

Patio Rehabilitation & Accessibility Improvements

Hyman Residence
4655 County Road 16
Canandaigua, NY 14424

PRELIMINARY APPROVAL PLANS

Issued: 07.07.2021
Revisions:

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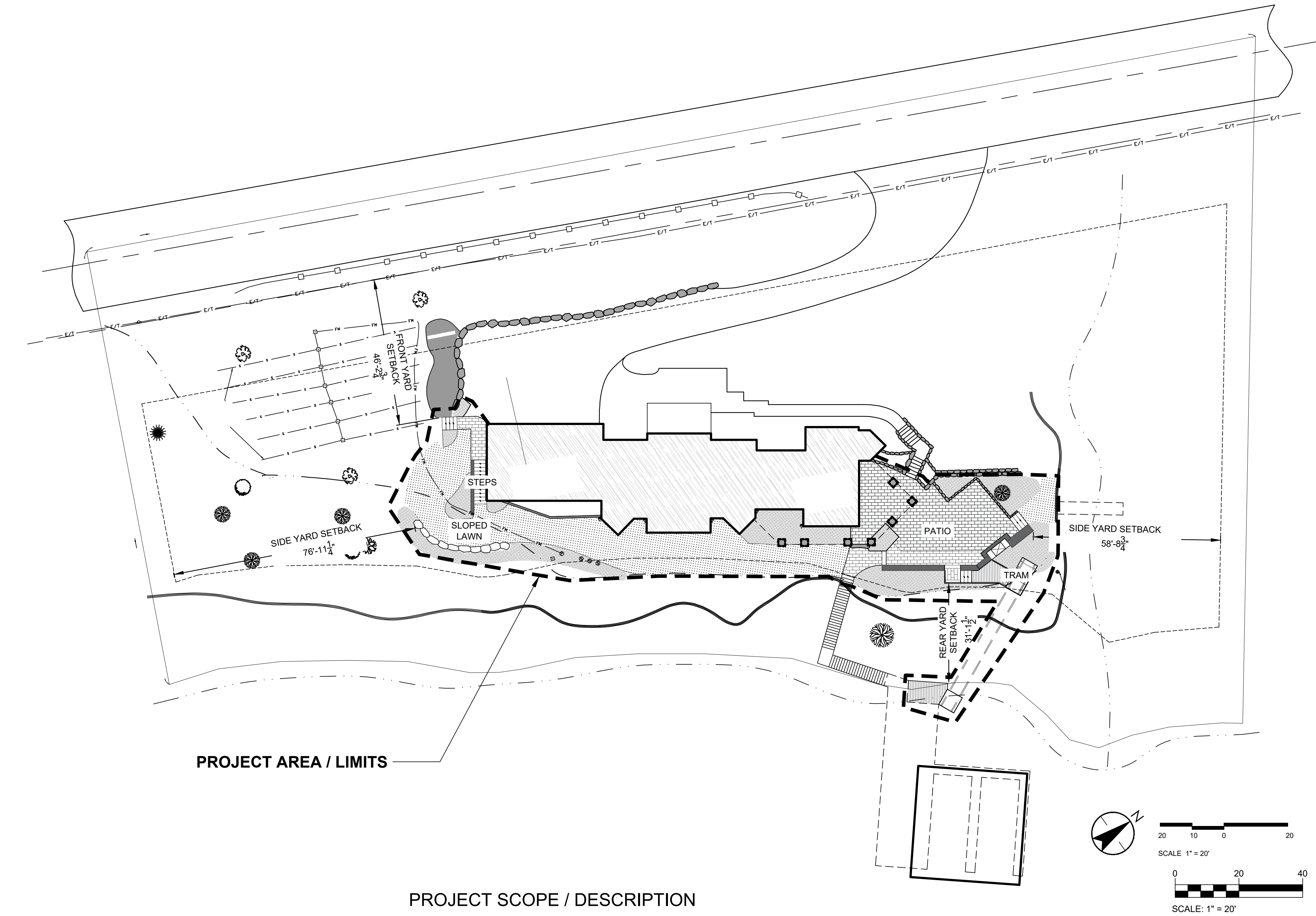
PREPARED BY

Sue
Steele
Landscape
Architecture
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9 Summit Street, Fairport, New York 14450
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steele@jcg.com

L-00



PROJECT SCOPE / DESCRIPTION

THE PROJECT INCLUDES THE FOLLOWING:

1. INSTALLATION OF STEPS ALONG SOUTH FACE OF HOUSE.
2. GRADING AND INSTALLATION OF STONE BOULDER WALL TO IMPROVE ACCESSIBILITY TO REAR YARD.
3. REHABILITATION OF EXISTING PATIO WITH INSTALLATION OF A FIREPLACE, SEAT WALL, AND PLANTINGS.
4. INSTALLATION OF A TRAM AND ASSOCIATED LANDINGS/ACCESS PATHS AND RAILINGS.

PROPERTY INFO

RLD - RESIDENTIAL LAKESHORE DISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH:	125'		
FRONT SETBACK:	50'		
REAR (LAKE) SETBACK:	30 FEET		
SIDE SETBACK:	8 FEET		
MAX. BUILDING HEIGHT:	25 FEET		
MAX. BUILDING COVERAGE ON LOT:	25%		
MAX. LOT COVERAGE:	40%	19%	20%

APPROVALS

Planning Board Chairperson Signature Date

PROJECT LOCATION



PRELIMINARY
APPROVAL PLAN

Project Name and Address

Patio Rehabilitation
& Accessibility
Improvements

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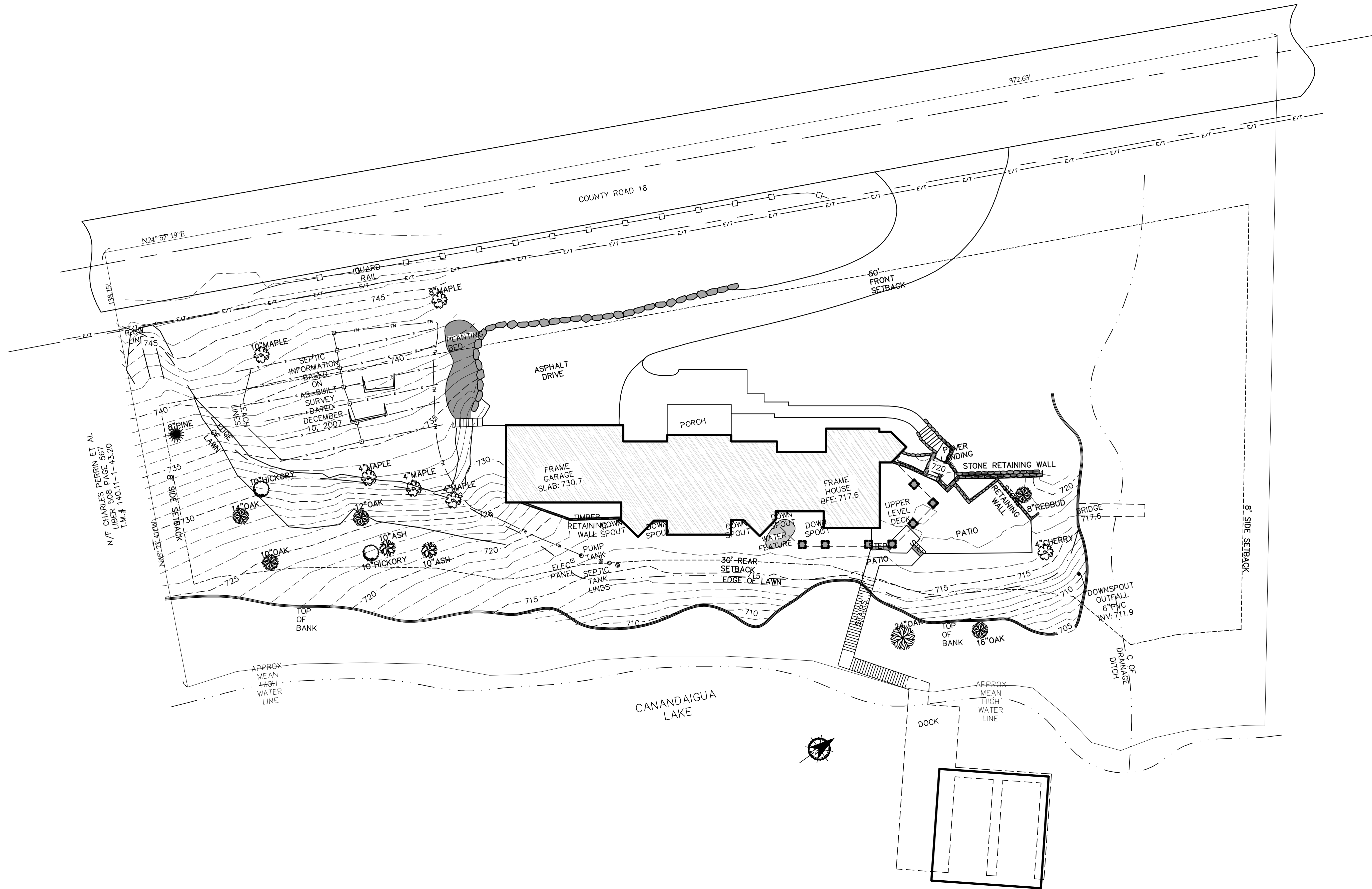
Issue Date
07-07-2021

