

Phone: (585) 394-1120 / Fax: (585) 394-9476□

APPLICATION FOR LOT-LINE ADJUSTMENT

The applicant is responsible for the completeness of all forms for the application to be processed. All completed applications are subject to the rules and regulations as established by State of New York and the Town of Canandaigua. The Development Office cannot guarantee any board approvals for completed applications.

It is important that the applicant completes all of the information requested in this packet. Doing so will facilitate the review process by the Planning Board at a public meeting and will not cause unnecessary delays to either you or other applicants.

Town of Canandaigua

5440 Routes 5 & 20 West

Canandaigua, NY 14424

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Required Paperwork for Application Submittal

Lot-Line Adjustment

1. Complete and submit the following documents to the Town of Canandaigua Planning Board:

- A completed Application for Lot-Line Adjustment form, signed by the property owner(s) and the adjacent property owner(s).
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2. The applicant must provide a copy of the following documents to the Town of Canandaigua Planning Board:

A completed Application for Lot-Line Adjustment form, signed by the property owner(s) and the adjacent property owner(s).

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5440 Routes 5 & 20 West

Canandaigua, NY 14424

Phone: (585) 394-1120 / Fax: (585) 394-9476

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LOT-LINE ADJUSTMENT APPLICATION

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fees incurred as a result of the submitted application, and consents to these charges. Additionally projects approved by the Town of Canandaigua Planning Board may be required to pay a parks and recreation fee as established by the Town Board (currently \$ 1,000 per unit) if required as part of the conditions of approval.

Conor Boyer
(property owner)

Nichole Boyer
(property owner)

We hereby grant our designee permission to represent us during the application process.

8/8/21 [Signature] [Signature] May Anne Delforte Vincent Delforte
Signature of "Parcel A" Owner/Date Signature of "Parcel B" Owner/Date Aug 9, 2021

Signature of "Parcel C" Owner/Date

Signature of "Parcel D" Owner/Date

An annexation request shall be denied if it creates a residual parcel.

