

August 19, 2021

Town of Canandaigua
Development Office
5440 Route 5 & 20 West
Canandaigua, NY 14424

ATTN: Shawna Bonshak

RE: **CPN-21-067 Meagher Engineering, 2024 W. Henrietta Road, Suite 2C, Rochester, N.Y. 14623; representing Nicole R. and Conor J. Boyer, owners of property at 3548 County Road 16.**

Dear Ms Bonshak,

We have received the following comments from Michelle Rowlinson via email dated August 17, 2021 and have addressed them as follows:

1. *See attached **One-Stage (Preliminary & Final) Site Plan Checklist**-All items with an open circle to the right must be addressed prior to the application being further processed.*

Below please note specific responses to open circles in the One-Stage (Preliminary & Final) Site Plan Checklist:

- **Preliminary Site Plan Checklist (C) (2) (i) [8]: How will it flow around the addition?**
 - Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition as well as additional notes.
- **Preliminary Site Plan Checklist (C) (3) (b): Note that excess dirt will be removed.**
 - Please refer to the "Erosion Control Notes" on updated Sheet C-3 (DETAILS) for the following added note:
 - **13. ALL EXCESS DIRT WILL BE REMOVED FROM THE SITE.**
- **Preliminary Site Plan Checklist (C) (3) (i): On separate plan.**
 - Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition as well as additional notes.
- **Preliminary Site Plan Checklist (C) (3) (x): Sep. lot line adjustment plan.**
 - Understood. Drawing provided matches that in email from Rick Willson provided 8-18-21.

2. *No building permits will be issued until the lot line adjustment is approved by the Code Enforcement Officer.*

Understood.

3. *Submit a separate drawing of the proposed lot line adjustment and subdivision.*

Understood. Drawing provided matches that in email from Rick Willson provided 8-18-21.

4. *Submit a separate drawing of the site plan work (the new addition, grading, setbacks, etc).*

Understood.

5. *Show how stormwater will flow around the addition.*

Please refer to the updated Sheet C-2 (PROPOSED SITE PLAN) for flow arrows indicating how stormwater will flow around the addition.

6. *If site disturbance will exceed 20,000 square feet, comply with the following:*

All development in the Canandaigua Lake Watershed Area with a distance of 500 feet or more away from the Canandaigua Lake shall incorporate water quality preservation measures into the design of the project as follows:

- a) *If the total project disturbance is 20,000 square feet or more, the project will be required to provide water quality preservation measures and be designed to manage the impacts of a 2-year design storm.*

Reference: Town of Canandaigua Site Design and Development Criteria, amended by the Town Board, September 17, 2018 (Resolution #2018-274), Article V-Drainage Improvements, Section D: "Water Quality and Quantity Requirements," (3) (a).

Understood. Site disturbance will not exceed 20,000 square feet.

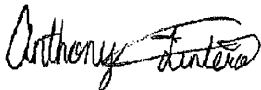
7. *The applicant shall provide **1 complete hard copy** of the plan. The applicant shall also submit a **PDF FILE** of the plans via e-mail to the Development Office at:*

devclerk@townofcanandaigua.org

Understood.

This should conclude our project for a favorable review. Please feel free to contact our office if you have any questions.

Respectfully yours,
MEAGHER ENGINEERING



Anthony Tintera, E.I.T.