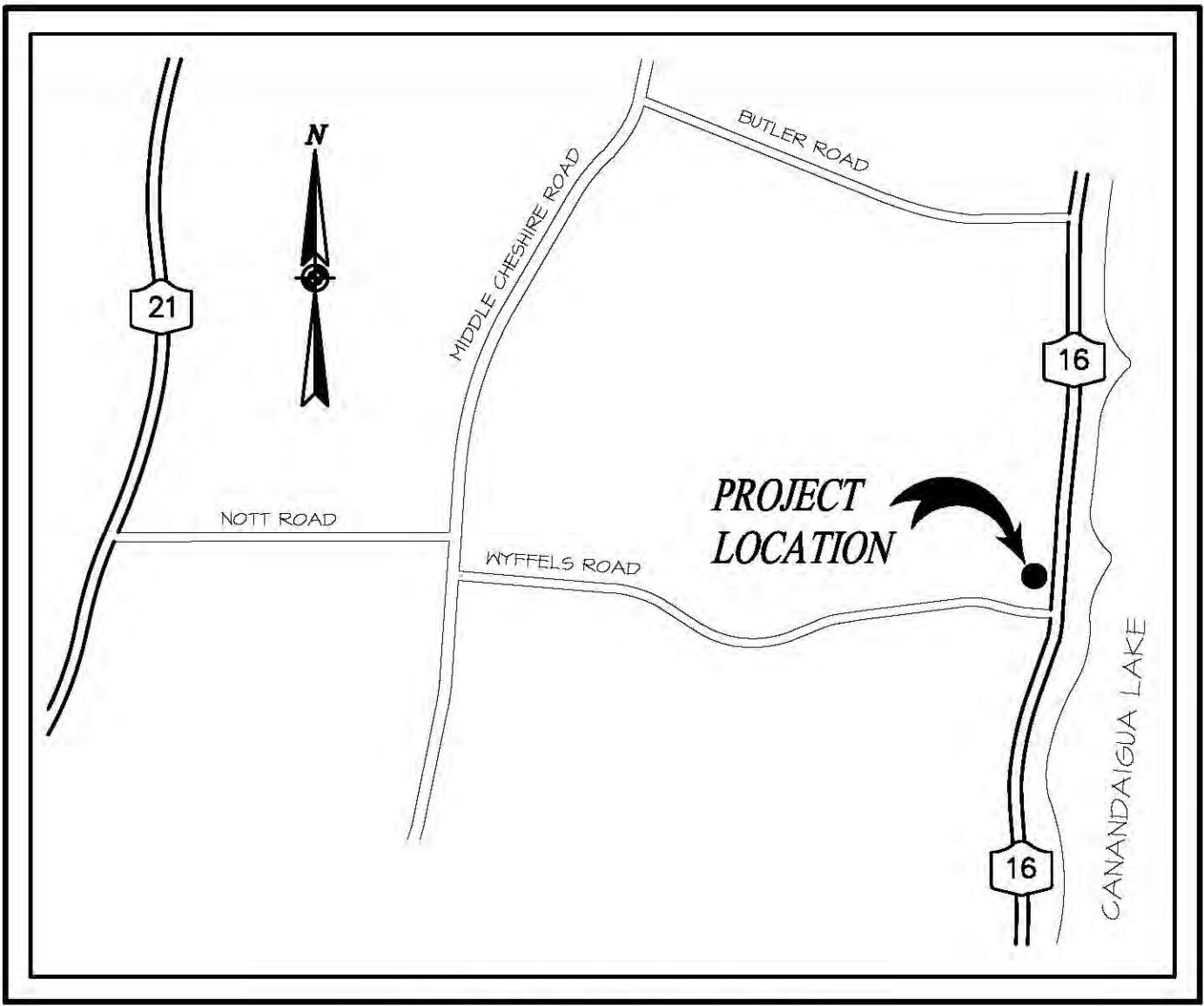


3844 WEST LAKE ROAD

SITE DEVELOPMENT PLANS

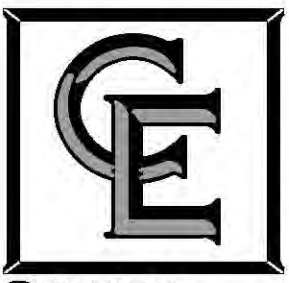
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

INDEX OF DRAWINGS	
SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 OF 11)
GA002	GENERAL NOTES AND LEGEND SHEET (SHEET 2 OF 11)
VB100	EXISTING FEATURES PLAN (SHEET 3 OF 11)
CA100	DEMOLITION PLAN (SHEET 4 OF 11)
CA110	PRELIMINARY WATERFRONT SITE PLAN (SHEET 5 OF 11)
CA120	PRELIMINARY DRIVEWAY SITE PLAN (SHEET 6 OF 11)
CA130	GRADING, DRAINAGE & EROSION CONTROL PLAN (SHEET 7 OF 11)
CA140	UTILITY PLAN (SHEET 8 OF 11)
CA500	DETAIL SHEET (SHEET 9 OF 11)
CA501	DETAIL SHEET (SHEET 10 OF 11)
CA502	DETAIL SHEET (SHEET 11 OF 11)



LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:
DAIGUA, LLC
P.O. BOX 784
PITTSFORD, NY 14534



• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

3844 WEST LAKE ROAD
SITE DEVELOPMENT PLANS

TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

FINAL PLANS

PROJECT NO. 7812

SHEET NO. GA001
SHEET 1 OF 11

~~ORIGINAL: MARCH 10, 2021~~

REVISED: MARCH 22, 2021

3844 WEST LAKE ROAD
CANANDAIGUA, NEW YORK 14424
TAX PARCEL # 113.09-3-10.11

PROJECT DESCRIPTION

NAME OF RECEIVING WATERS

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWN AND PLANTINGS FROM ESTABLISHING PROPERLY.
2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS

2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDCE GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
3. ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN M54 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDCE ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.

