

**LOCATION SKETCH (N.T.S.)**

**SITE DATA/ GENERAL NOTES**

1. ZONING:  
ZONE RLD  
- FRONT SETBACK: 60'  
- REAR (LAKE) SETBACK: 60'  
- SIDE SETBACK: 12'  
- MAX. HEIGHT: 25'  
- % COVERAGE: 15% (BUILDING) 25% (SITE)
2. UTILITIES:  
- ELECTRIC: NYSEG OVERHEAD  
- GAS: NYSEG  
- WATER: TOWN OF CANANDAIGUA  
- SEWER: SEPTIC
3. FLOOD ZONE PER FEMA FIRM PANEL 3605980025C EFFECTIVE DATE MARCH 3, 1997, A PORTION OF THIS PROJECT IS LOCATED IN FLOOD ZONE AE THAT IS IDENTIFIED AS THE AREA DETERMINED TO BE WITHIN THE 100 YEAR FLOODPLAIN.
4. ALL DISTANCES AND ELEVATIONS ARE MEASURED IN DECIMAL FEET. ELEVATIONS SHOWN ARE ON NAVD 1988 DATUM.
5. AREA OF LAND PARCEL = 0.699 ACRES.
6. AVAILABLE INTERSECTION SIGHT DISTANCE RIGHT IS 450 FEET AND LEFT IS GREATER THAN 750 FEET. THE MINIMUM REQUIRED DISTANCES ARE 445 FEET LEFT AND 385 FEET RIGHT RESPECTIVELY FOR A 40 MPH POSTED SPEED LIMIT, PER AASHTO.
7. ESTIMATED DISTURBANCE AREA IS 0.40 (±) ACRES.
8. ENTIRE SITE CONTAINS SLOPES GREATER THAN 10% WITH THE EXCEPTION OF THE EXISTING DRIVEWAY AREA.

**EXISTING AND PROPOSED COVERAGE CALCULATIONS**

<b>EXISTING LOT COVERAGE:</b> HOUSE/DECK: 1,845 DRIVEWAY: 1,443 WOOD STEPS: 475 DOCK: 305 GRAVEL PATHS: 1,632 STEPS: 184 STONE WALK: 179 ROCK RETAINING WALL: 240 TIMBER RETAINING WALL: 196 CONCRETE SLAB: 36 ROCK WALLS: 202  TOTAL EXISTING LOT COVERAGE = 6,737 SF  TOTAL SITE AREA: 0.699 ACRES = 30,448 SF  (1,845.43/30,448.44) X 100 = 6% EXISTING HOUSE/DECK COVERAGE  (6,737/30,448) X 100 = 22% EXISTING LOT COVERAGE  EXISTING BUILDING HEIGHT AS MEASURED FROM EXISTING GRADE AT PERMITTER OF RESIDENCE TO TOP OF PARAPET (796.6') = 30.3'	<b>PROPOSED LOT COVERAGE:</b> HOUSE/DECK: 4,186 DRIVEWAY: 1,610 WOOD STEPS: 475 RETAINING WALL: 238 DOCK: 305  TOTAL PROPOSED LOT COVERAGE = 6,813.65 SF  TOTAL SITE AREA = 0.699 ACRES = 30,448.44 SF  (4,186/30,448) X 100 = 14% PROPOSED HOUSE/DECK COVERAGE  (6,814/30,448) X 100 = 22% PROPOSED LOT COVERAGE  PROPOSED BUILDING HEIGHT AS MEASURED FROM PROPOSED GRADE AT PERMITTER OF RESIDENCE TO TOP OF PARAPET (796.6') = 28.6'
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**APPROVALS**

TOWN PLANNING BOARD CHAIRPERSON	DATE
TOWN ENGINEER	DATE
TOWN HIGHWAY AND WATER SUPERINTENDENT	DATE

NO PRELIMINARY SITE PLAN REVIEW WAS REQUIRED

**SITE SURVEY/ SITE PLAN EXISTING CONDITIONS**

4629 WEST LAKE ROAD

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

**PROFESSIONAL ENGINEERING GROUP**

7171 VICTOR - PITTSFORD ROAD  
VICTOR, NEW YORK 14564  
TEL. (585) 924-1860 EMAIL: PROENGINEER1@PRODIGY.NET

DATE: AUG 2020 ENGINEER: S.A.H. SURVEYOR: J.M. SCALE: 1" = 20' SHEET NO.: 1 OF 4 DRAWING NO.: 16012EX1

CLIENT: TIM & LISA ASHE  
7256 WINCANTON DR  
VICTOR, NY 14564  
PHONE:(413) 320-6104  
TAX ACCOUNT NO. 140.11-1-9.000

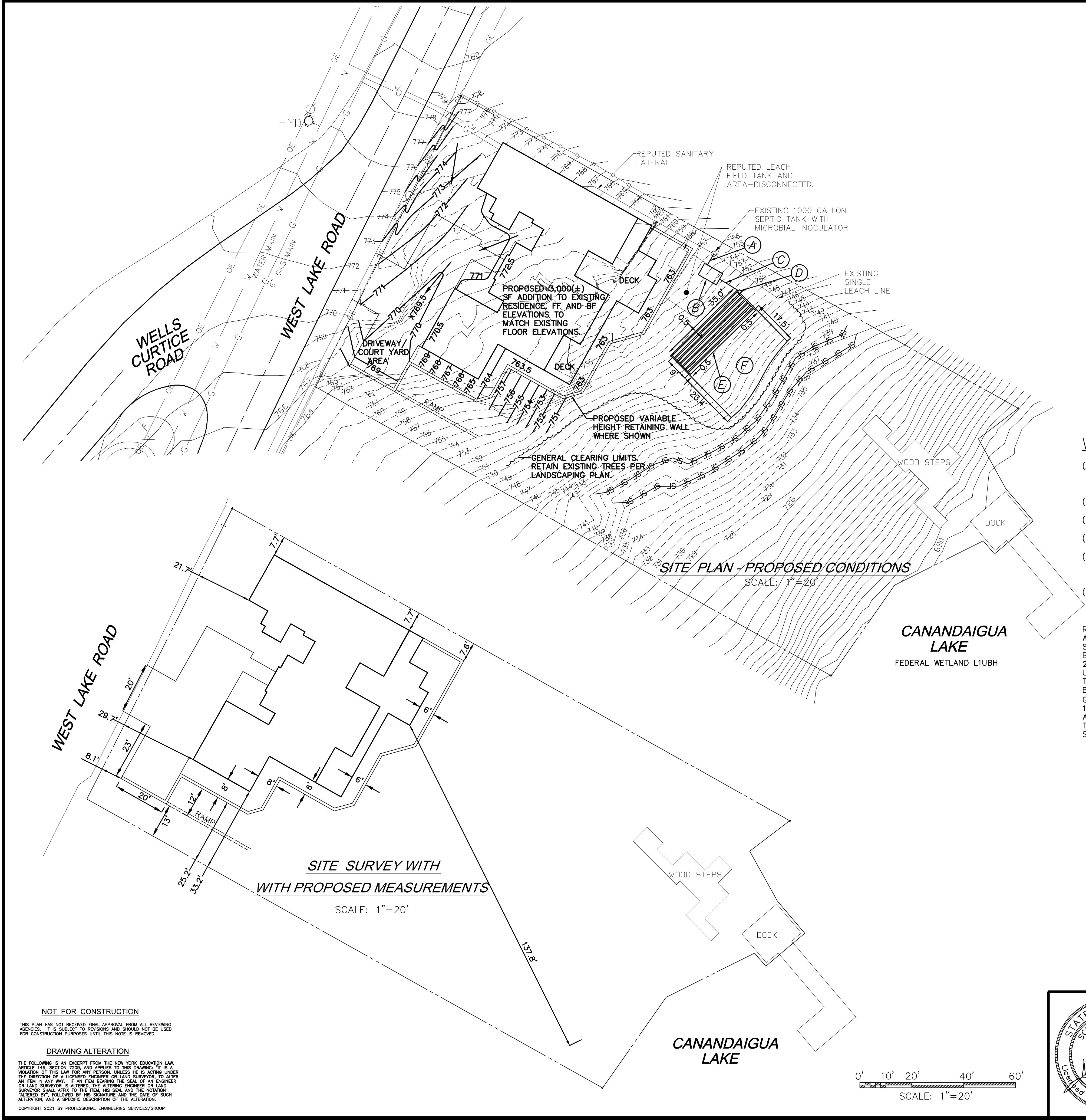
REVISIONS

DATE	BY	DESCRIPTION

STATE OF NEW YORK  
JAMES H. MISSELL  
No. 049777  
Licensed Land Surveyor

STATE OF NEW YORK  
SCOTT A. HARTER  
No. 068850  
Licensed Professional Engineer





