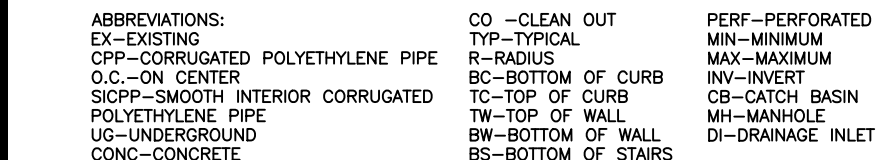


1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP COMPLIANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP IDENTIFIERS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST NYSDEC GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE ALL CONSTRUCTION AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE -CONSTRUCTION MEETING.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT TO THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REMOVAL OF PERIMETER SEDIMENT CONTROLS AND EROSION SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
13. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.



1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE MYS LAW TO CALL MYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITH COMPLIANCE WITH OSHA REGULATIONS.
4. PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT MYS AND LOCAL BUILDING CODES AS WELL AS NATIONAL, ELECTRIC CODE.

1. CUT AND FILL SLOPES SHALL NOT EXCEED 4 ON 1.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANAMADUGA AND NY CODES AND STANDARDS
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STAIRS, DRIVEWAYS, AND SYSTEMS.
4. TOPSOIL SHALL BE STRIPPED OF AREAS PLUNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED.
5. FOUNDATIONS SHALL BE BACKFILLED W/ MIN 12" DEEP CLEAN WASH #1&2 STONE COVERED WITH FILTER FABRIC OR 4" STRAW BERM BACKFILLING W/ NATIVE SOIL.

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY MYS DNR. THERE ARE NO OTHER DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#380598 0015C DATED MARCH 3, 1997.
3. WATER SUPPLY: TOWN OF CANADAVIGUA
4. TOTAL PROPERTY AREA: EAST OF ROADLINE 1.6074+/- ACRES. PROPERTY ZONED AS RESIDENTIAL LAKESHORE DISTRICT.
5. NO SIGNIFICANT EFFECTS WILL BE CAUSED BY THESE CONSTRUCTION ACTIVITIES. DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
6. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS TO PREVENT LIGHT POLLUTION AND EFFECTS ON OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.
7. ELEVATION DATUM: NAVD83 GEOID 128