A. GENERAL

- WHERE PUBLIC WATER SUPPLY, IN THE OPINION OF THE PLANNING BOARD, IS REASONABLY ACCESSIBLE, THE DEVELOPER SHALL PROVIDE AND DEDICATE TO THE TOWN A COMPLETE WATER DISTRIBUTION SYSTEM. THE DESIGN AND INSTALLATION OF SAID SYSTEM SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING BOARD AND JURISDICTIONAL AGENCIES.
- WATER SUPPLY SYSTEMS SHALL BE DESIGNED (AS A MINIMUM) TO CONFORM WITH THE LATEST EDITION OF TEN STATES STANDARDS.
- WATER SUPPLY SYSTEMS SHALL BE DESIGNED TO PROVIDE ADEQUATE DOMESTIC (AVERAGE DAY AND MAXIMUM DAY) USAGE AND FIRE PROTECTION, WHILE MAINTAINING ACCEPTABLE SYSTEM PRESSURES.
- THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEERS REPORT INCLUDING CALCULATIONS SUPPORTING ALL WATERMAIN AND SERVICE SIZES.
- ALL WATERMAINS SHALL BE A MINIMUM OF 8 INCHES, UNLESS APPROVED BY THE WATER SUPERINTENDENT.
- SEE CA500 FOR TYPICAL WATER SERVICE DETAILS.

B. HYDRANTS

- HYDRANTS SHALL BE SPACED TO COMPLY WITH ISO AND NEW YORK STATE BUILDING CODE REQUIREMENTS WITH A MAXIMUM 500-FOOT INTERVAL IN SUBDIVISIONS AND 600-FOOT INTERVALS IN OPEN SPACES.
- HYDRANTS SHOULD BE PLACED AT ALL INTERSECTIONS WHERE FEASIBLE.

A. HYDRANTS

- HYDRANTS SHALL BE SPACED TO COMPLY WITH ISO AND NEW YORK STATE BUILDING CODE REQUIREMENTS WITH A MAXIMUM 500-FOOT INTERVAL IN SUBDIVISIONS AND 800-FOOT INTERVALS IN OPEN SPACES.
- HYDRANTS ARE TO BE PLACED CLOSE ENOUGH TO ALL COMMERCIAL BUILDINGS TO MEET NEW YORK STATE FIRE CODE OF 300 FEET WHICH IS MEASURED FROM THE FURTHEST POINT OF THE BUILDING FROM THE NEAREST FIRE HYDRANT.
- CONTRACTORS INSTALLING HYDRANTS ARE REQUIRED TO NOTIFY THE TOWN OF CANANDAIGUA 24 HOURS IN ADVANCE OF CONSTRUCTION.

C. VALVES

- VALVES SHALL BE LOCATED SUCH THAT NO MORE THAN 30 DWELLING UNITS AND NO MORE THAN TWO HYDRANTS NEED BE OUT OF SERVICE FOR REPAIR OF A WATERMAIN. VALVES SHALL BE PROVIDED AT INTERSECTIONS AND BE NO MORE THAN 800-Feet APART ALONG THE WATERMAIN.
- ADDITIONAL VALVES MAY BE REQUIRED AT CREEK AND/OR RAILROAD CROSSINGS DEPENDING ON NETWORK CONFIGURATION AND PERMIT REQUIREMENTS.
- AIR RELEASE VALVES SHALL BE PROVIDED AT CRITICAL HIGH POINTS ALONG THE WATERMAIN.
- PRESSURE REDUCING VALVES (PRVs) SHALL BE DESIGNED AND INSTALLED PER TOWN OF CANANDAIGUA SPECIFICATIONS.

D. DEAD END MAINS

- DEAD END MAINS ARE DISCOURAGED WITHIN THE TOWN.
- WHERE THEY ARE UNAVOIDABLE, A FLUSHING HYDRANT (BLOW-OFF) SHALL BE PROVIDED. ALSO, AN AUTO-FLUSHING HYDRANT MAY BE REQUIRED BY THE TOWN WATER SUPERINTENDENT IN SOME LOCATIONS.

E. WATER SERVICES

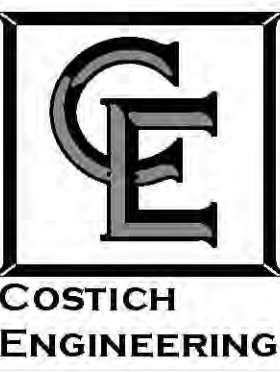
- PROVIDE MINIMUM OF 1-INCH WATER SERVICE OR AS APPROVED BY THE TOWN OF CANANDAIGUA WATER SUPERINTENDENT. SERVICES SHALL BE EXTENDED TO THE RIGHT-OF-WAY LINE OF ALL INDIVIDUAL LOTS, WHERE AN EASEMENT IS PROVIDED, THE SERVICE SHALL EXTEND TO THE EASEMENT LINE, (OR ACROSS UTILITY EASEMENT).
- ALL SERVICES SHALL BE TYPE K COPPER WITHOUT LINE COUPLINGS OR 200-PSI POLYETHYLENE PIPE. TRACER WIRE IS TO BE PROVIDED AS PER CA500 DETAILS.
- METERS SHALL BE INSTALLED FOR EACH INDIVIDUAL SERVICE AND ARE TO BE PURCHASED FROM THE TOWN.
- IF THE DISTANCE FROM THE RIGHT-OF-WAY TO THE HOUSE IS OVER 500-Feet, THE OWNER OR DEVELOPER WILL BE REQUIRED TO PURCHASE A METER FROM THE TOWN. SPECIAL APPLICATIONS MAY BE SUBJECT FOR REVIEW BY THE TOWN OF CANANDAIGUA HIGHWAY & WATER SUPERINTENDENT FOR A DETERMINATION OF NEED FOR AN INDIVIDUAL METER PIT.
- THE CONTRACTOR IS TO CONTACT THE WATER DEPARTMENT 24 HOUR IN ADVANCE FOR INSPECTION OF THE TRENCH & MATERIAL.