- LEGEND**
- RW — 560 — STONE OR ROCK RETAINING WALL
  - 560 — EXISTING CONTOUR
  - 560 — PROPOSED CONTOUR
  - — — — — EXISTING PROPERTY LINE
  - — — — — SETBACK LINE
  - — — — — EASEMENT LINE
  - SF-SF-SF-SF-SF-SF- STAKED SILT FENCE
  - - - - - ROADWAY CENTERLINE
  - OE — OVERHEAD WIRES-ELECTRIC/ TEL
  - X 685.8 SURFACE SPOT ELEVATION
  - G — DRAINAGE FLOW DIRECTION
  - G — GAS MAIN/SERVICE
  - W — FENCE LINE
  - W — WATERMAIN/WATER SERVICE
  - Tree symbol TREE/BRUSH LINE
  - Utility pole symbol UTILITY POLE
  - Edge of exist. pavement symbol EDGE OF EXIST. PAVEMENT
  - Tree/shrub symbol TREE/ SHRUB
  - Existing sign symbol EXISTING SIGN
  - Hydrant/water valve symbol HYDRANT/ WATER VALVE
  - Deep/percolation test hole symbol DEEP/PERCOLATION TEST HOLE



- WASTEWATER SYSTEM LEGEND**
- (A) 5 LF OF 4" DIA. PVC SDR-21 PVC AT MINIMUM SLOPE 1/4"/FT SANITARY LATERAL FROM EXISTING SEPTIC TANK. PLUG EXISTING OUTLET TO SINGLE LINE FROM TANK.
  - (B) PROPOSED 1000 GALLON DUAL CHAMBER SEPTIC TANK.
  - (C) 9 LF OF 4" DIA. SDR-21 AT MINIMUM SLOPE 1/8"/FT.
  - (D) PROPOSED SINGLE OUTLET DISTRIBUTION BOX.
  - (E) PROPOSED AES GRAVELLESS MEDIA-WRAPPED CORRUGATED PIPE SAND-LINED SYSTEM. 8 LINES AT 35 LF PER LINE = 280 LF TOTAL.
  - (F) TAPER EXTENSION TO MATCH ELEVATION SHOWN. 1090 SF REQUIRED, 1110 SF PROVIDED.
- RESIDENCE IS TO HAVE 4 BEDROOMS TOTAL UPON COMPLETION OF ADDITION. USING AES GRAVELLESS MEDIA-WRAPPED CORRUGATED PIPE SAND-LINED SYSTEM, REFERENCE IS MADE TO THE LATEST DESIGN MANUAL BY PRESBY ENVIRONMENTAL AND INFILTRATOR TECHNOLOGIES DATED MARCH 2020 PUBLISHED WITH RESPECT TO NYSDOH PART 75-A REQUIREMENTS. USING BOTH DOCUMENTS FIND THAT SOIL TESTING RESULTS ALLOW SHALLOW TRENCH SYSTEM, ALSO FIND 280 LF OF SERIAL PIPE REQUIRED FOR 4 BEDROOM HYDRAULIC LOADING.. DESIGN FLOW RATE IS 600 GPD (150 GALS/BR/DAY X4 BR). APPLICATION RATE IS 0.55 GAL/SF = 1090 SF REQUIRED. LAND SLOPE WHERE SERIAL LINES ARE PROPOSED IS 25% AVG. SLOPE. SYSTEM SLOPE IS TO MATCH LAND SLOPE, AREA WHERE TAPER OR EXTENSION IS PROPOSED IS 33% AVG. SLOPE. TAPER OR SAND EXTENSION CAN MATCH THE 33% SLOPE.

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**APPROVALS**

TOWN PLANNING BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

TOWN HIGHWAY AND WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL FROM ALL REVIEWING AGENCIES. IT IS SUBJECT TO REVISIONS AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THIS NOTE IS REMOVED.

**DRAWING ALTERATION**

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7209, AND APPLIES TO THIS DRAWING: IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY - IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM, HIS SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

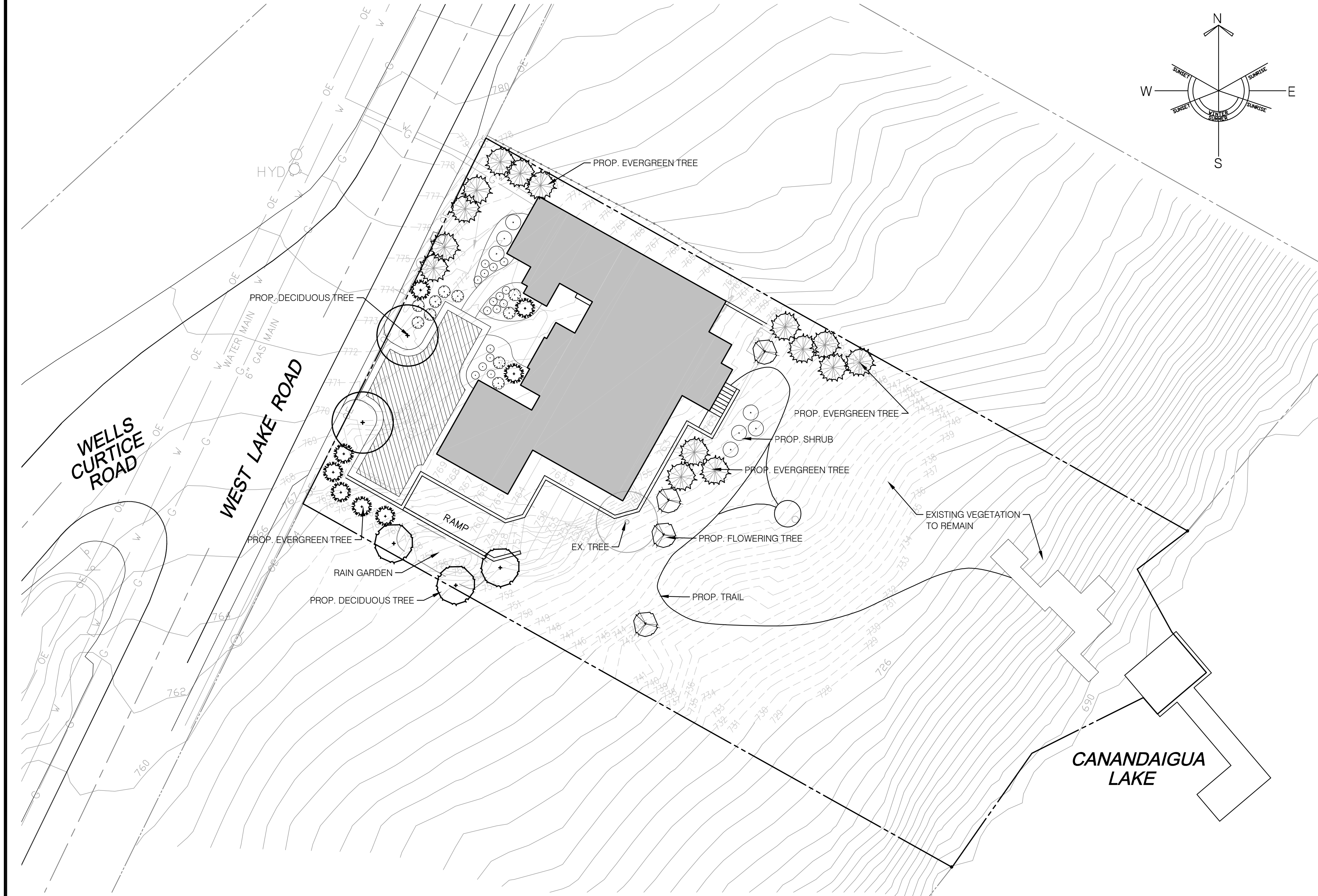
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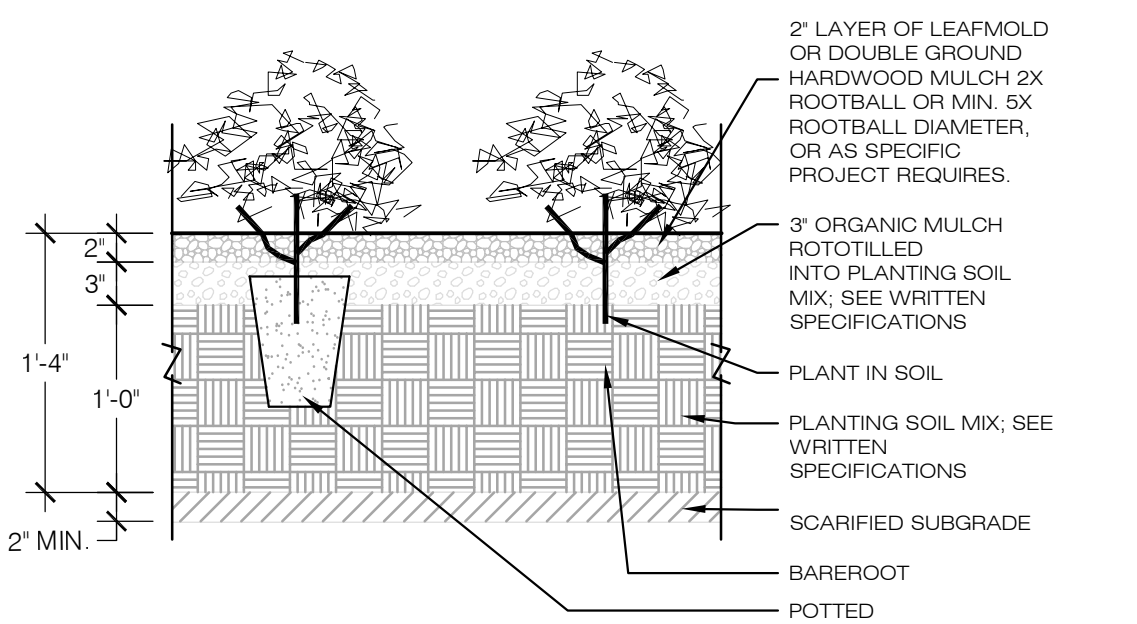
REVISIONS		
DATE	BY	DESCRIPTION

