-22.00

EX100

PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

CONSTRUCTION SEQUENCE:

1. INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, STABILIZED ENTRANCES, ETC.
2. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED.
3. PLACE SILT FENCE FOR STOCKPILE AREA
4. STRIP TOPSOIL.
5. CONSTRUCT BUILDING AND INSTALL UTILITIES
6. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR CONTRACTOR.
7. IN THE EVENT THERE IS A SEDIMENT DISCHARGE OR FAILURE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
8. FINAL GRADE, SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE.
9. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE OR ASPHALT.

GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARDS.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED AND SEEDING WITH STEEP SLOPE SEED MIX AS APPROVED BY THE ENGINEER.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN STALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

PHOSPHOROUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS.
2. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
3. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.

GRADING NOTES:

1. CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS.
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

LANDSCAPE AREAS NOTES:

1. PLANT AROUND FRONT OF BUILDING W/ LOW NATIVE SHRUBS LIKE CREEPING JUNIPER, BAYBERRY AND PERENIAL FLOWERING PLANTS LIKE IRIS, DAYLILIES AND TULIPS.
2. APPLY LANDSCAPE FABRIC AND MAINTAIN 4" OF HARDWOOD MULCH IN LANDSCAPE BEDS.
3. PROVIDE RANDOM LARGE ROUND STONE COBBLES THROUGH LANDSCAPED AREA.

CONCRETE WASH-OUT NOTES:

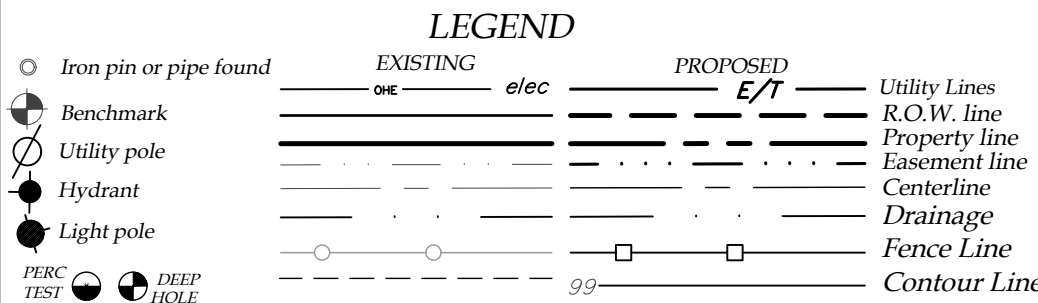
1. CONCRETE TRUCKS SHALL WASH OUT INTO A SEALED CONTAINER SUCH AS A HALF OF 55 GAL. DRUM. AFTER CONCRETE HAS CURED AND WATER HAS EVAPORATED, DISPOSE OF MATERIAL ACCORDINGLY.

BULK TABLE			
ZONING/USE - PRINCIPAL	PROPOSED ACCESSORY STORAGE BLDGS.	REQUIRED COMMUNITY COMMERCIAL	EXISTING COMMUNITY COMMERCIAL
ZONING/USE - ACCESSORY	POLE BARN	N/A	N/A
FRONT SETBACK	149.22'	75'	106.70'
SIDE SETBACK	21.00'	20'	25.75'
REAR SETBACK	32.45'	30'	93.10'
BUILDING HEIGHT	35'	35'	<35'
MAX. BUILDING COVERAGE	16.6%	35%	4.4%