	EXISTING	PROPOSED
PROPERTY LINE OR PARCEL BOUNDARY		
MIN. BUILDING SETBACK		
CENTER LINE & STATION		
EASEMENT LINE		
CONCRETE/GRANITE CURB		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
CONCRETE PAD/CONCRETE SIDEWALK		
BUILDING		
SIGNS		
LIGHTING		
GUARD RAIL		
STOCKADE & CHAIN LINKED FENCE		
SWALE		
CONTOUR		
SPOT ELEVATION @ x		
TREES		
HEDGE & EDGE OF WOODS		
SANITARY SEWER & MANHOLE		

BY: _____ DATE: _____
TOWN OF CANANDAIGUA WATER SUPERINTENDENT

[illegible]

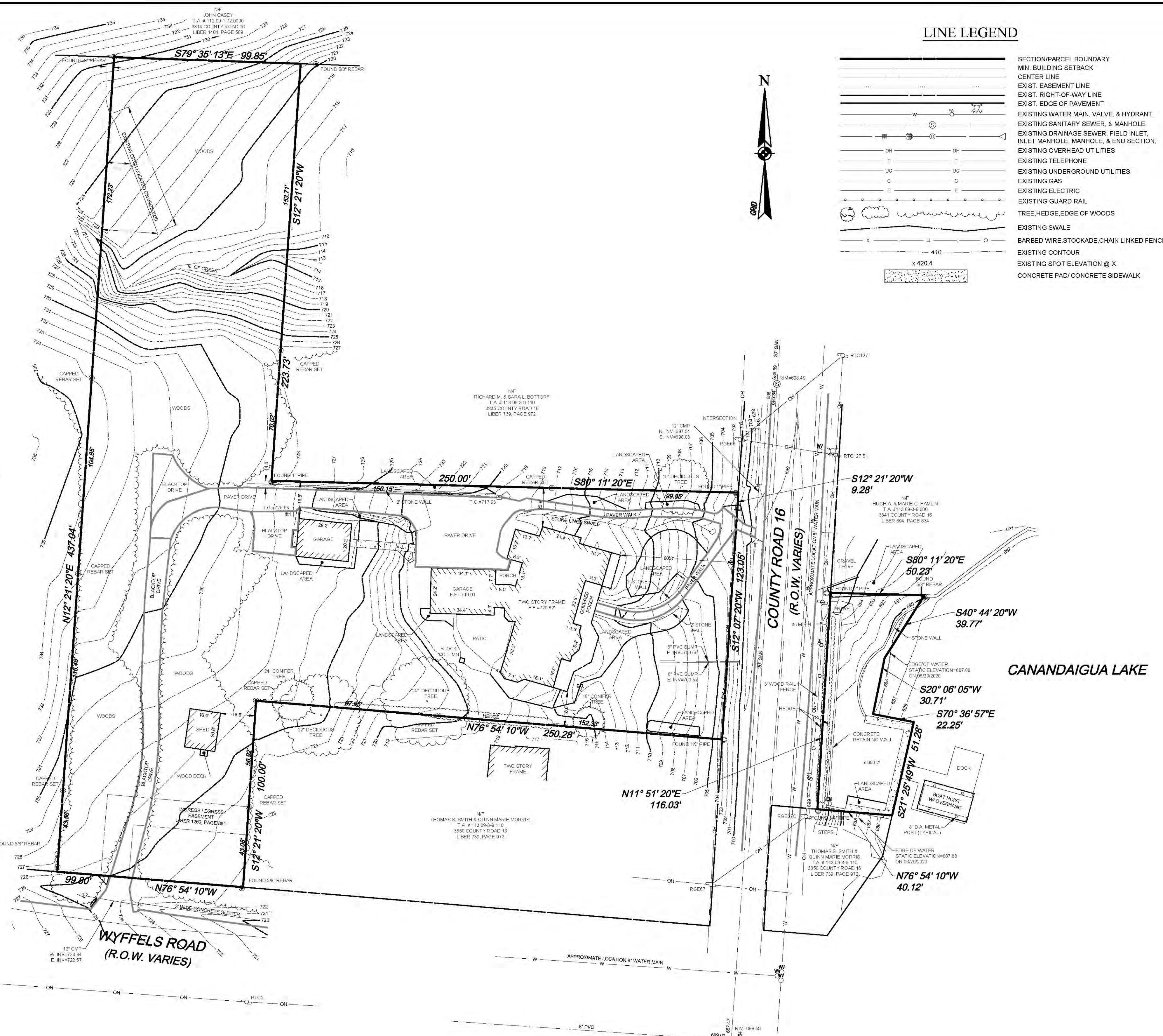
PROJECT MANAGER	E.R.G.
DRAWN BY	E.L.O.
BOUNDARY	---
TOPO/BASE	---
DATE	03/10/2021
SCALE	N.T.S.



