



2024 W. Henrietta Road, Suite 2C  
Rochester, NY 14623  
PH (585) 924-7430  
[www.meagherengineering.com](http://www.meagherengineering.com)

## LETTER OF TRANSMITTAL

TO: TOWN OF CANANDAIGUA DEV. OFFICE DATE: 19-Aug-21  
5440 ROUTE 5 & 20 WEST JOB: BOYER SITE PLAN  
ROCHESTER, NY 14620 RE: PRC COMMENT RESPONSE  
ATTN: SHAWNA BONSHAK

WE ARE SENDING:     X     ATTACHED      UNDER SEPARATE COVER

     SHOP DRAWINGS      SPECIFICATIONS      OTHER  
  X   PLANS   X   COPY OF LETTER      CHANGE ORDER

COPIES	DATE	DESCRIPTION
1	8/18/2021	UPDATED SITE PLANS (MEAGHER ENGINEERING)
1	8/17/2021	UPDATED LOT LINE ADJUSTMENT MAP (WILLSON & ASSOCIATES)
1	8/19/2021	COMMENT RESPONSE LETTER

TRANSMITTED : as checked below

     FOR APPROVAL      RETURNED FOR CORRECTIONS  
     FOR YOUR USE      RESUBMIT      COPIES FOR APPROVAL  
  X   AS REQUESTED      SUBMIT      COPIES FOR DISTRIBUTION  
     FOR REVIEW AND COMMENT      RETURN      CORRECTED PRINTS  
     PRINTS RETURNED AFTER LOAN      OTHER

### COMMENTS:

Please contact our office if you have any questions or concerns. All items transmitted digitally as well.

SIGNATURE:   AXT  

8/19/2021



2024 W. HENRIETTA ROAD, SUITE 2C  
ROCHESTER, NEW YORK 14623  
PH (585) 924-7430

August 19, 2021

Town of Canandaigua  
Development Office  
5440 Route 5 & 20 West  
Canandaigua, NY 14424

ATTN: Shawna Bonshak

RE: **CPN-21-067 Meagher Engineering, 2024 W. Henrietta Road, Suite 2C, Rochester, N.Y. 14623; representing Nicole R. and Conor J. Boyer, owners of property at 3548 County Road 16.**

Dear Ms Bonshak,

We have received the following comments from Michelle Rowlinson via email dated August 17, 2021 and have addressed them as follows:

1. *See attached **One-Stage (Preliminary & Final) Site Plan Checklist**-All items with an open circle to the right must be addressed prior to the application being further processed.*

**Below please note specific responses to open circles in the One-Stage (Preliminary & Final) Site Plan Checklist:**

- **Preliminary Site Plan Checklist (C) (2) (i) [8]: How will it flow around the addition?**
  - Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition as well as additional notes.
- **Preliminary Site Plan Checklist (C) (3) (b): Note that excess dirt will be removed.**
  - Please refer to the "Erosion Control Notes" on updated Sheet C-3 (DETAILS) for the following added note:
    - **13. ALL EXCESS DIRT WILL BE REMOVED FROM THE SITE.**
- **Preliminary Site Plan Checklist (C) (3) (i): On separate plan.**
  - Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition as well as additional notes.
- **Preliminary Site Plan Checklist (C) (3) (x): Sep. lot line adjustment plan.**
  - Understood. Drawing provided matches that in email from Rick Willson provided 8-18-21.

2. *No building permits will be issued until the lot line adjustment is approved by the Code Enforcement Officer.*

**Understood.**

3. *Submit a separate drawing of the proposed lot line adjustment and subdivision.*

**Understood. Drawing provided matches that in email from Rick Willson provided 8-18-21.**

4. *Submit a separate drawing of the site plan work (the new addition, grading, setbacks, etc).*

**Understood.**

5. *Show how stormwater will flow around the addition.*

**Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition.**

6. *If site disturbance will exceed 20,000 square feet, comply with the following:*

*All development in the Canandaigua Lake Watershed Area with a distance of 500 feet or more away from the Canandaigua Lake shall incorporate water quality preservation measures into the design of the project as follows:*

- a) *If the total project disturbance is 20,000 square feet or more, the project will be required to provide water quality preservation measures and be designed to manage the impacts of a 2-year design storm.*

*Reference: Town of Canandaigua Site Design and Development Criteria, amended by the Town Board, September 17, 2018 (Resolution #2018-274), Article V-Drainage Improvements, Section D: "Water Quality and Quantity Requirements," (3) (a).*

**Understood. Site disturbance will not exceed 20,000 square feet.**

7. *The applicant shall provide **1 complete hard copy** of the plan. The applicant shall also submit a **PDF FILE** of the plans via e-mail to the Development Office at:*

***devclerk@townofcanandaigua.org***

**Understood.**

This should conclude our project for a favorable review. Please feel free to contact our office if you have any questions.

