

ONE-STAGE (PRELIMINARY/ FINAL) SITE PLAN SET  
FOR WEGMAN RESIDENCE -  
PROPOSED TENNIS COURT AND SITE IMPROVEMENTS  
4885 COUNTRY ROAD 16 (WEST LAKE ROAD)  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY - STATE OF NEW YORK

LIST OF DRAWINGS	
L0.0	COVER SHEET
L0.1	EXISTING CONDITIONS PLAN
L0.2	EXISTING SLOPES PLAN
L1.0	SITE PLAN
L2.0	GRADING PLAN
L2.1	TENNIS COURT ENLARGEMENT PLAN
L3.0	PLANTING PLAN
L4.0	SITE AND PLANTING DETAILS
C1.1	SITE DRAINAGE AND EROSION CONTROL PLAN
C1.2	SITE DRAINAGE AND EROSION CONTROL DETAILS
A1.1	TENNIS COURT PAVILION (JAMES FAHY DESIGN)

ZONING CHART - TOWN OF CANANDAIGUA	
ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)	
MIN. LOT SIZE	20,000 SQ. FT
MIN. LOT WIDTH	125 FT.
MIN. FRONT YARD SETBACK	60 FT.
MIN. REAR YARD SETBACK	60 FT.
MIN. SIDE YARD SETBACK	12 FT.
MIN. REAR YARD SETBACK (ACCESSORY)	15 FT.
MAX. BUILDING HEIGHT	25 FT.
MAX. BUILDING COVERAGE ON LOT	15%
MAX. LOT COVERAGE	25%



LOCATION PLAN  
NOT TO SCALE



LOT COVERAGE CALCULATIONS

EXISTING		PROPOSED	
LOT COVERAGE CALCULATIONS	SQ. FT.	LOT COVERAGE CALCULATIONS	SQ. FT.
MAIN HOUSE AND GARAGES	6735	MAIN HOUSE AND GARAGES	6735
CARRIAGE HOUSE	970	CARRIAGE HOUSE	970
BEACH HOUSE	1106	BEACH HOUSE	1106
WINDOW WELL WALL	33	WINDOW WELL WALL	33
SOUTH STONE WALL	293	SOUTH STONE WALL	293
MAIN HOUSE REAR PATIO (AND NEW STEPS)	861	MAIN HOUSE REAR PATIO (AND NEW STEPS)	861
LAKEFRONT SOUTH LEDGESTONE RET. WALL	75	LAKEFRONT SOUTH LEDGESTONE RET. WALL	75
LAKEFRONT BREAKWALLS	989	LAKEFRONT BREAKWALLS	989
BEACH HOUSE PATIO AND WALKWAY	846	BEACH HOUSE PATIO AND WALKWAY	846
BEACH HOUSE TIMBER / STONE WALLS	1306	BEACH HOUSE TIMBER / STONE WALLS	1306
TRAM PATIO, PATH, AND WALLS	910	TRAM PATIO, PATH, AND WALLS	910
UPPER PATIO CONCRETE	845	UPPER PATIO CONCRETE	845
UPPER PATIO - STAIRS AND WALL <u>ONLY</u>	200	UPPER PATIO - STAIRS AND WALL <u>ONLY</u>	200
WOODLAND STONE RET. WALLS	383	WOODLAND STONE RET. WALLS	383
WOODLAND STAIRS	454	WOODLAND STAIRS	454
AUTOCOURT TIMBER / BOULDER WALLS	1083	AUTOCOURT TIMBER / BOULDER WALLS	1083
ROADSIDE BERM RET. WALL	325	ROADSIDE BERM RET. WALL	325
		ROADSIDE BERM RET. WALL EXTENSION	42
FRAME GARAGE PATIO	121	FRAME GARAGE PATIO	121
		FRAME GARAGE PATIO ACCESS WALK	86
		FRAME GARAGE GRAVEL DRIVE W/ LAWN STRIPS	740
		SOUTH SIDE SERVICE AREA (GRAVEL)	493
		BOARDWALK TO THE BOAT STATION	296
		LOWER TERRACE, WALLS, AND STAIRS	834
		LOWER DRIVEWAY	797
		IMPROVED UPPER DRIVEWAY	4513
		CAR PULL-OFF AREA	311
		BOULDER RAMP EDGE	161
		LAKE ACCESS STAIRS	252
		AUTOCOURT PAVING, PORCHES, AND GARAGE WALKWAYS	4350
		AUTOCOURT STONE RET. WALL	134
		TENNIS COURT	7000
		TENNIS COURT ACCESS WALK	303
		TENNIS COURT PAVILION AND STEPS	405
		TENNIS COURT PAVILION RETAINING WALL	35
		TENNIS COURT HITTING WALL	149
		TENNIS COURT ENCLOSURE CURB	227
		TENNIS COURT ACCESS STAIRS	75
		LEDGESTONE OUTFALL / LEVEL SPREADER	70
TOTAL COVERAGE	31070	TOTAL COVERAGE	38946
TOTAL SITE AREA	145186	TOTAL SITE AREA	145186
BUILDING COVERAGE	6%	BUILDING COVERAGE	6%
TOTAL LOT COVERAGE	21%	TOTAL LOT COVERAGE	26.82%

PROJECT SCHEDULE

		START DATE	COMPLETION DATE
1.	ANTICIPATED START DATE	03/16/2020	
2.	EROSION CONTROL IN-PLACE	03/16/2020	03/18/2020 (ON-GOING MAINTENANCE)
3.	DEMOLITION & SITE PREPARATION ACTIVITIES	03/18/2020	03/25/2020
4.	TENNIS COURT & SITE IMPROVEMENTS	03/26/2020	05/01/2020
5.	INSTALLATION OF PERMANENT VEGETATION & SEEDING	05/01/2020	05/25/2020
6.	ANTICIPATED DATE OF SUBSTANTIAL COMPLETION		05/25/2020

GENERAL NOTES:

1. EXISTING CONDITIONS/ BASE MAP INFORMATION IS FROM A SITE SURVEY CONDUCTED BY VENEZIA LAND SURVEYORS AND CIVIL ENGINEERS DATED 6/11/19.
2. PROPERTY LINE INFORMATION SHOWN ON PLANS IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
3. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O AT 1-8000-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
4. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES. THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P #3605980025C MAP REVISED MARCH 3, 1997.
5. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
6. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.
7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT OF WAY.
9. DUE TO THE FACT THAT THE PROJECT WILL DISTURB MORE THAN 1-ACRE OF LAND, THE PROJECT WILL BE REQUIRED TO FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NYS DEC SPDES GENERAL PERMIT GP-0-15-002. THE FILLING OF THE NOI WILL INCLUDE THE DEVELOPMENT AND IMPLEMENTATION OF A STORMWATER POLLUTION PREVENTION PLAN.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON

FOR PERMITTING ONLY



Scale:	NTS	Checked By:	MHB	Drawn By:	DPZ	Design By:	BLA	Date:	12.12.2019	Project No:	△	No.	Revisions	REV. PER PRC COMMENTS	12.20.2019	Date

WEGMAN RESIDENCE  
4885 COUNTRY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

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L0.0



Site Details:  
Existing Zoning is Residential Lake District (RLD)  
Minimum Lot Size: 20,000 SQ. FT.  
Minimum Lot Width: 125 FT.  
Front Setback: 60 FT.  
Rear Setback: 60 FT.  
Side Setback: 12 FT.  
Maximum Building Height = 25 FT.  
Maximum Building Coverage on Lot = 15%  
Maximum Lot Coverage = 25%