- CIVIL
ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

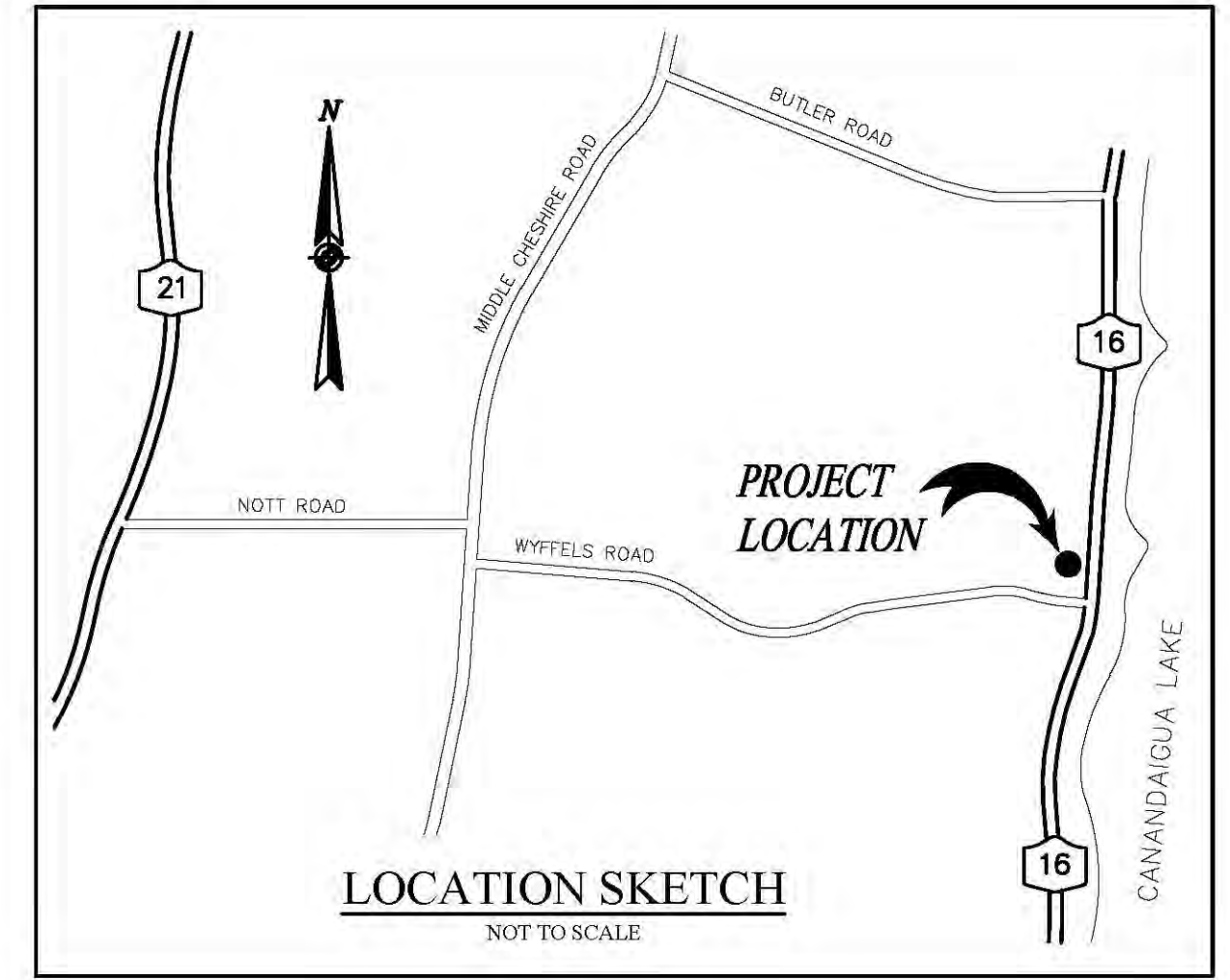
217 LAKE AVENUE
ROCHESTER, NY 14606
(585) 455-3020

TITLE OF PROJECT		
3844 WEST LAKE ROAD FINAL SITE DEVELOPMENT PLANS		
TITLE OF DRAWING		
GENERAL NOTES AND LEGEND SHEET		
LOCATION OF PROJECT		
3844 WEST LAKE ROAD CANANDAIGUA, NY 14424		
CLIENT	DAIGUA, LLC P.O. BOX 784 PITTSFORD, NEW YORK 14534	DWG # 7812 GA002 SHEET 2 OF 11



LINE LEGEND

	SECTION/PARCEL BOUNDARY
	MIN. BUILDING SETBACK
	CENTER LINE
	EXIST. EASEMENT LINE
	EXIST. RIGHT-OF-WAY LINE
	EXIST. EDGE OF PAVEMENT
	EXISTING WATER MAIN, VALVE, & HYDRANT
	EXISTING SANITARY SEWER, & MANHOLE
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING GUARD RAIL
	TREE/HEDGE EDGE OF WOODS
	EXISTING SWALE
	BARBED WIRE STOCKADE/CHAIN LINKED FENCE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION @ X
	CONCRETE PAD/ CONCRETE SIDEWALK



SYMBOL LEGEND

	DRAINAGE MANHOLE		ELECTRIC MANHOLE
	5" DIA. YARD DRAIN		ELECTRIC METER
	CATCH BASIN		TELEPHONE MANHOLE
	END SECTION		TELEPHONE PEDESTAL
	END OF PIPE		PHONE BOOTH
	MANHOLE		PEDESTRIAN POLE
	SANITARY MANHOLE		TRAFFIC CONTROL CABINET
	CLEAN OUT		LAMP POST
	GAS VALVE		LIGHT POLE
	GAS SERVICE		UTILITY POLE WITH LIGHT
	GAS METER		FLAG POLE
	SPRINKLER VALVE		MAILBOX
	SPRINKLER HEAD		BOLLARD
	WATER VALVE		POST
	WATER SERVICE		SIGN
	HYDRANT		SIGN
	WATER METER		TURNING ARROW
	WELL		HANDICAP
	MONITOR WELL		STOP BAR
	BORE		TREE DECIDUOUS
	CABLE TV PEDESTAL		TREE CONIFEROUS
	SIGNAL POLE		BUSH
	UTILITY POLE		AIR CONDITIONING UNIT
	GUY WIRE		SANITARY UTILITY LATH
	PULL BOX		GAS UTILITY LATH
	ELECTRIC PULL BOX		WATER UTILITY LATH
	TELEPHONE PULL BOX		TELEPHONE UTILITY LATH
	TRAFFIC PULL BOX		ELECTRIC UTILITY LATH
	TRANSFORMER		CABLE UTILITY LATH

REFERENCES

- MAP OF SURVEY PREPARED FOR GREGORY R. & BETH WESTBROOK SHOWING LAND AT 3844 COUNTY ROAD 16 BY VENEZIA LAND SURVEYORS AND ENGINEERS FILED TO THE COUNTY OF ONTARIO ON 02/17/2016 WITH SURVEY ID 34632.
- MAP OF SURVEY PREPARED FOR GREGORY R. & BETH WESTBROOK SHOWING LAND AT 3844 COUNTY ROAD 16 BY VENEZIA LAND SURVEYORS AND ENGINEERS FILED TO THE COUNTY OF ONTARIO ON 01/29/2016 WITH SURVEY ID 34608.
- FINAL RESUBDIVISION PREPARED FOR GREGORY R. & BETH WESTBROOK BY YEARS BOUNDARY LAND SURVEYING SERVICES FILED TO THE COUNTY OF ONTARIO ON 05/13/2011 WITH SURVEY ID 32084.