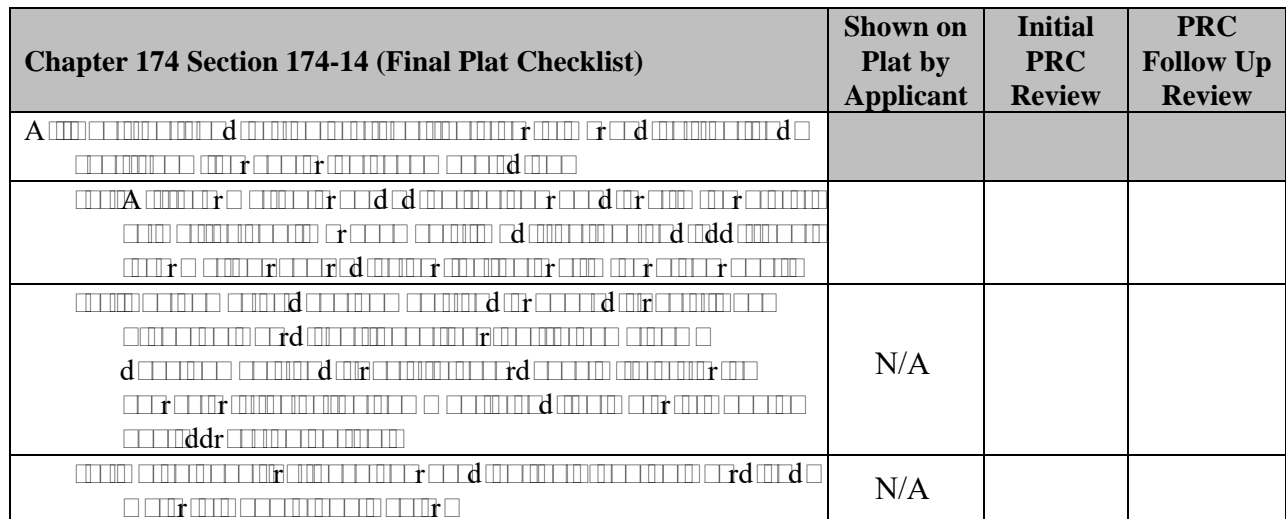
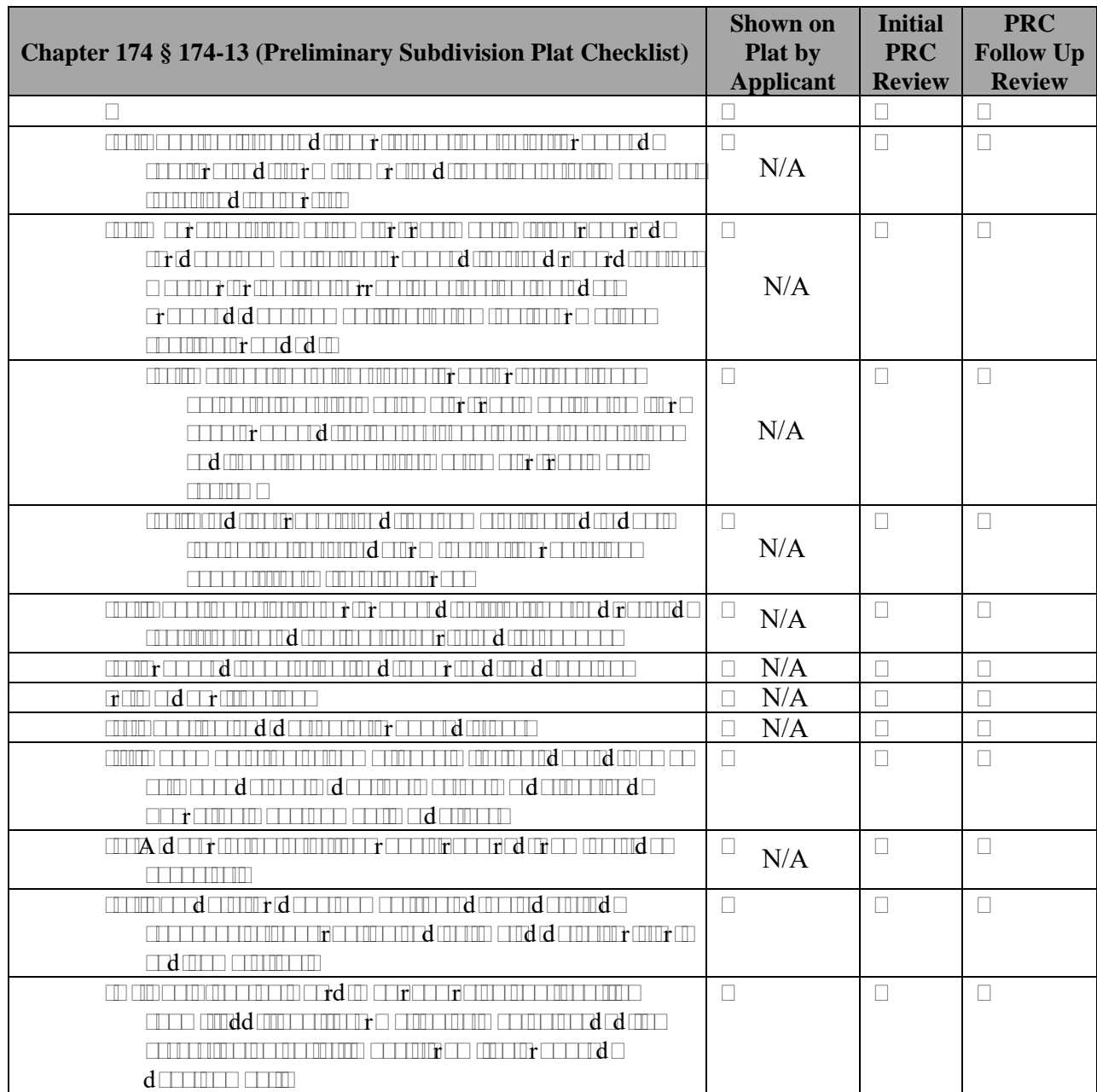
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Chapter 174 § 174-13 (Preliminary Subdivision Plat Checklist)	Shown on Plat by Applicant	Initial PRC Review	PRC Follow Up Review
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> The proposed subdivision is a subdivision of land for the purpose of creating new lots, blocks, or other units of land.	<input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>
(6) Proposed Conditions: Development	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> The proposed subdivision is a subdivision of land for the purpose of creating new lots, blocks, or other units of land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Chapter 174 § 174-14 (Final Plat Checklist)	Shown on Plat by Applicant	Initial PRC Review	PRC Follow Up Review
(4) Detailed sizing and final material specification of all required improvements;	N/A		
(5) Permanent reference monuments as required by any proper authority;	✓		
(6) A detailed plan identifying all lands, easements, and rights-of-way which shall be commonly owned with the identification of the association responsible for said ownership and method of managing the commonly owned properties.	N/A		
(7) Copies of other proposed easements deed restrictions and other encumbrances.	N/A		
(8) Protective covenants, if any, in a form acceptable for recording;	N/A		
(9) Cost estimates for improvements where surety may be required by the Planning Board including but not limited to: landscaping and storm water and erosion control measures. Refer to § 174-32 of this Chapter;	N/A		
(10) The owner shall tender offers of cession, in a form certified as satisfactory by the Town Board Attorney, of all land included in streets, highways or parks not specifically reserved by the owner. Although such tender may be irrevocable, approval of the site plan by the Planning Board shall not constitute an acceptance by the Town of the dedication or gift of any street, highway or park or other open public areas. A dedication or gift of any such improvements may only be accepted by resolution of the Town Board.	N/A		

I have reviewed my submitted application and drawings against the above noted criteria and hereby certify that the submitted application matches this completed checklist.


Signature of Applicant



8/8/21
Date