Contours derived from NAVD88 Datum

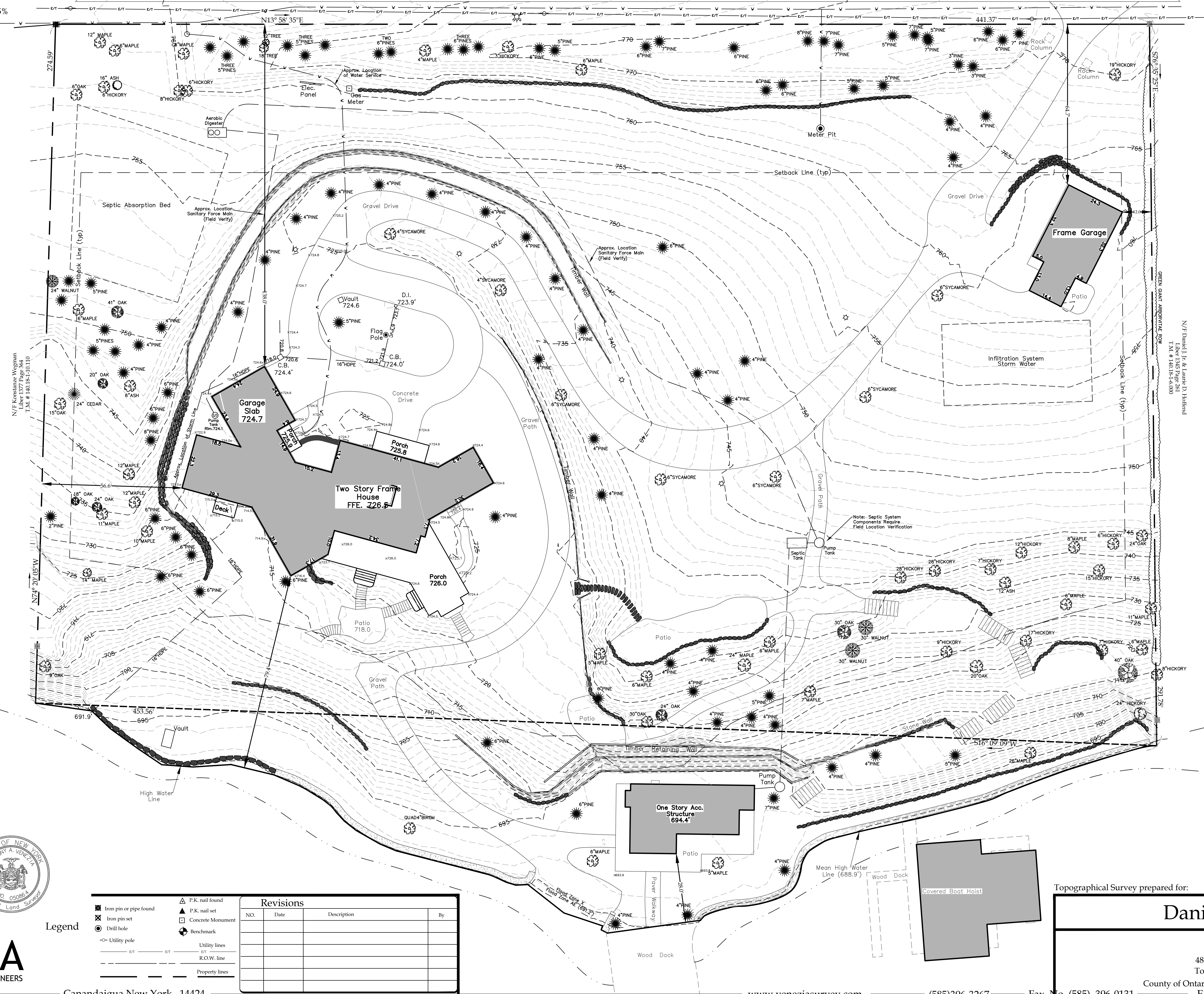
Flood Zones AE & X Per Community Panel  
No. 360598 0025 C Last Dated March 3, 1997.

## County Road 16

(R.O.W. Varies)  
(30' Pavement Width)

" Unauthorized alteration or addition  
to a map bearing a Licensed  
Professional Engineer's or  
Professional Land Surveyor's seal in  
any way is a Violation of Section 7209

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This is to certify that I am a  
Licensed Land Surveyor and that this plan  
was completed on 6/11/2019  
from notes of an instrument survey  
performed on 6/10/2019



Anthony A. Venezia  
License No. 050864 signed

**VENEZIA**  
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane Canandaigua New York, 14424

Legend

- Iron pin or pipe found
- Iron pin set
- Ditch hole
- Utility pole
- P.K. nail found
- P.K. nail set
- Concrete Monument
- Benchmark
- Utility lines
- EIT
- R.O.W. line
- Property lines

Revisions			
NO.	Date	Description	By

Topographical Survey prepared for:

**Daniel Wegman**

Showing Land  
At  
4885 County Road 16  
Town of Canandaigua  
County of Ontario State of New York  
E-mail rocco@veneziasurvey.com

Tax Map# 140.18-1-16.0  
Scale: 1" = 20'  
Job # 19015

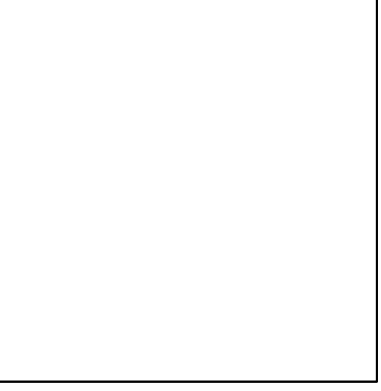
www.veneziasurvey.com (585)396-3267 Fax. No. (585) 396-0131

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WEGMAN RESIDENCE  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

EXISTING CONDITIONS PLAN

Scale:	AS NOTED	No.	Revisions	Date
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Drawn By:	AS NOTED			
Design By:	AS NOTED			
Date:	12-12-2019			12-20-2019
Project No:				

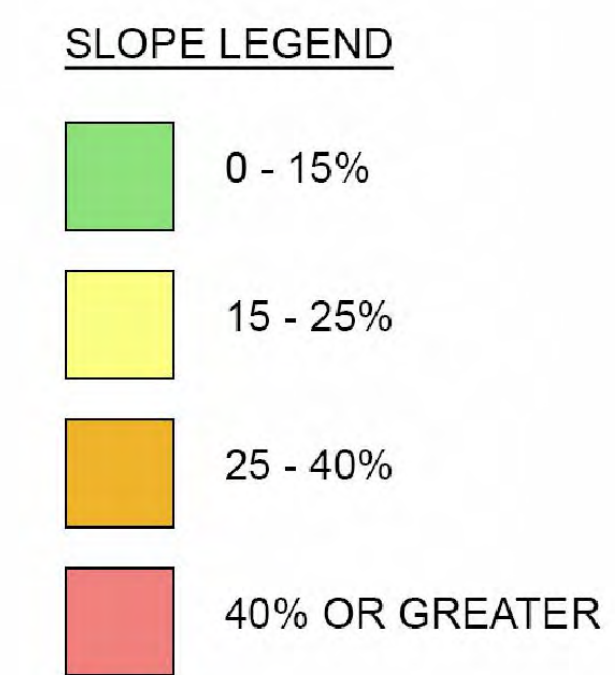


**Bayer Landscape Architecture, PLLC**  
19 North Main Street  
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P: 585-582-2000  
F: 585-582-2005  
bayerla.com

**L0.1**



County Road 16  
( R.O.W. Varies )  
( 30' Pavement Width )



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Date:	12.12.2019
Rev.	REV. PER IFC COMMENTS
Project No.	C-1786

SITE SLOPE DISTURBANCE	
TOTAL SITE DISTURBANCE: 46,445 SQ. FT.	
SLOPE	AREA
0-15%	26,008 SQ. FT.
15-25%	14,761 SQ. FT.
25-40%	4,190 SQ. FT.
40%+	1,486 SQ. FT.

### ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
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APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN  
SIGNED BY THE PLANNING BOARD CHAIRPERSON

WEGMAN RESIDENCE  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

## EXISTING SLOPES PLAN

## L0.2



( R.O.W. Varies )  
( 30' Pavement Width )



EXISTING MEADOW

NEW "LOW-GROW" GRASSES/ MEADOW

EXISTING PLANTING AREA

NEW PLANTING AREA

NEW RAIN GARDEN

EXISTING EDGE OF WOODLAND / WOODED AREA

1. EXISTING CONDITIONS/ BASE MAP INFORMATION IS FROM A SITE SURVEY CONDUCTED BY VENEZIA LAND SURVEYORS AND CIVIL ENGINEERS TITLED "4885 COUNTY ROAD 16" AND DATED 06/11/2019.
2. LOCATE, PROTECT, AND MAINTAIN BENCH MARKS, MONUMENTS, CONTROL POINTS, AND PROJECT ENGINEERING REFERENCE POINTS.
3. EXAMINE THE AREAS AND CONDITIONS UNDER WHICH SITE WORK WILL BE PERFORMED. REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE LANDSCAPE ARCHITECT. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LAYOUT THE PROJECT IN THE FIELD FOR REVIEW WITH THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT TO MAKE MINOR FIELD ADJUSTMENTS TO THE LAYOUT AS REQUIRED TO ACHIEVE THE DESIGN INTENT.
5. THE CONTRACTOR SHALL VERIFY THE LAYOUT OF ALL SITE ELEMENTS AND REPORT CONFLICTS TO THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
7. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FOR THE DURATION OF CONSTRUCTION.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DELINEATE THE EXISTING STORMWATER INFILTRATION AREA AND ALL RAIN GARDEN AREAS IN THE FIELD, AND THAT NO EQUIPMENT SHALL BE PERMITTED TO ENTER THESE AREAS TO AVOID COMPACTION IN THESE AREAS.
9. REFER TO ASIST ENGINEER'S SITE DRAINAGE AND EROSION CONTROL PLAN AND DETAILS FOR ALL UTILITY, EROSION CONTROL, AND DRAINAGE INFORMATION.

IF THE OWNER OPTS TO LIGHT THE TENNIS COURT, THE LIGHTS WILL COMPLY WITH TOWN CODE "SECTION 220-77. LIGHTING STANDARDS AND REGULATIONS"


PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE



**NORTH**

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Project No:	No.		Revisions	Date

WEGMAN RESIDENCE  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

## SITE PLAN

# L1.0



## ( 30' Pavement Width )



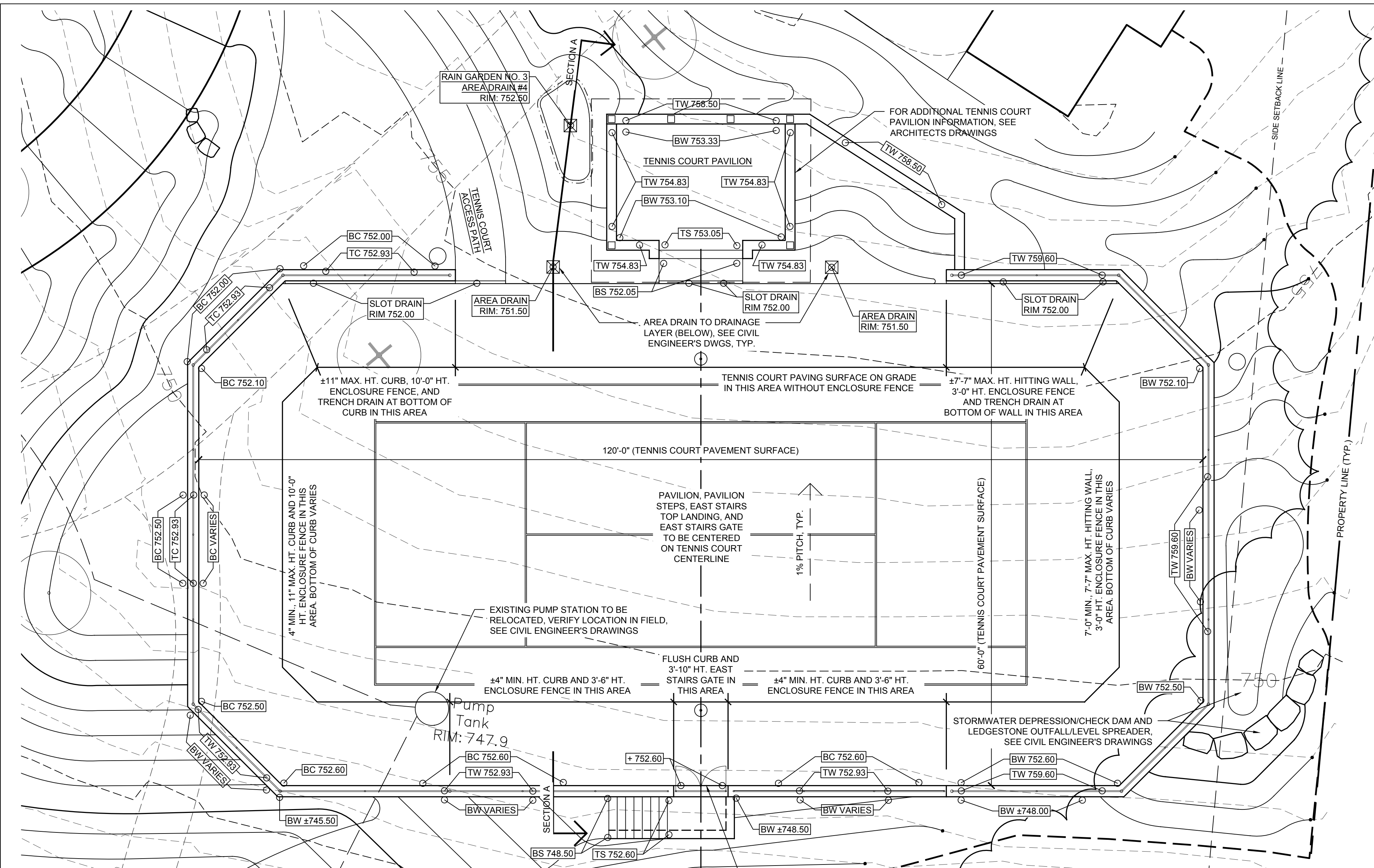
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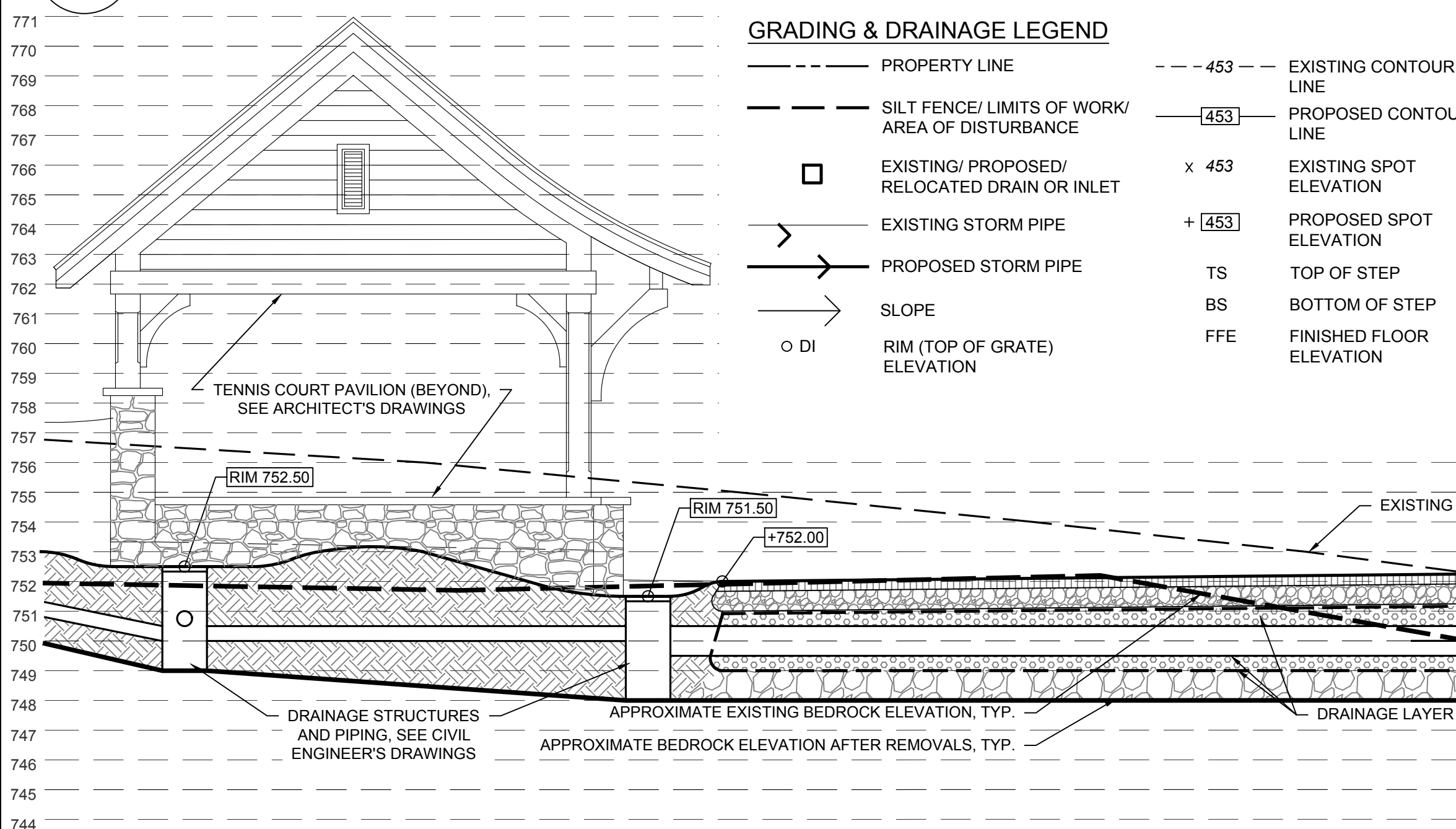
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NOTE:  
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SIGNED BY THE PLANNING BOARD CHAIRPERSON