Respectfully yours,  
MEAGHER ENGINEERING



Anthony Tintera, E.I.T.

Notes:

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyors's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."  
"Copies from the original of this survey map not marked with an original of the land surveyor's inked or embossed seal shall not be considered to be a valid true copy."  
"This survey conforms with the minimum standards of the 'Code of Practice for Land Surveyors' as adopted by the New York State Association of Professional Land Surveyors."

Certifications hereon signify that this survey was prepared in accordance with Code of Practice for Land Surveys as adopted by the New York State Association of Land Surveyors as approved at the time this survey was performed.

Certifications as shown shall be limited to the person or persons for whom the survey is prepared and on his/her behalf to the lending institution, governmental agency, title company and to the successor or assign of the lending institution.  
Certifications are not transferable to additional institutions or subsequent owners.

Legend

- Existing Iron Pipe
- Existing Iron Pin
- Iron Pin Set
- P.K. Nail
- Railroad Spike
- Great Lot Line
- Deed Line
- Fence
- Electric pole
- Overhead Utilities
- Concrete Monument
- Hedge Row

Official Use Only

Reserved For Planning Board Chairperson's Signature

Notes:

Subject parcels are zoned RLD and R-1-20.  
Majority of parcels are in the RLD zone.  
RLD:  
Minimum Lot Width: 125'  
Minimum Frontyard: 60'  
Minimum Rearyard: 60' (principal) & 15' (accessory)  
Minimum Sideyard: 12' (all)  
Maximum Building Height: 25'  
R-1-20:  
Minimum Lot Size: 20,000 sq. ft.  
Minimum Lot Width: 100'  
Minimum Frontyard: 60'  
Minimum Rearyard: 40' (principal) & 15' (accessory)  
Minimum Sideyard: 25' & Accessory 15'  
Maximum Building Height: 35'

Datum:

Vertical: 1988 North American Vertical Datum  
Horizontal: 1983 State Plane (New York Central)  
Contour Interval: 1 foot  
Subsurface information provided by others.  
No information on possible subsurface drainage (tile).  
Utilities shall be field verified before construction.

MAP REFERENCE

"Subdivision of Lands of Warren E. Pearse" - surveyed by Jack R. Anderson and filed as Map No. 1338.

"Map of a Survey of Lands of Scott H. & Mary Jo Zahn - Richard J. & Cyndee J. Cutri" - surveyed by Gary L. Dutton and filed Novemebr 9, 1987 as Map No. 15291.

"Map of a Survey of Lands of Scott H. & Mary Jo Zahn - Richard J. & Cyndee J. Cutri" - surveyed by Gary L. Dutton and filed March 2, 1992 as Map No. 19626.

"Map of Survey for Mary Jo Zahn" - survey7ed by Jeremy E. Years and completed March 15, 2021 as File No. YB7131.

CERTIFICATE

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on July 1, 2021 from notes from an instrument survey on June 4, 2021.

Signed: \_\_\_\_\_  
Richard L. Willson  
License No. 49409

Revised July, 19, 2021  
Revised August 17, 2021

LOT LINE ADJUSTMENT  
LANDS OWNED  
BY  
**NICHOLE R. & CONOR J. BOYER**  
AT  
3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
BEING PART OF  
WARREN E. PEARSE SUBDIVISION  
IN  
LOT NO. 15  
TOWNSHIP 10, RANGE III  
OF THE  
PHELPS & GORHAM PURCHASE  
IN THE  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

SCALE: 1" = 30'

SURVEYED BY  
PENN YAN, N.Y.

