

HOFFEND GARAGE

4853 WEST LAKE ROAD
CANANDAIGUA, NY

SHEET NO.

SHEET NAME

A-0.2	CONCEPTUAL SITE PLAN
A-0.5	SITE PLAN
A-3.2	GARAGE PLANS
A-3.3	GARAGE PLANS & SECTIONS
A-3.4	GARAGE ELEVATIONS
A-5.2	WALL SECTION
A-7.0	WINDOW & DOOR SCHEDULES

CODE & GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE NEW YORK STATE BUILDING CODE AND MEET OR EXCEED THE STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- ALL TIMBERFRAME ELEMENTS SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE SUPERCEDED WHERE APPLICABLE BY FINAL TIMBER FRAME SHOP DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCE AND SAFETY ISSUES IN REFERENCE TO THE CONSTRUCTION CONTRACT.
- THE PRESUMPTIVE LOAD BEARING CAPACITY OF THE SOIL IS 2000 PSF U.N.O.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING / BRACING TO BE CERTIFIED BY THE MANUFACTURER.
- STRUCTURAL DESIGN LOADS:

	DEAD LOAD	LIVE LOAD
SLEEPING	10 PSF	30 PSF
ATTIC AREAS	10 PSF	20 PSF
OTHER	10 PSF	40 PSF
DECKS	10 PSF	40 PSF

CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA - Canandaigua, NY

CLIMATE ZONE	GROUND SNOW LOAD (psf)	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD UNDERLAYMENT REQ'D	FLOOD HAZARDS
				WEATHERING	FROST LINE DEPTH 4"	TERMITE		
5	40	115	B	SEVERE		MODERATE	YES	NO

- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SQ. FT. AT FIRST FLOOR, 5.7 SQ. FT. AT SECOND FLOOR, AND SILLS WITHIN 44" OF FLOOR.
- BEAMS TO FOUNDATION POCKETS SHALL HAVE 1/2" CLEARANCE FROM MASONRY - (1/2" AIRSPACE (3) SIDES W/ STEEL SHIMS & SOLID CMU CORES AT BEARING).
- FIREBLOCKING SHALL BE INSTALLED PER NEW YORK STATE BUILDING CODE - FIREBLOCKING SHALL BE PROVIDED IN CONCEALED WALL AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" GYPSUM BOARD ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES), HORIZ. FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT., CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE AND NEW YORK STATE BUILDING CODE WHERE REQUIRED AND AT ROOF-CHANGES, HORIZONTAL ABUTMENTS (PORCHES & DECKS), PROJECTIONS, VALLEYS, OPENINGS, ETC.

- PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL PER NEW YORK STATE BUILDING CODE.
- STAIRWAYS PER NEW YORK STATE BUILDING CODE:
 - CLOSED RISERS UNLESS NOTED OTHERWISE
 - 6"8" MINIMUM HEADROOM ABOVE NOSING
 - PROVIDE HANDRAILS FOR (2) OR MORE RISERS, 1 1/4"-2" DIAMETER WITH 1 SIDE CONTINUOUS FROM TOP TO BOTTOM RISER, RETURN TO WALL OR NEWELL POST 34"-38" IN HEIGHT ABOVE NOSING w/ 1 1/2" CLEARANCE TO WALL OR OBSTRUCTION.
 - OPEN SIDES OF STAIRS GREATER THAN 30" OF HEIGHT SHALL HAVE GUARDS AT 34" MINIMUM HEIGHT ABOVE NOSING
- RAILING OR RISER OPENINGS SHALL NOT PERMIT THE PASSING OF A 4" DIAMETER SPHERE. A 6" OPENING IS PERMITTED AT TRIANGULAR OPENINGS AT RISER, TREAD & BOTTOM RAIL SEE NEW YORK STATE BUILDING CODE.
- PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABOVE FINISH FLOOR OR GRADE SHALL HAVE A HALF WALL OR RAIL GUARD 36" MINIMUM HEIGHT PER NEW YORK STATE BUILDING CODE.

- GUARD RAILS & HAND RAILS SHALL RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP PER NEW YORK STATE BUILDING CODE.
- ELECTRICAL AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.
- SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED AND SHALL CONFORM PER NEW YORK STATE BUILDING CODE.
- CARBON MONOXIDE DETECTORS (BATTERY OPERATED OR DIRECT WIRED) SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR OF THE DWELLING UNIT.
- A PERMANENT "ENERGY STANDARDS CERTIFICATE" SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE REQUIRED R-VALUES OF INSULATION INSTALLED AND THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

- ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E.G., ATTICS AND CRAWL SPACES) SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT WHICH PREVENTS DAMAGING OR COMPRESSING THE INSULATION.
- ATTIC ACCESS OPENINGS SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 S.F. AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" BY 30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
- WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF 5/8" THICK TYPE-X GYPSUM BOARD. WHERE HORIZONTAL SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" THICK TYPE-X GYPSUM BOARD OR EQUIVALENT.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.

OCCUPIED SPACE - CURRENT

NAME	DESIGN TYPE	AREA
GARAGE STUDIO	AUXILIARY SPACE	768 SF
	AUXILIARY SPACE	768 SF
	AUXILIARY SPACE	1,536 SF

PERMIT SET - NOT FOR CONSTRUCTION

DRAWING INFORMATION

COVER

ISSUE DATE: 01/02/2020
DRAWN BY: KZ
REVIEWED BY: TA

HOFFEND GARAGE
DAN & LAURIE HOFFEND

4853 WEST LAKE ROAD CANANDAIGUA, NY

WET SEAL & DATE

REVISION INFORMATION

NO.	BY	DATE

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971-239-0564

PROJECT - DRAWING NUMBER

18-107

A-0.1



LOCUS MAP N.T.S.

GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
- PROPOSED LIGHTING TO BE COORDINATED WITH THE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- ELEVATIONS REFERENCE NAV88.

SEWER CONNECTION NOTES

- CONTRACTOR TO CONFIRM ALL EXISTING INVERTS AT PROPOSED FORCEMAIN CONNECTIONS PRIOR TO MAKING CONNECTIONS. ELEVATIONS SHALL BE REPORTED TO THE DESIGN ENGINEER FOR REVIEW AND RECORD.

EROSION CONTROL NOTES - GENERAL

- INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING EXCAVATION WORK.
- PROVIDE TEMPORARY DIVERSION SWALES TO INTERCEPT SURFACE RUNOFF AND TO DIRECT IT AWAY FROM DISTURBED AREAS.
- MAINTAIN TEMPORARY EROSION AND SILTATION CONTROL MEASURES DURING CONSTRUCTION PERIOD UNTIL FINAL GRADING, LANDSCAPING AND PERMANENT EROSION CONTROL IS COMPLETED. ESTABLISH VEGETATION ON EXPOSED AREAS AS SOON AS PRACTICABLE, BUT NO LATER THAN 7 DAYS AFTER SOIL DISTURBANCE ACTIVITY CEASES.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ONLY AFTER RECEIVING AUTHORIZATION FROM THE TOWN OF CANANDAIGUA.
- DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN (15) DAYS PRIOR TO THE START OF GRADING OR CONSTRUCTION ACTIVITY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

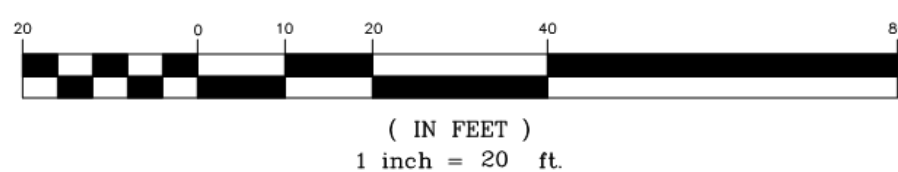
Property Owner
Daniel J. Jr & Laurie D. Hoffend
4853 County Road 16
Canandaigua, NY 14424

Construction timeline = 4-8 months start to completion

Engineer Legend

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING PROPERTY LINE
- ROADWAY CENTERLINE
- PROPOSED SPOT ELEVATION
- PROPOSED DIVERSION SWALE (TEMPORARY)
- SILT FENCE (TEMPORARY)
- CHECK DAM
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED ELECT/TEL
- PROPOSED STORM DRAIN
- PROPOSED EROSION MAT

GRAPHIC SCALE



FOR PERMITTING ONLY

VENEZIA
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

Canandaigua New York, 14424

TOWN OF CANANDAIGUA STANDARD NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- SEQUENCE - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE- CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.
 - IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBANCE AREA AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.
- PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING:
 - SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
 - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER, IMMEDIATELY FERTILIZE, IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS/ACRE	LBS/1,000 SQ. ACRES
SPRING/SUMMER/EARLY FALL	
ANNUAL RYE GRASS	30
PERENNIAL RYEGRASS	0.7
LATE FALL/EARLY WINTER	
CEREAL RYE	100
	2.5

NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION.

LBS/ACRE	LBS/1,000 SQ. ACRES
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8
TALL FESCUE	0.20 OR 0.20
REDOBT OR RYEGRASS (PERENNIAL)	2 OR 5
	0.05 OR 0.10

SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TRACQUIR.
STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.
FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED AROOSTOCK WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENT IN THE AREAS OF CONSTRUCTION.

EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND /OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EVALUATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR DIRECTED BY THE TOWN OF CANANDAIGUA.

THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.

ROOF LEADERS SHALL BE CONNECTED TO STORM SEWERS, UNLESS OTHERWISE NOTED.

NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS.

NO ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.

SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGEWAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/ REQUESTED BY THE TOWN OF CANANDAIGUA.

ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

INCIDENTAL DISTURBANCES OUTSIDE THE PROPERTY FOOTPRINT WILL BE STABILIZED AND RESTORED TO ORIGINAL OR BETTER CONDITION.

SITE PREPARATION & EARTHWORK SEQUENCE

- SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN.
- TEMPORARILY DISCONNECT AND CAP ALL UTILITY LINES, AND PLACE PROTECTION FENCING AROUND REMAINING EQUIPMENT BE LEFT ON SITE.
- REMOVE NECESSARY TREES IN THE AREA OF PROPOSED GARAGE.
- CUT IN PROPOSED DRIVEWAY AND GARAGE BUILDING PAD PER SITE PLAN. PLACE TEMPORARY GRAVEL.
- CONSTRUCT GARAGE.
- REPLACE AND/OR REINSTALL ANY SILT FENCING AND EROSION CONTROL MEASURES AROUND THE PROPERTY AS NECESSARY.

NOTES:
- ANY STEEP SLOPE (3H:1V OR STEEPER) DISTURBANCE IS TO BE PROTECTED WITH STRAW MULCH OR AN EROSION CONTROL BLANKET IF NOT WORKED FOR THREE (3) DAYS OR MORE.
- ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.

FARM NOTE: THIS PROPERTY IS LOCATED WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION. RESIDENTS SHOULD BE AWARE THAT SUCH FARM OPERATIONS MAY GENERATE DUST, ODOR, SMOKE, NOISE, VIBRATION AND OTHER ACTIVITIES WHICH MAY NOT BE COMPATIBLE WITH RESIDENTIAL USE OF THE PROPERTY.