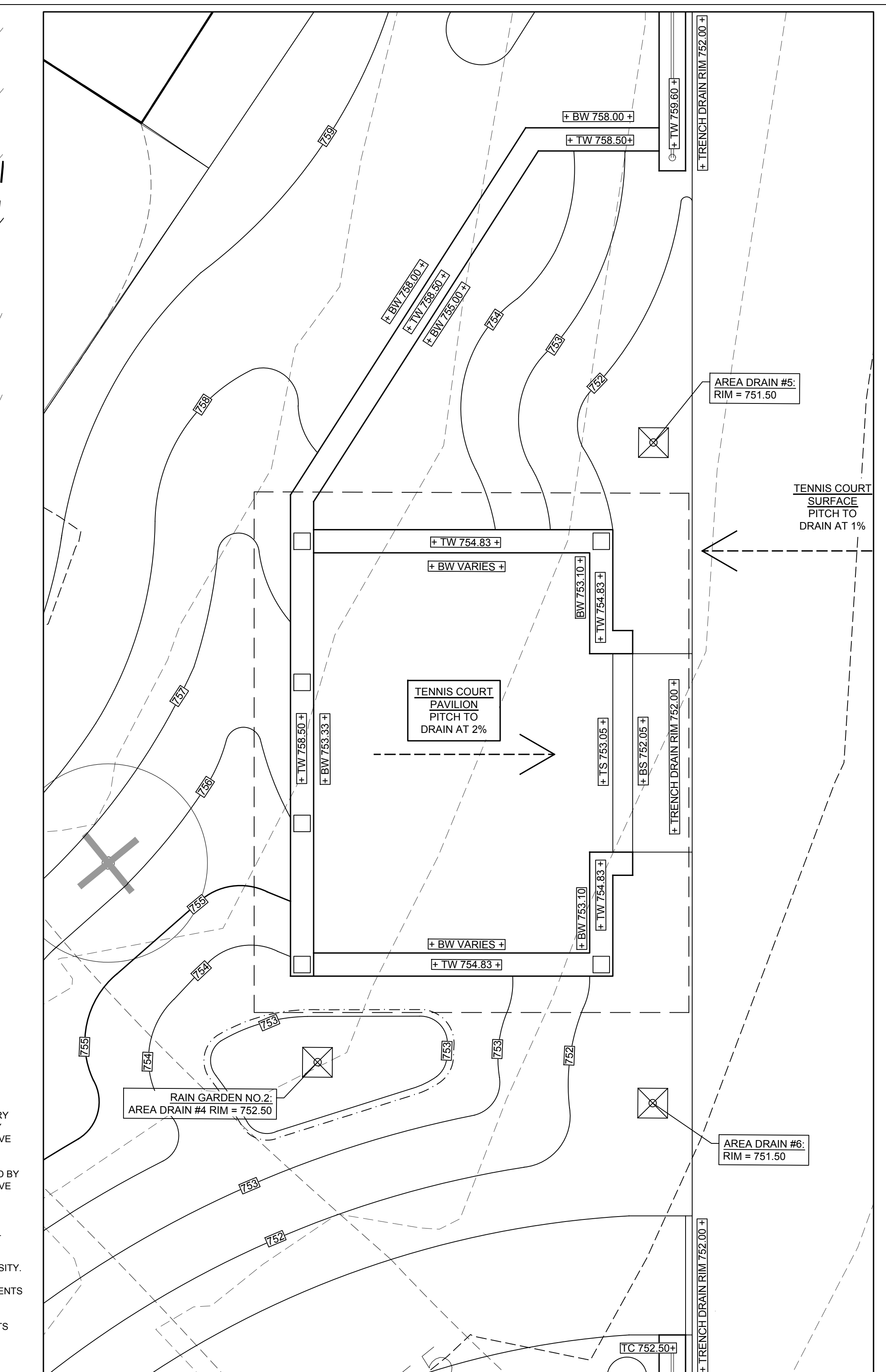


1  
L2.1  
**TENNIS COURT ENLARGEMENT PLAN**  
SCALE: 1/4" = 1'-0"



2  
L2.1  
**SECTION A.A - TENNIS COURT CROSS-SECTION**  
SCALE: 1/4" = 1'-0"

- GRADING & DRAINAGE NOTES:**
- EXISTING CONDITIONS/ BASE MAP INFORMATION IS FROM A SITE SURVEY CONDUCTED BY VENEZIA LAND SURVEYORS AND CIVIL ENGINEERS DATED 06/11/2019.
  - CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION. FIELD CONDITIONS MAY VARY FROM THE SURVEY UTILIZED IN THESE CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING THE CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.
  - ALL PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING THE CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL CUT AND FILL OPERATIONS AND MATERIALS NECESSARY TO ACHIEVE THE ELEVATIONS SPECIFIED ON THIS PLAN, INCLUDING THE OFF SITE DISPOSAL OF ANY EXCESS MATERIALS IN A LEGAL MANNER.
  - ALL FILL AND BACKFILL MATERIALS MUST BE THOROUGHLY COMPACTED AS THEY ARE PLACED TO 95% MODIFIED PROCTOR DENSITY.
  - ADJUST THE HEIGHT OF ALL UTILITY FRAMES, GRATES, VALVES, HYDRANTS, AND ANY OTHER UTILITY STRUCTURES OR COMPONENTS AS REQUIRED TO ACHIEVE THE PROPER RELATIONSHIP TO THE PROPOSED FINISHED GRADES.
  - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DISTURBANCE OF, OR DAMAGE TO, EXISTING PLANTS TO REMAIN. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FOR THE DURATION OF CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE OSHA REGULATIONS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DELINEATE THE EXISTING STORMWATER INFILTRATION AREA AND ALL RAIN GARDEN AREAS IN THE FIELD, AND THAT NO EQUIPMENT SHALL BE PERMITTED TO ENTER THESE AREAS TO AVOID COMPACTION IN THESE AREAS.
  - REFER TO CIVIL ENGINEER'S SITE DRAINAGE AND EROSION CONTROL PLAN AND DETAILS FOR ALL UTILITY, EROSION CONTROL, AND DRAINAGE INFORMATION.