TOTAL LOT AREA = 40,799SF

PLANNING BOARD CHAIRMAN _____ DATE _____

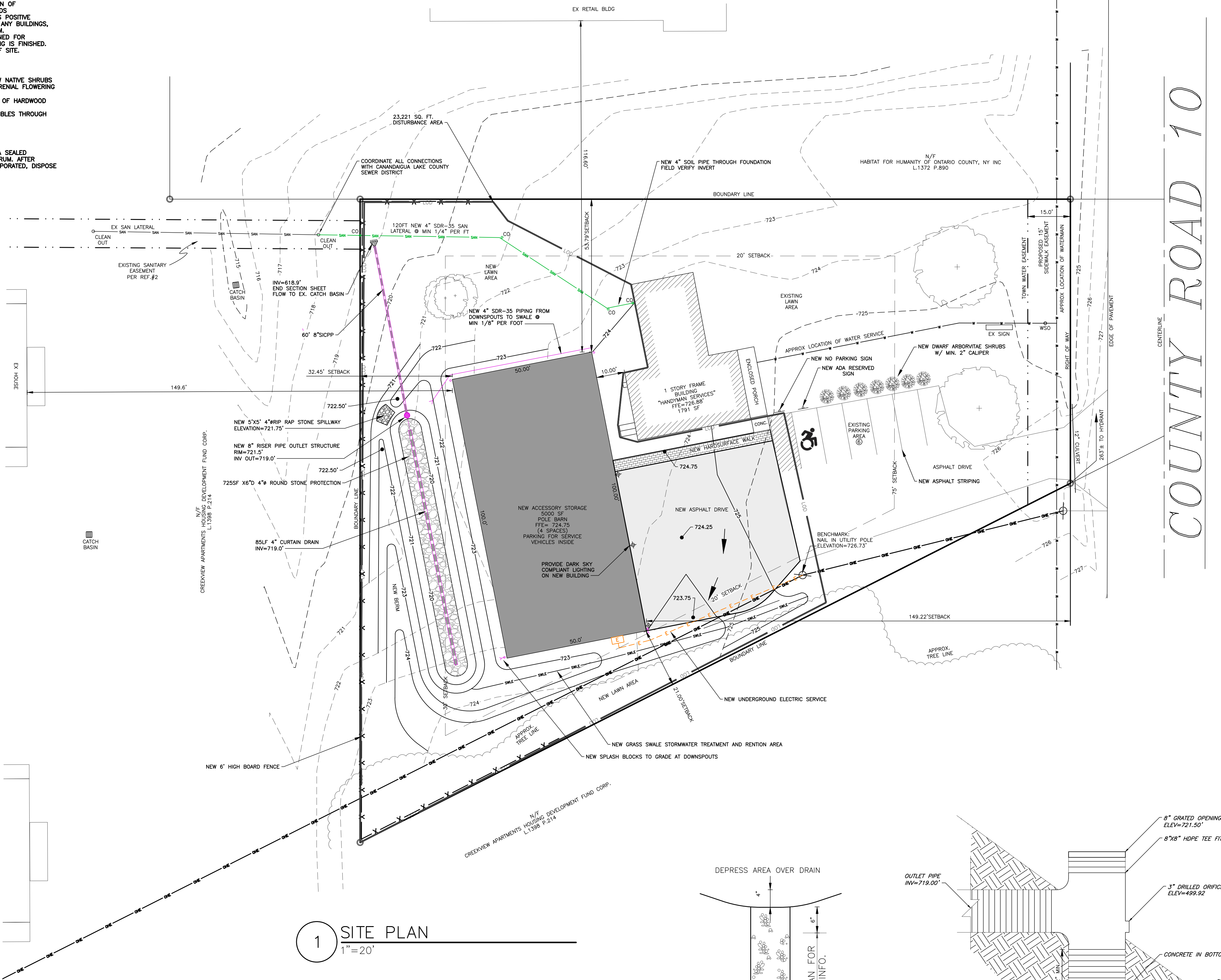
TOWN ENGINEER _____ DATE _____



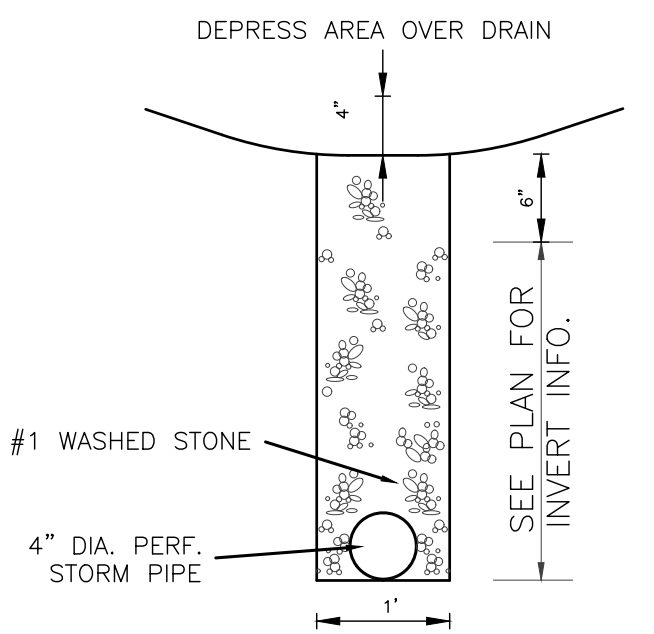