TELEPHONE: (315) 536-2618  
WWW.WILLSONLANDSURVEY.COM

WILLSON & ASSOCIATES  
JOB NO. 10-2004



FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN DATE

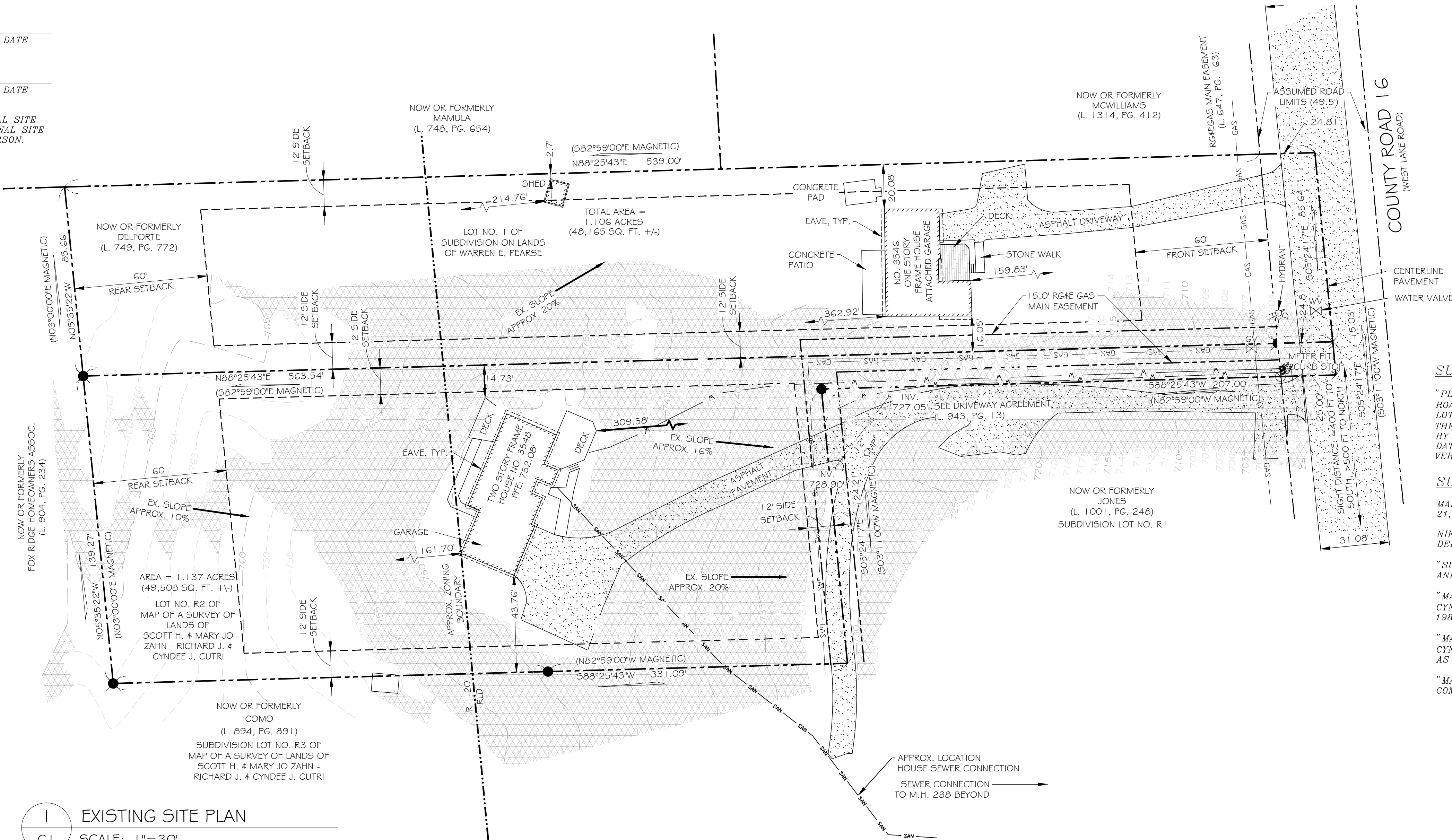
TOWN ENGINEER DATE

TOWN WATER SUPERINTENDENT DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE  
PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE  
PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

LEGEND

- PROPERTY LINE  
--- PROPOSED CONTOUR  
--- EXISTING CONTOUR  
--- SETBACK  
--- x --- CONSTRUCTION FENCE  
--- o --- SILT FENCE  
--- v --- DOMESTIC WATER  
--- - - - STORM PIPE  
--- SAN --- SANITARY  
--- OVERHEAD ELECTRIC  
--- GAS --- GAS  
||||| DISTURBED AREA BOUNDARY  
DRIVEWAY  
LAND SLOPED GREATER THAN 10%  
EXISTING MONUMENTATION  
PROPOSED MONUMENTATION



EXISTING SITE PLAN  
SCALE: 1"=30'

