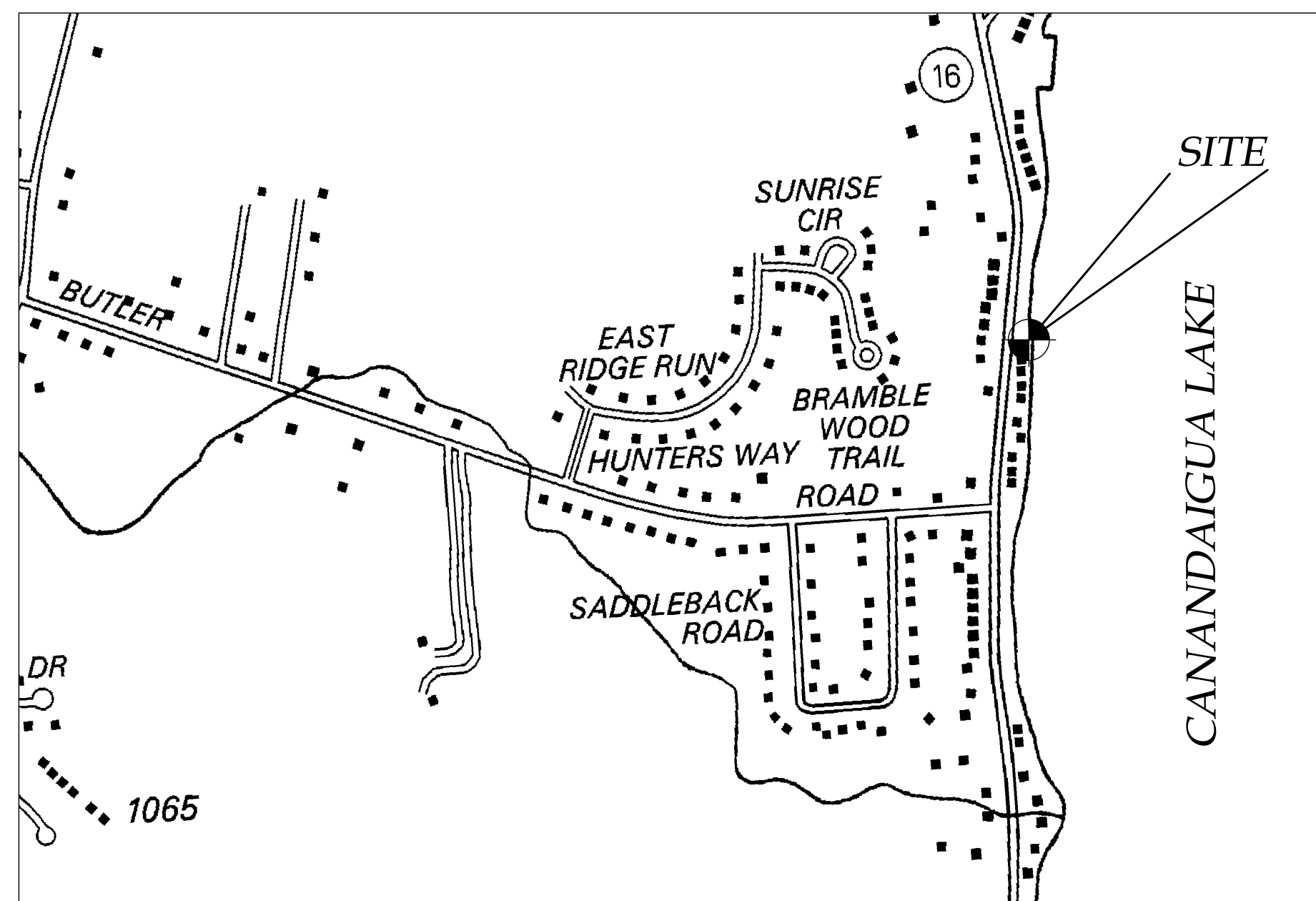


SITE PLAN PREPARED FOR:
JUNE HERMAN
TEAR-DOWN ACCESSORY STRUCTURE

3588 CO RD 16
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

OCTOBER 6, 2021

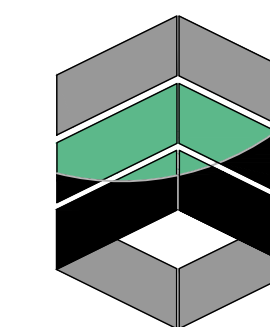


LOCATION MAP
NTS



AERIAL MAP — FOR REFERENCE ONLY
NTS

INDEX-
COVER
EX100- EXISTING CONDITIONS/DEMOLITION PLAN
C100 - SITE PLAN
C500- GENERAL DETAILS



MarksEngineering

MARKS ENGINEERING, P.C.
42 BEEMAN STREET
CANANDAIGUA, NY 14424
(585)905-0360
WWW.MARKSENGINEERING.COM

PROPERTY OWNER:
JUNE G. AND ROGER M. HERMAN
3588 CO RD 16
CANANDAIGUA, NEW YORK 14424

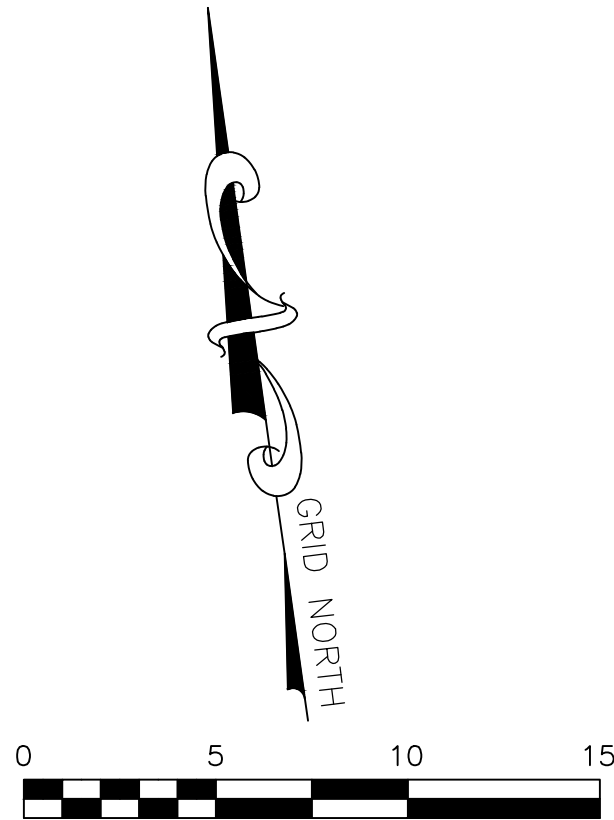
PREPARED FOR:
JUNE HERMAN

REVISIONS:

1. Town of Canandaigua PRC 10/15/21 JPS



JUNE HERMAN
3588 CO RD 16
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
NEW YORK
JOB #21-143
10/06/21

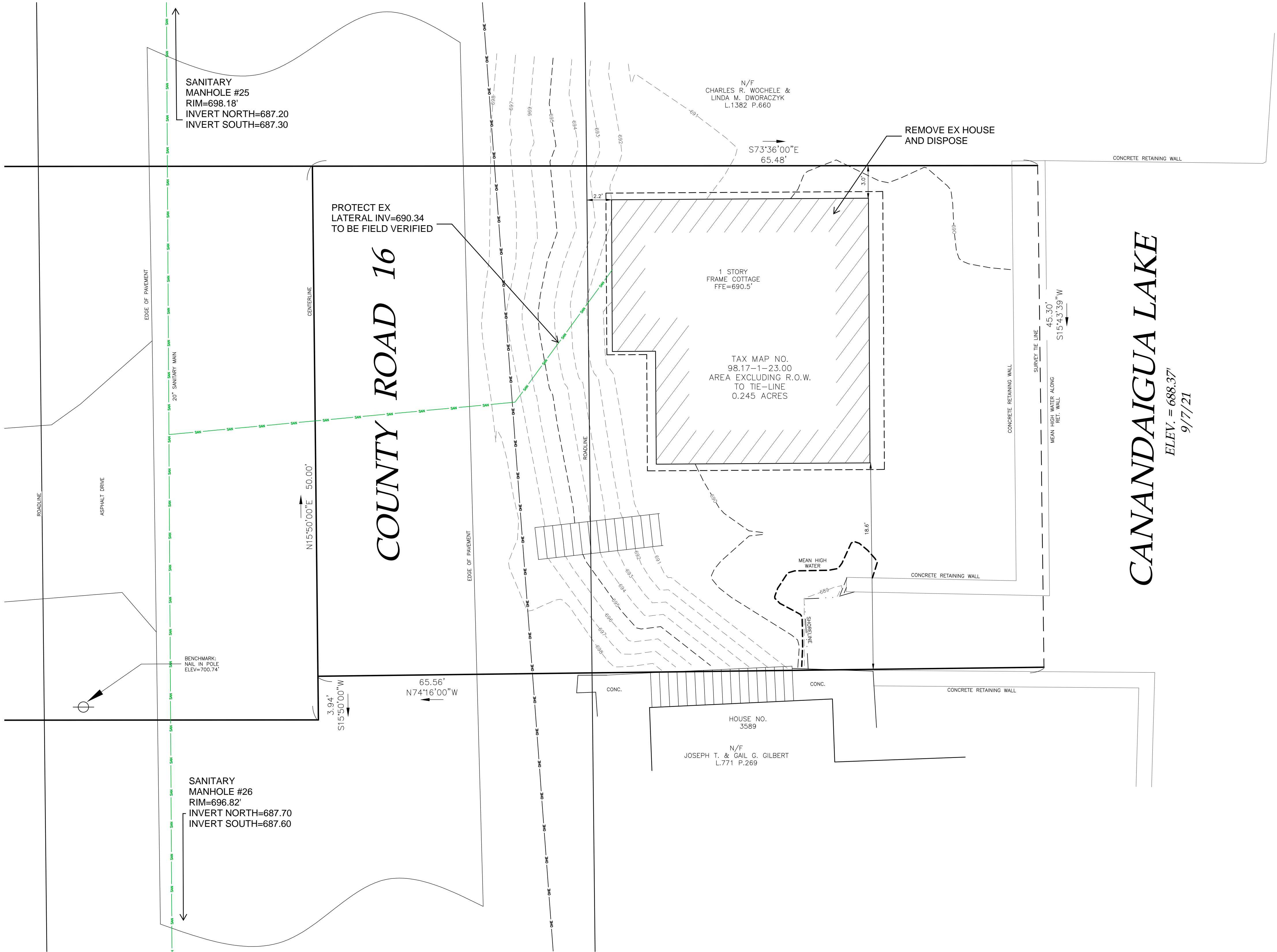


ZONING:
RESIDENTIAL LAKESHORE DISTRICT

MAXIMUM PRINCIPAL BUILDING HEIGHT – 25 FEET
MAXIMUM BUILDING COVERAGE – 20%
MAXIMUM LOT COVERAGE – 30%
SETBACKS PRINCIPAL STRUCTURE:
FRONT – 55 FEET
REAR – 30 FEET
SIDE – 10 FEET

MAP REFERENCE

1. SURVEY MAP OF 3852 COUNTY ROAD 16 BY FREELAND–PARRINELLO LAND SURVEYORS, DATED JULY 26, 2013, JOB NO. 94–208RB
2. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
3. VERTICAL DATUM NAVD29
4. DEEDS L.938 P.757, L.927 P.986
5. THIS PLAN IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AND UPDATED SEARCH OF TITLE MAY REVEAL.