No. Date Revision

Drawing Title

Existing
Conditions

EX



"Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

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VENEZIA
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

Legend

- Iron pin or pipe found
- Iron pin set
- Drill hole
- Utility pole
- E/T
- Utility lines
- E/T
- Property lines
- Centerline
- P.K. nail found
- P.K. nail set
- Concrete Monument
- Benchmark

Revisions			
NO.	Date	Description	By

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on 11/19/2020 from notes of an instrument survey performed on 10/14/2020 & 11/19/2020

Anthony A. Venezia
License No. 050864 signed



Topographic Survey prepared for:

40 Steps, LLC

Showing Land
At
4655 County Road 16
County of Ontario

Town of Canandaigua

www.veneziasurvey.com

(585) 396-3267

Fax No. (585) 396-0131

State of New York

E-mail rocco@veneziasurvey.com

Tax Map# 140.11-1-11.0
Scale: 1" = 20'
Job # 20232

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WARNING
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PRELIMINARY
APPROVAL PLAN

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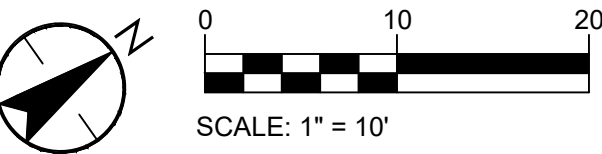
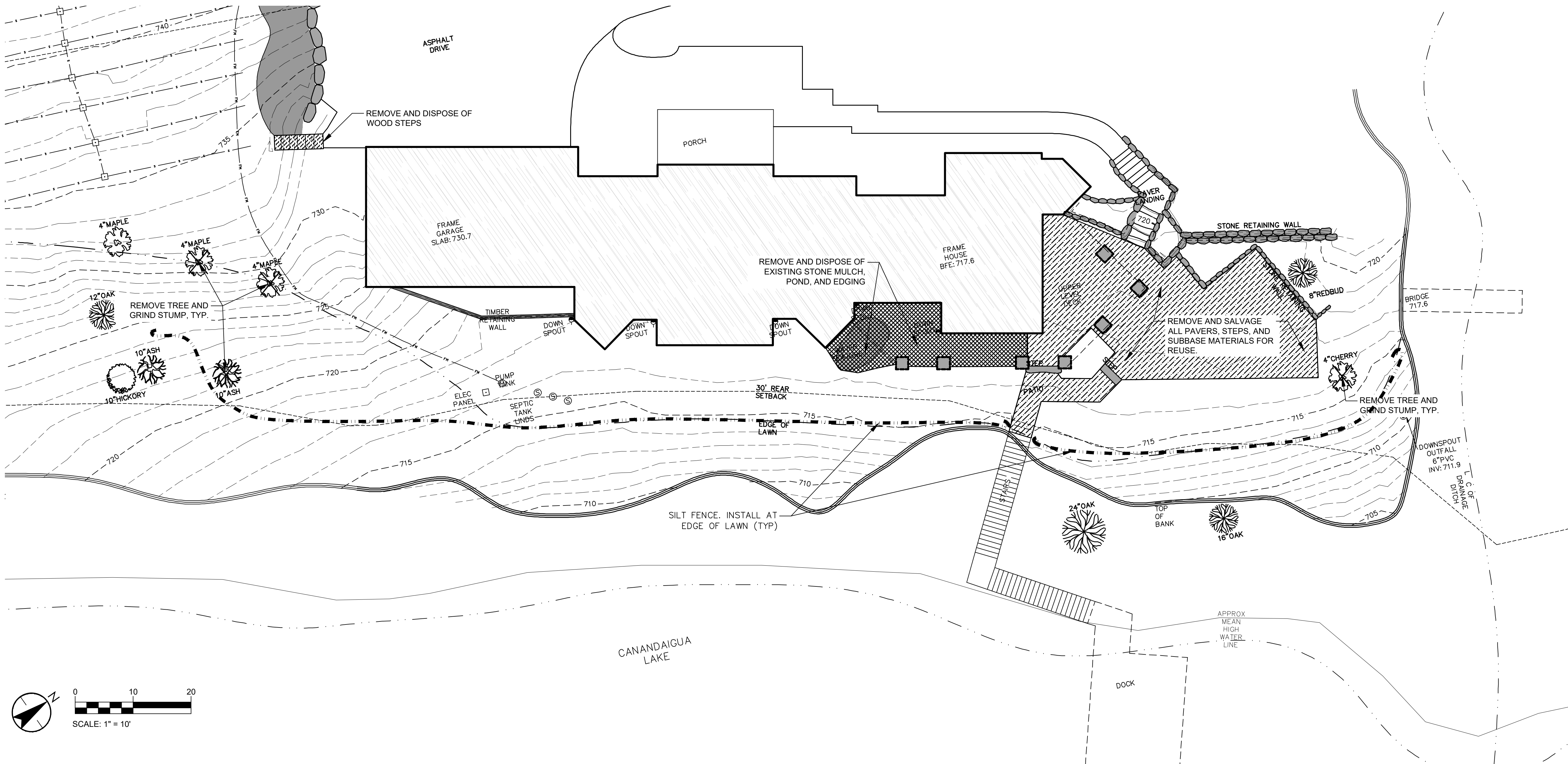
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Issue Date:
07-07-2021

No.	Date	Revision
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Drawing Title

Site Preparation
& Demolition
Plan
L-01



1 | Demolition Plan
L-01 | 1" = 10'

DEMOLITION LEGEND

- REMOVE AND DISPOSE OF EXISTING STONE MULCH, POND, AND EDGING
- REMOVE AND SALVAGE ALL PAVERS, STEPS, AND SUBBASE MATERIALS FOR REUSE.
- REMOVE AND DISPOSE OF WOOD STEPS
- REMOVE TREE AND GRIND STUMP
- SILT FENCE, REFER TO DETAIL L-08

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR STORMWATER MANAGEMENT DURING PROJECT CONSTRUCTION.
- THE CONTRACTOR'S MATERIAL STAGING AND STORAGE AREA IS TO BE LOCATED WITHIN THE CONSTRUCTION AREA LIMITS OR IN AN AREA APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL CAREFULLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND FIELD VERIFY THE PRECISE LOCATION AND QUANTITY OF ALL ITEMS THAT MUST BE REMOVED IN ORDER TO CONSTRUCT THIS PROJECT.
- GREAT CARE SHALL BE TAKEN IN REMOVING MATERIALS AND/OR ITEMS WITHIN THE DRIPLINE OF ANY EXISTING TREES TO MINIMIZE ROOT DISTURBANCE AND COMPACTION. DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO EXCAVATING WITHIN THE CANOPY OR DRIP LINE OF ANY TREE.