Revisions			
NO.	Date	Description	By
1	5/14/19	TOWN COMMENTS	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 184761

Drawing Title:

SITE GRADING AND UTILITY PLAN

Site Plan Prepared For:

Daniel J. Jr & Laurie D. Hoffend
Showing Land
at
4853 County Road 16
Town of Canandaigua
County of Ontario State of New York
(585)396-3267 Fax. No. (585) 396-0131 E-mail rocco@veneziasurvey.com

File# 15219

Sheet 1 of 2

T.m. # 140.18-1-6.00

Scale 1"= 20'
03/15/19

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE

TOWN ENGINEER DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

SEPTIC SYSTEM COMPONENTS SEPARATION AS REQUIRED BY NYS DEPARTMENT OF HEALTH APPENDIX 74-A 'WASTEWATER TREATMENT STANDARDS - RESIDENTIAL ONSITE SYSTEMS'

SEPTIC SYSTEM COMPONENTS SEPARATION (SUMMARY):

	SEPARATION DISTANCE REQUIRED TO DWELLING*	PROVIDED
HOUSE SEWER DRAIN	3 FT	5' TO FORCEMAIN
SEPTIC TANK/ETU	10 FT	10' TO EFFLUENT PUMP TANK
DISTRIBUTION BOX	20 FT	24' TO PEAT SYSTEM
ABSORPTION FIELD	20 FT	24' TO PEAT SYSTEM

* APPENDIX 74-A 'WASTEWATER TREATMENT STANDARDS - RESIDENTIAL ONSITE SYSTEMS' NOTES 'DWELLING' IN SEPARATION REQUIREMENTS. DISTANCES PROVIDED BY THIS SITE PLAN ARE TO PROPOSED GARAGE, WHICH IS NOT PROPOSED AS HABITABLE.

Existing Lot Coverage:
House.....2,760
Deck.....537
Driveway.....3,000
Firepit Patio.....358
Landscape Walls & Stairs.....927

Total Area.....36,090
Total Coverage.....7,582
% Coverage.....21.0%

Proposed Lot Coverage
House.....2,760
Deck.....537
Driveway.....3,000
Firepit Patio.....358
Landscape Walls & Stairs.....927

Garage.....768
New Driveway.....400

Total Area.....36,090
Total Coverage.....8,750
% Coverage.....24.2%



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REVISION INFORMATION	
NO.	DATE

WET SEAL & DATE

CLIENT INFORMATION

HOFFEND GARAGE
DAN & LAURIE HOFFEND
4853 WEST LAKE ROAD CANANDAIGUA, NY

DRAWING INFORMATION

SITE PLAN

DRAWN BY: KZ
REVIEWED BY: TA

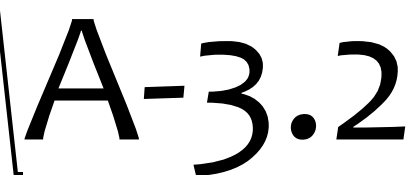
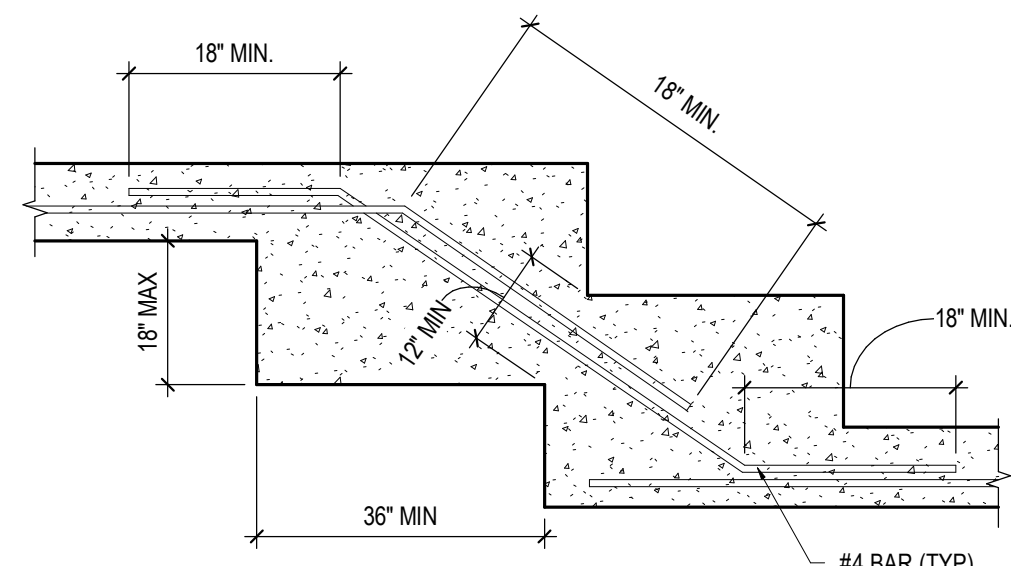
ISSUE DATE:
01/02/2020

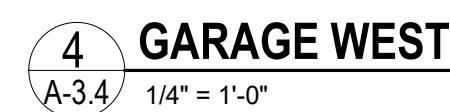
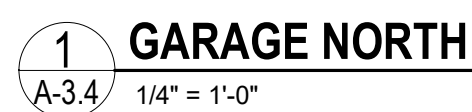
PROJECT - DRAWING NUMBER

18-107


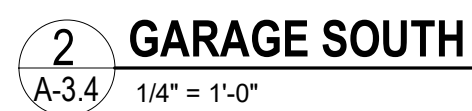
A-0.5

PERMIT SET - NOT FOR CONSTRUCTION





- 3 GARAGE EAST**
A-3.4 1/4" = 1'-0"