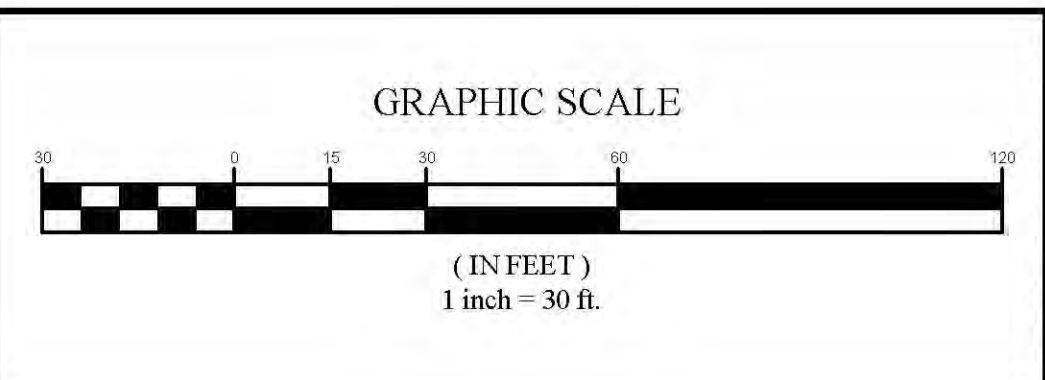
CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO

THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON 06/29/2020 AND FROM THE REFERENCES(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: *Daniel T. Hickok* Date: 3/9/2021
Daniel T. Hickok, N.Y.S. L.S., No. 050449

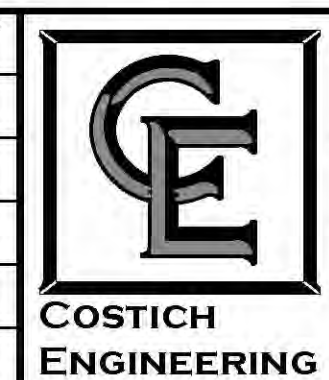
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD	APVLS
3	02/09/2021	UPDATED SHORELINE GRADING			DMS
2	07/27/2021	UPDATED SHORELINE GRADING			DTH
1	06/28/2020	ADDED DITCH LOCATION FROM FILED WORK PERFORMED ON 06/25/2020			DTH