3  
L2.1  
**TENNIS COURT PAVILION GRADING ENLARGEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**ONE STAGE SITE PLAN APPROVAL**

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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**WEGMAN RESIDENCE**  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

**TENNIS COURT ENLARGEMENT PLAN**

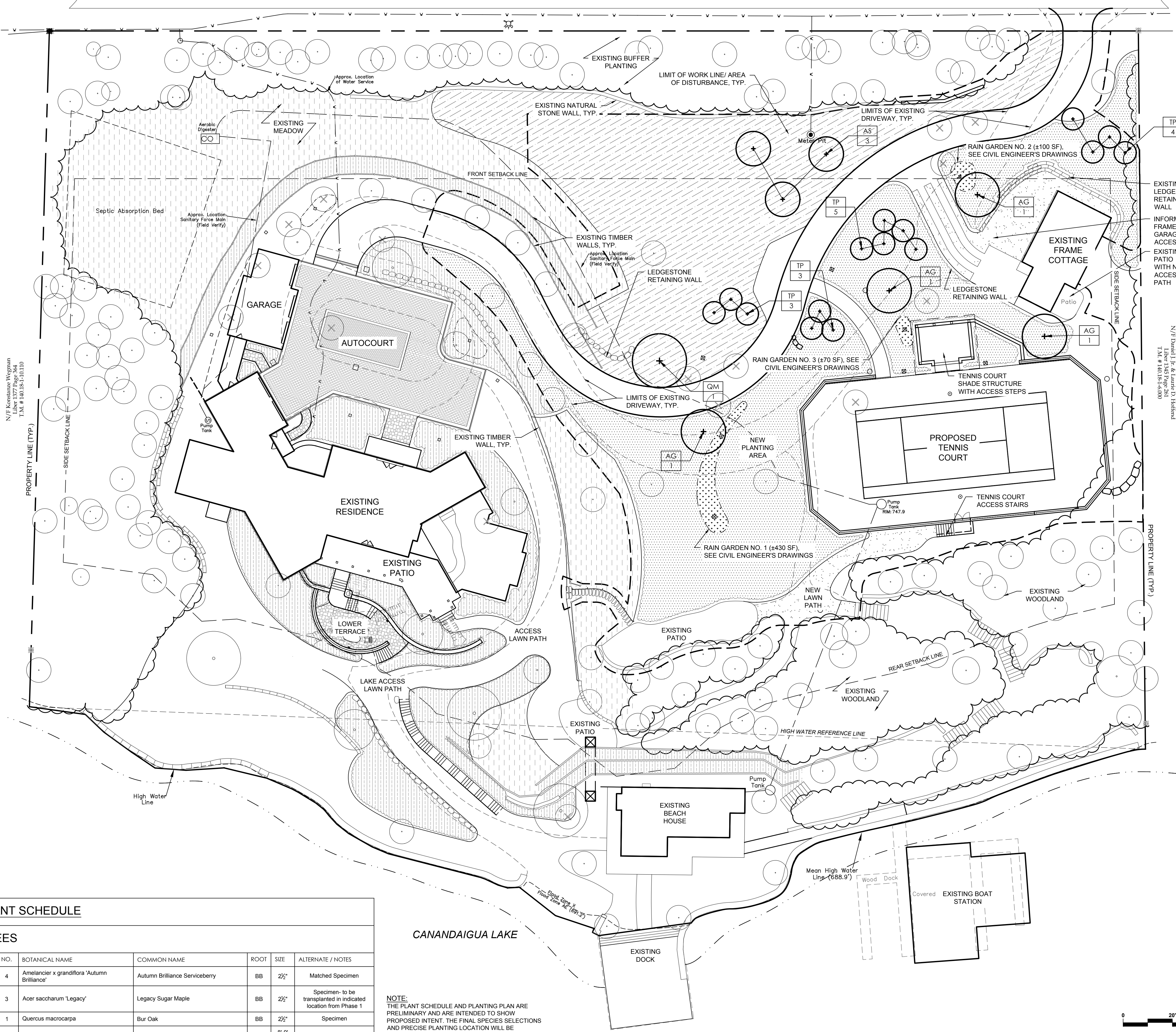
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MHB		DPZ	BLA		12/12/2019	REV. PER PRC COMMENTS			12/20/2019



County Road 16

(R.O.W. Varies)  
(30' Pavement Width)



PLANT SCHEDULE						
TREES						
KEY	NO.	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	ALTERNATE / NOTES
AG	4	Amelancier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	BB	2 1/2"	Matched Specimen
AS	3	Acer saccharum 'Legacy'	Legacy Sugar Maple	BB	2 1/2"	Specimen- to be transplanted in indicated location from Phase 1
QM	1	Quercus macrocarpa	Bur Oak	BB	2 1/2"	Specimen
TP	15	Thuja plicata 'Green Giant'	Green Giant Arborvitae	BB	8'-9' Ht.	Matched Specimens

NOTE:  
THE PLANT SCHEDULE AND PLANTING PLAN ARE PRELIMINARY AND ARE INTENDED TO SHOW PROPOSED INTENT. THE FINAL SPECIES SELECTIONS AND PRECISE PLANTING LOCATION WILL BE DETERMINED BASED ON PLANT AVAILABILITY AND FIELD CONDITIONS AT TIME OF PLANTING.

PLANTING LEGEND

ABBREVIATION OR SYMBOL	DESCRIPTION	ABBREVIATION OR SYMBOL	DESCRIPTION
•	EXISTING TREE		NEW "LOW-GROW" GRASSES/ MEADOW
✕	EXISTING TREE TO BE REMOVED		EXISTING PLANTING AREA
+	PROPOSED TREE OR SHRUB		EXISTING MEADOW
SYM #	TREE CALLOUT		NEW PLANTING AREA
	SHRUB PERENNIAL, AND/OR GROUND COVER PLANTINGS AS DETERMINED BY LANDSCAPE ARCHITECT.		
	LAWN SEED MIX		

RAIN GARDEN PLANTING NOTES:

RAIN GARDENS WILL BE PLANTED WITH THE FOLLOWING PLANT MATERIAL. PLANTS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT FOR INSTALLATION.

PLANT LIST		
BOTANICAL NAME	COMMON NAME	QTY
EUPATORIUM 'GATEWAY'	GATEWAY JOE PYE WEED	TBD
ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	TBD
PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY RED SWITCH GRASS	TBD

LOW-GROW GRASSES/ MEADOW MIX

LOW-GROW GRASS/ MEADOW AREAS TO BE SEEDED WITH PREFERRED SEED'S "LOW-GRO MIX" OF HARD FESCUE, CHEWINGS FESCUE AND SHEEPS FESCUE OR AN APPROVED EQUAL AT A MINIMUM RATE OF 6 LBS PER 1000 SF AT COMPLETION OF SITE GRADING. SEEDED AREAS TO BE MAINTAINED THROUGH FULL ESTABLISHMENT OF GRASS, INCLUDING (3) MOWINGS. PREFERRED SEED CONTACT: 1-877-7333

STABILIZE SLOPE OF 1:3 OR GREATER WITH AMERICAN EXCELSIOR COMPANY CURLEX II CL OR APPROVED EQUAL. INSTALL ACCORDING TO MANUFACTURES RECOMMENDATIONS, TYP.

PLANTING NOTES:

- ALL DISTURBED AREAS SHALL RECEIVE 6" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED PER THE SEED SCHEDULE ON THIS PLAN.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- HAVE SOIL MIX TESTED BY AN APPROVED HORTICULTURAL TESTING LAB. ADD RECOMMENDED ORGANIC SLOW RELEASE FERTILIZERS AS REQUIRED AT THE RECOMMENDED RATES (SEE NOTES 5 AND 6 FOR FERTILIZER RESTRICTIONS.)
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.
- ALL BED CONFIGURATIONS AND LAYOUT OF ALL PLANT MATERIAL SHALL APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- PLANTING MEDIUM SHALL BE COMPRISED OF 3 PARTS APPROVED TOPSOIL AND 1 PART APPROVED AGED COMPOST BY VOLUME. PLANTING MEDIUM SHALL BE THOROUGHLY BLENDED PRIOR TO PLACEMENT.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- ALL SEEDED AREAS SHALL BE MAINTAINED AND WATERED UNTIL A HEALTHY STAND OF GRASS, FREE OF WEEDS, IS ESTABLISHED. MOWINGS HAVE BEEN COMPLETED.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.