LEGEND

Iron pin or pipe found

Benchmark

Utility pole

Hydrant

Light pole

PERC TEST

DEEP HOLE

EXISTING

Proposed

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

ABBREVIATIONS:

EX-EXISTING

CPP-CORRUGATED POLYETHYLENE

PIPE

O.C-ON CENTER

SICPP-SMOOTH INTERIOR

CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO -CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MH-MANHOLE

DI-DRAINAGE INLET

1 EXISTING CONDITIONS
1"=5'

I certify that this plan was prepared
October 13, 2021 from notes of an
instrument survey completed
September 7, 2021 and from materials
referenced hereon.

David M. Parrinello
David M. Parrinello NYSPLS 049724

MarksEngineering

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CANANDAIGUA, NY 14424
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REVISIONS AND APPROVALS		NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1.	10/15/21	Town of Canandaigua PRC	JPS		

PLAN OF LAND OF
JUNE G. & ROGER M. HERMAN
SHOWING LAND IN:
3588 COUNTY ROAD 16
TOWN OF CANANDAIGUA
STATE OF NEW YORK
COUNTY OF ONTARIO

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=5'
JOB NO.:	21-143
DATE:	9/28/2021
TAX MAP#:	98.17-1-23.0

EX100

CONSTRUCTION SEQUENCE:

- 1) INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OTHER TEMPORARY CONTROLS.
- 2) STRIP AND STOCKPILE TOPSOIL
- 3) EXCAVATE FOUNDATION AND ROUGH GRADE SITE.
- 4) BUILD FOUNDATION AND STRUCTURES
- 5) INSTALL UTILITIES
- 6) BACKFILL FOUNDATION
- 7) RESPREAD TOPSOIL AROUND HOUSE, FINAL GRADE SEED AND MULCH
- 8) REMOVE TEMPORARY CONTROLS AFTER SITE STABILIZED WITH VEGETATION
- 9) MAINTAIN SANITARY SEWER SERVICE THROUGH CONSTRUCTION

GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN STALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.
8. CONCRETE TRUCK SHALL BE WASHED OUT INTO A SEALED CONTAINER OR DIKED AREA TO PREVENT CONTAMINANTS FROM DISCHARGING TO SURFACE WATERS.

SITE NOTES:

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA.
3. WATER SUPPLY: PUBLIC WATER
4. NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES, DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

GRADING NOTES:

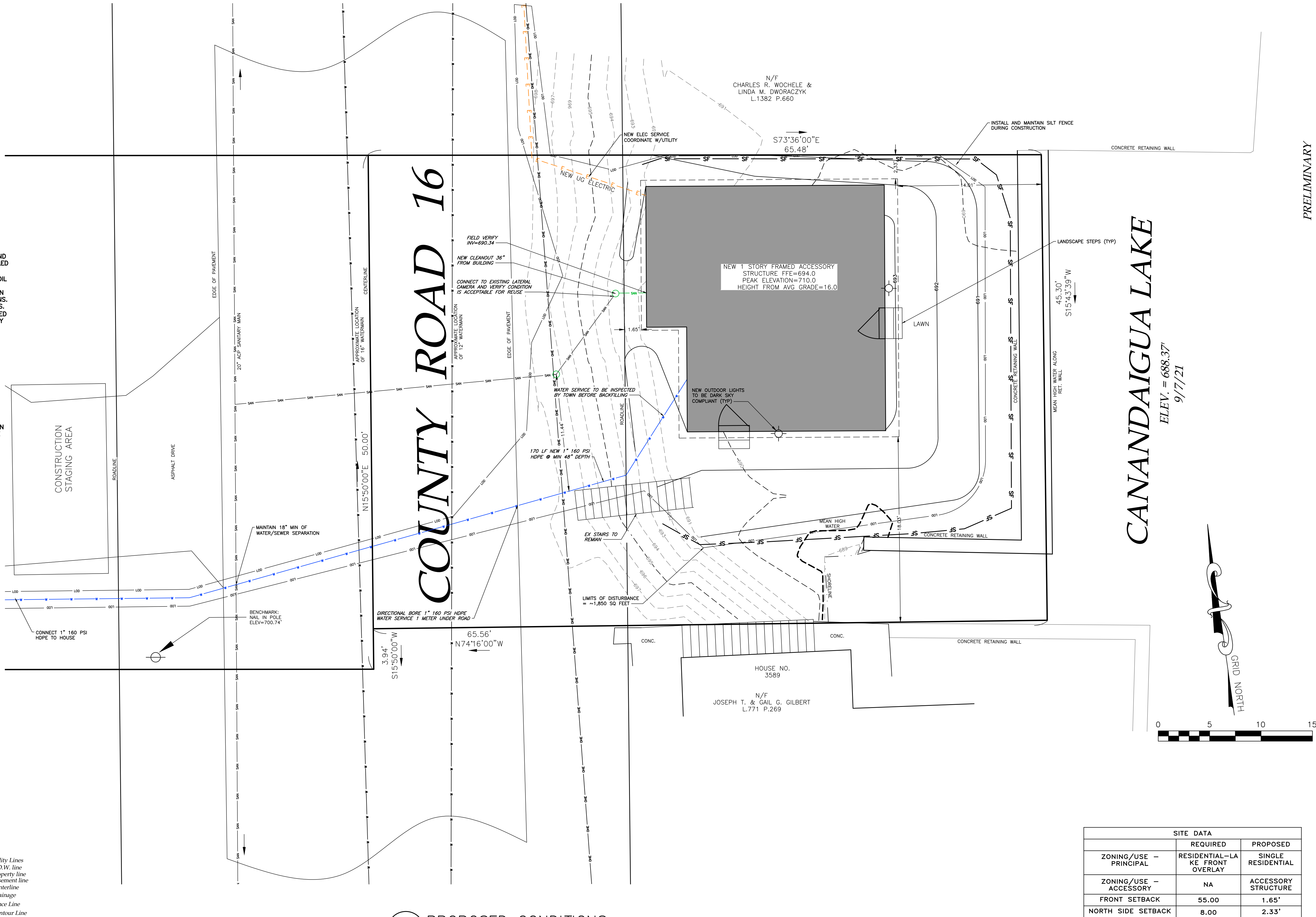
1. CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1 UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