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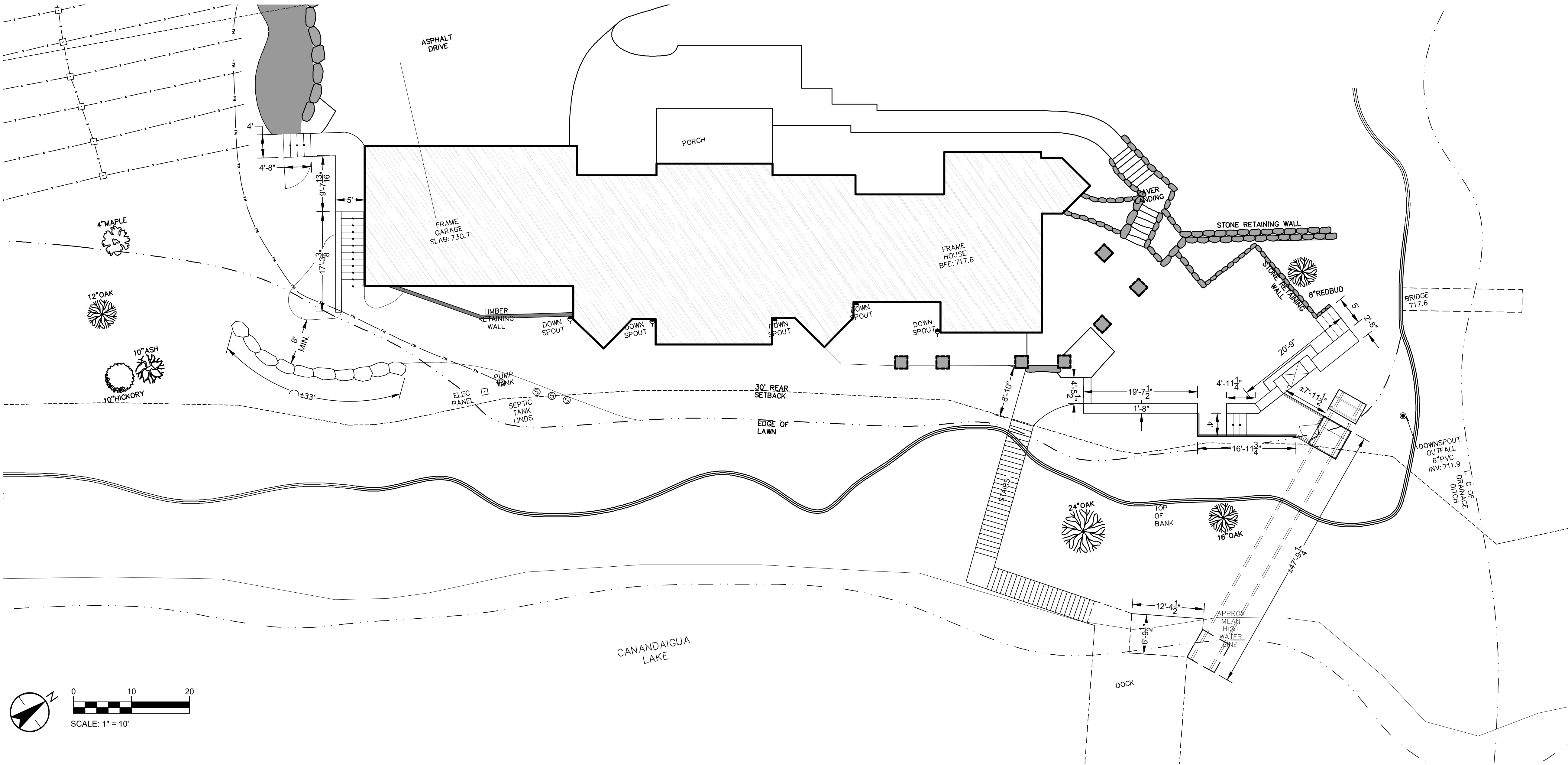
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Drawing Title

Layout Plan

L-02



LAYOUT NOTES

1. CONTRACTOR SHALL ADHERE TO WRITTEN DIMENSIONS ON ALL PLANS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THE WRITTEN DIMENSIONS CONFLICT WITH THE FIELD CONDITIONS.
2. CONTRACTOR SHALL REVIEW THE PAVER JOINT LAYOUT WITH LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
4. THE CONTRACTOR SHALL REFER ANY QUESTIONS REGARDING MATERIALS, FINISHES, LABOR, AND/OR PRODUCTS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIALS OR STARTING WORK.
5. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
6. FIELD MEASUREMENTS: TAKE ACCURATE FIELD MEASUREMENTS BEFORE PREPARATION OF SHOP DRAWINGS AND FABRICATION.

1 | Layout Plan

L-02 | 1" = 10'



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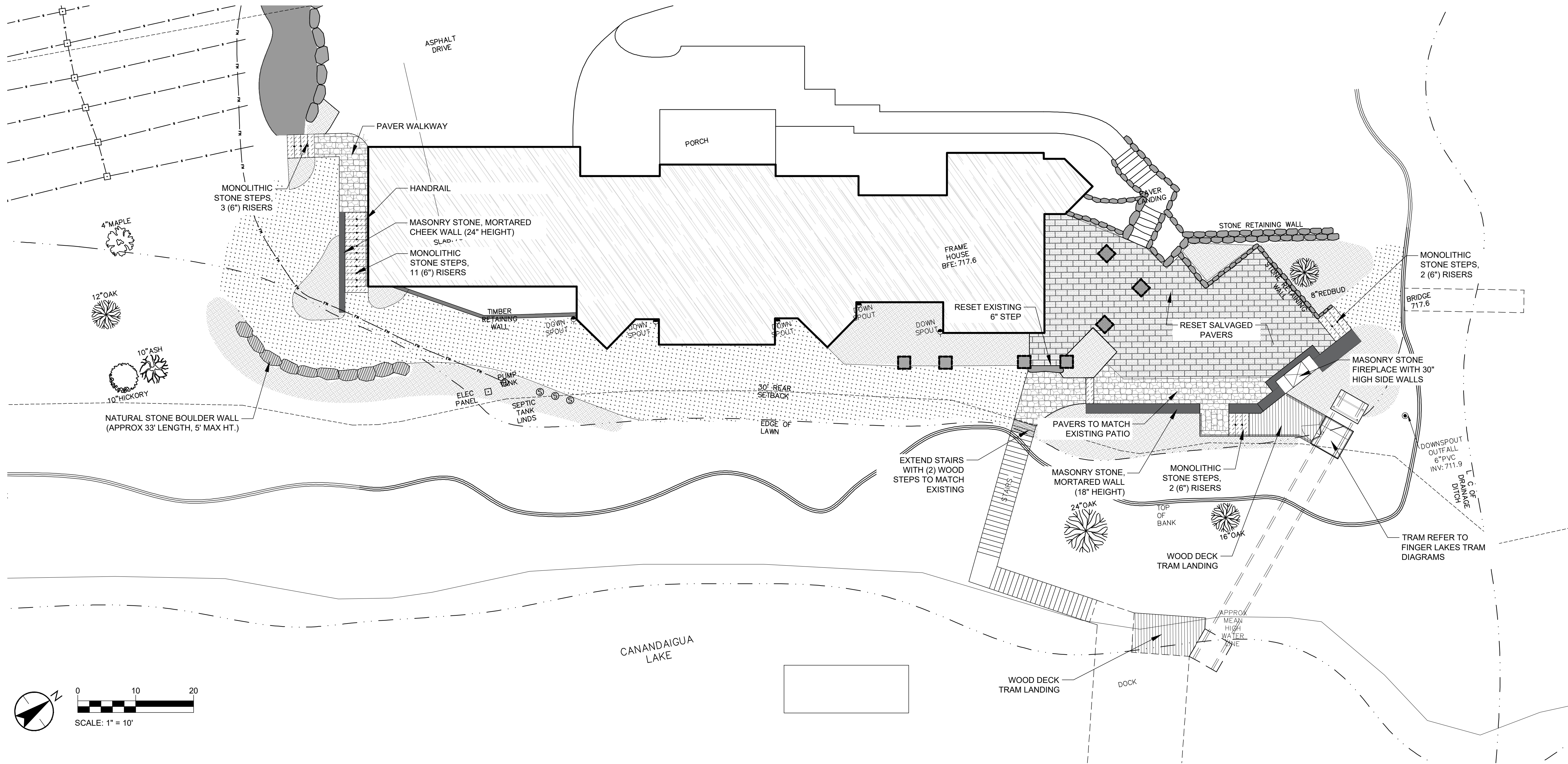
Issue Date:
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No.	Date	Revision
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Drawing Title