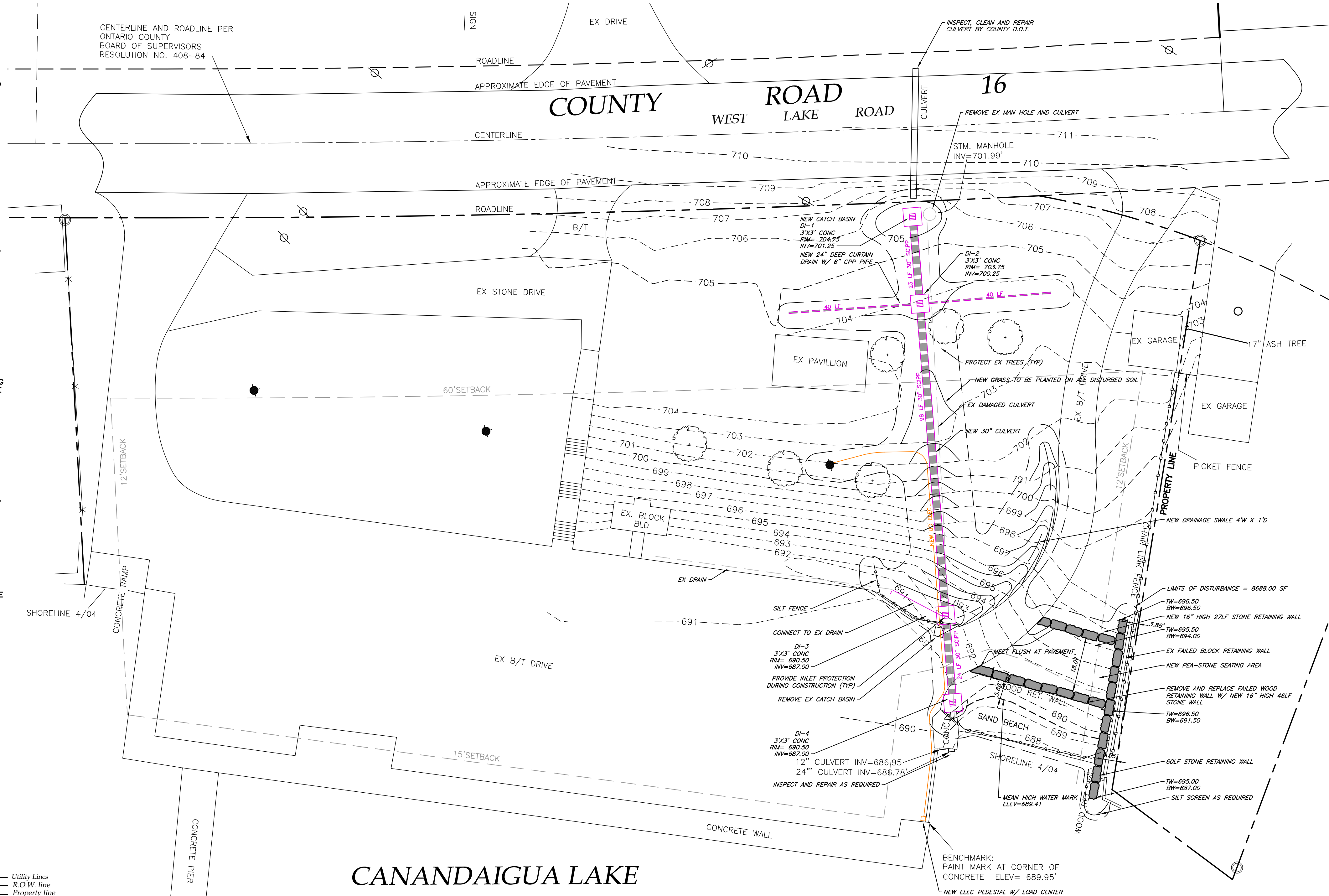
1. SAFETY BACKFILL WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING SIGNIFICANT STONES OR BEDROCK.
2. COORDINATE ALL SERVICE CONNECTIONS WITH UTILITY PROVIDERS
3. VERIFY LOCATION OF GAS LINE IN THE FIELD.

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITH A 1:1 RATIO OF SEED MIXTURE TO BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. MULCH STRAW AND A RAY GRASS (1000 SOFT OR SEED MIXTURE) SHALL BE USED TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL BE AVAILABLE TO REPAIR AND MAINTAIN. SLOPE SHALL BE STABILIZED. SITE ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH TUFF FABRIC INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AS REQUIRED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NY'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING COMPLETION OF CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

1. PLAN OF LAND OF CANANDAIGUA YACHT CLUB, INC.
BEING PART OF TOWN LOT 15 IN THE TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK
FREELAND-PARRINELLO LAND SURVEYORS
APRIL 23, 2004
MAP#2004-145

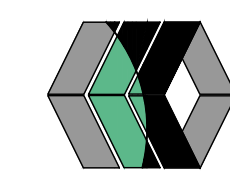
BULK TABLE		
	PROPOSED	REQUIRED
ZONING/USE – PRINCIPAL	EX	RESIDENTIAL LAKE DISTRICT >20,000SF
ZONING/USE – ACCESSORY	RETAINING WALL	NA
MINIMUM LOT WIDTH	EX	125'
FRONT SETBACK	60'	60'
RIGHT SIDE SETBACK	3.86' – VARIANCE REQUIRED	12'
LEFT SIDE SETBACK	12'	12'
REAR SETBACK	0' – VARIANCE REQUIRED	15'
BUILDING HEIGHT	EX	25'
LOT COVERAGE	10.01%	25%

PLANNING BOARD	DATE
CHAIRMAN	
<hr/>	
TOWN ENGINEER	DATE



1. 15' AREA VARIANCE FROM 15' REQUIRED FOR REAR SETBACK FOR REPLACEMENT RETAINING WALL
2. 8 VARIANCE FROM 12' REQUIRED FOR SIDE SETBACK FOR REPLACEMENT RETAINING WALL.