NEW ENERGY WORKS
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HOFFEND GARAGE
DAN & LAURIE HOFFEND

4053 WEST LAKE ROAD CANANDAIGUA, NY

GARAGE ELEVATIONS

REVIEWED BY: TA

1/02/2022

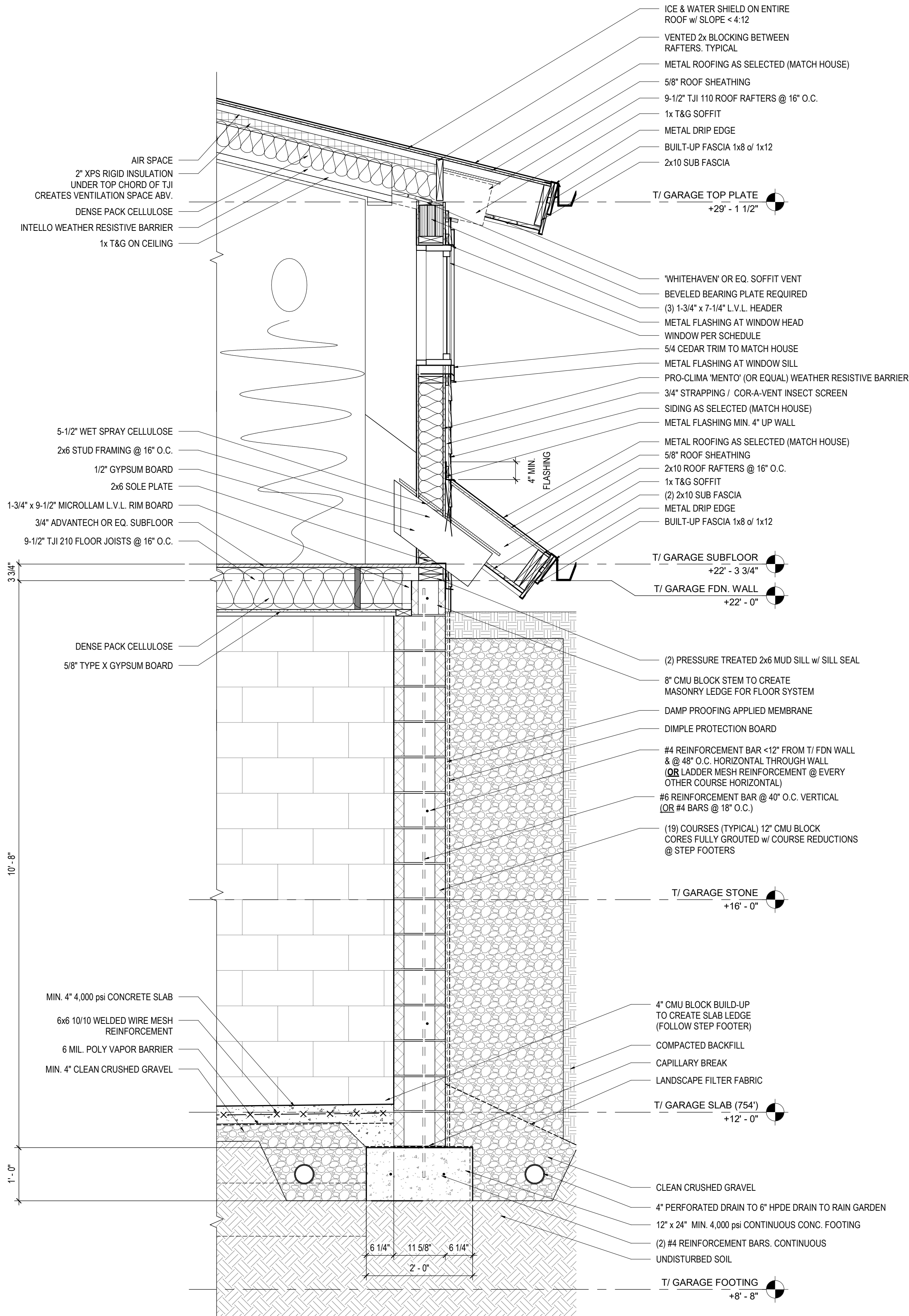
01/02/2020

SUBJECT - DRAWING NUMBER

8-107

A-3.4.

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1 GARAGE WALL SECTION
A-5.2 3/4" = 1'-0"