Site Materials Plan

L-03

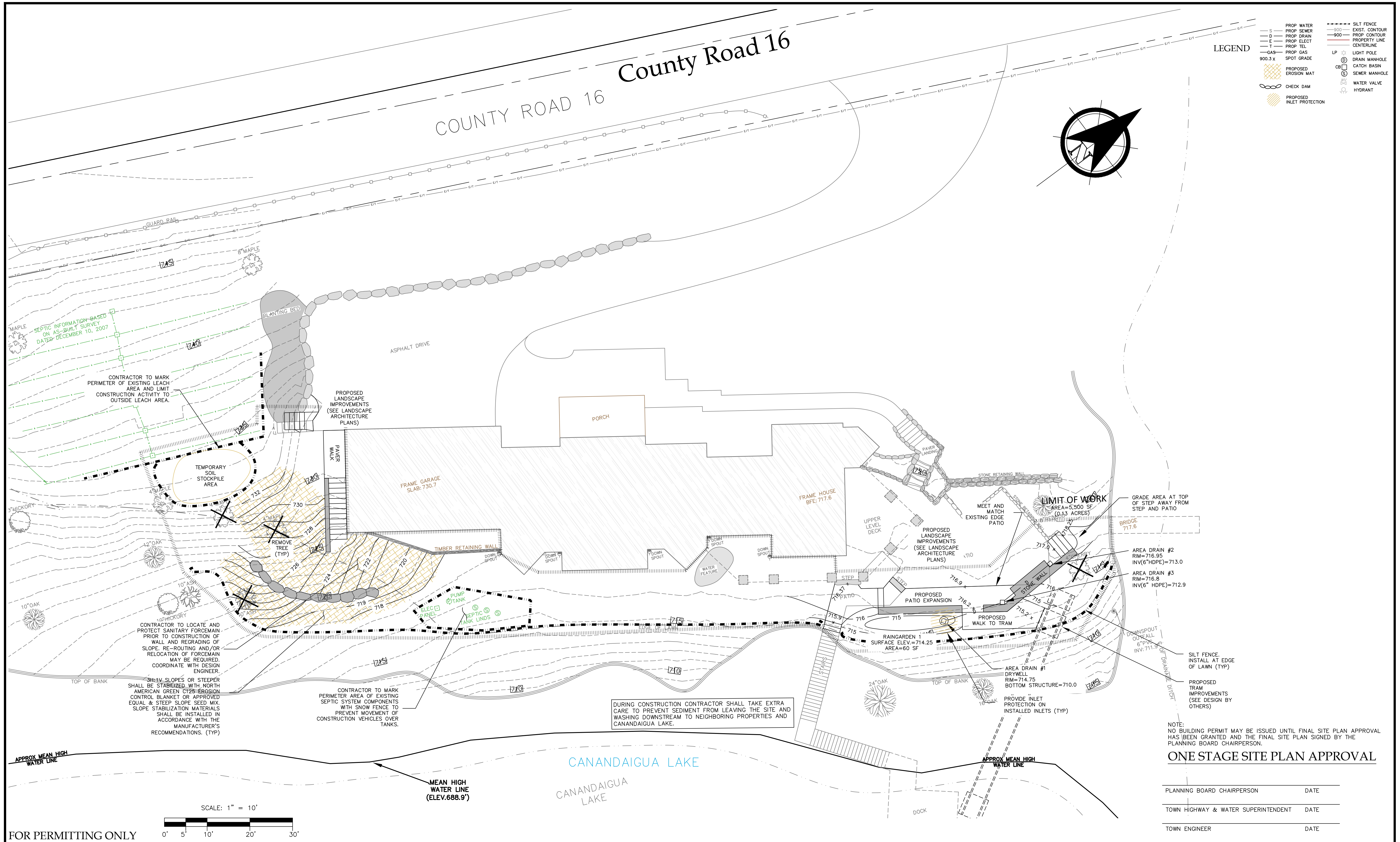


MATERIALS LEGEND

- | | |
|--|---|
| | RESET SALVAGED PAVERS, SAND SET |
| | PAVERS (TO MATCH EXISTING) |
| | MONOLITHIC STONE STEPS |
| | WOOD STEPS, TO MATCH EXISTING |
| | STONE WALL, RAKED MORTAR SET W/ STONE CAP |
| | NATURAL STONE BOULDER WALL |

1 Materials Plan

L-03 1" = 10'



FOR PERMITTING ONLY



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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NYS Professional Engineer



Revisions

NO.	Date	Description	By

NYS Land Surveyor

Drawing Title: GRADING AND DRAINAGE PLAN

Site Plan Prepared For:

HYMAN RESIDENCE

4655 COUNTY ROAD 16
Town of Canandaigua

County of Ontario State of New York

File JCG# 21004

Scale: 1" = 10'

T.M. # 140.11-1-11.0

Date: 07/06/2021

Sheet:

L-04

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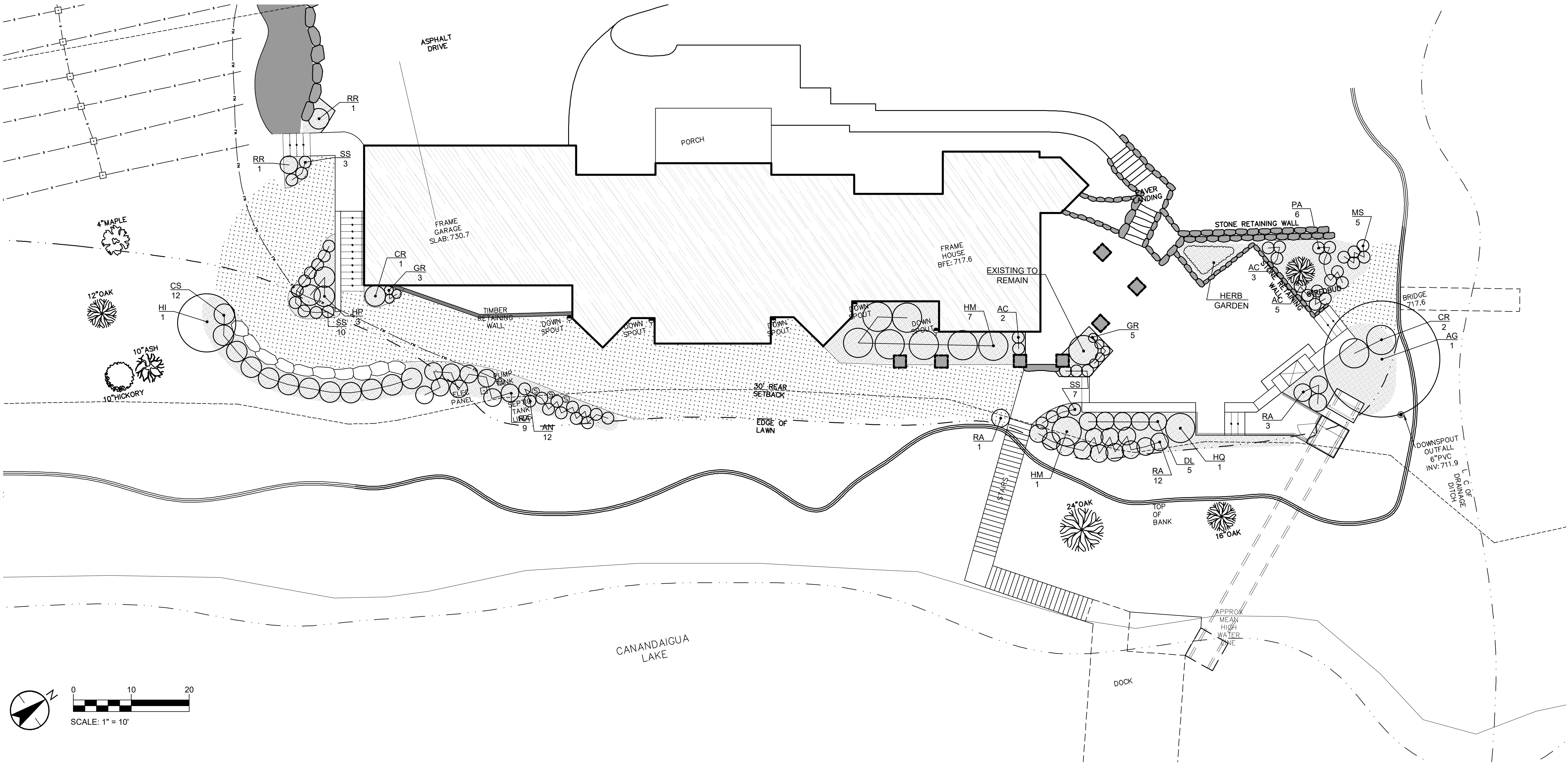
Issue Date:
07-07-2021