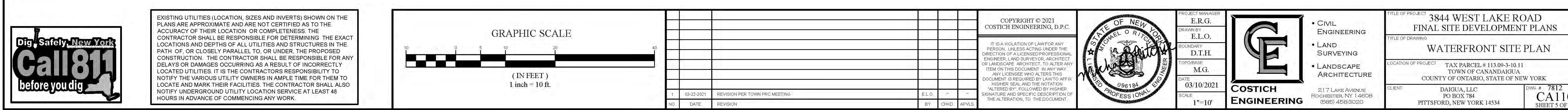
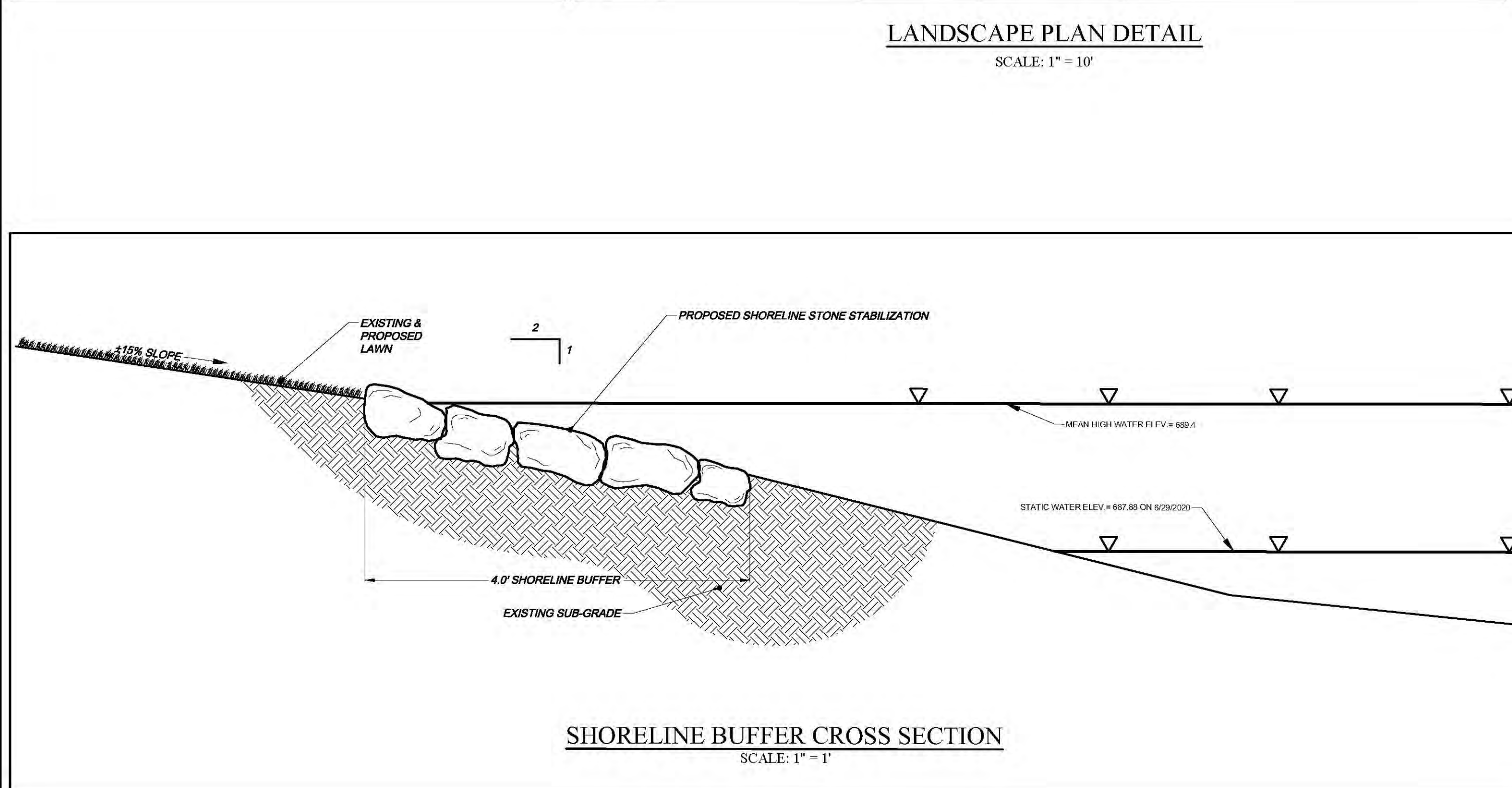
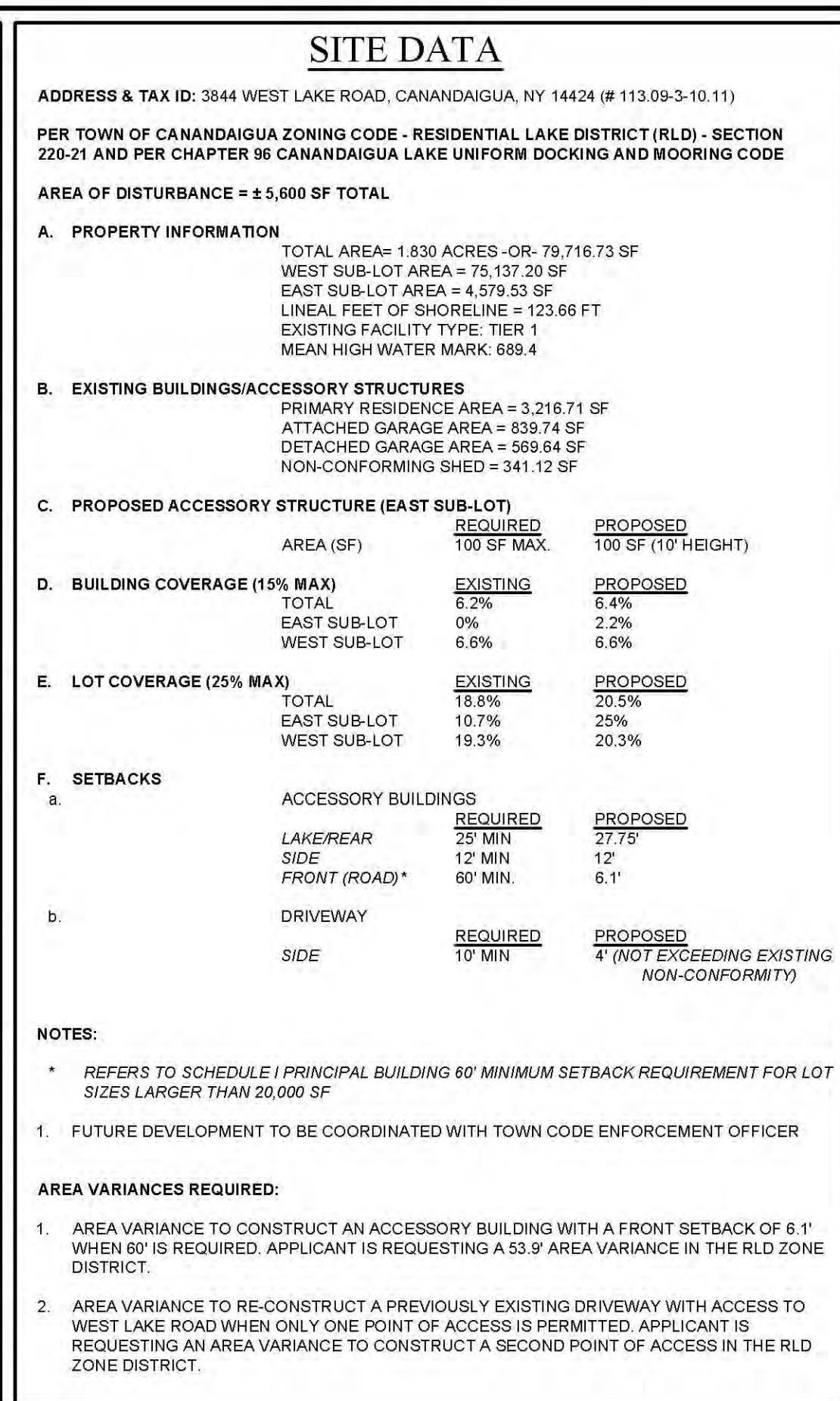
PROJECT ENGINEER	E.R.G.
DRAWN BY	K.E.L.
BOUNDARY	D.T.H.
TOPOBASE	M.G.
DATE	06/29/2020
SCALE	1"=30'