UTILITY NOTES:

- 1) CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
- 2) ELEC. SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
- 3) SAFTEY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK

AGRICULTURAL NOTE:

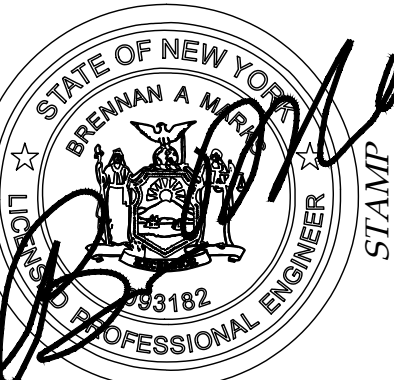
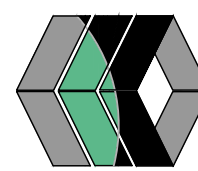
THIS PROPERTY IS NOT LOCATED WITHIN AN ESTABLISHED AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION.



1 PROPOSED CONDITIONS
1"=5'

SITE DATA		
	REQUIRED	PROPOSED
ZONING/USE - PRINCIPAL	RESIDENTIAL-LAKE FRONT OVERLAY	SINGLE RESIDENTIAL
ZONING/USE - ACCESSORY	NA	ACCESSORY STRUCTURE
FRONT SETBACK	55.00	1.65'
NORTH SIDE SETBACK	8.00	2.33'
SOUTH SIDE SETBACK	8.00	18.03'
REAR SETBACK	15.00	14.01'
BUILDING HEIGHT	25'	22'
MAX LOT COVERAGE	25.00%	37.46%
MIN. GREEN SPACE	20.00%	62.54%