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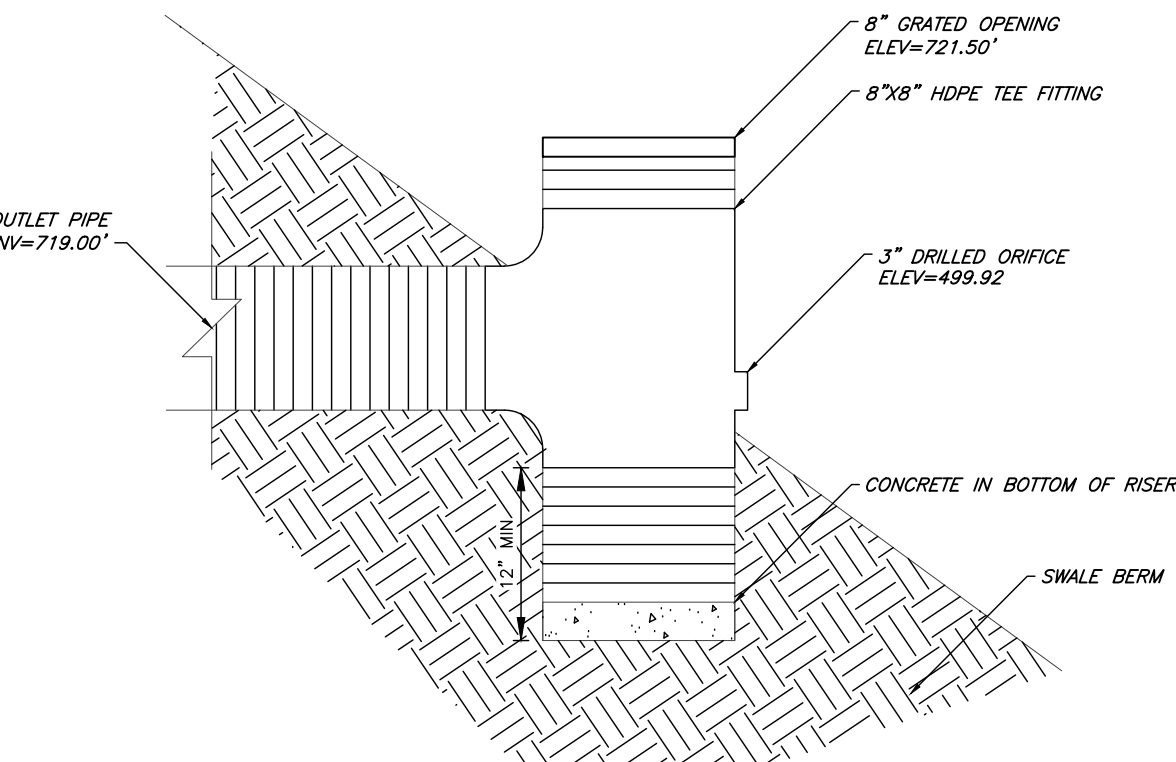
PERF-PERFORATED
MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET



1 SITE PLAN
1"=20'



2 CURTAIN DRAIN DETAIL
NTS



3 RISER PIPE OUTLET STRUCTURE
NTS

NEW ACCESSORY POLE BARN SITE PLAN

KEITH ROSATO
SHOWING LAND IN:
3060 COUNTY ROAD 10
TOWN OF CANANDAIGUA

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SITE PLAN	
DRAWN BY:	MCF
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C100

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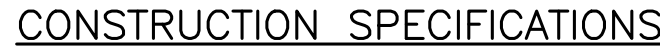


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STATE OF NEW YORK
COUNTY OF ONTARIO

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- ## 1 STABILIZED CONSTRUCTION ENTRANCE

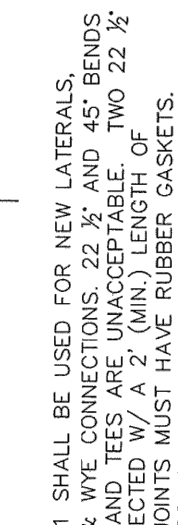
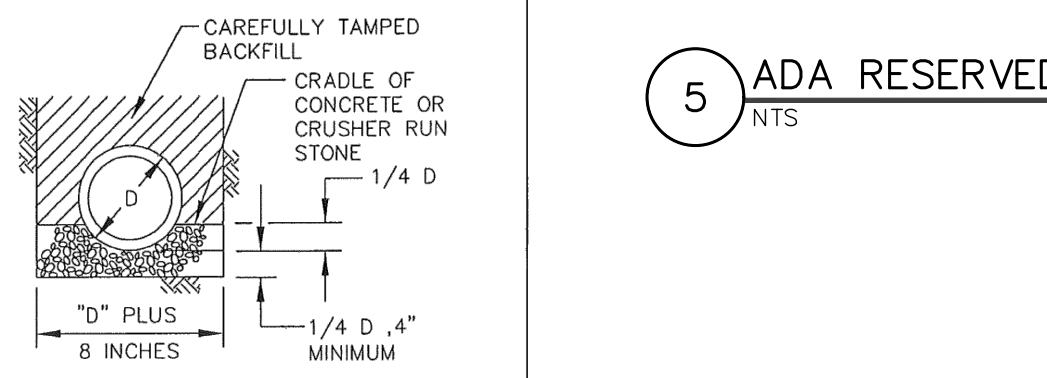


12. Lateral connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.
13. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted for safety and protection of the public.
14. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.

RENOVATION PROJECTS ONLY

15. Existing laterals to be disconnected must be permanently plugged or capped at the easement or right of way line under the direction of Canandaigua Lake County Sewer District personnel. The location of the plug or cap shall be recorded for as-built drawing purposes.
16. Prior to demolishing an existing building, the contractor shall excavate, disconnect and abandon the lateral from the building to the point of disconnection (approximately 30' from the existing building) per District standards. A temporary plug shall be installed in the remaining portion of the existing sanitary lateral until it is tested and televised.
17. In order to determine whether an existing sanitary lateral is acceptable for connection to a new building, the lateral shall be televised in the presence of District personnel at the owner's expense.
18. If an existing lateral is found to be acceptable and meet the minimum District requirements, it shall be temporarily re-plugged and backfilled with a witness stake in place, until connection to the new building can take place.
19. If a new sanitary sewer lateral is required, the existing lateral must be excavated, removed and capped at the easement or right of way line in accordance with District requirements.
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A rectangular sign with a white background and a green border. The text "RESERVED PARKING" is written in green, bold, sans-serif capital letters at the top. Below the text is a blue square containing a white wheelchair symbol.

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