SITE, UTILITY AND GRADING PLAN			
4629 WEST LAKE ROAD			
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE			
<b>PROFESSIONAL ENGINEERING GROUP</b>		CLIENT: TIM & LISA ASHE 7256 WINCANTON DR VICTOR, NY 14564 PHONE: (413) 320-6104	
7171 VICTOR - PITTSFORD ROAD VICTOR, NEW YORK 14564 TEL: (585) 924-1860 EMAIL: PROENGINEER1@PRODIGY.NET		TAX ACCOUNT NO. 140.11-1-9.000	
DATE: AUG 2020	ENGINEER: S.A.H	SURVEYOR: D.F.	SHEET NO.: 2 OF 4
SCALE: 1" = 20'	DRAWING NO.: 16012SP1		

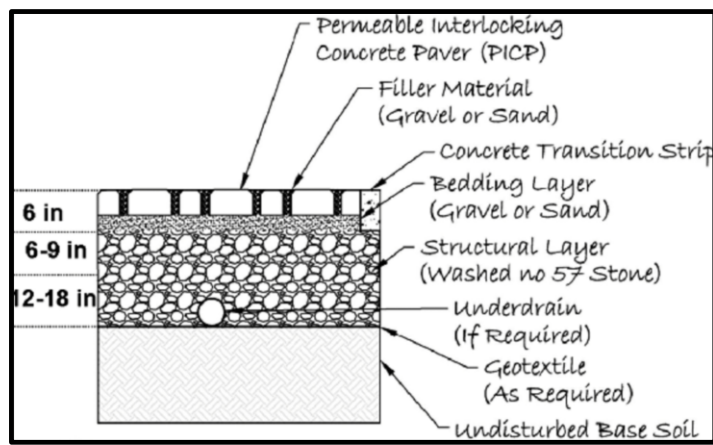




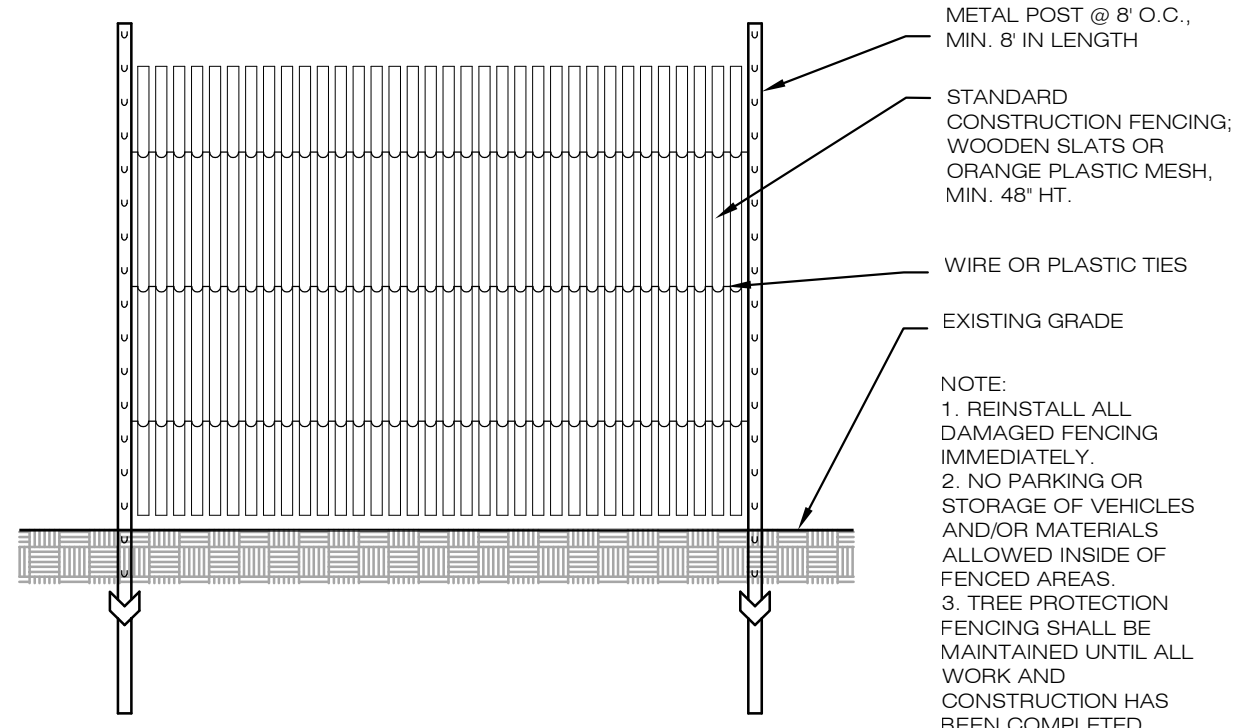
4629 West Lake Road LANDSCAPE SCHEDULE					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>SHADE TREES</b>					
ST-1	1	Acer saccharum 'Green Mountain'	Sugar Maple	2" - 2.5" cal.	B & B
ST-2	2	Quercus borealis	Northern Red Oak	2" - 2.5" cal.	B & B
ST-3	1	Tilia americana	Basswood	2" - 2.5" cal.	B & B
Subtotal	4				
<b>FLOWERING TREES</b>					
FT-1	1	Amalanchier canadensis	Shadblow Serviceberry	6' - 8' ht.	B & B
FT-2	2	Cercis canadensis	Redbud	6' - 8' ht.	B & B
FT-3	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Flowerin	6' - 8' ht.	B & B
Subtotal	2				
<b>EVERGREEN TREES</b>					
ET-1	1	Pinus strobus	Eastern White Pine	6'-8" ht.	B & B
ET-2	3	Ilex opaca	American Holly	6'-8" ht.	B & B
ET-3	18	Thuja piculata	Green Giant Arborvitae	10-Aug	B & B
Subtotal	22				
<b>SHRUBS</b>					
S-1	3	Hydrangea macrophylla 'white'	White Hydrangea	24"-30" ht.	Cont.
S-2	7	Rosa 'Meidiland' red	Red Shrub Rose	3 gal.	Cont.
S-3	5	Clethra alnifolia	Sweetpepper Bush	varies	cont.
S-4	6	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry (ma	varies	cont.
S-5	6	Viburnum plicatum tomentosum	Doublefile Viburnum	36"-42" ht.	Cont.
Subtotal	27				
<b>PERENNIALS / GROUND COVER</b>					
P-1	15	Astilbe 'Deutschland'	Deutschland False Spirea	1 quart	18" o.c.
P-2	15	Geranium 'Rozanne'	Rozanne Cranesbill	1 quart	18" o.c.
P-3	15	Hemerocalis 'Happy Returns' (15"-16"	Happy Returns Daylily (Lem	1 quart	24" o.c.
P-4	15	Hosta Species	Mixed Hostas	1 quart	24" o.c.
P-5	15	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 quart	18" o.c.
Subtotal	75				