SITE DATA (LOT R2):

ADDRESS: 3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NY 14424  
TAX ACCOUNT #: 98.17-1-40.2  
ZONING: RLD & R-1-20  
NOTE: MAJORITY OF PARCEL (INCLUDING HOUSE) IS IN THE RLD ZONE  
LOT SIZE (EXISTING) = ±1.137 ACRES (±49,508 SF) TAKEN TO R.O.W.  
LOT SIZE (PROPOSED) = ±1.187 ACRES (±51,708 SF) TAKEN TO R.O.W.  
EXISTING HOUSE  
SIDE SETBACK = 14.73 FT / 43.76 FT  
REAR SETBACK = 161.70 FT  
FRONT SETBACK = 309.58 FT  
BUILDING HEIGHT < 25.0 FT  
EXISTING HOUSE W/ PROPOSED ADDITION  
SIDE SETBACK = 17.24 FT / 43.76 FT  
REAR SETBACK = 161.70 FT  
FRONT SETBACK = 305.65 FT  
BUILDING HEIGHT < 25.0 FT  
EXISTING LOT COVERAGE = 5,734.5 SF (11.6%)  
PROPOSED LOT COVERAGE = 6,684.9 SF (13.5%)  
DRIVEWAY = 3,028.5 SF (5.9%)  
EXISTING HOUSE & ADDITION = 2,806.4 SF (5.4%)  
NOTE: INCLUDE ROOF OVERHANG  
NEIGHBORING SHED = 10.4 SF (0.02%)  
MISC. HARDSCAPE = 346.2 SF (0.7%)  
EASTERN DECK = 301.2 SF (0.6%)  
WESTERN DECK = 192.3 SF (0.4%)  
EXISTING BUILDING COVERAGE = 2359.8 SF (4.8%)  
PROPOSED BUILDING COVERAGE = 3310.2 SF (6.4%)

RLD ZONING DISTRICT REQUIREMENTS:

PRINCIPAL BUILDING SETBACK REQUIREMENTS:  
FRONT SETBACK = 60'  
REAR SETBACK = 60'  
SIDE SETBACK = 12'

ACCESSORY BUILDING SETBACK REQUIREMENTS:  
MINIMUM SIDE SETBACK = 12 FT  
MINIMUM REAR SETBACK = 15 FT

ADDITIONAL REQUIREMENTS:

MINIMUM LOT WIDTH = 125'  
MAXIMUM BUILDING HEIGHT = 25'  
MAXIMUM LOT COVERAGE = 22.5%  
NOTE: INCLUDING 10% REDUCTION GIVEN DEVELOPMENT  
IN STEEP SLOPE PROTECTION AREAS  
MAXIMUM BUILDING COVERAGE = 15%

ANTICIPATED DISTURBED AREA = 9,350 SF (0.215 ACRES)

ANTICIPATED START OF CONSTRUCTION: FALL 2021

SITE DATA (LOT 1):

ADDRESS: 3546 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NY 14424  
TAX ACCOUNT #: 98.17-1-41  
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PROPOSED LOT COVERAGE = 4,392.6 SF (9.6%)  
EXISTING BUILDING COVERAGE = 1,751.1 SF (3.6%)  
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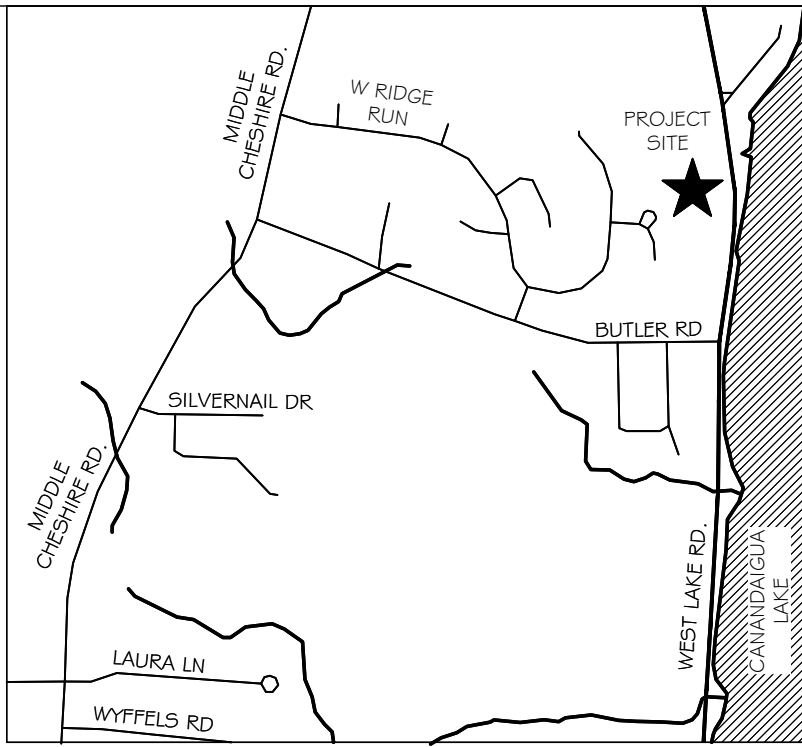
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LOCATION MAP  
SCALE: N.T.S.