MarksEngineering



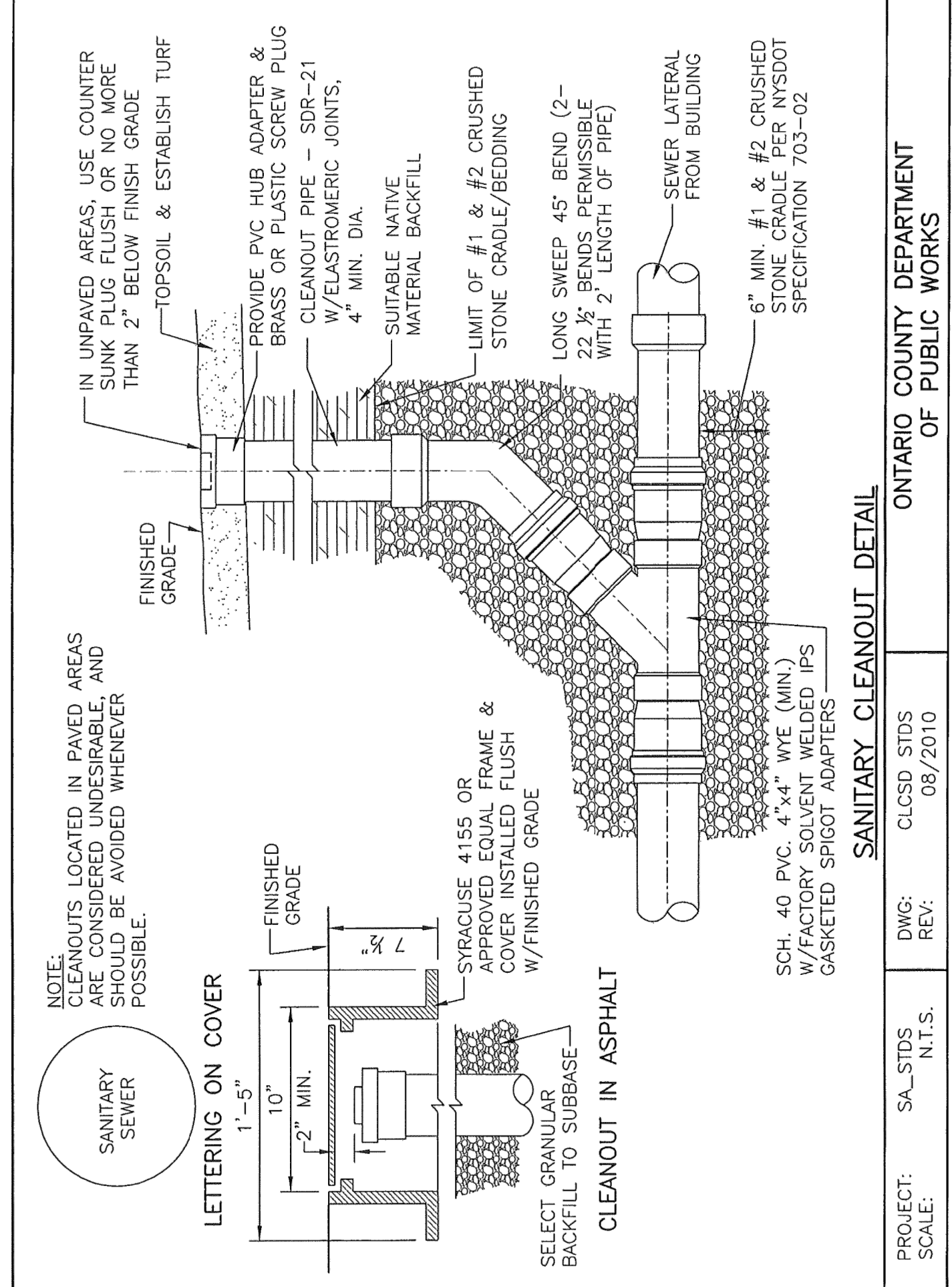
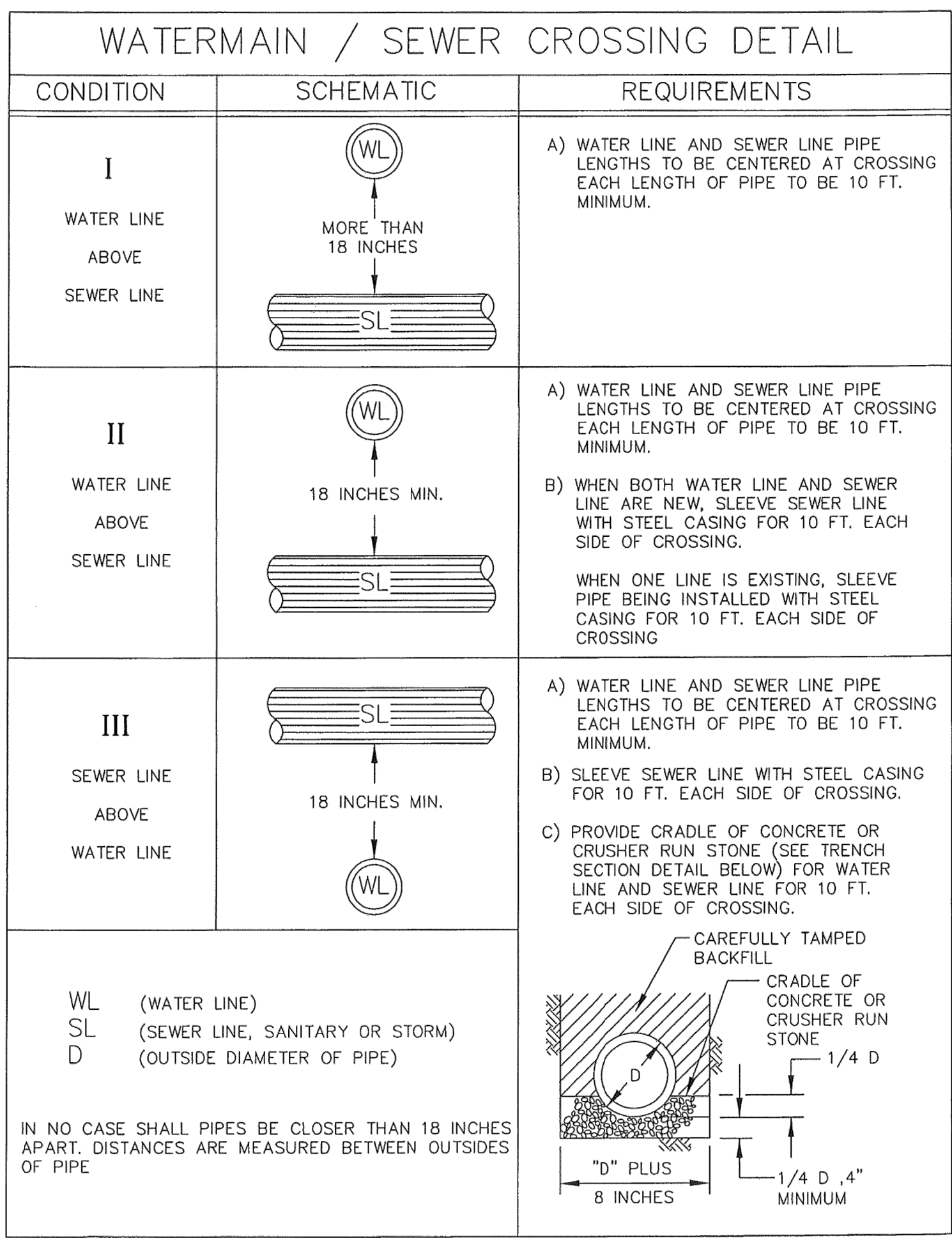