5 PERENNIAL AND GROUNDCOVER MULCH DETAIL  
3 NOT TO SCALE



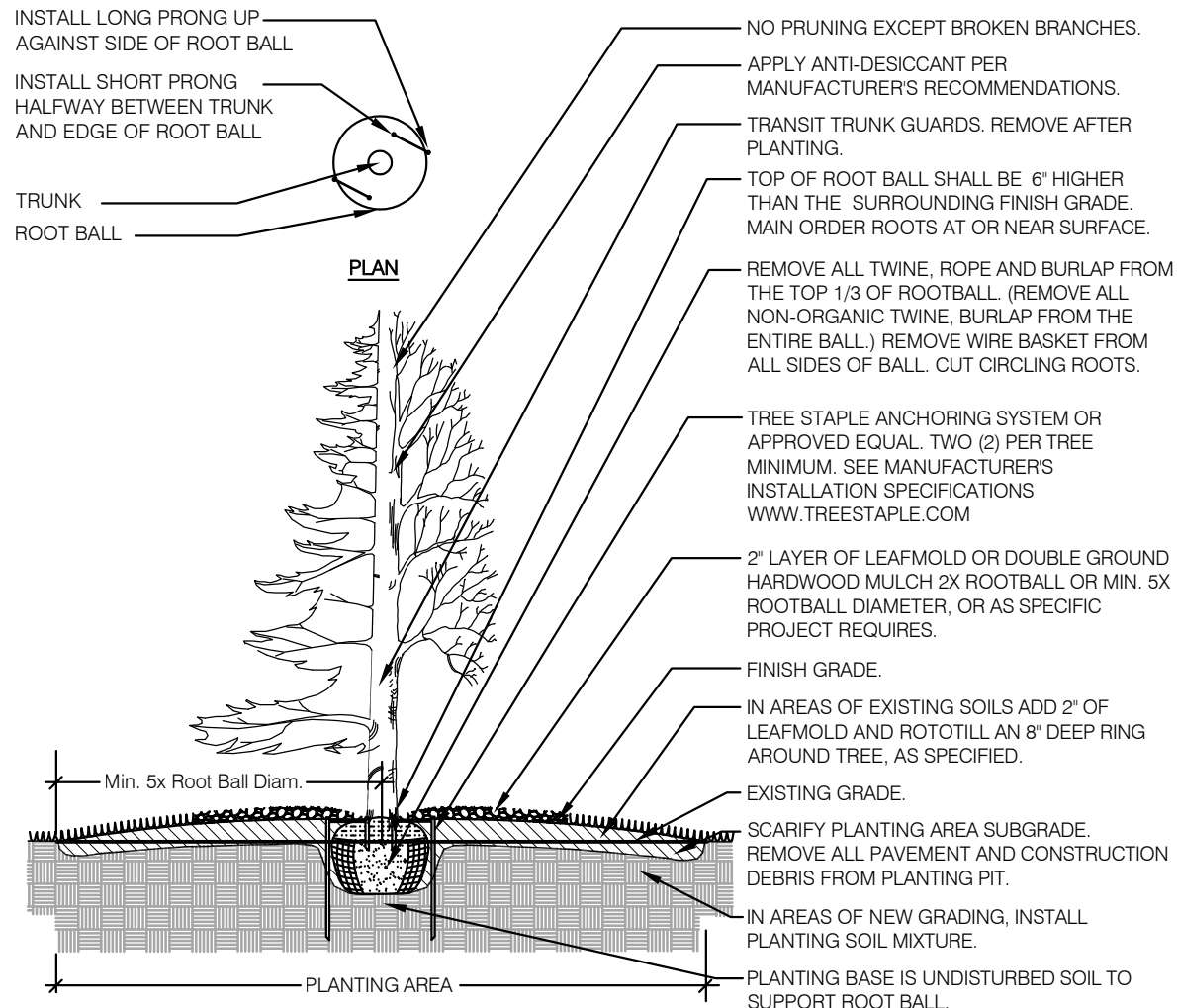
7 PERVIOUS PAVEMENT DETAIL  
3 NOT TO SCALE



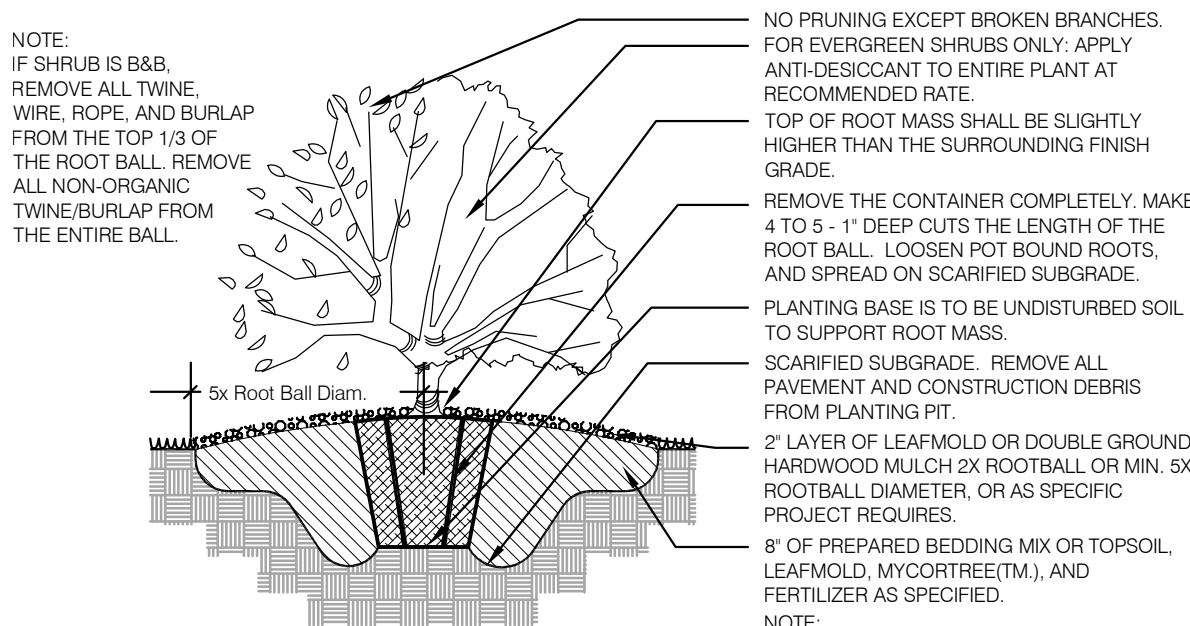
6 TREE PROTECTION FENCING DETAIL  
3 NOT TO SCALE

#### SHORELINE LANDSCAPE TREATMENT CONCEPT

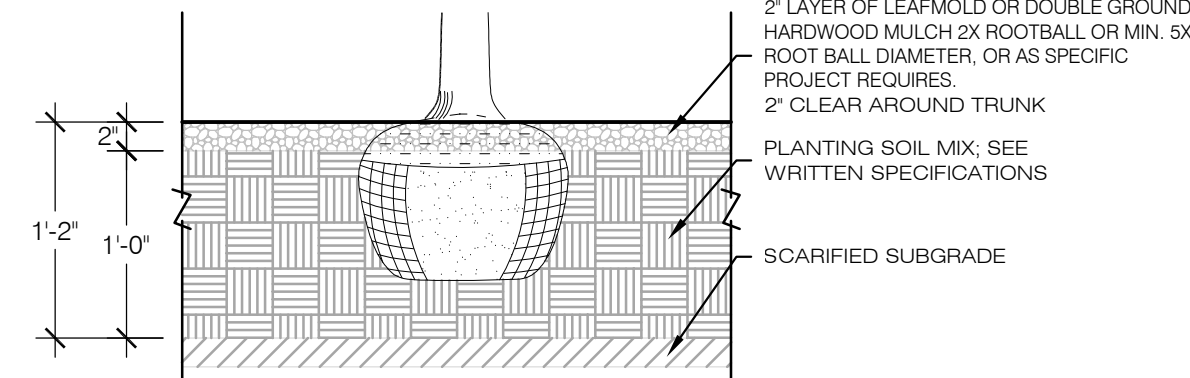
The intent of the landscape design for this property is to screen the mass of the renovated residence with new native trees and shrubs. The residence is setback on the lot similar to the existing remaining residence. The planting reduces the visual impact of the construction and the residence is constructed close to West Lake Road and under the canopy of existing trees to remain. A variety of native trees, shrubs and evergreens will be used to accent the "Key-hole" views to the lake and to screen the views from the shoreline. New trees and evergreens along the property line are used to screen and soften the views to and from the adjacent residences.