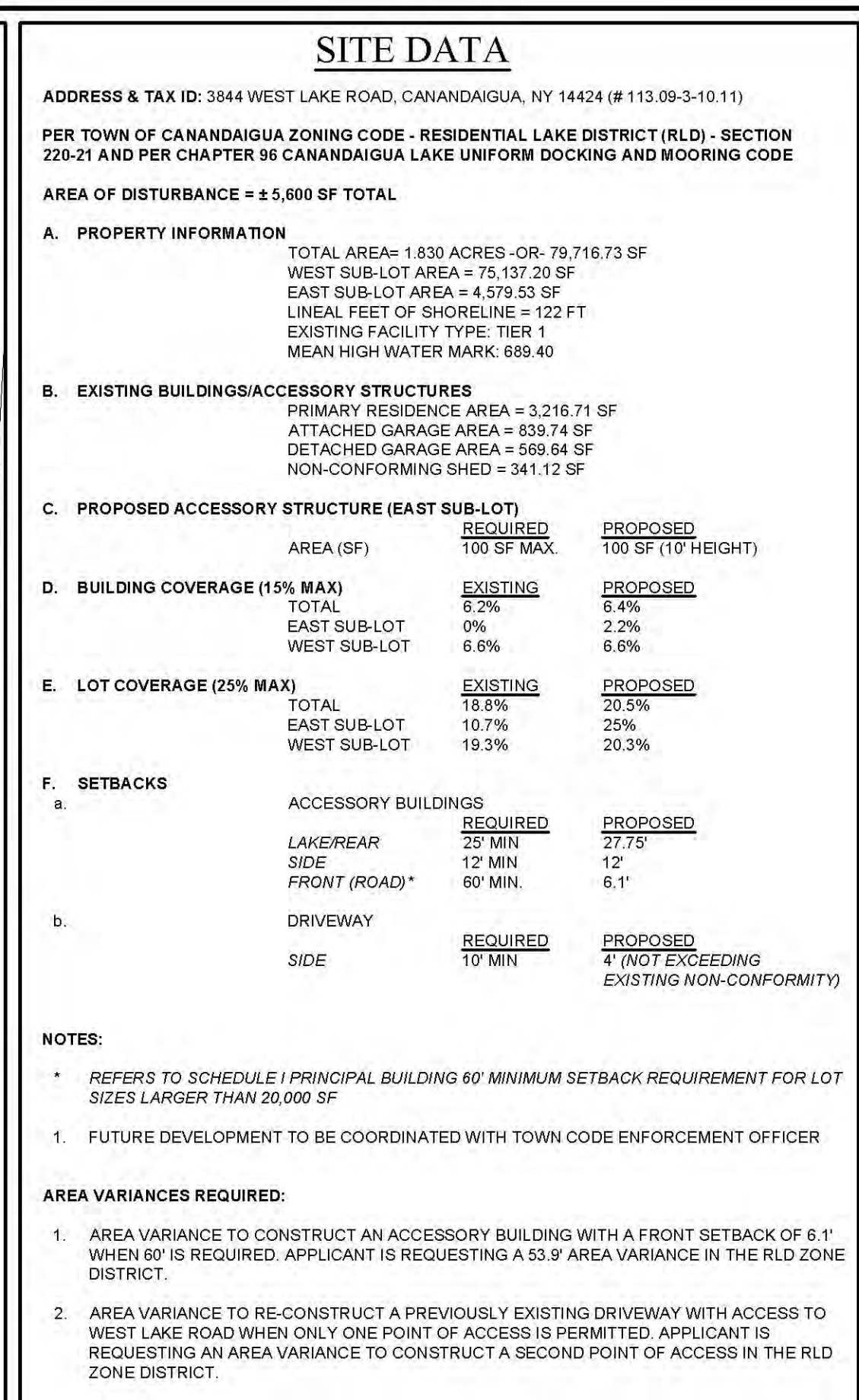


- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT	
3844 WEST LAKE ROAD/COUNTY RD. 16	
TITLE OF DRAWING	
EXISTING FEATURES MAP	
LOCATION OF PROJECT	TAX PARCEL # 113-09-3-10-11
	TOWN OF CANANDAIGUA
	COUNTY OF ONTARIO, STATE OF NEW YORK
CLIENT	DAIGUA, LLC
	PO BOX 784
	PITTSFORD, NEW YORK 14534
DWG. #	7812
	VB100
	SHEET 3 OF 11

TITLE OF PROJECT 3844 WEST LAKE ROAD FINAL SITE DEVELOPMENT PLANS		
TITLE OF DRAWING DEMOLITION PLAN		
LOCATION OF PROJECT CLIENT	TAX PARCEL # 113.09-3-10-11 TOWN OF CANANDAIGUA COUNTY OF ONTARIO, STATE OF NEW YORK DAIGUA, LLC PO BOX 784 PITTSFORD, NEW YORK 14534	DWG. # 7812 CA100 SHEET 4 OF 11