SURVEY DATA:

"PLAN OF LANDS OWNED BY NICHOLE R. & CONOR J. BOYER AT 3548 COUNTY ROAD 16 (WEST LAKE ROAD) BEING PART OF WARREN E. PEARSE SUBDIVISION IN LOT NO. 15, TOWNSHIP 10, RANGE 111 OF THE PHELPS & CORHAM PURCHASE IN THE TOWN OF CANANDAIGUA, COUNTY OF ONTARIO, STATE OF NEW YORK" BY WILLSON & ASSOCIATES  
DATED AUGUST 24, 2020  
VERTICAL DATUM: 1988 NORTH AMERICAN VERTICAL DATUM

SURVEY REFERENCES:

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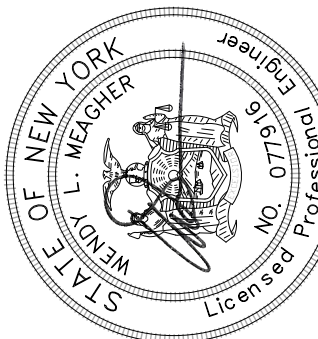
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CLAIMS, LOSSES AND EXPENSES  
MEASHER ENGINEERING, P.L.C. 2021

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JOB NO. 21156	AXT		
DRAWN: 8-6-21			
CHECKED: WLM			
DATE: 8-6-21			

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MEASHER  
ENGINEERING  
CIVIL, SURVEYING & LANDSCAPE  
2024 W. HEURETTA ROAD, SUITE 2C  
ROCHESTER, NY 14623  
PH: 585-924-7430

CLIENT: NICHOLE R. & CONOR J. BOYER  
3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NEW YORK 14424  
PROJECT: BOYER SITE PLAN  
3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NEW YORK 14424  
DRAWING: EXISTING SITE PLAN