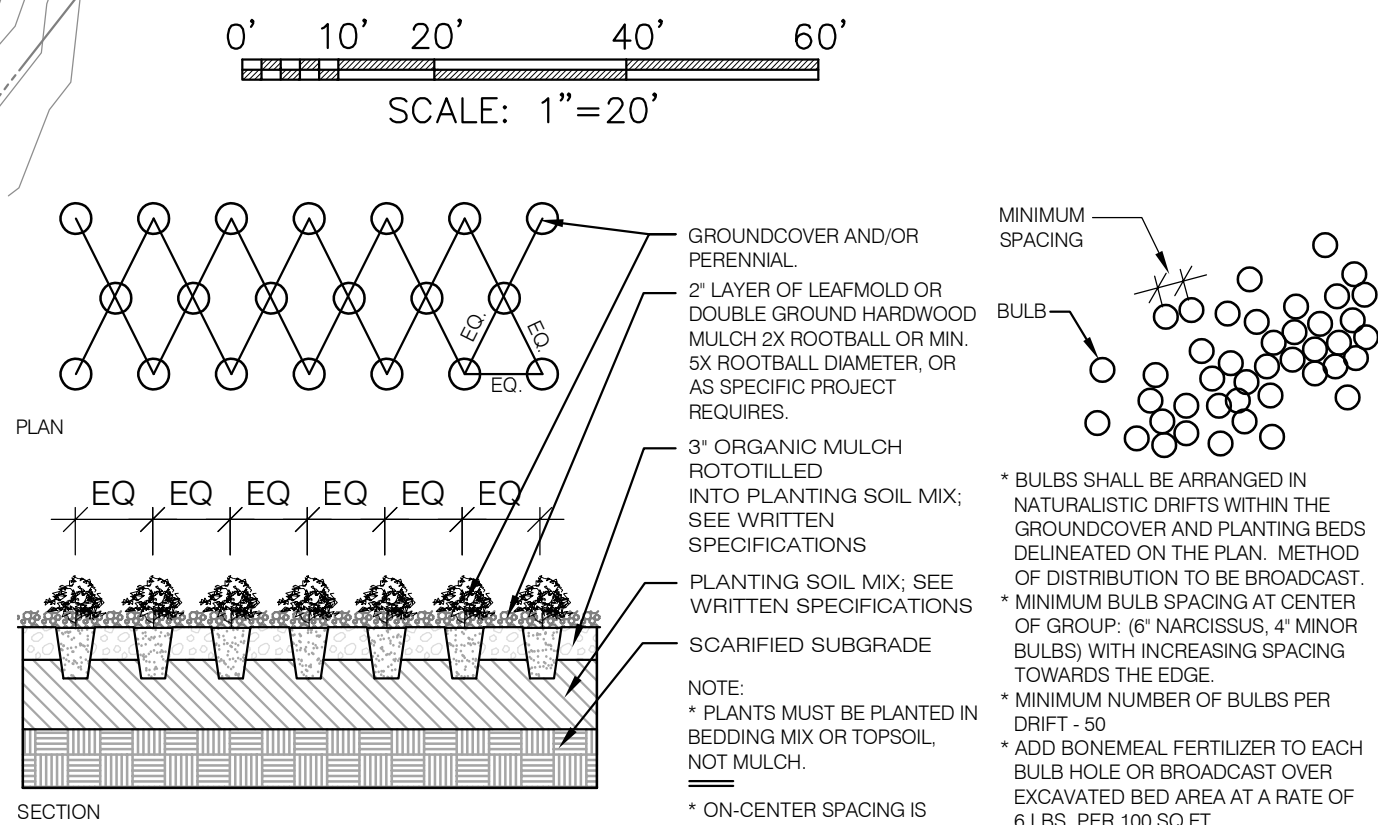
1 EVERGREEN AND DECIDUOUS TREE PLANTING DETAIL  
3 NOT TO SCALE



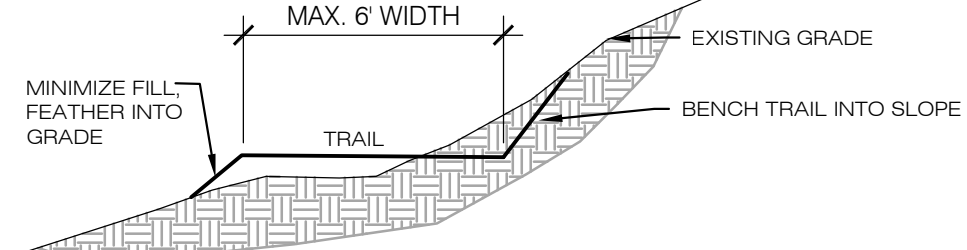
2 SHRUB PLANTING DETAIL  
3 NOT TO SCALE



3 TREE AND SHRUB STANDARD MULCHING DETAIL  
3 NOT TO SCALE



4 PERENNIAL, GROUNDCOVER AND BULB PLANTING DETAIL  
3 NOT TO SCALE



8 TRAIL DETAIL  
3 NOT TO SCALE



#### REVISIONS

DATE	BY	DESCRIPTION

LANDSCAPE PLAN			
4629 WEST LAKE ROAD			
TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE			
Carter von Dyke Associates		CLIENT: TIM & LISA ASHE 7256 WINCANTON DR VICTOR, NY 14564 PHONE: (413) 320-6104	
CVDA		TAX ACCOUNT NO. 140.11-1-9.000	
DATE: JAN. 2021	LS ARCH: prf	DRAWN BY: dmh/prf	SCALE: 1" = 20' SHEET NO.: 3 OF 4 DRAWING NO.: 210112LS1



DEEP HOLE TEST

SOIL PROFILE LAYERS AS MEASURED INCREMENTALLY FROM SURFACE:

0 TO 6" TOPSOIL  
6"- 28" CLAY-SILT MIX  
28"- 48" TIGHT CLAY AND SILT MIX (COMPACT)  
NO GW, MINERALS OR BOULDERS OBSERVED

PERCOLATION TESTS CONDUCTED BY ANDREW LENNOX ON OCTOBER 28, 2020.