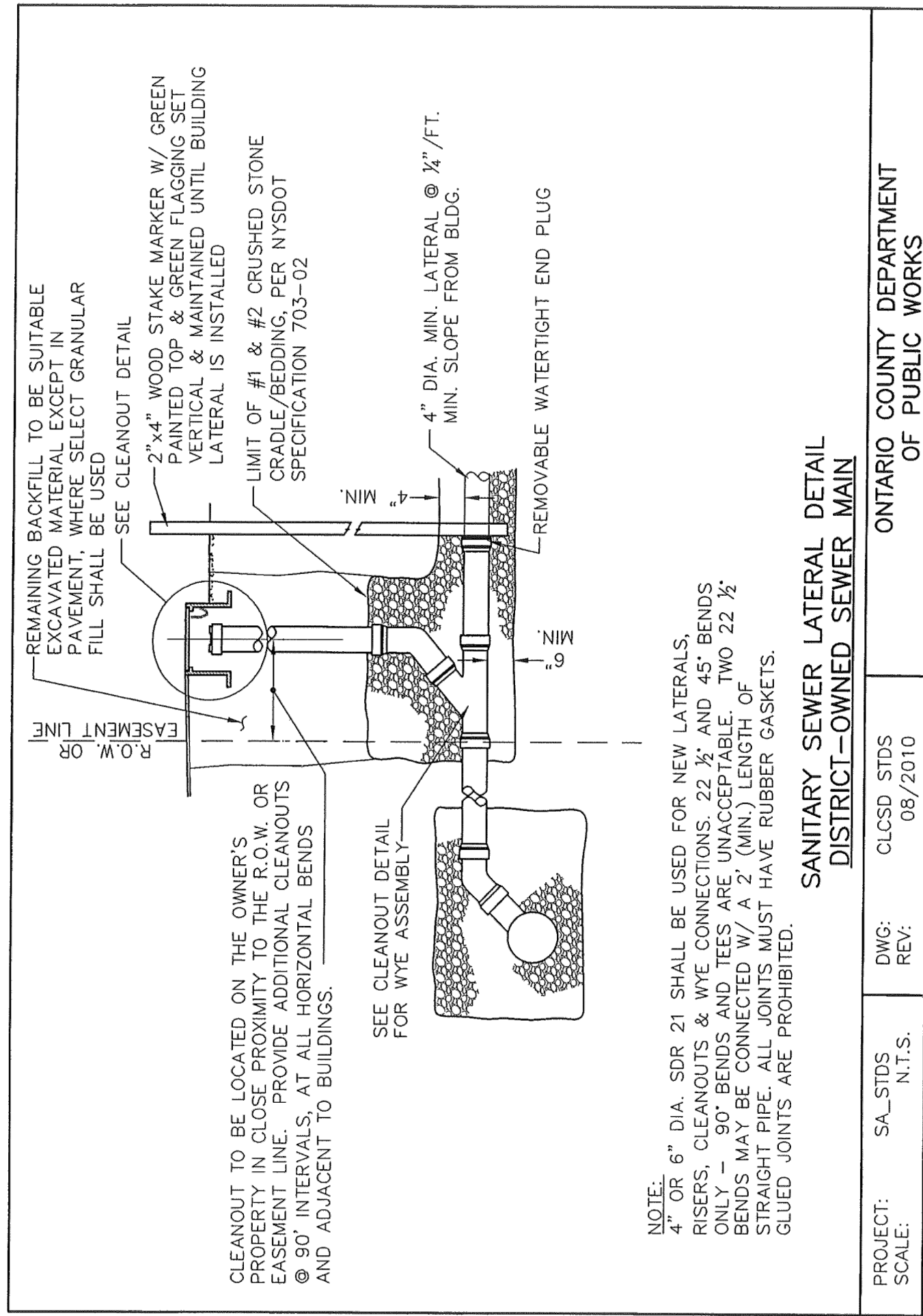
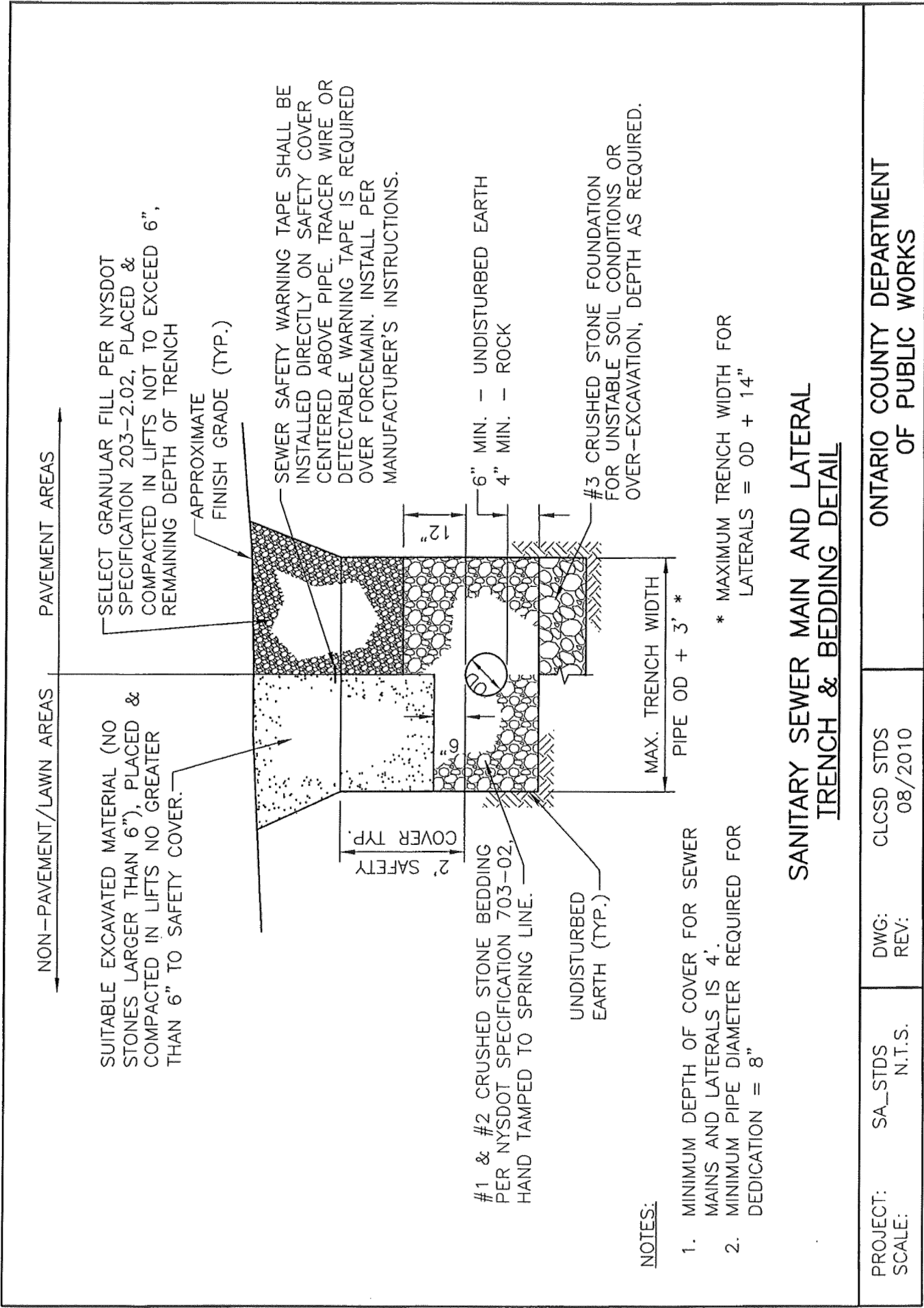
PRELIMINARY