DRAWING NO.  
C-1  
1 of 3



FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRMAN DATE

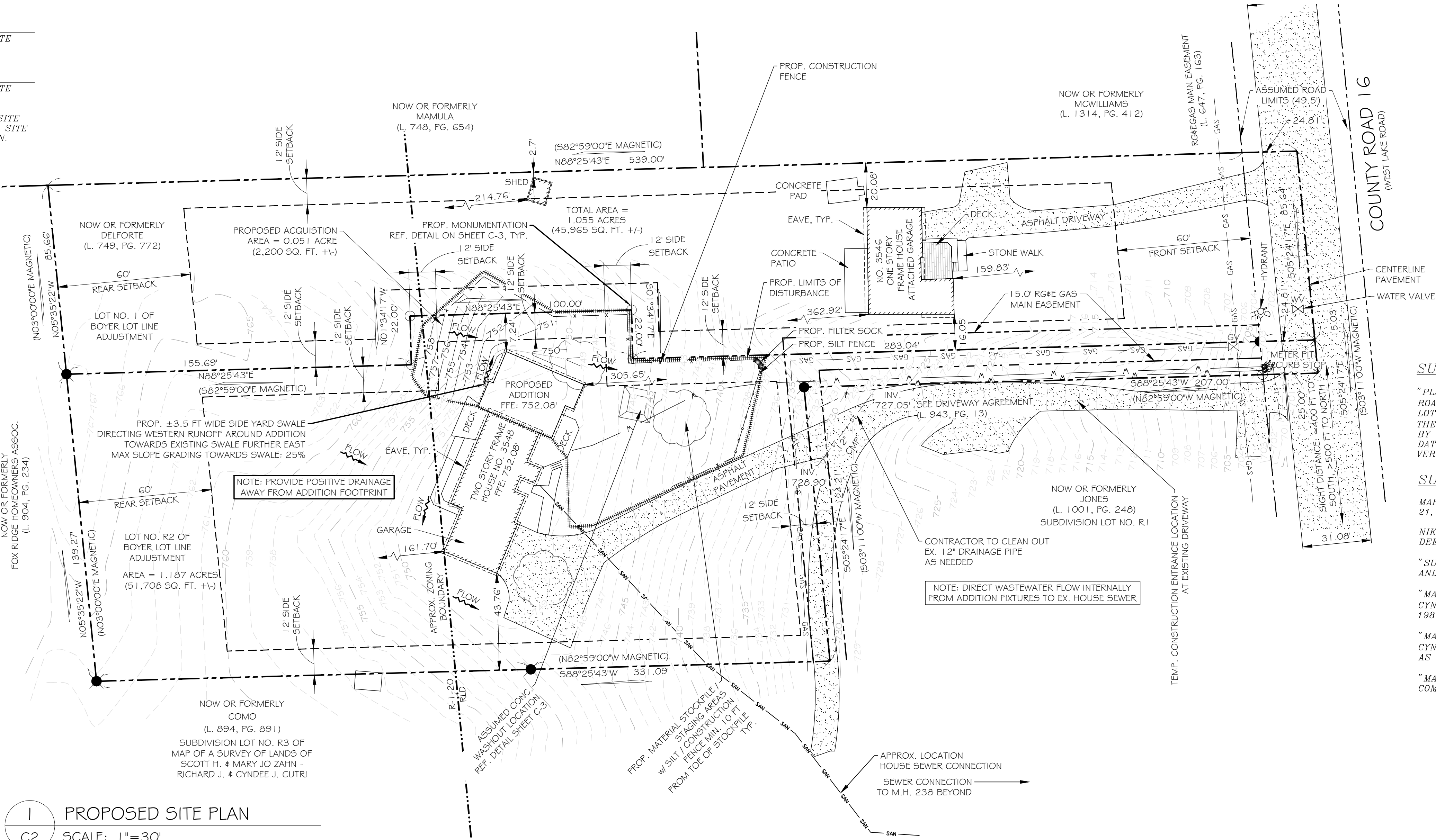
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- EXISTING CONTOUR
- SETBACK
- CONSTRUCTION FENCE
- SILT FENCE
- DOMESTIC WATER
- STORM PIPE
- SANITARY
- OVERHEAD ELECTRIC
- GAS
- DISTURBED AREA BOUNDARY
- DRIVEWAY
- LAND SLOPED GREATER THAN 10%
- EXISTING MONUMENTATION
- PROPOSED MONUMENTATION



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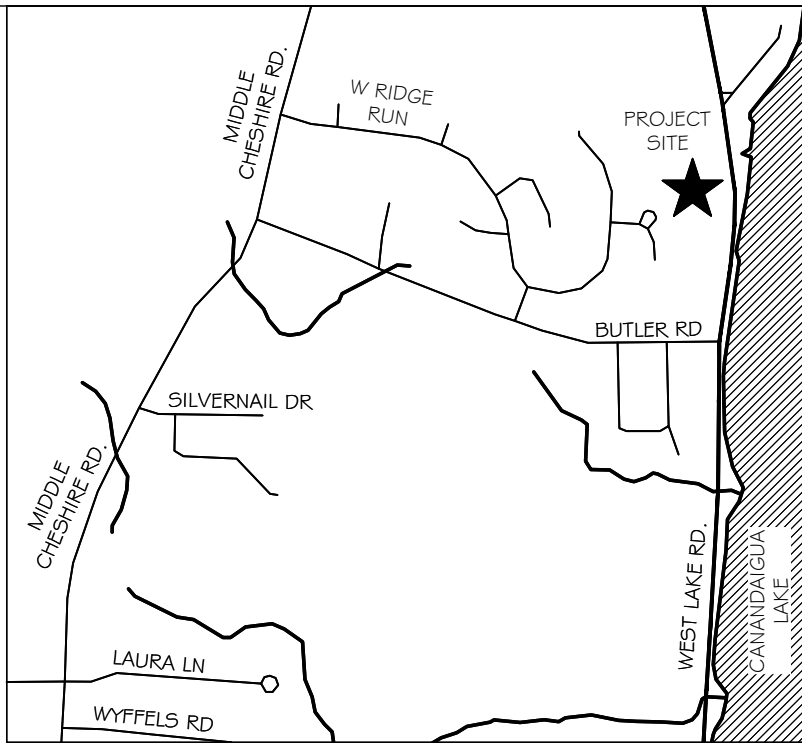
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PRELIMINARY NOT FOR  
CONSTRUCTION



LOCATION MAP  
SCALE: N.T.S.