TOWN OF CANANDAIGUA
NYS DEC SECTION 404



NO.	DATE	DESCRIPTION OF RETUSION OR APPROVAL	BY
1	05/16/18	PER POC	MCF

SITE PLANS PREPARED FOR:

CANANDAIGUA LAKE YACHT CLUB

COUNTY OF ONTARIO

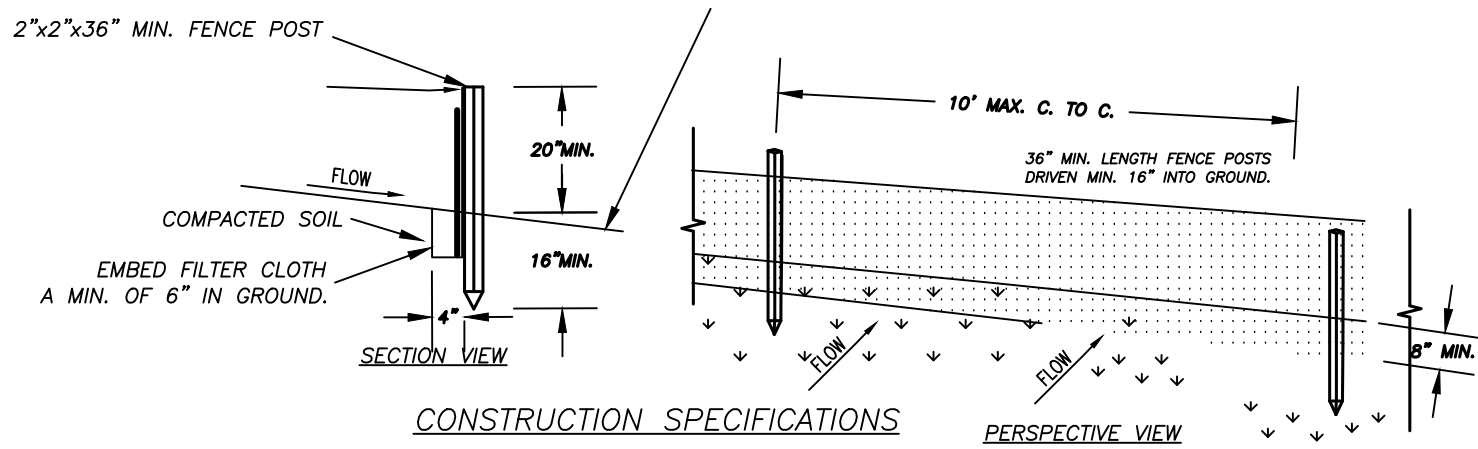
STATE OF NEW YORK

THESE RESULTS WERE REPRODUCED BY AN INDEPENDENT RESEARCH GROUP FROM THE UNIVERSITY OF MARYLAND, AND CONFIRMED BY THE UNIVERSITY OF MARYLAND, MARLBOROUGH, MASS.