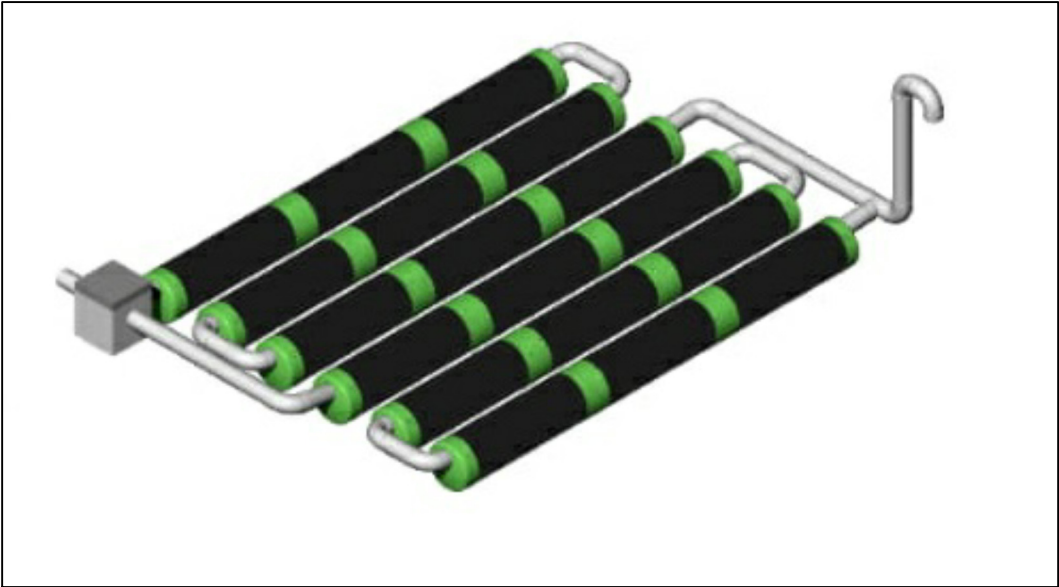
DEEP TESTS HOLE TEST WITNESSED BY SCOTT HARTER ON OCTOBER 29, 2020.

4 BEDROOM DESIGN BASIS – 36 MINUTE PERK RATE  
= 330 LF OF TRENCH (248 LF CHAMBERS) REQUIRED  
VERSUS 280 LF OF CHAMBERS PROVIDED.

PERCOLATION TESTS

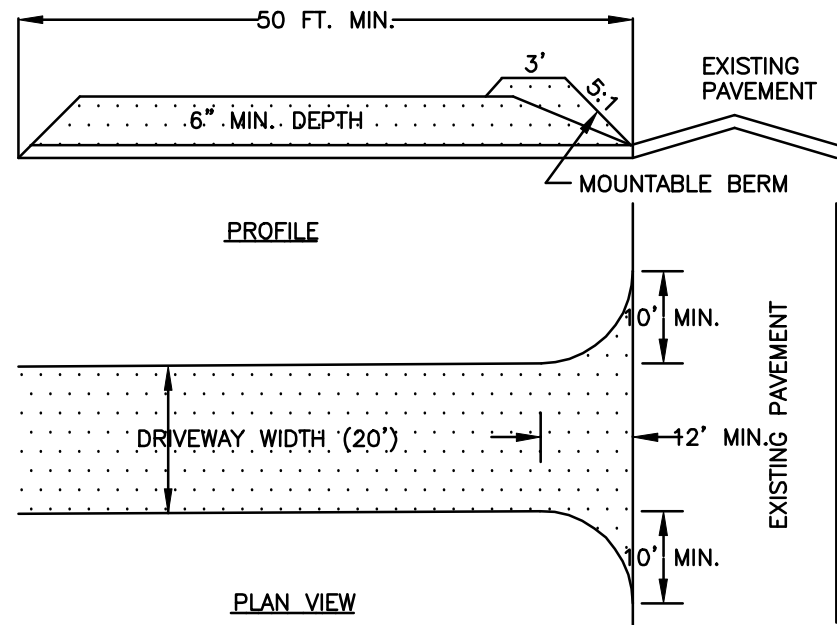
PERK "A" (12" DEPTH)  
STABILIZED RATE = 16 MIN

PERK "B" (12" DEPTH)  
STABILIZED RATE – 28 MIN



GRAVELLESS MEDIA-WRAPPED CORRUGATED PIPE SAND-LINED  
SERIAL DISTRIBUTION GENERAL DETAIL

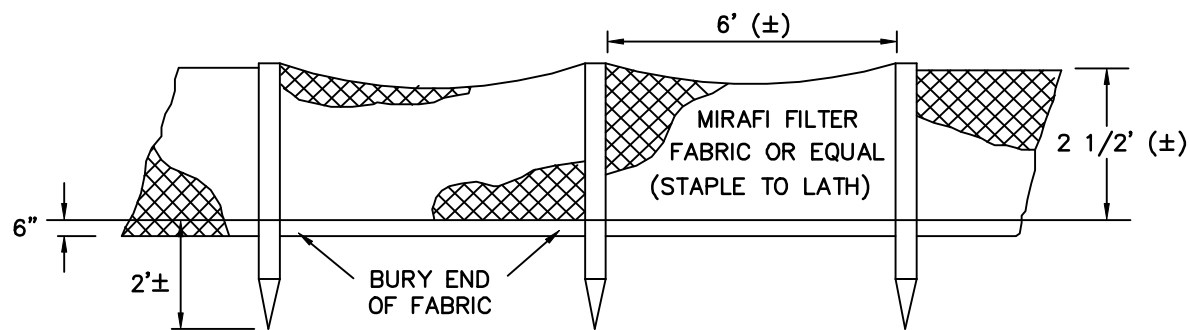
N.T.S.



1. STONE SIZE – USE #2 STONE
2. THICKNESS – NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH – FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE – THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

STABILIZED CONSTRUCTION ENTRANCE DETAILS

N.T.S.