TEMPORARY SEEDING NOTES:

- TEMPORARILY STABILIZE DISTURBED AREAS OF THE SITE WHEREVER ESTABLISHMENT OF PERMANENT COVER IS NOT FEASIBLE UNTIL A LATER DATE. SEED ALL CUT AND FILL AREAS, TOPSOIL PILES AND SWALES WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- IF SOILS ARE COMPACTED, SCARIFY UPPER TWO INCHES BY BACKBLADING, RAKING, OR LIGHTLY DISKING.
- ALL SOILS SHALL BE TESTED BY AN APPROVED HORTICULTURAL TESTING LAB. SEE PLANTING NOTES 5, 6 AND 7 REGARDING USE OF FERTILIZERS.
- SEED WITH THE FOLLOWING MIX:

SPRING/SUMMER/EARLY FALL	6 LBS/1,000SF	ANNUAL RYEGRASS
LATE FALL/EARLY WINTER	6 LBS/1,000SF	CEREAL RYE
- CONTRACTOR SHALL MAINTAIN SEEDED AREA UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED WITH A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
- APPLY STRAW MULCH AS NECESSARY TO HOLD IN MOISTURE, PROTECT SOIL FROM EROSION, HOLD SEED IN PLACE, AND KEEP SOIL TEMPERATURES MORE CONSTANT. 3 BALES PER 1000 SQ. FT.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

