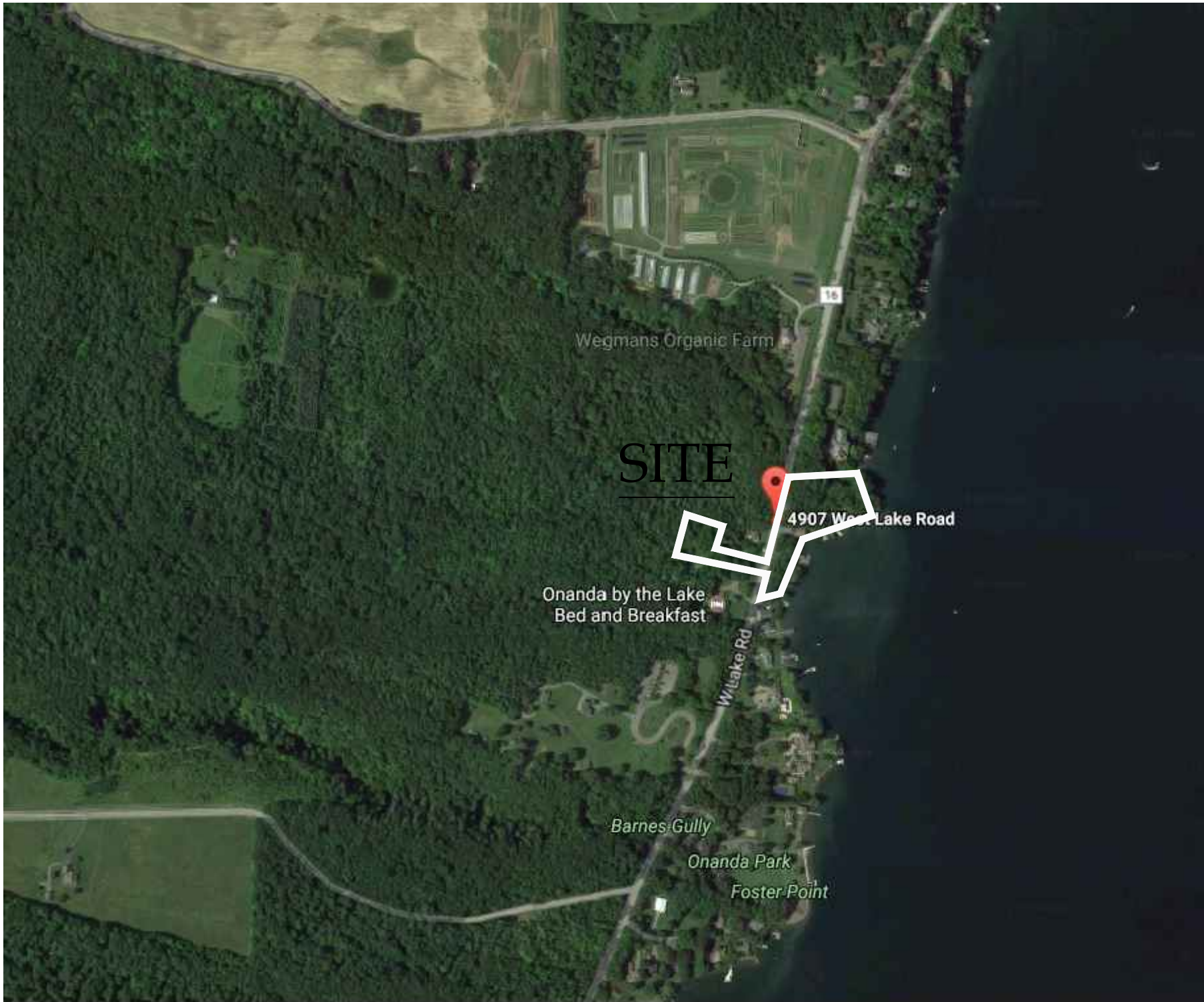
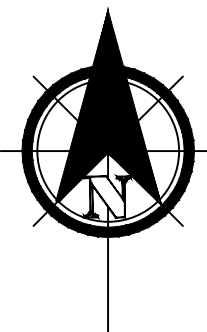


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET  
FOR  
DANIEL R. WEGMAN  
WEGMAN-WEHLE RESIDENCE  
4905 COUNTY ROAD 16 (WEST LAKE ROAD)  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY -- STATE OF NEW YORK



AERIAL LOCUS  
NOT TO SCALE

SITE DATA

EXISTING ZONING IS RESIDENTIAL LAKE DISTRICT (RLD)  
MINIMUM LOT SIZE: 20,000 SQ. FT.  
MINIMUM LOT WIDTH: 125 FT  
FRONT SETBACK: 60 FT.  
REAR SETBACK: 60 FT.  
SIDE SETBACK: 12 FT.  
MAXIMUM BUILDING HEIGHT = 25 FEET  
MAXIMUM BUILDING COVERAGE ON LOT = 15%

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980025C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
9. DUE TO THE FACT THAT THE PROJECT WILL DISTURB MORE THAN 1-ACRE OF LAND, THE PROJECT WILL BE REQUIRED TO FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NYS DEC SPDES GENERAL PERMIT GP-0-15-002. THE FILLING OF THE NOI WILL INCLUDE THE DEVELOPMENT AND IMPLEMENTATION OF A STORMWATER POLLUTION PREVENTION PLAN.