REVIEWS AND APPROVALS	
NO	DATE / DESCRIPTION OF REVISION OR APPROVAL BY
1.	10/15/21 Town of Canandaigua PRC JPS

PLAN OF LAND OF
JUNE G. & ROGER M. HERMAN
SHOWING LAND IN:
3588 COUNTY ROAD 16
TOWN OF CANANDAIGUA
STATE OF NEW YORK
COUNTY OF ONTARIO

DRAWING TITLE: PROPOSED CONDITIONS	
DRAWN BY:	JPS
DESIGNED BY:	JPS
CHECKED BY:	BAM
SCALE:	1"=5'
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TAX MAP#:	98.17-1-23.0

C100



ALL PROJECTS

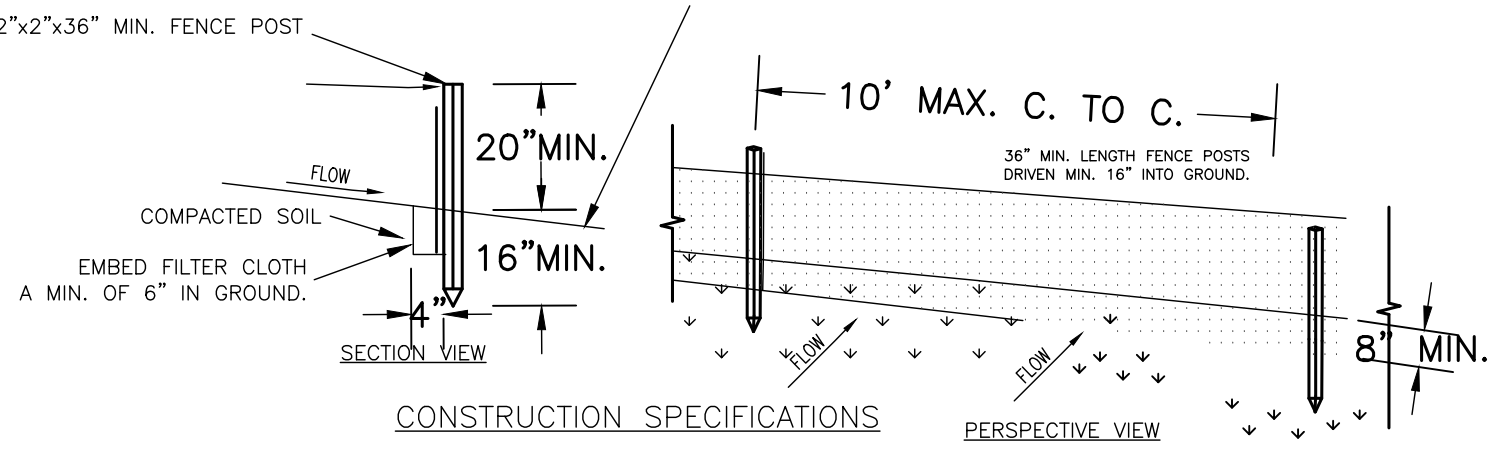
1. All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of Recommended Standards For Wastewater Facilities and any other agencies having jurisdiction.
2. No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
3. District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
4. The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
5. Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to beginning work.
6. Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
7. Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the watermain joints.
8. The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
9. The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
10. The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
11. Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer Use Law. Foundation and footer drains shall be constructed in a manner that prohibits groundwater from draining into the sanitary sewer pipe cradle.

12. Lateral connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.
13. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted for safety and protection of the public.
14. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.