TOWN HIGHWAY & WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON

FOR PERMITTING ONLY

**Bayer Landscape Architecture, PLLC**  
19 North Main Street  
Honeoye Falls, New York 14472  
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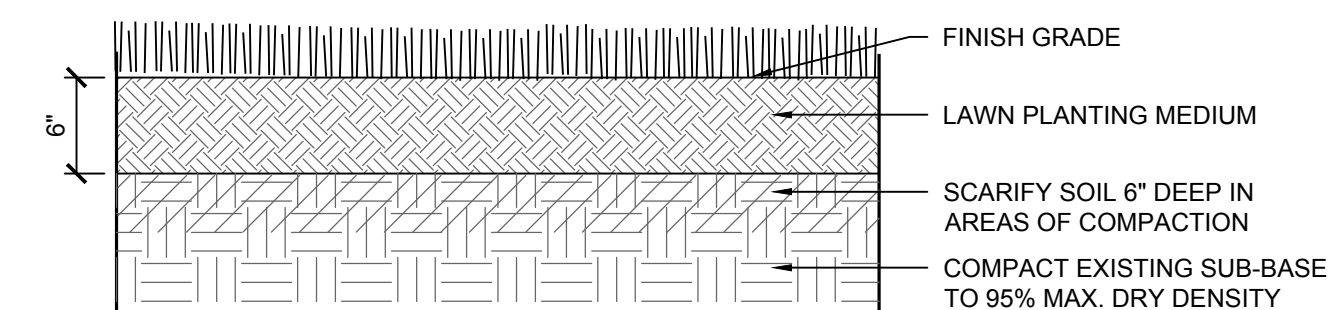
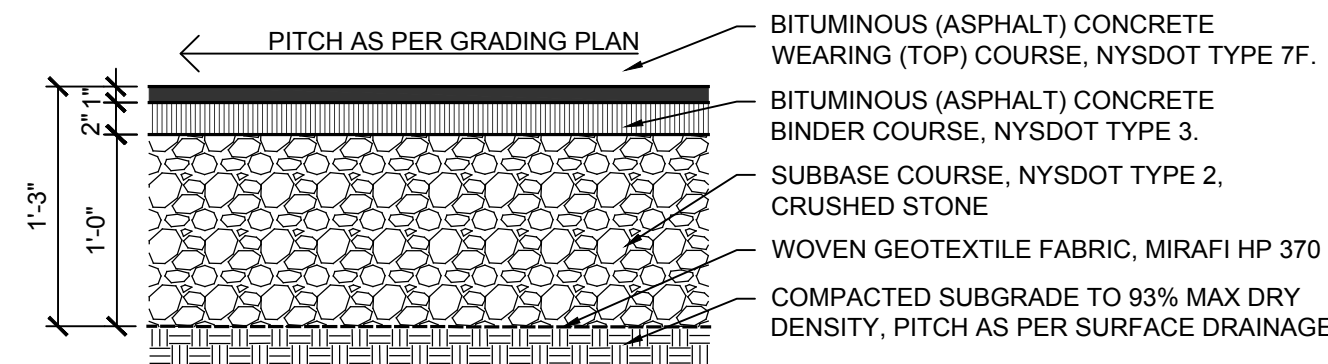
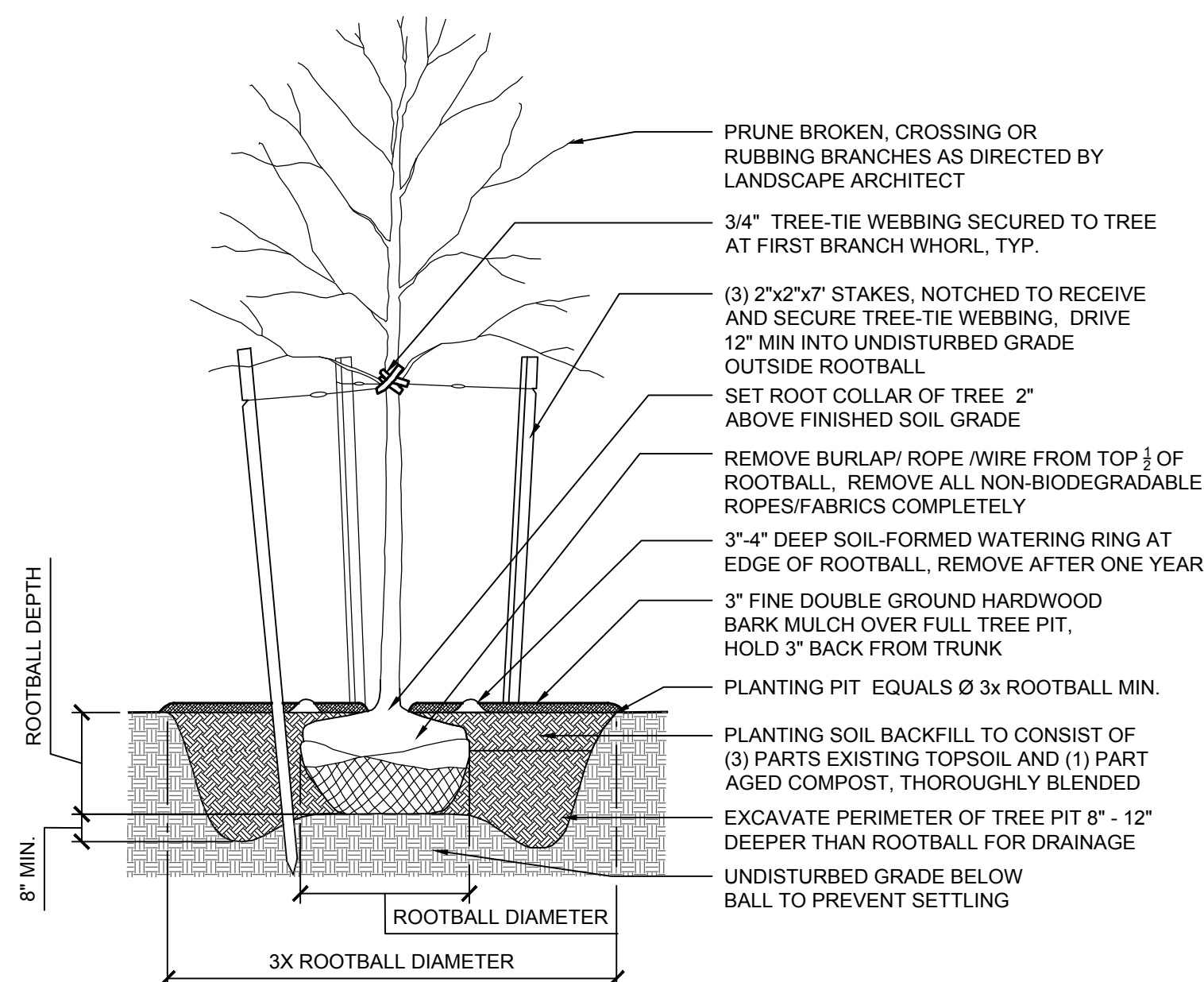
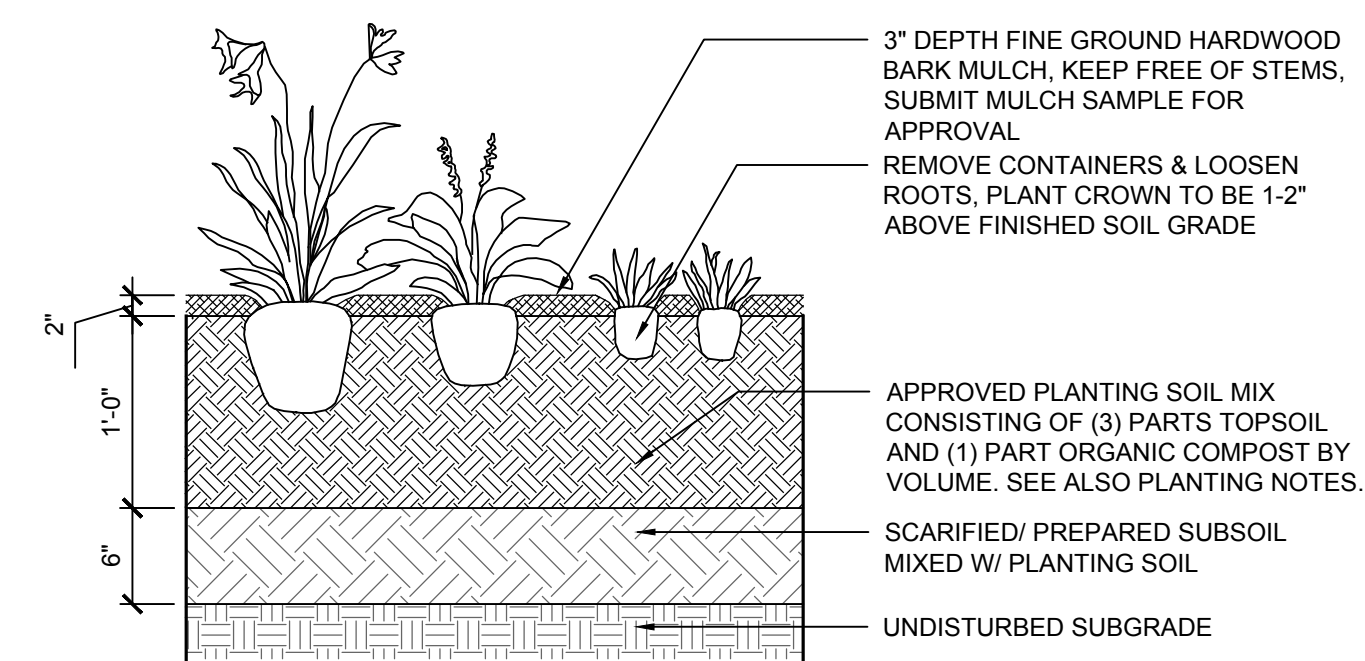
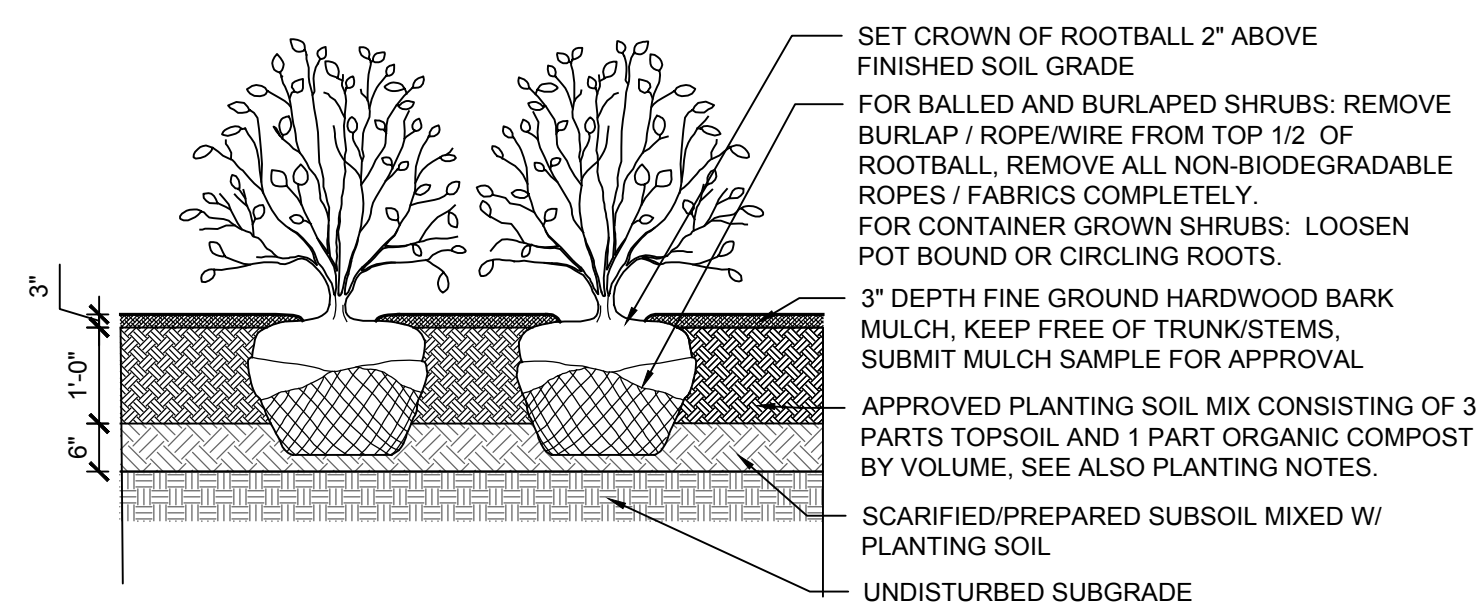
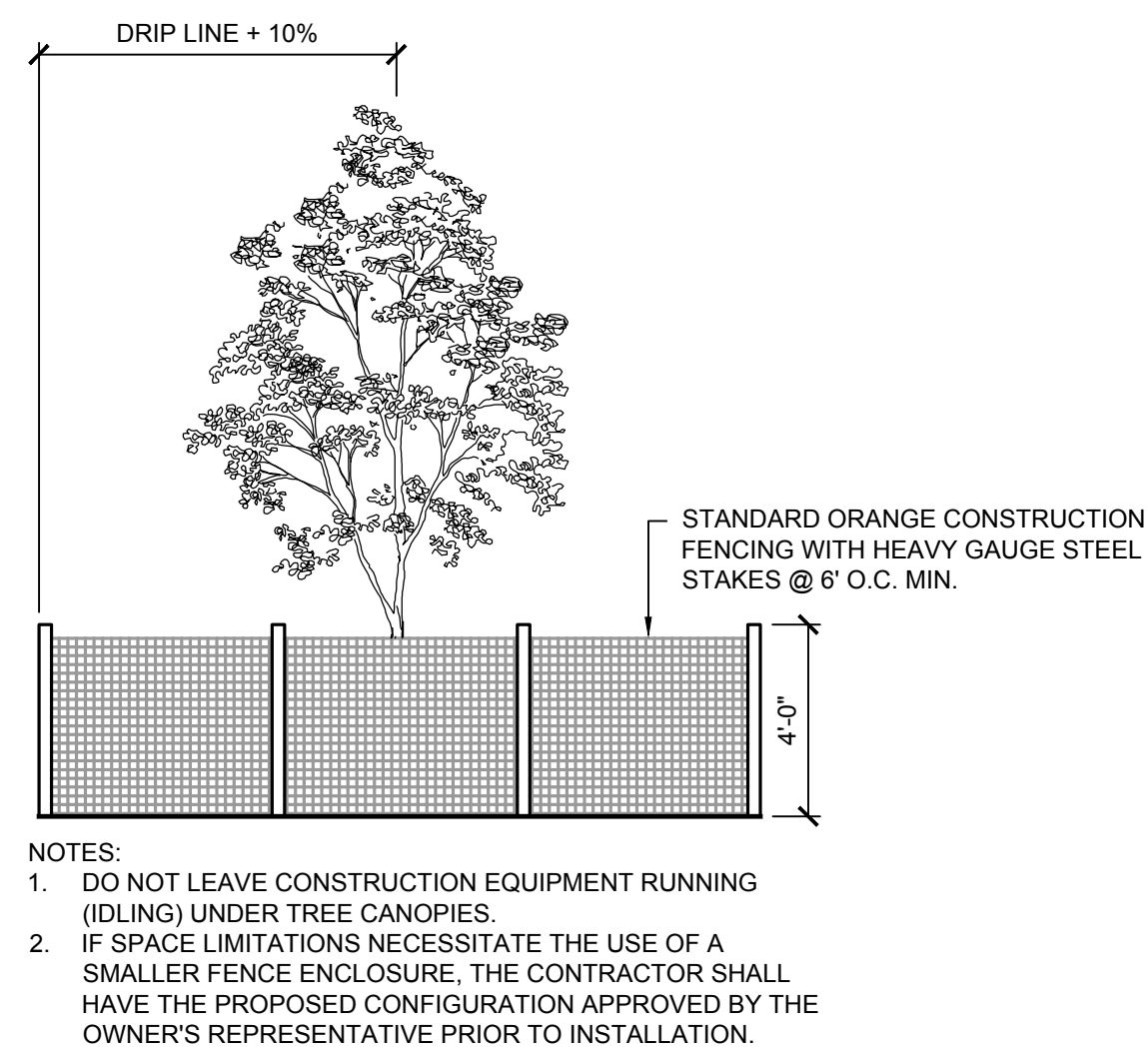
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WEGMAN RESIDENCE  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