PERMIT SET - NOT FOR CONSTRUCTION

WALL SECTION

HOFFEND GARAGE
DAN & LAURIE HOFFEND
4853 WEST LAKE ROAD CANANDAIGUA, NY

CLIENT INFORMATION

WET SEAL & DATE

REVISION INFORMATION

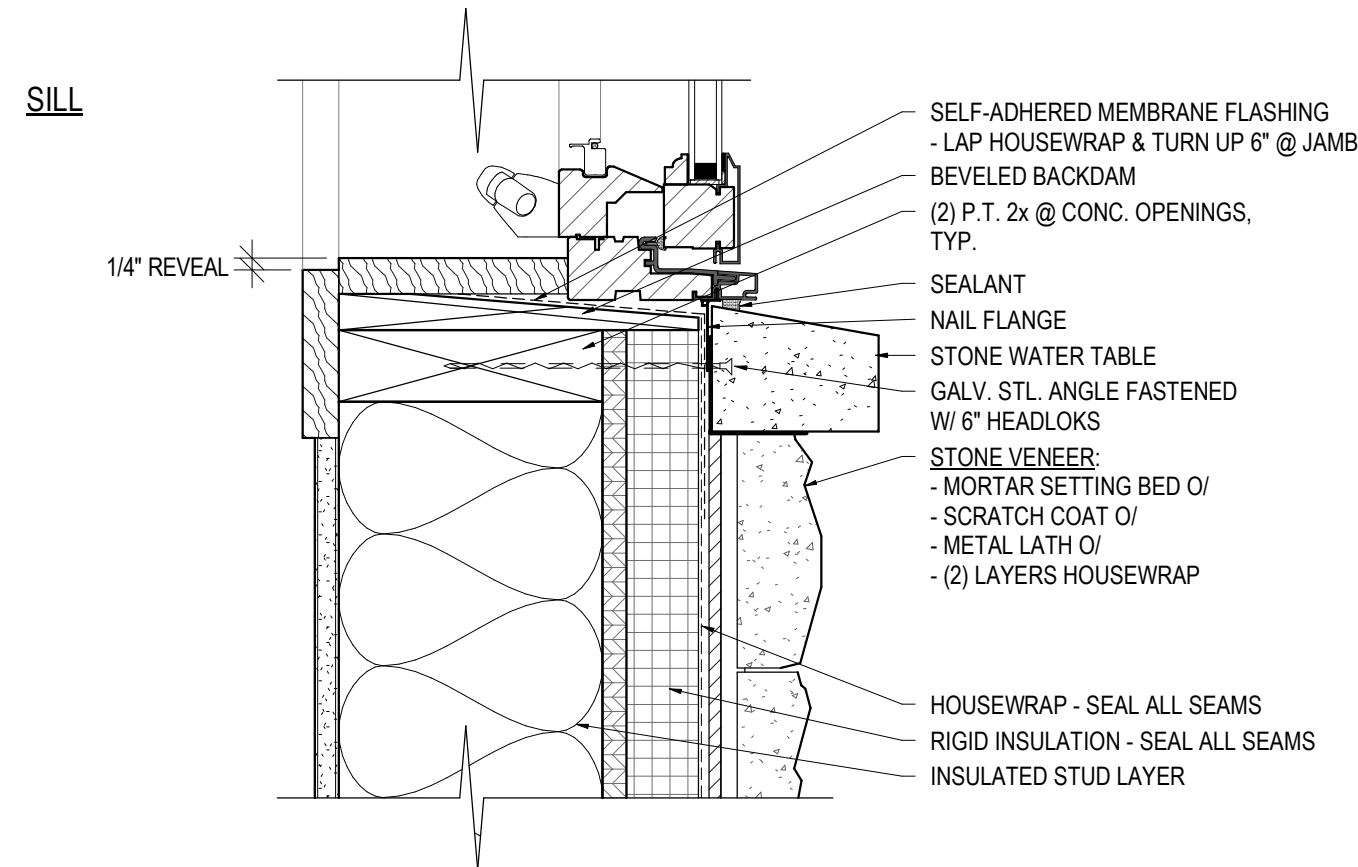
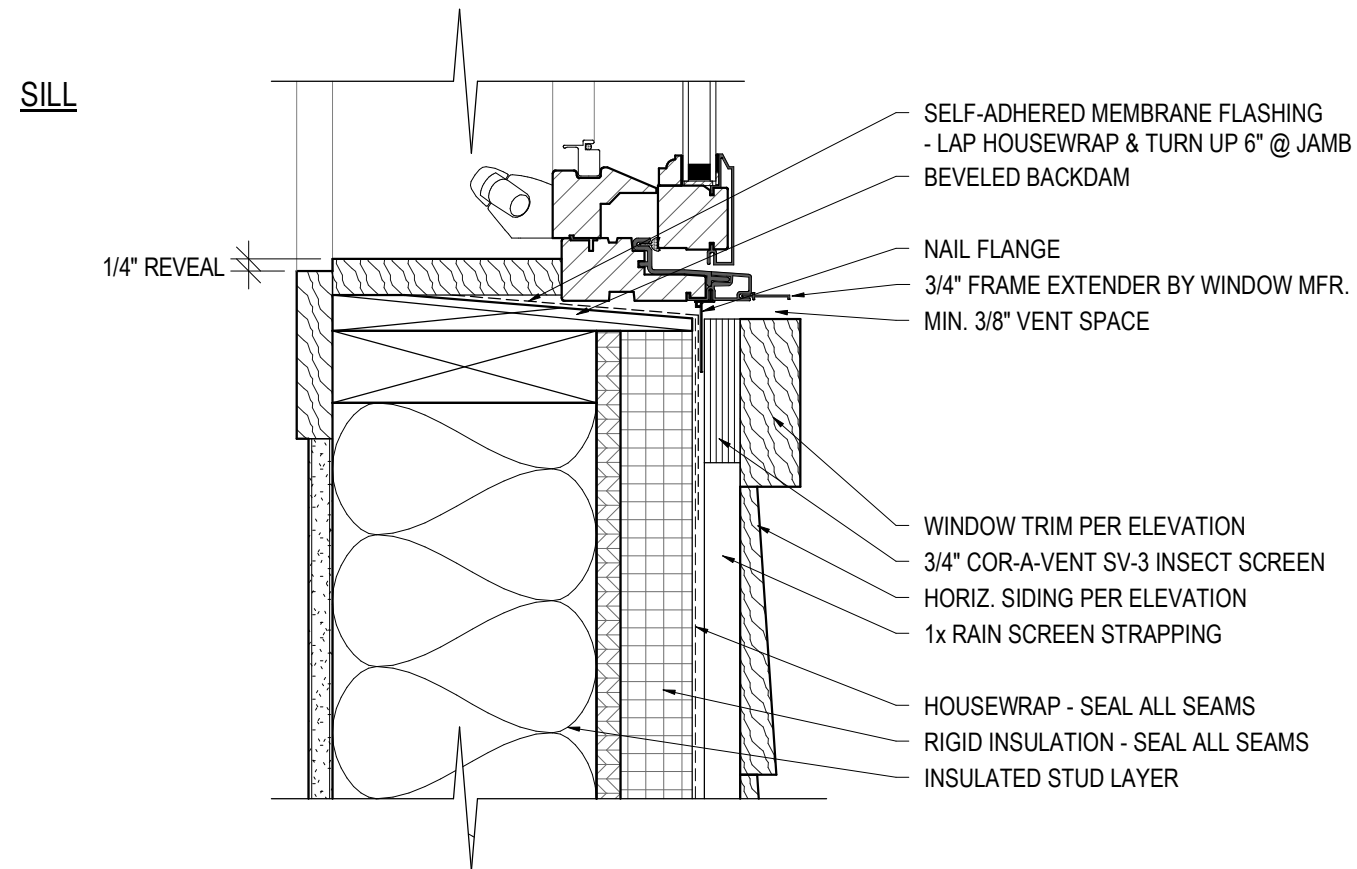
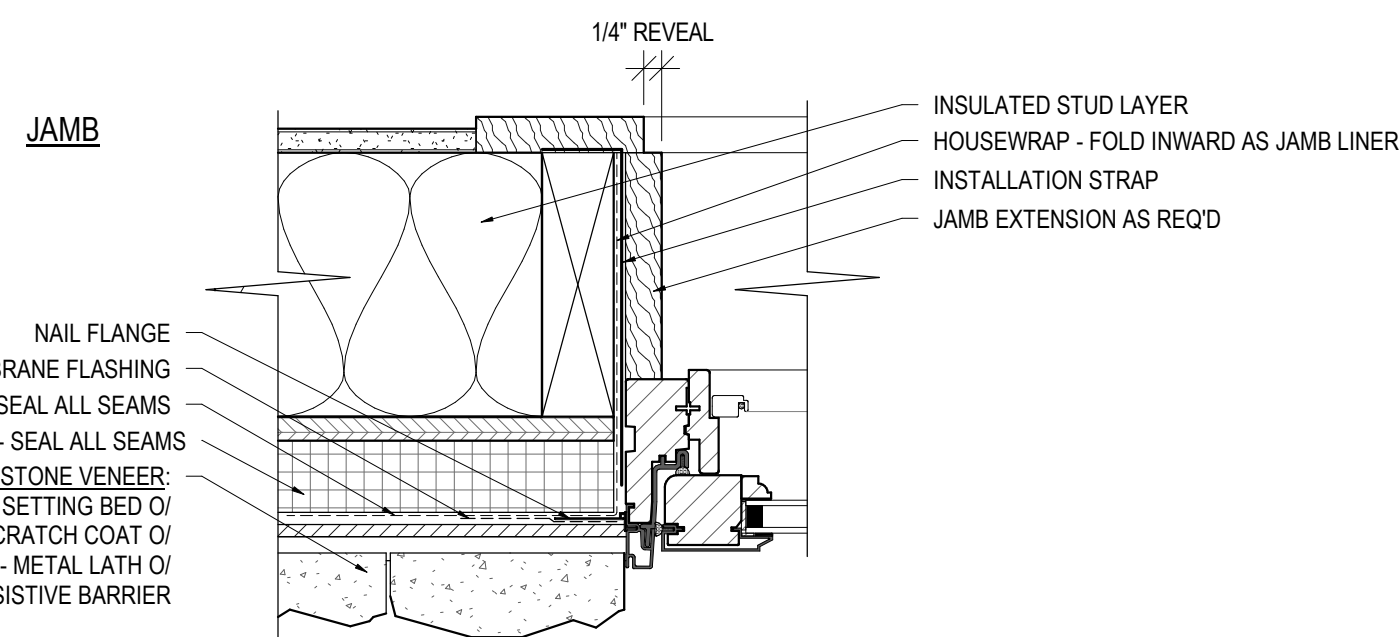