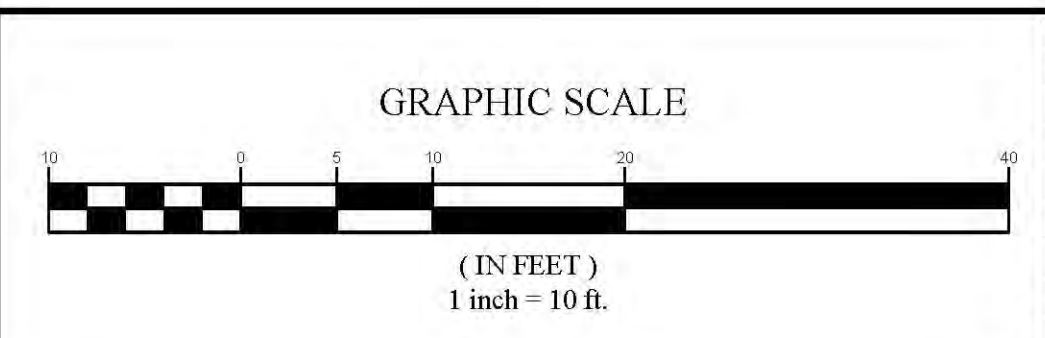


BY: _____ DATE: _____
PLANNING BOARD CHAIRPERSON

BY: _____ DATE: _____
TOWN ENGINEER

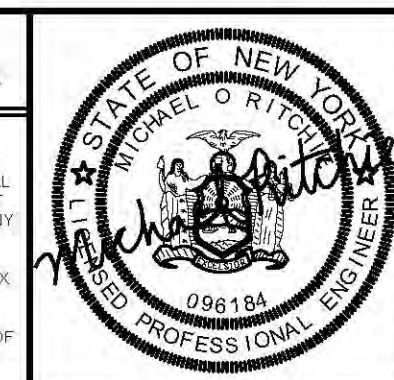
BY: _____ DATE: _____
TOWN OF CANANDAIGUA WATER SUPPLY/SEWER

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

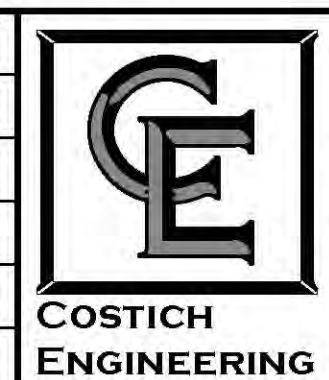
[illegible]

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PROJECT ENGINEER	E.R.G.
DRAWN BY	E.L.O.
BOUNDARY	D.T.H.
TOPO/BASE	M.G.
DATE	03/10/2021
SCALE	1"=10'



- CIVIL
ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

TITLE OF PROJECT	3844 WEST LAKE ROAD FINAL SITE DEVELOPMENT PLANS		
TITLE OF DRAWING	DRIVEWAY SITE PLAN		
LOCATION OF PROJECT	TAX PARCEL # 113 09-3-10.11 TOWN OF CANADAMARK COUNTY OF ONTARIO, STATE OF NEW YORK		
CLIENT	DAICHA, LLC PO BOX 784 PITTSFORD, NEW YORK 14534	DWG#	7812 CA120 SHEET 2 OF 2

N/F
PATRICK J. & CHRISTINE M. BARR
T.A. #112.02-1-85.000
T.B. 4942 WYFFELS ROAD
LIBER 1387, PAGE 241

N/F
RICHARD M. & SARA L. BOTTORE
T.A. # 113.09-3-9.110
3835 COUNTY ROAD 16
LIBER 739, PAGE 872

N/F
HUGH A. & MARIE C. HAMLIN
T.A. #113 09-3-8 000
3841 COUNTY ROAD 18
LIBER 894, PAGE 834

N/F
THOMAS S. SMITH & QUINN MARIE MORRIS
T.A. # 113.09-3-9 110
3850 COUNTY ROAD 16
LIBER 739, PAGE 972

COUNTY ROAD 16

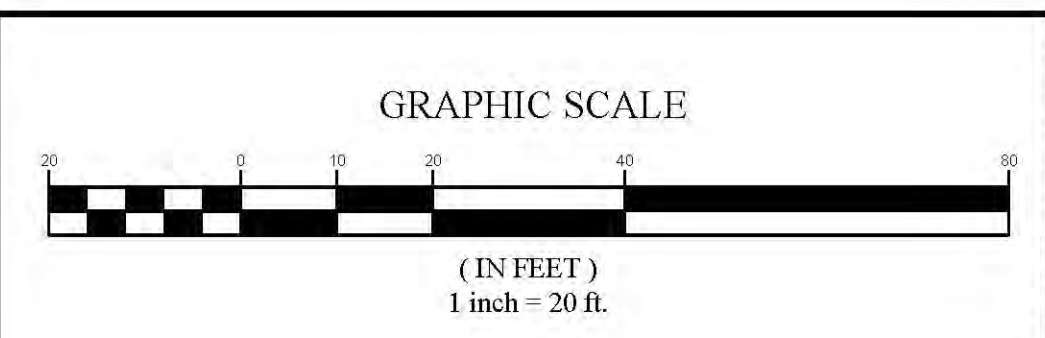
**CANANDAIGUA
LAKE**

WYFFELS ROAD

12" CMP
W INV=723.84
E INV=722.57



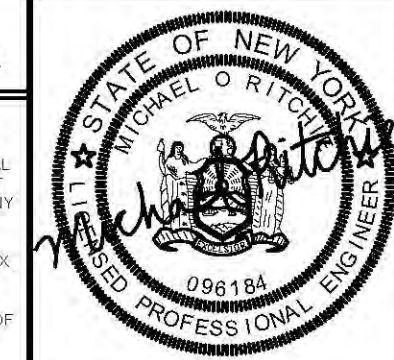
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL LOCATE ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

[illegible]

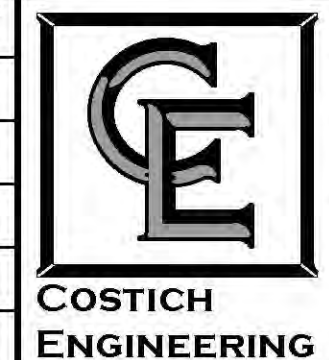
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ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT ENGINEER	E.R.G.
DRAWN BY	E.L.O.
BOUNDARY	D.T.H.
TOPO/BASE	M.G.
DATE	03/10/2021
SCALE	1"=20'



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ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT	3844 WEST LAKE ROAD FINAL SITE DEVELOPMENT PLANS		
TITLE OF DRAWING	UTILITY PLAN		
LOCATION OF PROJECT	TAX PARCEL # 113.09-3-10.11 TOWN OF CANADA COUNTY OF ONTARIO, STATE OF NEW YORK		
CLIENT	DAQUA, LLC PO BOX 781 PITTSFORD, NEW YORK 14534		DWG: # 7812 CA140 (AMENDED)

DWG. # 7812
CA140
SHEET 6 OF 11

TITLE OF PROJECT	3844 WEST LAKE ROAD FINAL SITE DEVELOPMENT PLANS	
TITLE OF DRAWING	DETAIL SHEET	
LOCATION OF PROJECT	3844 WEST LAKE ROAD CANANDAIGUA, NY 14842	
CLIENT	DAIGUA, LLC P.O. BOX 784 PITTSFORD, NEW YORK 14534	DWG. # 7812 CAS500 SHEET NO. 1 OF 1