DRAWING TITLE:
SITE

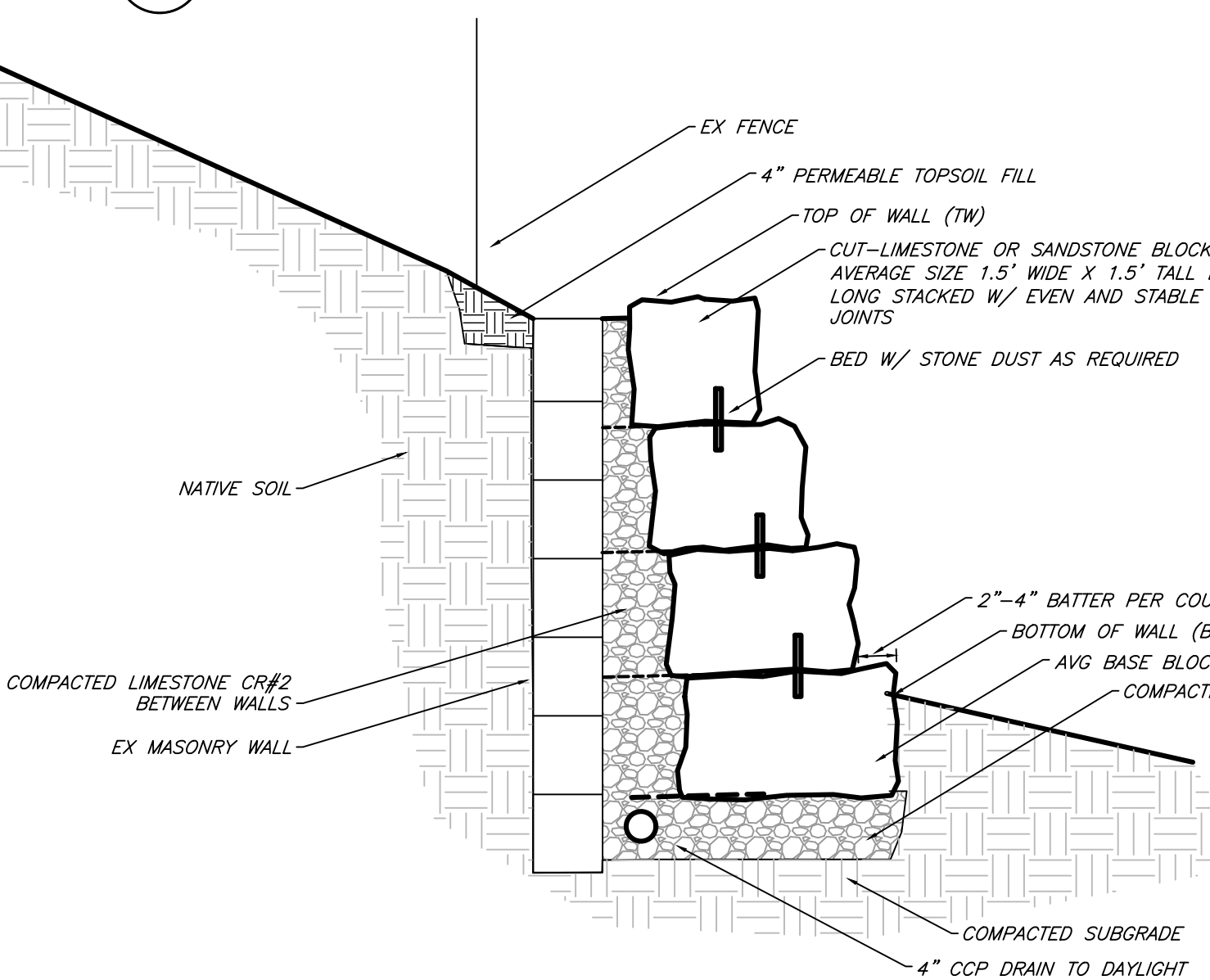
<i>DRAWN BY:</i>	<i>KRB/MCF</i>
<i>DESIGNED BY:</i>	<i>BAM</i>
<i>CHECKED BY:</i>	<i>BAM</i>
<i>SCALE:</i>	<i>AS NOTED</i>
<i>JOB NO.:</i>	<i>17-035</i>
<i>DATE:</i>	<i>03/09/2018</i>
<i>TAX MAP#:</i>	<i>98.17-1-45.000</i>

C100



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO POSTS WITH STAPLES.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