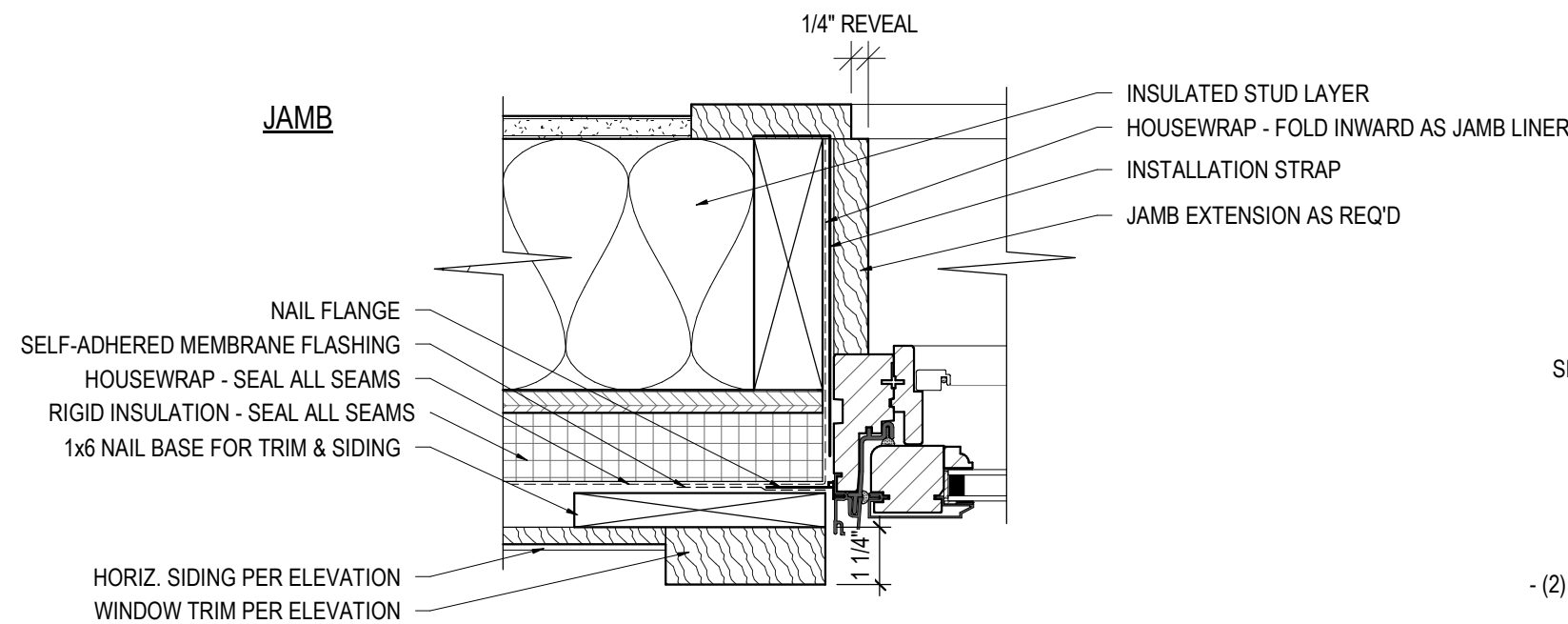
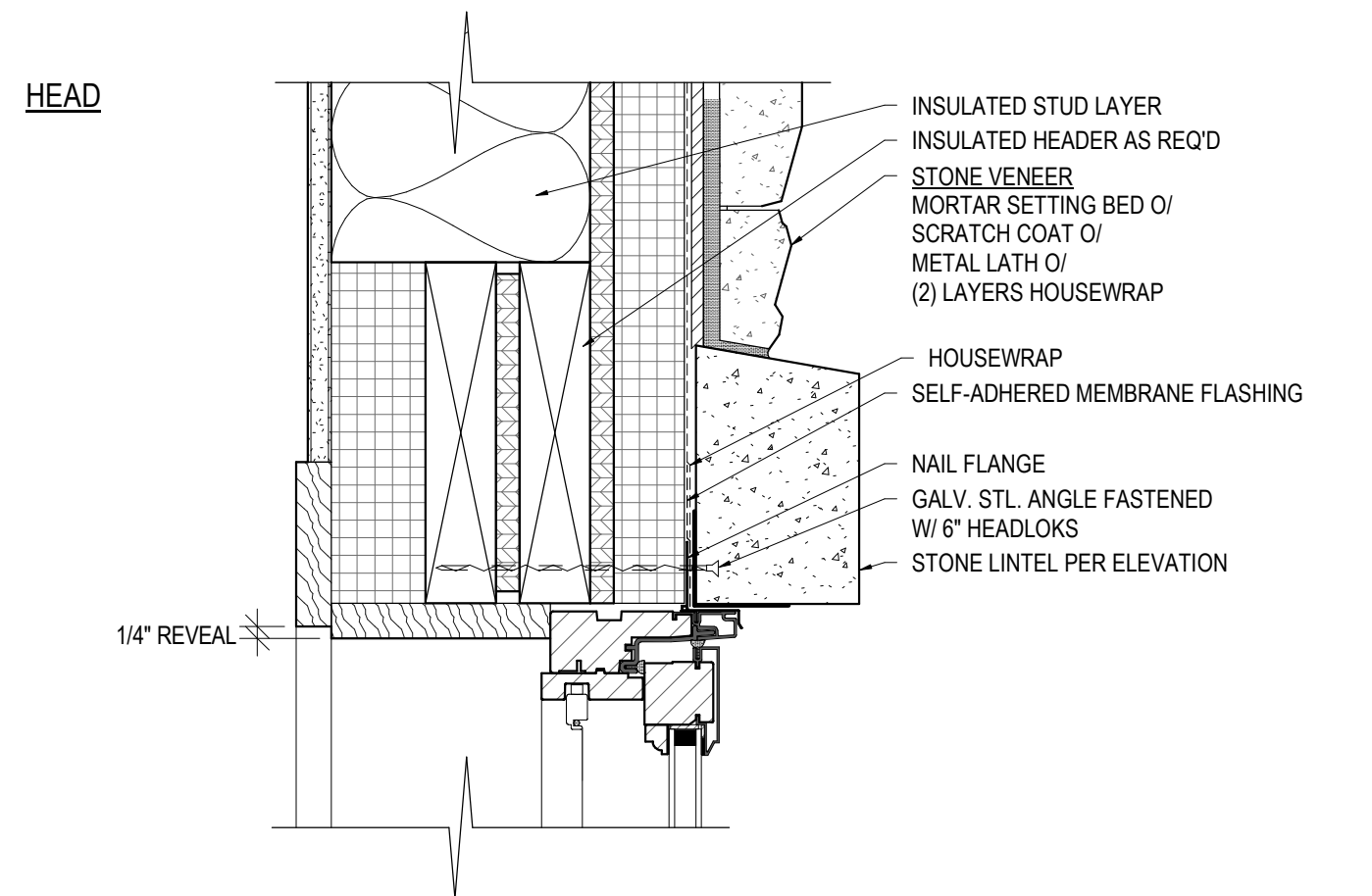
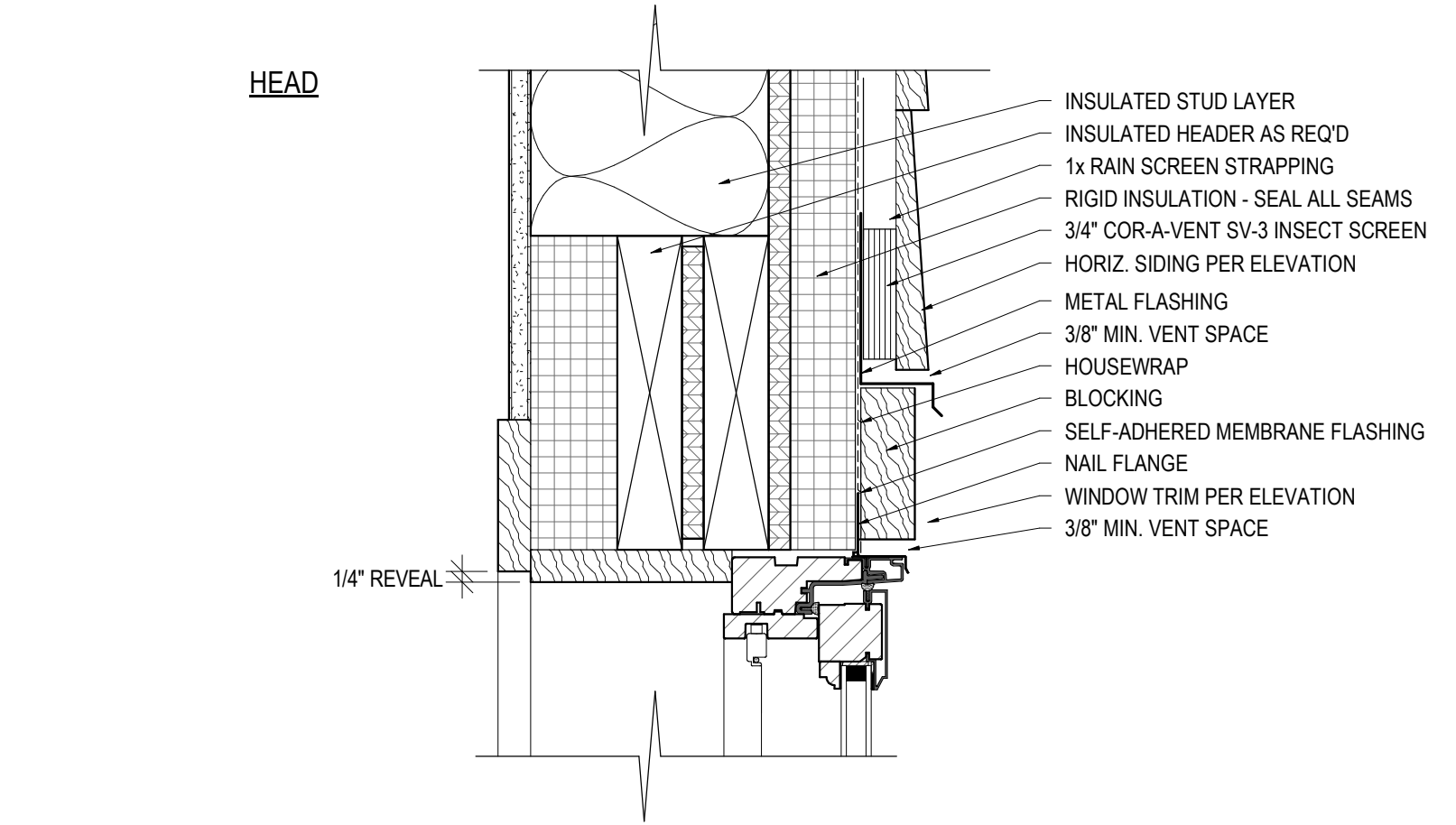
NO.	BY	DATE