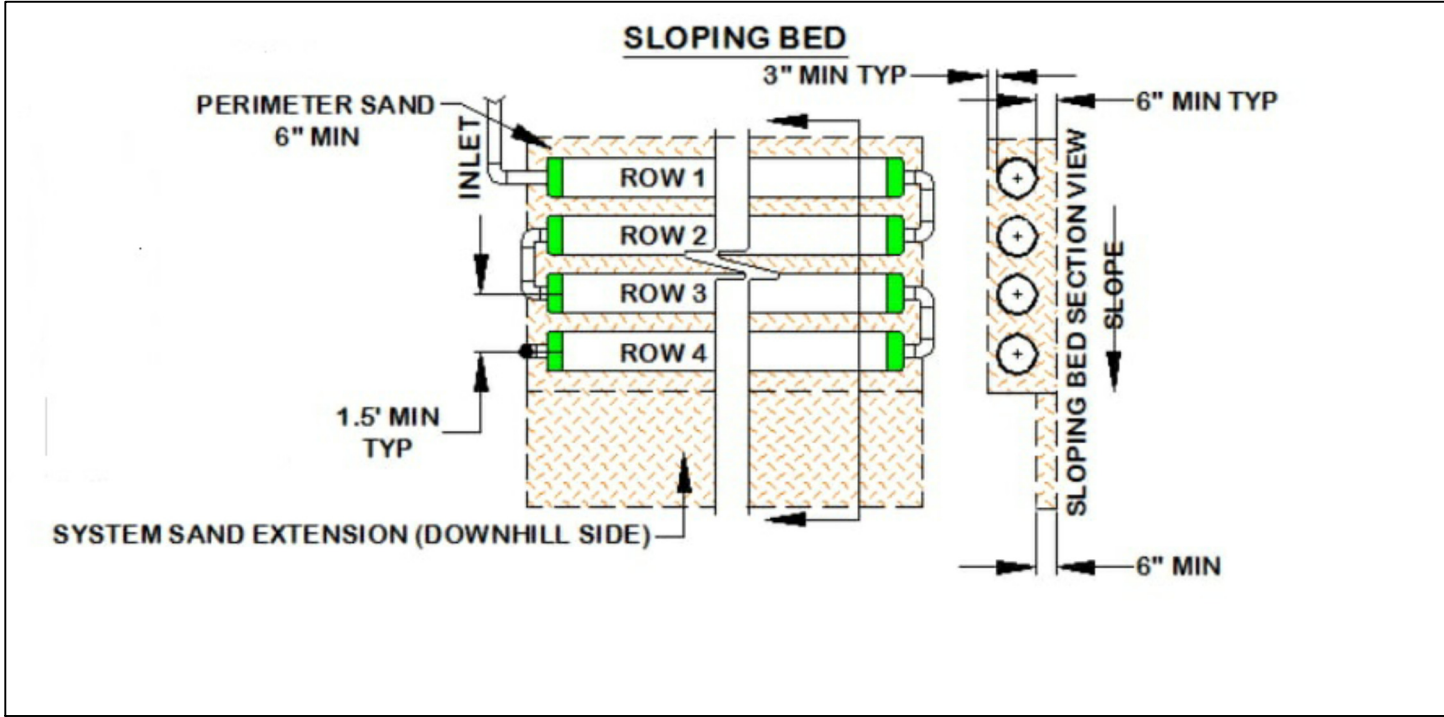


NOTE: SILTATION FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT SHALL BE REMOVED FROM IN FRONT OF THE FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE FENCE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILTATION FENCES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN INSPECTION PERSONNEL AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS RE-ESTABLISHED.

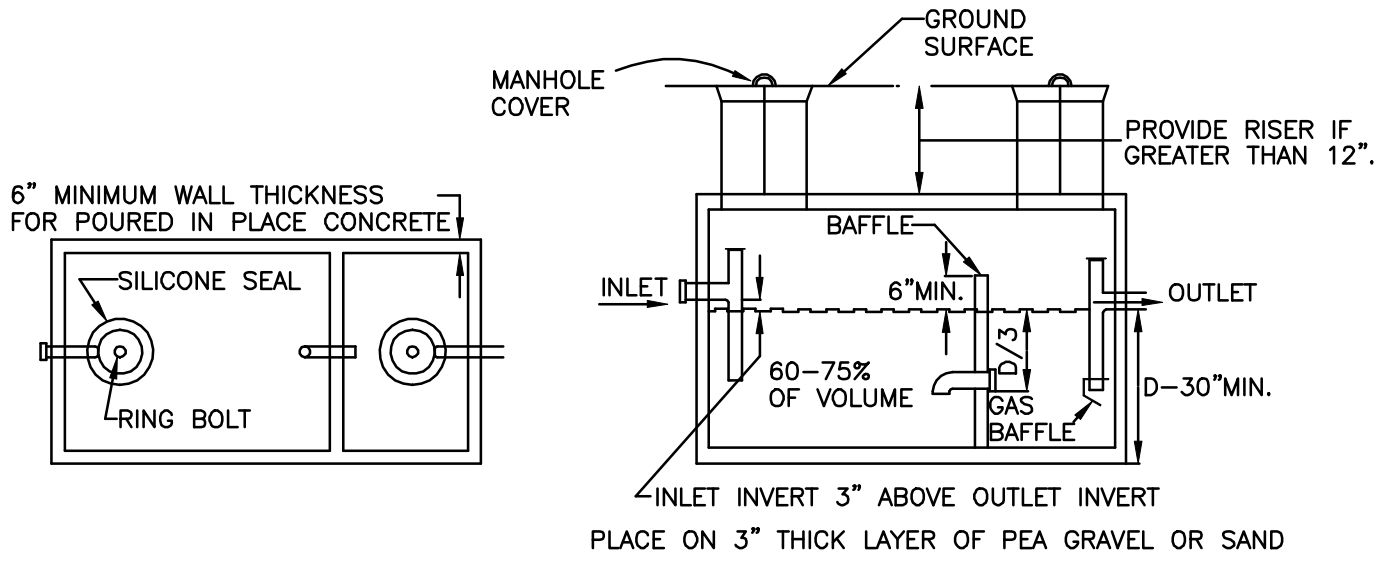
SILT FENCE DETAIL

N.T.S.



GRAVELLESS MEDIA-WRAPPED CORRUGATED PIPE  
ON SLOPE GENERAL LAYOUT DETAIL

N.T.S.

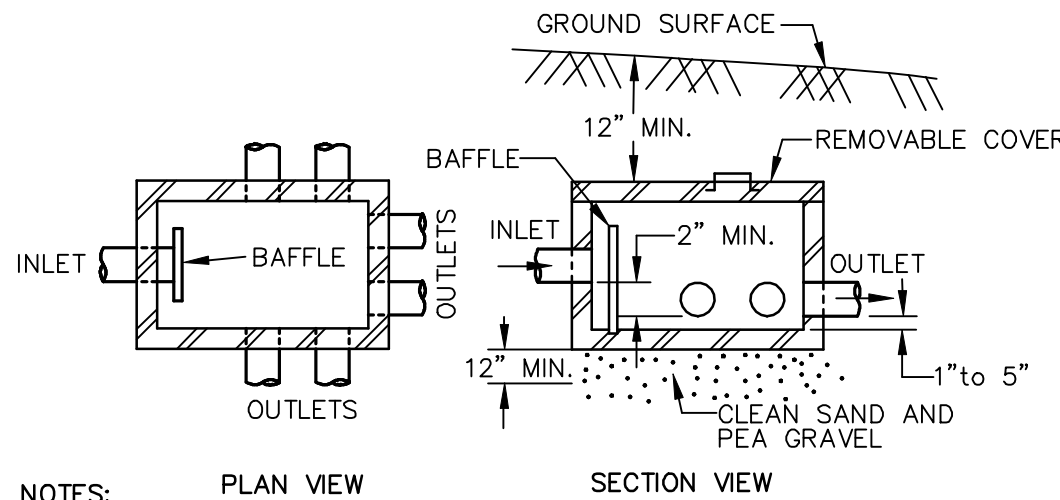


PLAN VIEW

SECTION VIEW

PRECAST 1000 GALLON SEPTIC TANK

N.T.S.



NOTES:

1. PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
2. INVERT ELEVATIONS OF ALL OUTLET PIPES MUST BE EQUAL. FLOW EQUALIZATION CAPS MUST BE PROVIDED AT THE BEGINNING OF EACH LINE WITHIN THE DISTRIBUTION BOX.
3. THE SLOPE OF OUTLET PIPES BETWEEN THE DISTRIBUTION BOX AND DISTRIBUTOR LATERALS SHOULD BE 1/16" PER FOOT, (MIN.) SLOPE.

TYPICAL DISTRIBUTION BOX DETAIL

N.T.S.