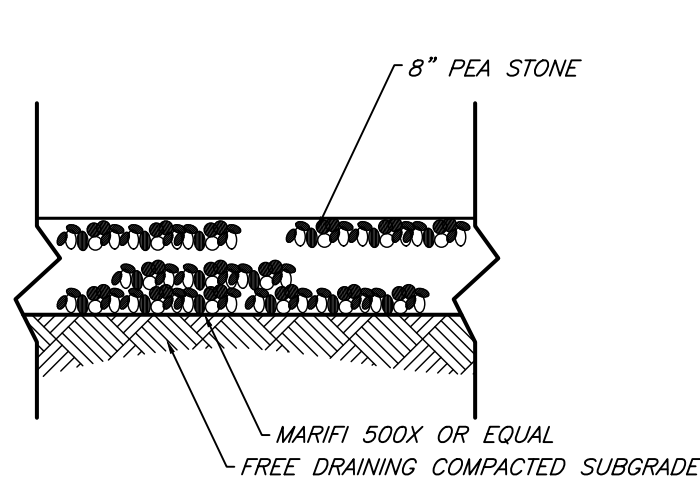
1 TYPICAL SILT FENCE DETAIL



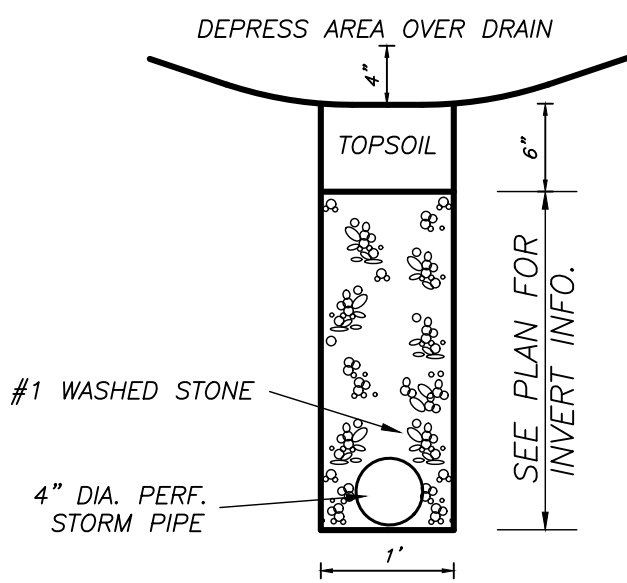
5 DRY STACK BLOCK RETAINING WALL AT EXISTING

- NOTES:**
- BLOCK SHALL BE INSTALLED SLOPING TOWARD EMBANKMENT AT 1" PER 12"
 - BLOCK SHALL REDUCE IN SIZE EACH COURSE
 - DRILL AND DOWEL BLOCK W/ 1/2" REBAR AND GROUT (1) BAR EVERY 24" HORIZONTAL.
 - HAND SELECT AND STACK BLOCKS EVEN WITH MINIMAL GAPS AT JOINTS.
 - MINIMUM 12" EMBEDMENT OF FIRST COURSE.
 - MAX HEIGHT 8'