SURVEY DATA:

"PLAN OF LANDS OWNED BY NICHOLE R. & CONOR J. BOYER AT 3548 COUNTY ROAD 16 (WEST LAKE ROAD) BEING PART OF WARREN E. PEARSE SUBDIVISION IN LOT NO. 15, TOWNSHIP 10, RANGE 111 OF THE PHELPS & CORHAM PURCHASE IN THE TOWN OF CANANDAIGUA, COUNTY OF ONTARIO, STATE OF NEW YORK" BY WILLSON & ASSOCIATES  
DATED AUGUST 24, 2020  
VERTICAL DATUM: 1988 NORTH AMERICAN VERTICAL DATUM

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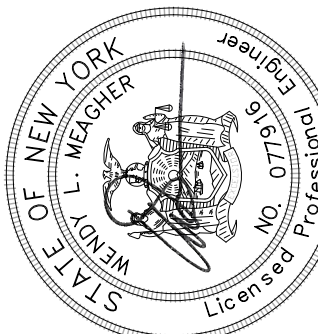
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MEASHER ENGINEERING, P.L.C. 2021

REVISIONS:	NO.	DESCRIPTION	DATE

JOB NO. 21156	AXT	8-6-21	8-18-21
DRAWN:	CHECKED: WLM	PRC COMMENTS	
DATE:	DATE:		

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THE ENGINEER OF RECORD.



MEASHER ENGINEERING  
2024 W. HENRIETTA ROAD, SUITE 2C  
ROCHESTER, NY 14623  
PH: 585-924-7430

CLIENT: NICHOLE R. & CONOR J. BOYER  
3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NEW YORK 14424  
PROJECT: BOYER SITE PLAN  
3548 COUNTY ROAD 16 (WEST LAKE ROAD)  
CANANDAIGUA, NEW YORK 14424  
DRAWING: PROPOSED SITE PLAN

DRAWING NO.  
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1. CLEAR & GRUB REGION OF DEVELOPMENT
  - 1.1. STAKEOUT FURTHEST EXTENTS OF VEGETATION TO REMAIN PRIOR TO COMMENCING CLEARING & GRUBBING
2. INSTALL PERIMETER SEDIMENT CONTROLS. (I.E. SILT FENCE & CONSTRUCTION FENCE).
3. CLEAR AND REMOVE VEGETATION FROM SITE WHERE NECESSARY
4. CONSTRUCT INFILTRATION REGION AND ASSOCIATED STORM PIPING.
5. CONSTRUCT HOUSE ADDITION & TIE INTO INFILTRATION REGION
  - 5.1. ALL DRAINAGE FROM THE PROPOSED HOME ADDITION SHALL BE DIRECTED TO THE INFILTRATION PRACTICE NOTED IN THE PLANS.
  - 5.2. DRAINAGE FROM THE PROPOSED HOME ADDITION SHALL BE TIED INTO THE INFILTRATION PRACTICE ONCE ALL CONTRIBUTING DRAINAGE AREAS HAVE ACHIEVED PERMANENT STABILIZATION OR THE PRACTICE MUST BE PROTECTED WITH SILT FENCE
  - 5.3. THE INFILTRATION PRACTICE SHALL BE TESTED AT THE COMPLETION OF CONSTRUCTION
6. RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.

NOTE: REMOVE EROSION CONTROL MEASURES AS AREAS REESTABLISH WITH GROUND COVER.