No. Date Revision

Drawing Title

Planting Plan

L-05



PLANT SCHEDULE

Key	QTY	Botanic Name	Common Name	Root / Cont.	Mature Height	Mature Spread
TREES						
1	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	2" Cal. BB	10-12' Ht.	15-25'
1	HI	Hamamelis x intermedia	Witchhazel	BB	8' Ht.	10-15'
SHRUBS						
3	CR	Comus racemosa 'Huron'	Huron Grey dogwood	#7	2-3'	4-5'
12	CS	Comus sanguinea midwinter fire	Redtwig dogwood	#7	5'	6'
5	DL	Diervilla lonicera	Bush honeysuckle	#5	2-3'	2-4'
8	HM	Hydrangea macrophylla	Hydrangea	#5	4-6'	4-6'
3	HP	Hydrangea paniculata 'Little Lime' / 'Jane'	Little Lime Hydrangea	#5	3-5'	3-5'
1	HQ	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	#7	4-6'	5-6'
25	RA	Rhus aromatica 'Gro-low'	Gro-low Fragrant Sumac	#3	18-24"	4-6"
2	RR	Rosa x 'Radtkepink'	Pink Double Knock out Rose	#5	3-4'	3-4'
PERENNIALS & GRASSES						
10	AC	Astilbe chinensis 'Vision in White'	Vision in White Astilbe	#2	12-18"	12-18"
12	AN	Athyrium niponicum 'Pictum'	Japanese Painted Fern	#1	18-24"	18-24"
8	GR	Geranium x 'Rozanne'	Geranium	#2	12-24"	18-24"
5	MS	Mertensia struthioptens	Ostrich Fern	#2	24-36"	36-60"
6	PA	Polystichum acrostichoides	Christmas Fern	#2	18-24"	24"
20	SS	Salvia 'Snow Hill'	White Sage	#2	18-24"	12-18"

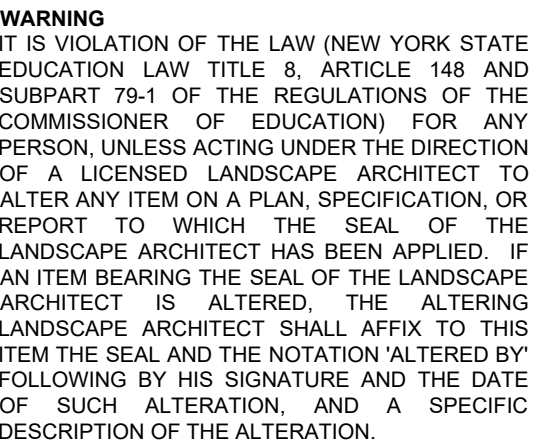
PLANTING LEGEND

- PLANTING SOIL MEDIA AREA, SEE PLANTING NOTE 2
- LAWN RESTORATION AREA
- TREE / SHRUB PLANTING, PER DETAIL

PLANTING NOTES

- CONTRACTOR SHALL VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- ALL PLANTING BEDS SHALL BE PREPARED TO A DEPTH OF 18" AS FOLLOWS:
 - 12" DEPTH SHALL BE A PLANTING MEDIUM CONSISTING OF A MIX OF THREE PARTS EXISTING TOPSOIL AND ONE PART APPROVED ORGANIC COMPOST. THE PLANTING SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
 - THE SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 6" BENEATH PLANTING MEDIUM. PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWN AREAS.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PHOSPHOROUS SHALL NOT BE USED UNLESS SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL PREVENT PROPER PLANT AND LAWN ESTABLISHMENT. IF DEEMED NECESSARY, PHOSPHOROUS APPLICATION SHALL BE LIMITED TO THE MINIMUM RECOMMENDED RATES AND IN ACCORDANCE WITH ALL NYS DEC REGULATIONS
- CONTRACTOR SHALL LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND PLANTING AREAS. ALL PLANT LOCATIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE EXCAVATING OR PLANTING. CONTRACTOR SHALL ADJUST THE PLANT LOCATIONS IF DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE.
- PROTECT PLANTS FROM DAMAGE DUE TO TRANSPORTATION, LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AREAS WITHIN THE LIMITS OF WORK SHALL RECEIVE SOD, AS APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY EXISTING LAWN AREAS OUTSIDE THE LIMITS OF WORK WHICH ARE DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED WITH PREFERRED SEED'S 'TRIO SUPREME MIX' OR APPROVED EQUAL AT A MINIMUM RATE OF 5 LBS / 1000 SF.
- SEEDING TO BE DONE AT COMPLETION OF SITE GRADING. SEEDING AREAS TO BE MAINTAINED THROUGH FULL ESTABLISHMENT OF HEALTHY GRASS THAT IS FREE OF WEEDS.

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Project Name and Address

Issue Date
07-07-2021

No.	Date	Revision
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Drawing Title

L-06



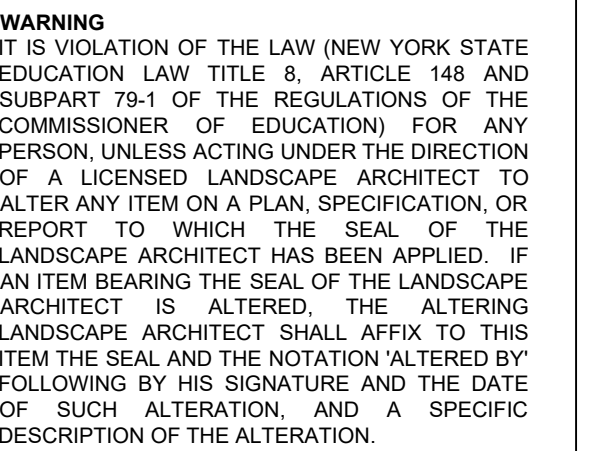
1. PAVEMENT MATERIAL (COLOR) TO BE APPROVED PRIOR TO DELIVERY TO SITE.
2. SUBMIT EDGING PRODUCT INFORMATION, AND JOINT SAND FOR APPROVAL.
3. A IN-FIELD MEETING WITH LANDSCAPE ARCHITECT TO REVIEW PAVEMENT LAYOUT SHALL BE CONDUCTED PRIOR TO INSTALLATION.
4. LANDSCAPE ARCHITECT SHALL APPROVE PAVEMENT LAYOUT PRIOR TO INSTALLATION OF JOINT SAND.
5. POLYMERIC SAND JOINT MATERIAL SHALL BE INSTALLED WHEN PAVEMENT IS DRY AND IN ACCORDANCE WITH MANUF. RECOMMENDATIONS. A SECOND APPLICATION SHALL BE INSTALLED 1 SEASON AFTER THE INITIAL INSTALLATION AT NO EXPENSE TO THE OWNER.
6. CONTRACTOR SHALL WARRANTY PAVEMENT, INCLUDING BASE RESTORATION AND JOINT SAND FOR A PERIOD OF 3 YEARS.