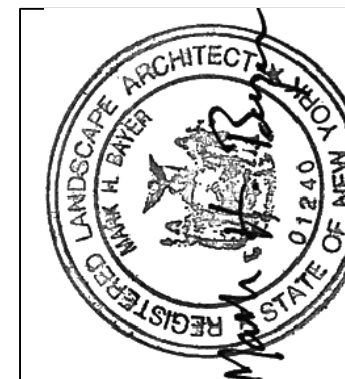
PLANTING PLAN

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Design By:	BLA		
Date:	12.12.2019	△	REV. PER PRC COMMENTS
			12.20.2019

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TOWN OF CANANDAIGUA, NEW YORK

## SITE AND PLANTING DETAILS

## L4.0

ONE STAGE SITE PLAN APPROVAL

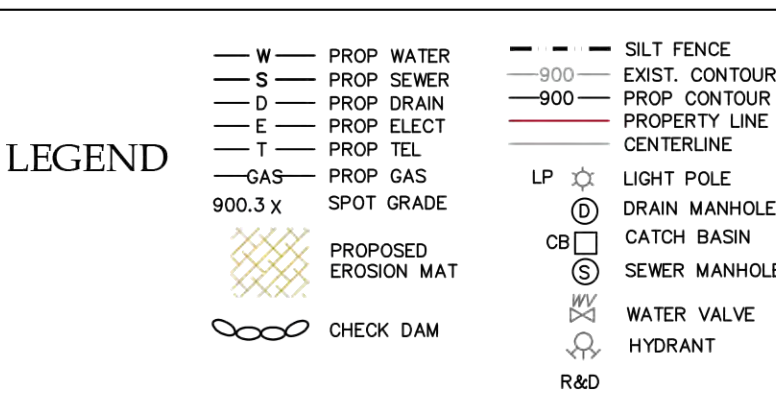
PLANNING BOARD CHAIRPERSON	DATE
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TOWN HIGHWAY &amp; WATER SUPERINTENDENT      DATE

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NOTE:  
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APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN  
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EXISTING CONDITIONS/ BASE MAP INFORMATION IS FROM A SITE SURVEY CONDUCTED BY VENEZIA LAND SURVEYORS AND CIVIL ENGINEERS' DATED 06/11/2019.

2. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION. FIELD CONDITIONS MAY VARY FROM THE SURVEY UTILIZED IN THESE CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING THE CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.

3. ALL PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING THE CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DECISION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL CUT AND FILL OPERATIONS AND MATERIALS NECESSARY TO ACHIEVE THE ELEVATIONS SPECIFIED ON THIS PLAN, INCLUDING THE OFF SITE DISPOSAL OF ANY EXCESS MATERIALS IN A LEGAL MANNER.

5. ALL FILL AND BACKFILL MATERIALS MUST BE THOROUGHLY COMPACTED AS THEY ARE PLACED TO 95% MODIFIED PROCTOR DENSITY.

6. ADJUST THE HEIGHT OF ALL UTILITY FRAMES, GRATES, VALVES, HYDRANTS, AND ANY OTHER UTILITY STRUCTURES OR COMPONENTS AS REQUIRED TO ACHIEVE THE PROPER RELATIONSHIP TO THE PROPOSED FINISHED GRADES.

7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT TURBULENCE OF, OR DAMAGE TO, EXISTING PLANTS TO REMAIN. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FOR THE DURATION OF CONSTRUCTION.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE OSHA REGULATIONS.

9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DELINEATE THE EXISTING STORMWATER INFILTRATION AREA AND ALL RAIN GARDEN AREAS IN THE FIELD, AND THAT NO EQUIPMENT SHALL BE PERMITTED TO ENTER THESE AREAS TO AVOID COMPACTION IN THESE AREAS.

1. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL FINAL GRADING, LANDSCAPE/PLANTING, AND PERMANENT STABILIZATION HAS BEEN COMPLETED.
2. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
3. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
4. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
5. ANY MODIFICATION OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO STABILIZE ALL STEEP SLOPE AREAS (1:3 V:H OR STEEPER) WITH A ROLLED EROSION CONTROL PRODUCT AND STEEP SLOPE SEED MIX.
8. ALL AREAS OF SOIL DISTURBANCE SHALL RECEIVE TEMPORARY SEEDING IMMEDIATELY AFTER SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION SHALL BE INITIATED WITHIN 1 BUSINESS DAY OF CEASING SOIL DISTURBANCE ACTIVITIES AND COMPLETED WITHIN 14 DAYS.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE AND WASHING INTO ADJACENT PROPERTIES AND CANANDAIGUA LAKE.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL REQUIRED DUST PROTECTION AND BARRIERS ON SITE TO MITIGATE THE IMPACTS TO THE ADJACENT PROPERTIES AND LAKE.
11. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER RECEIVING AUTHORIZATION FROM THE TOWN OF CANANDAIGUA.

1. ALL EROSION CONTROL MEASURES INCLUDING PERIMETER EROSION CONTROL AND SEDIMENTATION DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES, AND DESIGNATED MATERIAL HOLDING AND STAGING AREAS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. REMOVE ALL TREES THAT ARE SCHEDULED FOR REMOVAL DOWN TO STUMP. STUMP REMOVAL SHALL TAKE PLACE DURING SITE CONSTRUCTION PHASE.
3. BEGIN GENERAL CONSTRUCTION ACTIVITIES FOR BUILDING AND SITE IMPROVEMENTS .
4. CONSTRUCT NEW BUILDING ADDITION, TERRACE, AND NEW GARAGE.
5. CONSTRUCT ENHANCED AUTOCOURT, PATHWAYS, AND MISCELLANEOUS SITE IMPROVEMENTS IN THE UPPER AREA AND MAIN AREAS.
6. COMPLETE ALL PLANTING AND SEEDING WORK.
7. FINALIZE ALL WORK INCLUDING BUILDING, SITE WORK AND LANDSCAPE AND PLANTING WORK. PERMANENTLY STABILIZE ALL AREAS ON SITE.
8. AFTER SITE IS STABILIZED, ALL EROSION CONTROL MEASURES CAN BE REMOVED AND MONITORING OF THE SITE CAN CEASE ONLY AFTER APPROVAL HAVE BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR REPRESENTATIVE.
9. RAIN GARDENS SHALL NOT BE INSTALLED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE ACHIEVED FINAL STABILIZATION.

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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Design By:	evj		
Date:	12.12.2019	△	
Project No:	No.	Revisions	12.20.2019

WEGMAN RESIDENCE  
4885 COUNTY ROAD 16  
TOWN OF CANANDAIGUA, NEW YORK

# SITE DRAINAGE AND EROSION CONTROL PLAN

# C1.1







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PROJECT:  
ADDITION  
WEGMAN RESIDENCE  
4885 WEST LAKE RD.  
CANANDAIGUA, NY

CLIENT:  
DANNY & PAULA WEGMAN

DRAWING TITLE:  
TENNIS COURT PAVILION

PHASE:  
PRELIMINARY PLAN

JOB NO. A19-133	PROJECT NO. ADDITION/RENOVATION
DRAWN BY: CRB	DRAWING NO:  A1.0
CHECKED BY: JRF	
DATE: 12-11-2019	