EROSION CONTROL NOTES

- 1 NO FILLING, CONSTRUCTION OR STORING OF MATERIALS ON SITE WILL BE
- 2 ALLOWED UNTIL EROSION CONTROL MEASURES ARE IN PLACE AS SHOWN.
- 3 DESIGN AND DETAIL OF EROSION CONTROL MEASURES SHALL BE APPROVED BY THE
- 4 TOWN ENGINEER.
- 5 NO PAYMENT REQUESTS WILL BE ACCEPTED UNLESS THE EROSION CONTROL
- 6 MEASURE REQUIREMENTS STIPULATED ON THESE PLANS HAVE BEEN
- 7 ADHERED TO.
- 8 EROSION CONTROL MEASURES ARE TO BE TO THE SATISFACTION OF THE
- 9 TOWN OF CANANDAIGUA AND THEIR ENGINEER.
- 10 EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED HEREON BEFORE PLOTTED FOR
- 11 THEIR LOCATIONS AND DEPTHS. PRIOR TO ANY RECORD PLANS, PRIOR TO ANY
- 12 CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1
- 13 (800) 962-7982 FOR STAKEOUT OF EXISTING UTILITIES.
- 14 EROSION CONTROL DEVICES SHALL BE ESTABLISHED PRIOR TO COMMENCING
- 15 EARTHWORK. EROSION CONTROL DEVICES TO BE MAINTAINED
- 16 BY THE CONTRACTOR PER THE SPECIFICATIONS UNTIL UPSTREAM GROUND
- 17 COVER HAS BEEN EXPOSED. WHEN REMOVAL IS APPROVED BY THE TOWN
- 18 OF CANANDAIGUA AND THEIR ENGINEER.
- 19 THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCE
- 20 THAT HAS BECOME CLOGGED, INOPERABLE, OR DAMAGED. SILT FENCE SHALL
- 21 BE REPLACED DAILY. IF THE SILT FENCE REQUIREMENT WILL BE NECESSARY
- 22 OR AS DIRECTED BY THE TOWN OF CANANDAIGUA AND THEIR
- 23 ENGINEER.
- 24 THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO ALLOW SILT RUNOFF
- 25 ONTO ADJOINING PROPERTIES OR CANANDAIGUA LAKE. THIS MAY INCLUDE
- 26 THE USE OF INTERCEPTOR SWALES, STRAW BATTLES AND/OR CRUSHED
- 27 STONE BATTLES.
- 28 THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES
- 29 AND CLEANING THE ADJACENT STRIPS, CUTTERS AND/OR DOWNSTREAM STORM
- 30 SEWERS ARE NECESSARY OR AS DIRECTED BY THE TOWN OF CANANDAIGUA
- 31 AND THEIR ENGINEER.
- 32 DISTURBED AREAS ARE TO BE SEEDDED UPON COMPLETION OF THE
- 33 EARTHWORK AND GRADING.
- 34 SLOPES SHALL NOT EXCEED 1 VERTICAL TO 3 HORIZONTAL WITHOUT
- 35 SLOPE REINFORCEMENT OR STEPPING PLANS.
- 36 THERE IS TO BE NO LOADING OR UNLOADING IN THE ROW.
- 37 SILT FENCE FABRIC SHALL BE REPLACED AS NEEDED IF GAPS AND TEARS
- 38 ARE FOUND.
- 39 INSPECT SILT FENCE AFTER EACH RAINFALL FOR SEDIMENT LEVEL AND
- 40 REMOVE SEDIMENT ONCE SEDIMENT EXCEEDS ONE QUARTER THE HEIGHT OF
- 41 THE FENCE.
- 42 ALL EXCESS DIRT WILL BE REMOVED FROM THE SITE.



1. CONTRACTOR TO DETERMINE LOCATION OF CONCRETE WASHOUT AREA.
2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THE SITE.
3. VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
5. EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.

CONCRETE WASHOUT AREA MAINTENANCE NOTES:

1. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
2. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED AT AN APPROVED WASTE SITE.
3. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZE IN ACCORDANCE WITH THE SWPPP PREPARED FOR THE PROJECT.
4. INSPECT WEEKLY OR OTHERWISE INDICATED IN THE SWPPP.



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Town of Canandaigua Site Design &amp; Development Criteria

Adopted 2-13-12

[illegible]

PRELIMINARY NOT FOR  
CONSTRUCTION

FINAL SITE PLAN APPROVAL

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<i>PLANNING BOARD CHAIRMAN</i>	<i>DATE</i>
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TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

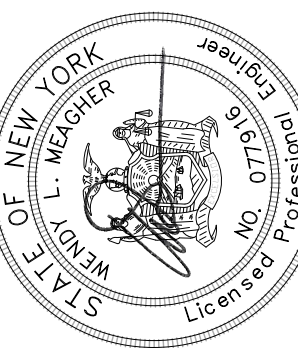
TOWN WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE  
PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE  
PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

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DRAWN:	AXT			
DATE:	8-6-21			
CHECKED:	WLM			
DATE:	8-6-21			

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DRAWING: DETAIL S

DRAWING NO.

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