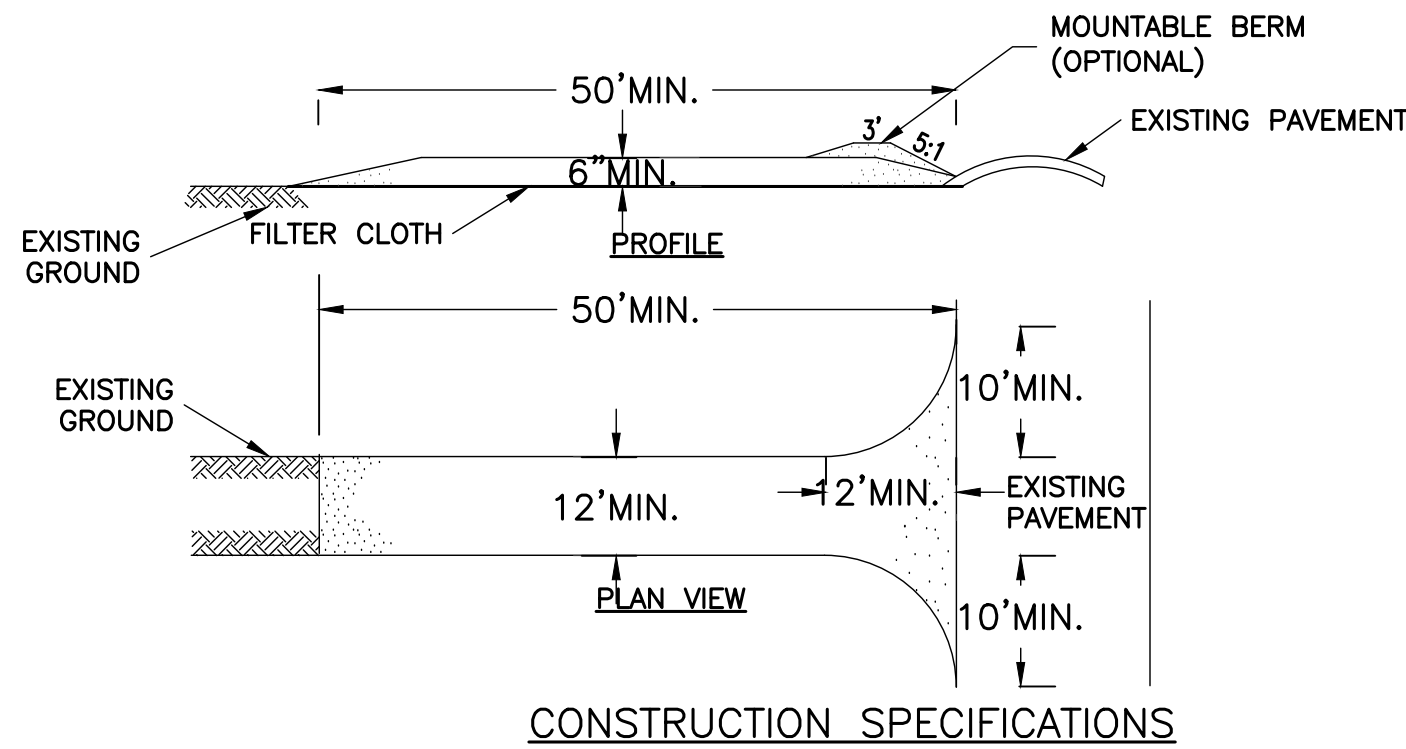
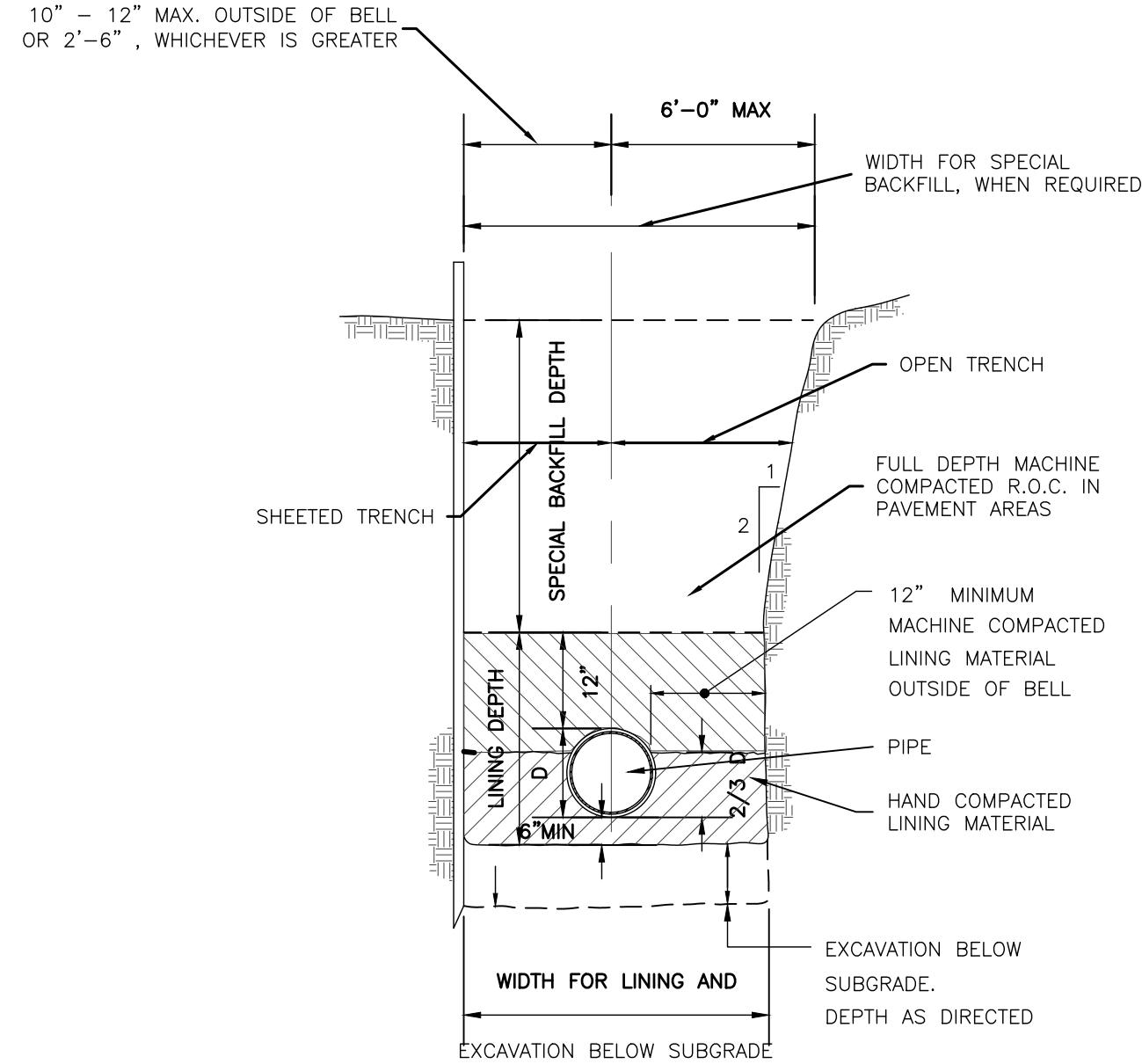
RENOVATION PROJECTS ONLY

15. Existing laterals to be disconnected must be permanently plugged or capped at the easement or right of way line under the direction of Canandaigua Lake County Sewer District personnel. The location of the plug or cap shall be recorded for as-built drawing purposes.
16. Prior to demolishing an existing building, the contractor shall excavate, disconnect and abandon the lateral from the building to the point of disconnection (approximately 30' from the existing building) per District standards. A temporary plug shall be installed in the remaining portion of the existing sanitary lateral until it is tested and televised.
17. In order to determine whether an existing sanitary lateral is acceptable for connection to a new building, the lateral shall be televised in the presence of District personnel at the owner's expense.
18. If an existing lateral is found to be acceptable and meet the minimum District requirements, it shall be temporarily re-plugged and backfilled with a witness stake in place, until connection to the new building can take place.
19. If a new sanitary sewer lateral is required, the existing lateral must be excavated, removed and capped at the easement or right of way line in accordance with District requirements.
20. If a new sanitary sewer lateral is required, the connection to the existing sanitary main shall be made per District standards.

SANITARY LATERAL NOTES



1 TYPICAL SILT FENCE DETAIL



3 STABILIZED CONSTRUCTION ENTRANCE

PRELIMINARY

STAMP

STAMP

REVIEWS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
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PLAN OF LAND OF
JUNE G. & ROGER M. HERMAN
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DRAWING TITLE:
DETAILS

DRAWN BY:	JPS
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C500

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