PROJECT - DRAWING NUMBER

18-107

Schedule - Windows							
Type Mark	Type	Width	Height	Rough Width	Rough Height	Assembly Name	Manufacturer
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors
1	ELAWN2927	2' - 4"	2' - 3 1/8"	2' - 5"	2' - 3 5/8"		Marvin Windows and Doors

Schedule - Doors							
Door No.	Manufacturer	Description	Function	Width	Height	Rough Width	Rough Height
1	AS SELECTED	GARAGE MAN DOOR	Exterior	3' - 0"	7' - 0"	3' - 1"	7' - 1"
2	Carriage House Door Company	Garage Door	Exterior	9' - 0"	8' - 0"	9' - 0"	8' - 0"
3	Carriage House Door Company	Garage Door	Exterior	9' - 0"	8' - 0"	9' - 0"	8' - 0"
4	AS SELECTED	GARAGE MAN DOOR	Exterior	3' - 0"	6' - 8"	3' - 1"	6' - 9"



2 WDW. DTLS. @ FRAMED WALL W/ HORIZ. SIDING
A-7.0 3" = 1'-0"

1 WDW. DTLS. @ FRAMED WALL W/ STONE VENEER
A-7.0 3" = 1'-0"

PERMIT SET - NOT FOR CONSTRUCTION

REVISION INFORMATION	
NO.	BY DATE

WET SEAL & DATE

CLIENT INFORMATION

HOFFEND GARAGE
DAN & LAURIE HOFFEND
4853 WEST LAKE ROAD CANANDAIGUA, NY

DRAWING INFORMATION

WINDOW & DOOR
SCHEDULES
ISSUE DATE: **01/02/2020**
DRAWN BY: KZ
REVIEWED BY: TA

PROJECT - DRAWING NUMBER

18-107

A-7.0