GENERAL & UTILITY NOTES

1. SAFE AND CONTINUOUS TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNER DRIVEWAYS, SERVICE AND PUBLIC ROADS SHALL BE MAINTAINED THROUGH THE PERIOD OF CONSTRUCTION.
2. ALL CONSTRUCTION RELATED TO THIS PROJECT SHALL BE IN CONFORMANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
3. THE CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS BEFORE BEGINNING ANY CONSTRUCTION.
4. THE CONTRACTOR IS REQUIRED TO NOTIFY CENTRAL STAKEOUT, TELEPHONE NO. 1-800-962-7962 (811) FOR FIELD STAKEOUT OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION.
5. THE PROPOSED WATER APPURTENANCES SHALL CONFORM TO THE LOCAL WATER AUTHORITY'S STANDARDS.
6. ALL WATER AND WASTEWATER APPURTENANCES SHALL CONFORM TO NYS HEALTH DEPARTMENT STANDARDS.
7. THE CONTRACTOR SHALL PROVIDE FOR EROSION CONTROL BARRIERS DURING CONSTRUCTION AND FOR THE REMOVAL OF THE SAME AFTER GRADING AND SEEDING HAS BEEN ESTABLISHED.
8. THE CONTRACTOR SHALL BE REQUIRED TO CLEAN MUD AND DEBRIS FROM PUBLIC ROADS SERVICING THE CONSTRUCTION SITE DURING AND AFTER THE COMPLETION OF THE PROJECT.
9. THE CONTRACTOR SHALL NOTIFY AGENCIES PRIOR TO ANY EXCAVATING AND REQUEST SUCH UTILITY TO STAKE OUT WATER, GAS, ELECTRIC, AND/OR BURIED TELEPHONE LINES OR CABLES.
10. ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY. "OPEN CUT" OF THE HIGHWAY IS NOT PERMITTED.
11. THE CONTRACTOR SHALL USE DUE CAUTION IN PROTECTING PROPERTY MARKERS AND ALL ELEVATION SURVEY STAKES.
12. THE ACCURACY OF EXISTING UTILITIES ARE NOT GUARANTEED. EXISTING UTILITIES SHOWN ON THE PLANS ARE A RESULT OF THE BEST INFORMATION THAT COULD BE OBTAINED FROM FIELD SURVEYS AND RECORD MAPS AND ARE FOR GENERAL INFORMATION ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ALL PERTINENT UTILITIES BY FIELD INVESTIGATION. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY MEASURES TO PRESERVE AND PROTECT EXISTING UTILITIES.
13. ALL ELECTRICAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL NEC AND UL ELECTRICAL CODES
14. ALL WATERMANS AND SERVICES SHALL HAVE A MINIMUM OF 5' (FEET) OF COVER FROM THE TOP OF THE MAIN TO THE FINISHED GRADE. THE CONTRACTOR SHALL CHECK ALL CUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMANS WILL HAVE THE REQUIRED COVER.
15. THE CONTRACTOR SHALL COMPLY WITH THE NEW YORK STATE INDUSTRIAL CODE, RULE 23, SUBPART 23-4 "EXCAVATION OPERATIONS" AND ALL APPLICABLE O.S.H.A. REQUIREMENTS SO AS TO PROVIDE SAFE EXCAVATION PROCEDURES.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TEMPORARILY SUPPORT AND MAINTAIN OTHER UTILITIES AS REQUIRED.
17. ALL TRAFFIC MAINTENANCE INCLUDING SIGNS, BARRICADES, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
18. PROPOSED SLOPES SHALL NOT EXCEED 1 ON 3 EXCEPT WHERE NOTED.
19. THE CONTRACTOR SHALL READ AND BECOME COMPLETELY FAMILIAR WITH THE APPROVED DESIGN PLANS. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS CONCERNING THE PROJECT DESIGN, CONTACT THE DESIGN ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
20. MINIMUM SEPARATION BETWEEN WATERMAIN AND SEWER MAINS TO BE 18" VERTICALLY MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMANS AND SEWER MAINS/SERVICES TO BE 10' (FEET) MEASURED FROM THE OUTSIDE OF THE PIPES. IF A CROSSING SHOULD OCCUR ONE FULL LENGTH OF THE SEWER SHALL BE CENTERED UNDER OR OVER THE WATERMAIN SO THAT BOTH THE JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATERMAIN CROSSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT SETTLING.

EROSION CONTROL CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY EXCAVATION WORK.
2. INSTALL TEMPORARY SWALES TO INTERCEPT SURFACE WATER AND DIRECT IT AWAY FROM THE WORK AREA AS WORK PROCEEDS.
3. FINISH GRADE AND PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE.
4. MONITOR SILT FENCING FOR SILT ACCUMULATION. REMOVE, REPLACE AND REPAIR AS NECESSARY.
5. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OR WATERSHED INSPECTOR.
6. IN ADDITION TO THESE MEASURES, THE CONTRACTOR SHALL COMPLY WITH WHATEVER SUPPLEMENTARY MEASURES MAY BE REQUIRED TO ENHANCE OR IMPROVE THE CONTROL OF EROSION ON THIS SITE, AS ORDERED BY THE TOWN OR WATERSHED INSPECTOR.

STABILIZATION MEASURES NOTES

1. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
2. REQUIRED EROSION & SEDIMENT CONTROL MEASURES (TEMPORARY) ARE SHOWN ON THE PLANS.

TEMPORARY SEEDING

1. IF SOILS ARE COMPACTED, SCARIFY UPPER TWO INCHES BY BACKBLADING WITH A DOZER, RAKING, OR DISKING.
2. IMMEDIATELY SEED WITH THE FOLLOWING MIX:  
40 LBS/ACRE ANNUAL RYEGRASS  
40 LBS/ACRE PERENNIAL RYEGRASS  
40 LBS/ACRE CREEPING RED FESCUE  
4 LBS/ACRE WHITE CLOVER (INOCULANT)
3. USE NO FERTILIZER. IF HYDROSEEDER IS NOT USED, SEED SHOULD BE LIGHTLY RAKED INTO SOIL.
4. APPLY STRAW MULCH- STRAW MULCH IS NECESSARY TO HOLD IN MOISTURE, PROTECT SOIL FROM EROSION, HOLD SEED IN PLACE, AND KEEP SOIL TEMPERATURES MORE CONSTANT. USE MINIMUM OF 3 BALES PER 1000 SQ. FT.

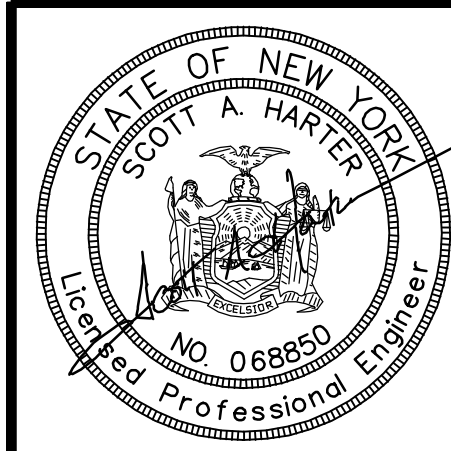
PERMANENT SEEDING

1. REPLACE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES.
2. SEED 20 POUNDS OF PERENNIAL RYEGRASS PER ACRE AND 80 POUNDS PER ACRE OF KENTUCKY BLUEGRASS OR EQUIVALENT.
3. USE NO FERTILIZER. IF HYDROSEEDER IS NOT USED, SEED SHOULD BE LIGHTLY RAKED INTO SOIL.
4. MULCH WITH CLEAN (WEED FREE) STRAW.

PHOSPHOROUS NOTES

1) NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

2) IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REQUIREMENTS.



REVISIONS

DATE	BY	DESCRIPTION

NO PRELIMINARY SITE PLAN REVIEW WAS REQUIRED

DETAIL SHEET

4629 WEST LAKE ROAD

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

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TAX ACCOUNT NO.  
140.11-1-9.000

DATE: AUG 2020 ENGINEER: S.A.H. SURVEYOR: J.H.M. SCALE: AS SHOWN SHEET NO.: 4 OF 4 DRAWING NO.: 16012D71