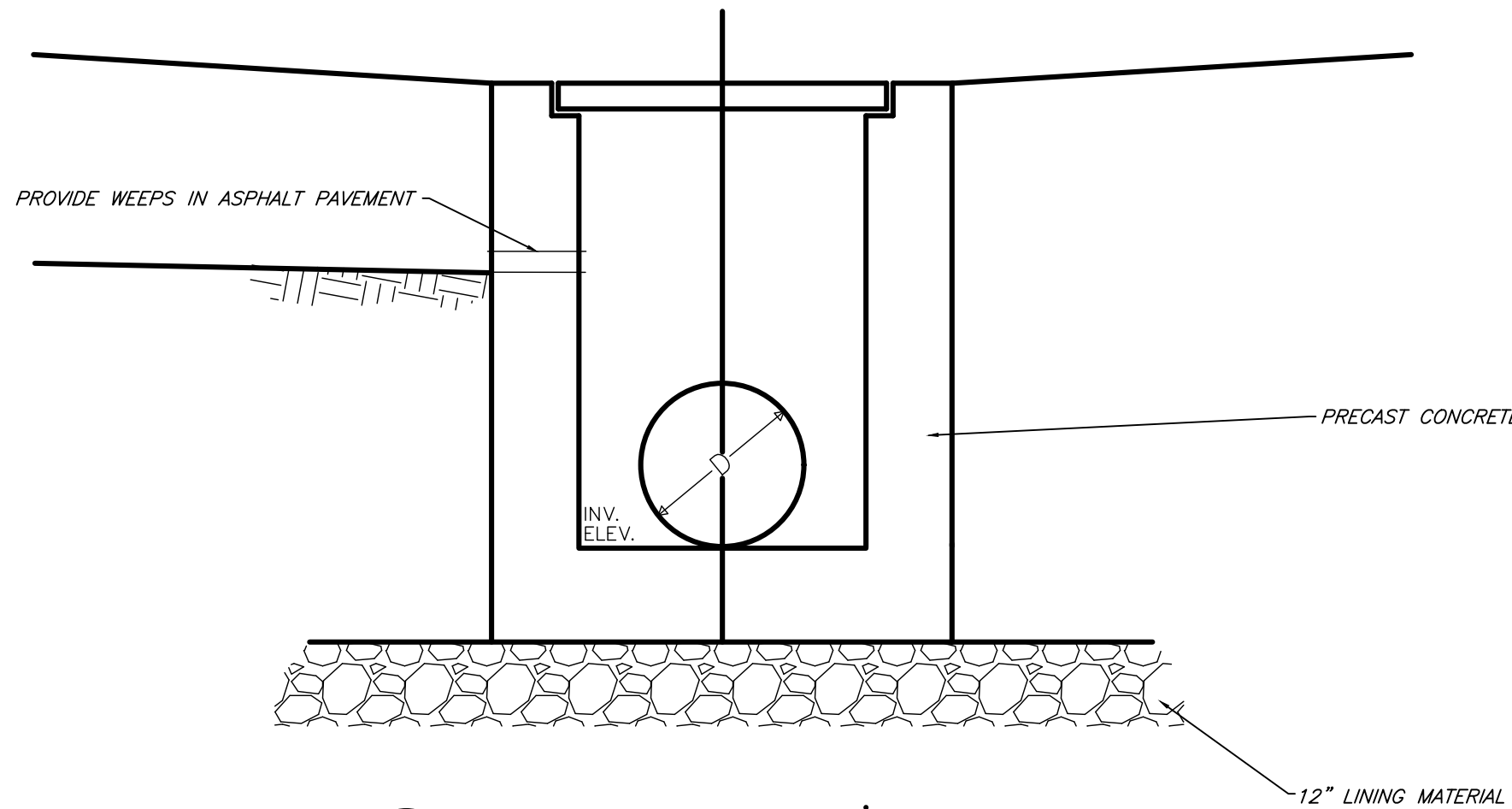
LIMESTONE RETAINING WALL EXAMPLE:



2 TYPICAL PEA STONE SECTION



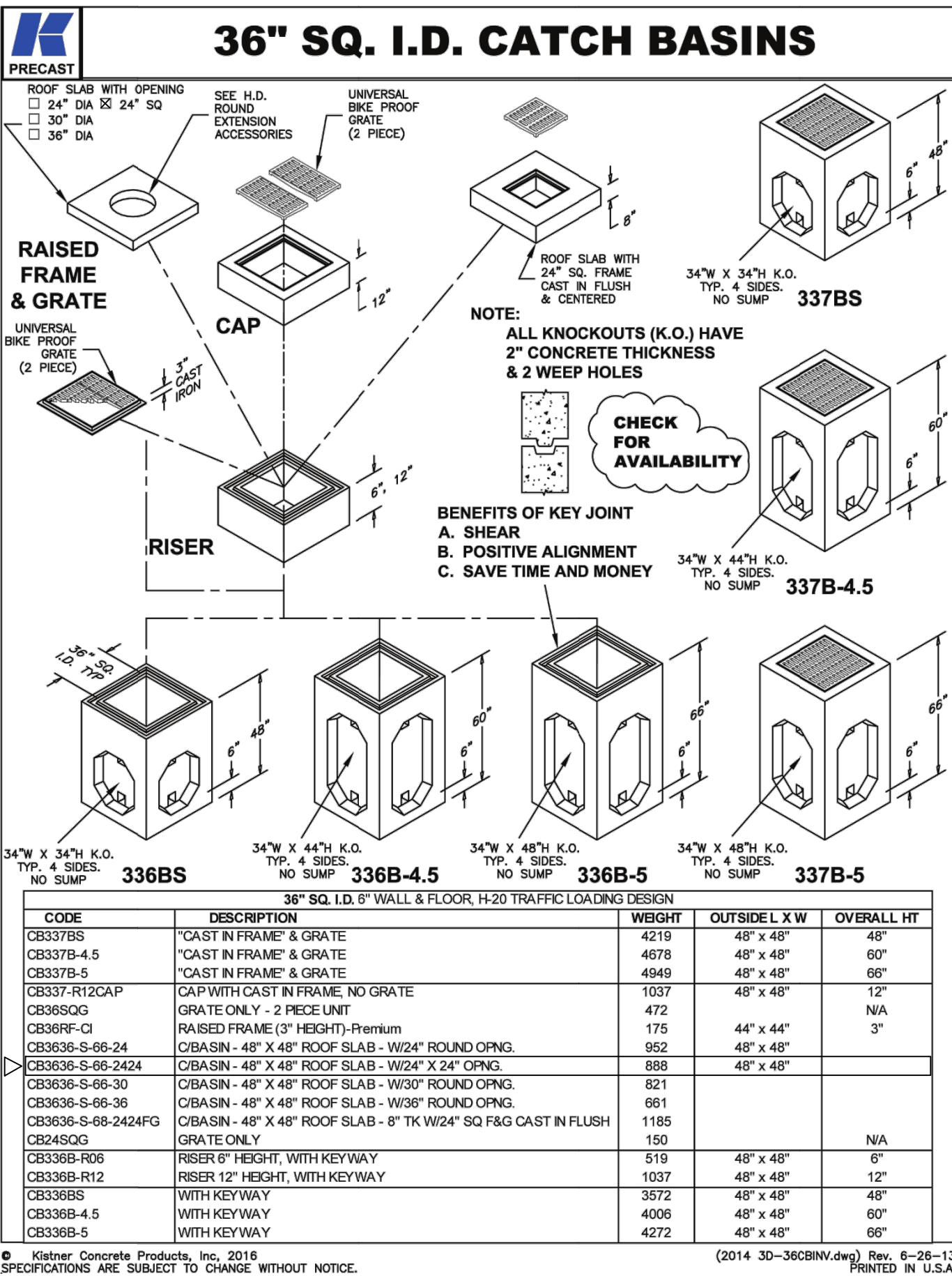
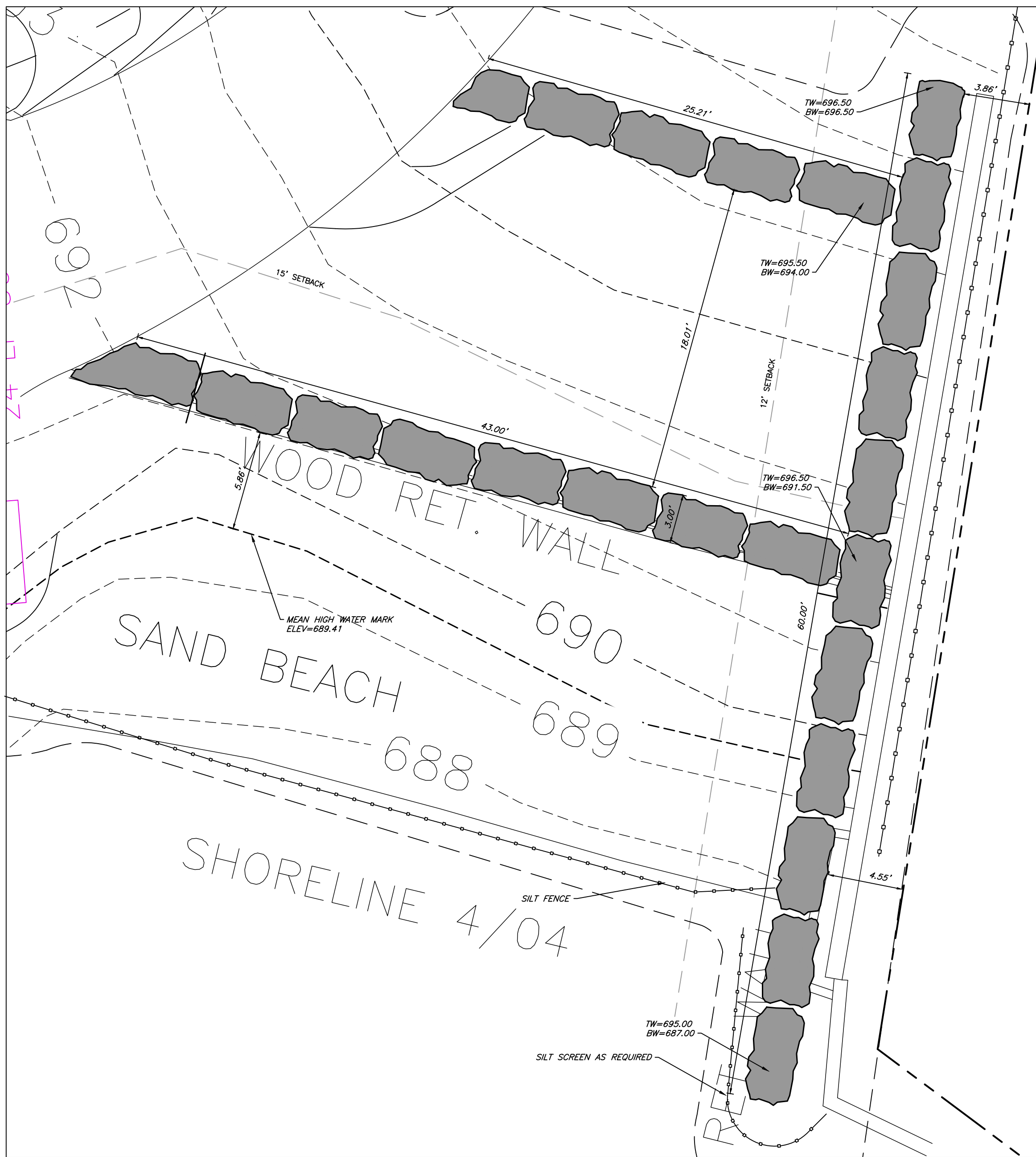
3 CURTAIN DRAIN DETAIL



4 CATCH BASIN DETAIL

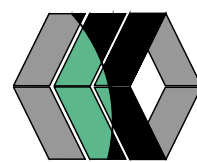
- NOTES:**
- PRECAST UNITS SHALL MEET H-20 LOADING REQUIREMENTS.
 - FRAME & GRATE SHALL BE UNIVERSAL BIKE AND ADA PROOF CAST IRON.
 - INTERIOR AND SIDE SHALL BE BITUMINOUS SEALER COATED
 - CATCH BASIN SHALL BE TYPE CB3636-S-66-2424 AS MANUFACTURED BY KISTNER OR EQUAL.

7 RETAINING WALL LAYOUT ENLARGMENT



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SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

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REVISIONS AND APPROVALS				
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY	DATE
1	03/16/18	PER NYC	MCF	

SITE PLANS PREPARED FOR:
CANANDAIGUA LAKE YACHT CLUB
SHOWING LAND IN:
3524 COUNTY ROAD 16
TOWN OF CANANDAIGUA
STATE OF NEW YORK

DRAWING TITLE:
DETAILS

DRAWN BY:	KRB/MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	17-035
DATE:	03/09/2018
TAX MAP#:	98.17-1-45.000