1. CONTRACTOR TO PROVIDE 5' LONG MOCK-UP FOR APPROVAL. MOCK-UP CAN BE INCORPORATED INTO FINAL WORK IF APPROVED.
2. NATURAL STONE MATERIAL SHALL BE AS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
3. BLUESTONE CAP SHALL BE THERMAL FINISH.
4. CONSTRUCTION NOTES:
 - 4.1. MASON SHALL USE LARGEST STONES AS FOUNDATION STONES AT THE BASE OF THE WALLS.
 - 4.2. STONES SHALL BE SET WITH THE LENGTH OF THE STONE PERPENDICULAR TO THE WALL, EXPOSING STONE ENDS.
 - 4.3. INTERIOR GAPS IN EACH WALL COURSE SHALL BE FILLED WITH SMALLER STONES BEFORE BEGINNING THE NEXT COURSE.
 - 4.4. VERTICAL JOINTS SHALL BE CROSSED, NOT RUNNING OR STACKED ALONG THE FACE OF THE WALL.
 - 4.5. STONE SHALL BE SET LEVEL. IF NOT POSSIBLE, STONE SHALL PITCH TO ADJACENT STONE (NOT INTO CORE OR OUT TO FACE).
 - 4.6. ALIGN STONES TO PROVIDE AN EVEN PLANE TO THE FACE OF THE WALL.
 - 4.7. PROVIDE THROUGH STONES AT MID HEIGHT OF WALL, SPACE EVERY 24" ALONG LENGTH OF WALL.
 - 4.8. CAPSTONES SHALL BE THE FULL WIDTH OF THE WALL.
 - 4.9. AT LOCATIONS WHERE WALL MEETS EXISTING STRUCTURES PROVIDE WATERPROOFING ON EXISTING STRUCTURE FOUNDATION.



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Drawing Title

L-07



GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A LIMITED FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES IN NOVEMBER 2020.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. ELEVATIONS REFERENCE NAVD88 DATUM.

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI), A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
11. DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
13. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
- A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
- THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING RAKING OR BACK-BLADING WITH A BULLDOZER
 - FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:
- | SPRING/SUMMER/EARLY FALL | LBS/ACRE | LBS/1,000 SQ. ACRE |
|--------------------------|----------|--------------------|
| ANNUAL RYE GRASS | 30 | 0.7 |
| PERENNIAL RYEGRASS | 30 | 0.7 |
| LATE FALL/EARLY WINTER | | |
| CEREAL RYE | 100 | 2.5 |
- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
- C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
- | | LBS/ACRE | LBS/1,000 SQ. ACRE |
|--|----------|--------------------|
| BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER | 8 OR 8 | 0.20 OR 0.20 |
| TALL FESCUE | 20 | 0.45 |
| REDTOP OR RYEGRASS (PERENNIAL) | 2 OR 5 | 0.05 OR 0.10 |
- SEEDING RATE 6 LBS PER 1000 SQUARE FEET
 - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
 - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "ARROSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE
 - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND GROWN VETCH SEED WITH PERENNIAL RYEGRASS.
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.

SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER		
CEREAL RYE	100	2.5

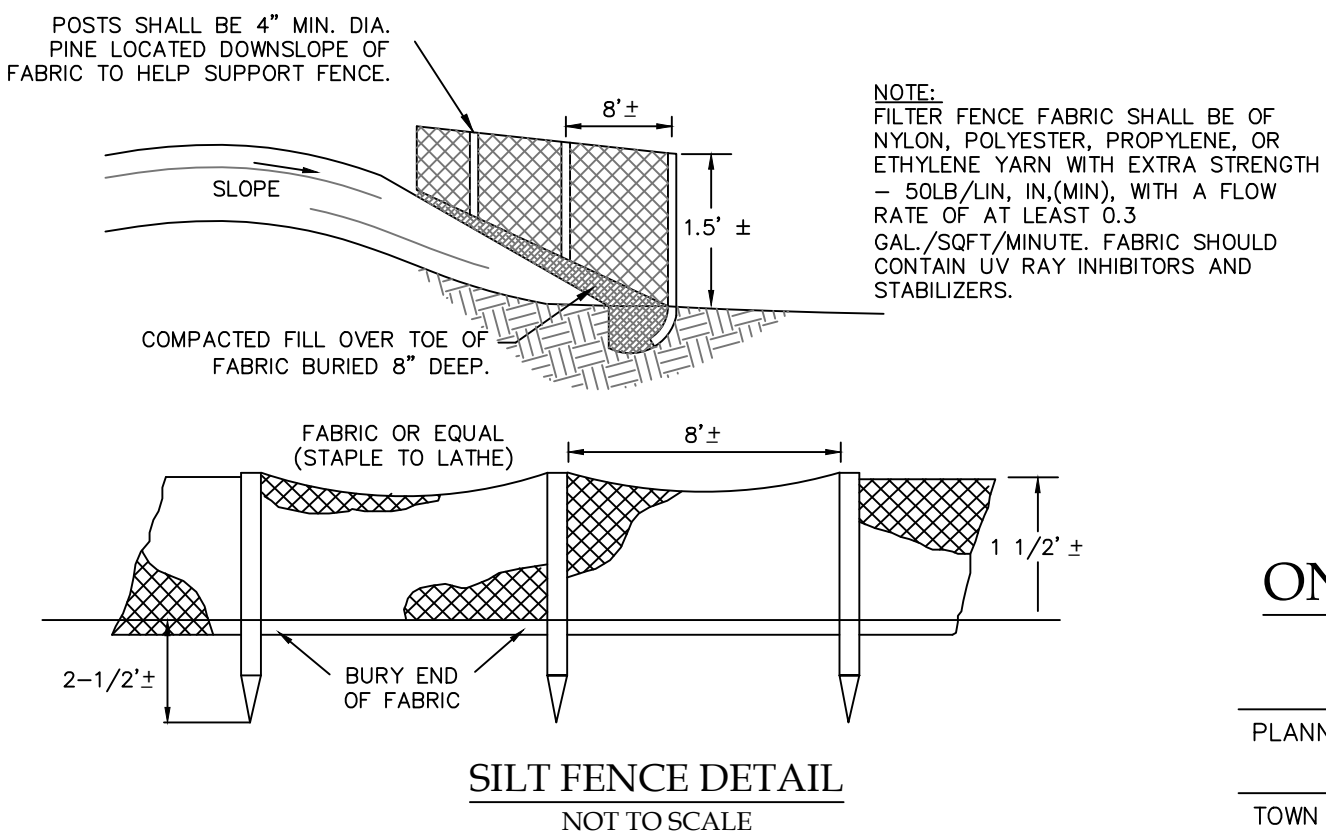
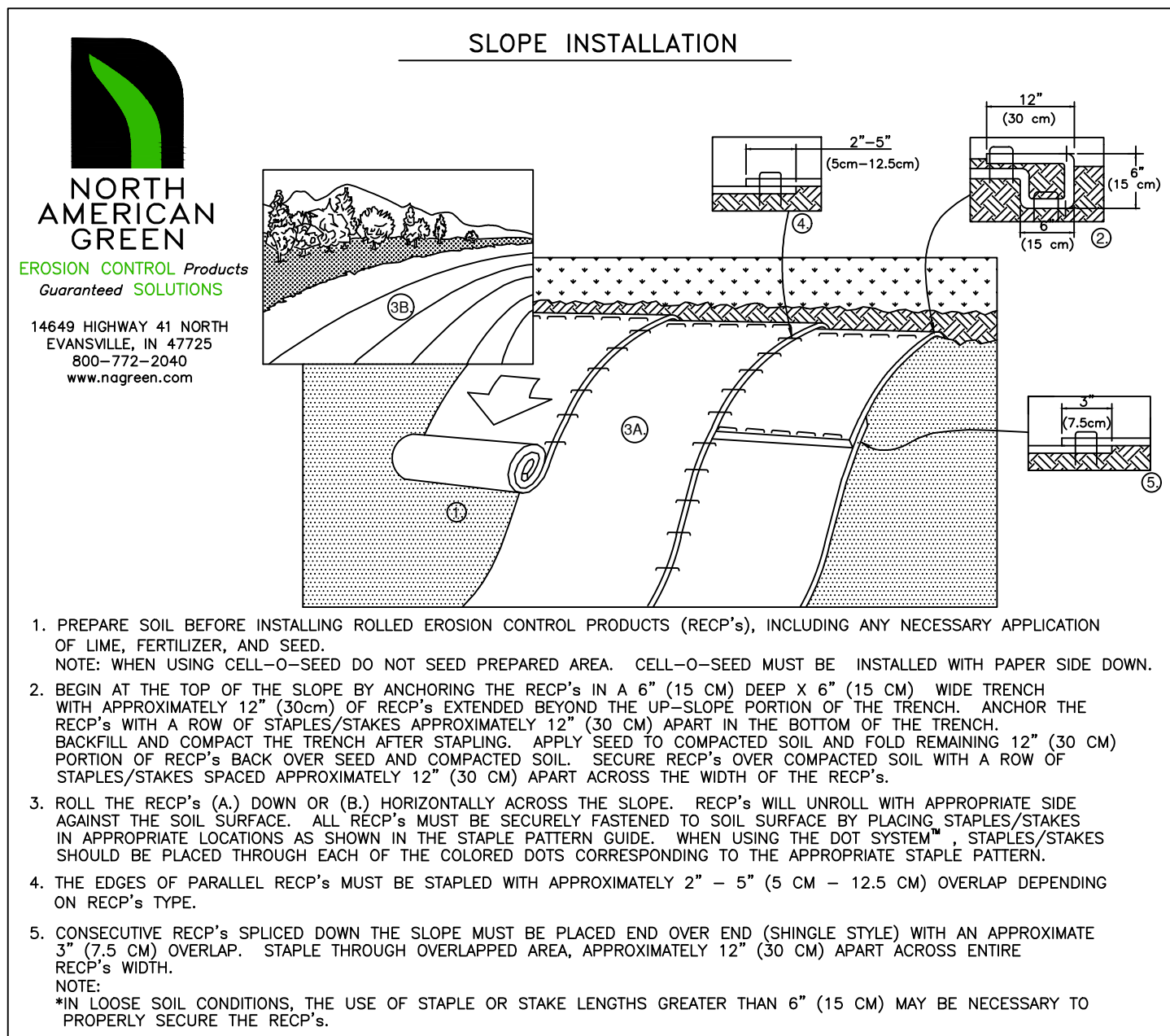
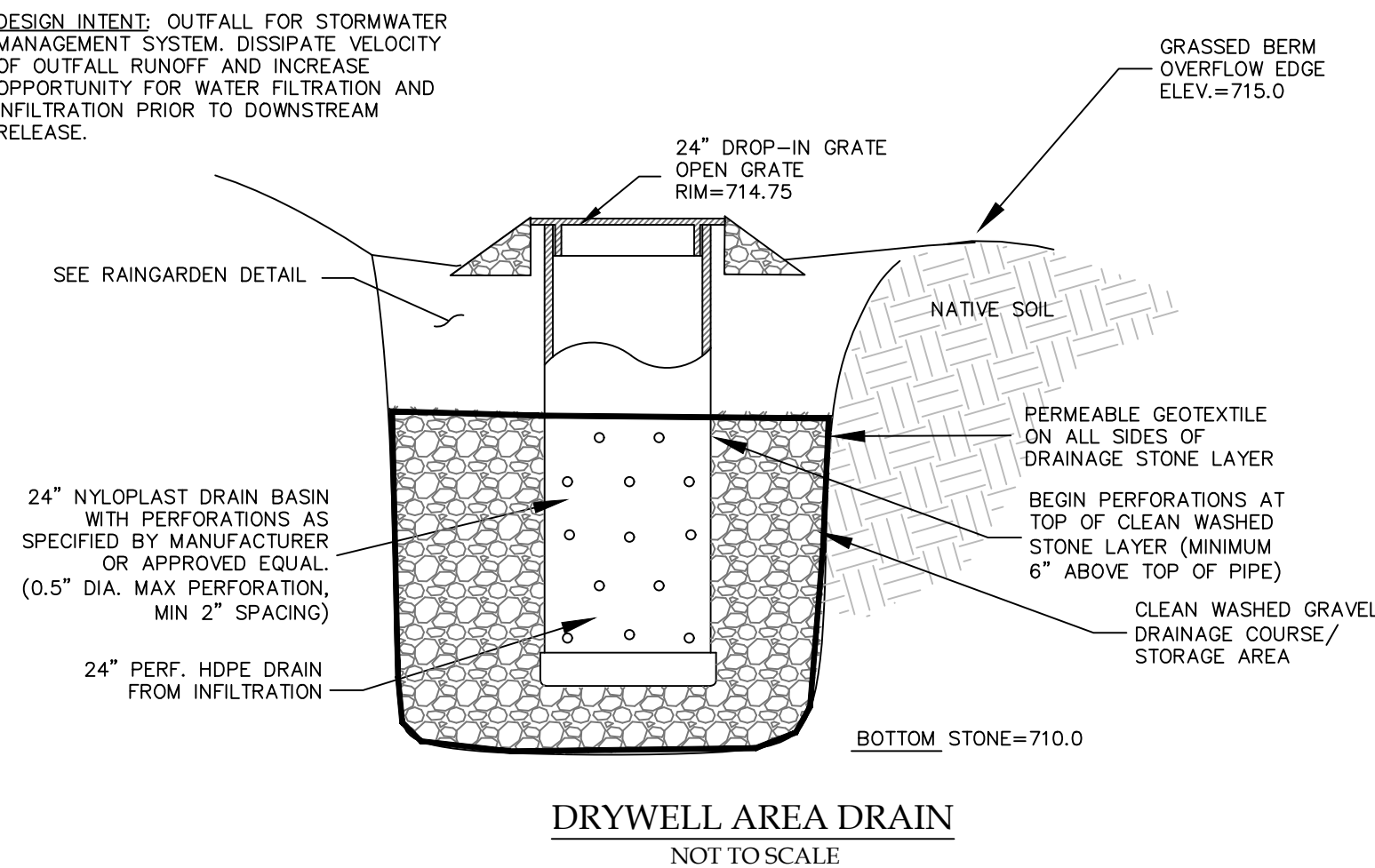
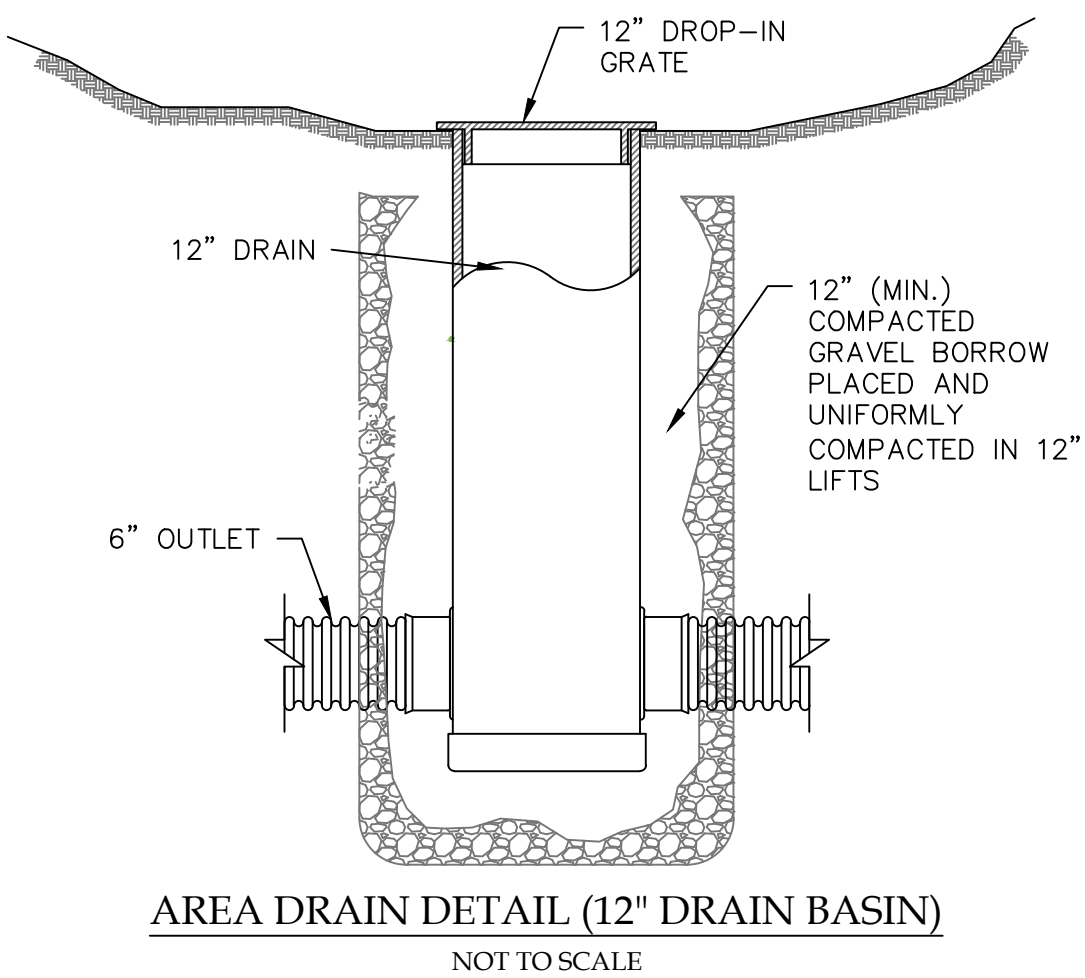
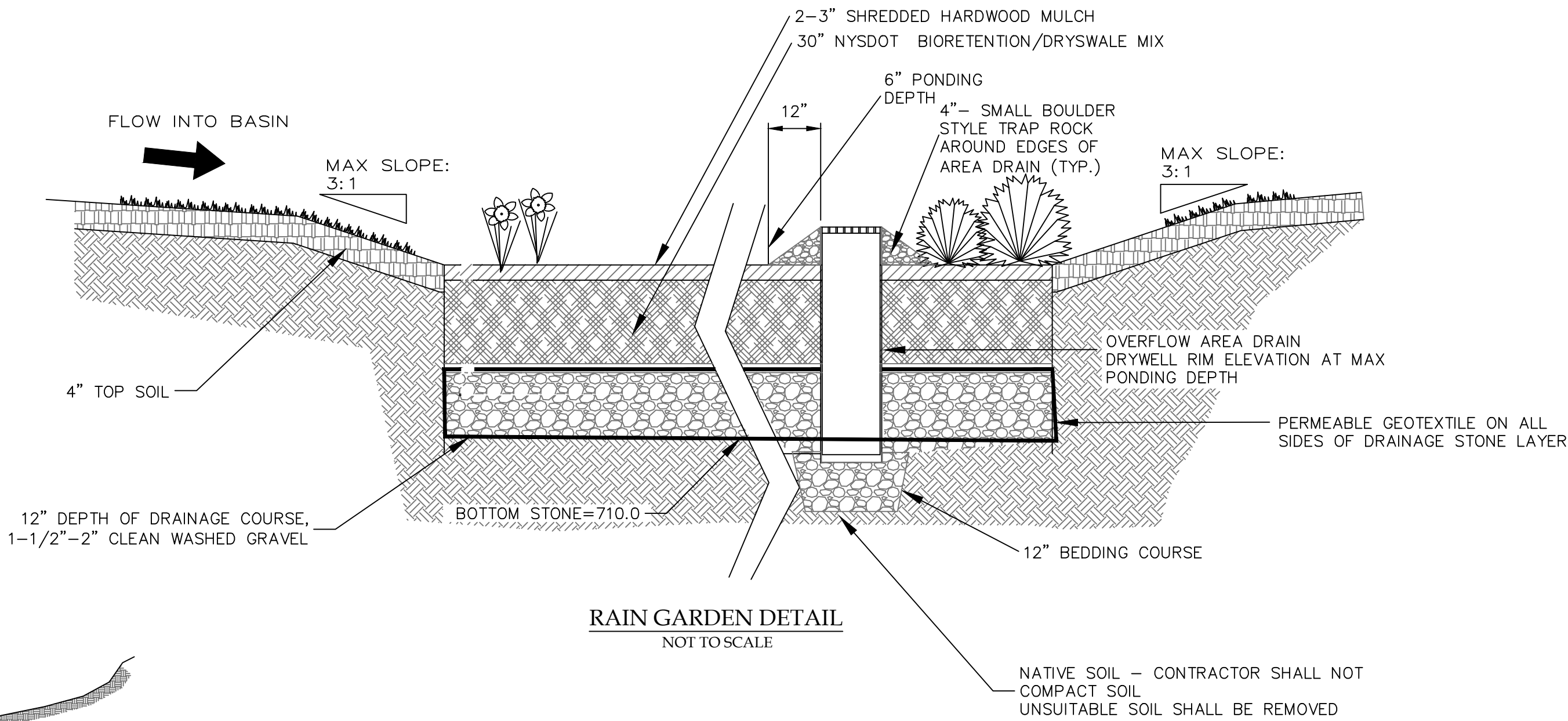
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 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
18. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
19. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK UPFO HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
20. THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION AND SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
21. ANY ADDITIONAL OR EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
22. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
23. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING, AND SUBSEQUENTLY REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS, AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
25. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

SITE PREPARATION & EARTHWORK SEQUENCE

1. SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN. INSTALL SNOW FENCE PROTECTION AT LIMIT OF EXISTING LEACH FIELD AND AROUND EXISTING SEPTIC TANK AND PUMP TANK COMPONENTS. ESTABLISH STAGING AREAS AND SOIL STOCKPILE AREAS. [SEPT 2021]
2. ESTABLISH PROPOSED EXPANDED PATIO AREA.
3. CONSTRUCT NEW STONE WALLS AND RE-GRADED LAWN AREA.
4. ESTABLISH RAINGARDEN AND LANDSCAPE AREAS. ESTABLISH VEGETATION.
5. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE. [DECEMBER 2021]
- NOTES:
- ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.



ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

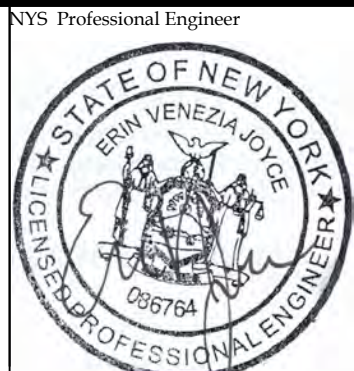


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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions				
NO.	Date	Description	By	

NYS Land Surveyor
Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title: SITE CONSTRUCTION NOTES AND DETAILS

Site Plan Prepared For:

HYMAN RESIDENCE

4655 COUNTY ROAD 16
Town of Canandaigua
County of Ontario State of New York

File JCG# 21004

Scale: 1" = 10'

T.M. # 140.11-1-11.0

Date: 07/06/2021

Sheet:

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