POOL NOTES

1. NO WATER FROM THE POOL, SPA, OR WATER FEATURE SHALL BE DRAINED TO CANANDAIGUA LAKE. IF THE POOL OR WATER FEATURE REQUIRES DRAINING FOR MAINTENANCE PURPOSES, POOL WATER SHALL BE PUMPED UPSLOPE AND DRAINED INTO A LAWN AREA NORTH OF THE POOL AREA AT A RATE WHERE THE WATER CAN BE CONTAINED ON SITE AND ALLOWED TO INFILTRATE INTO THE SOIL.
2. IF AN AUTOFILL IS USED IN THE PROPOSED POOL, THE WATER LINE FOR THE AUTO FILL WILL BE EQUIPPED WITH A DOUBLE CHECK VALVE OR OTHER BACKFLOW DEVICE, AS REQUIRED BY THE NYS DEPARTMENT OF HEALTH AND THE TOWN OF CANANDAIGUA. THE DOUBLE CHECK VALVE SHALL BE ENGINEERED BY A LICENSED PE AND SUBJECT TO ANY REQUIRED TESTING.
3. VARIANCES RECEIVED: POOL AREA RECEIVED A VARIANCE FOR THE POOL WIDTH OF 45' (IN LIEU OF THE 40' MAX. ALLOWED BY CODE) FROM THE ZONING BOARD OF APPEALS ON 2/21/17.

SHEET INDEX:

C-0	COVER SH
EX-1	EXISTING CONDITIONS & ANNEXATION PLAN
C-1	SITE PREPARATION & EROSION CONTROL PLAN
C-2	SITE LAYOUT AND UTILITY PLAN
C-3	SEPTIC SYSTEM PLAN
C-4	SITE AND UTILITY DETAILS
C-5	SEPTIC SYSTEM DETAILS
C-6	EROSION CONTROL NOTES & DETAILS
L-1.0	PLANTING PLAN
L-1.1	TYPICAL WALL DETAILS

ZONING CHART

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	2,176 ACRES	2,176 ACRES
MIN LOT WIDTH	125'	387.63'	387.63'
MIN FRONT YARD SETBACK	60'	24.8'±	23.5' (WALLS) 50.50' (GARAGE)
MIN SIDE YARD SETBACK	12'	24.0'	79.70'
MIN REAR YARD SETBACK	60'	16.0± (4907) 37.8± (4905)	26.00 (POOL) 32.00 (VERANDA)
MIN REAR YARD SETBACK (ACCESSORY)	15'	25.4±	25.4±
MAX BUILDING HEIGHT	25 FT	26.5± (4905) 28.7± (4907)	25 FT
MAX ACCESSORY STRUCTURE HEIGHT	16 FT		16 FT
MAX BUILDING COVERAGE	15%	4.0%	6.5%
MAX LOT COVERAGE	25%	14.9%	17.8%
SITE DISTURBANCE		52,850 SF	

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.  
License # 049761

Site Plan Drawings Prepared For:

Daniel R. Wegman  
Showing Land at  
4905, 4907, & 4911 County Road 16  
Town of Canandaigua  
County of Ontario State of New York

www.veneziasurvey.com (585)396-3267 Fax. No. (585) 396-0131 E-mail rocco@veneziasurvey.com

File# 16200
Scale: NTS
T.m. # 140.18-1-11.000, 15.100, 12.000
Date: 4/14/17
Sheet:
C-0

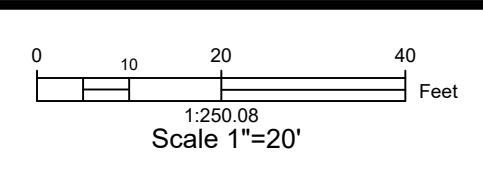
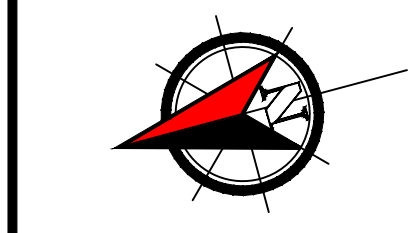


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" Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

Slopes 10-15%

Slopes Greater Than 15%



Deed Reference:  
Arunas A. & Pamela A. Chesonis to Daniel R. Wegman by Deed filed July 27, 2010 in Liber 1264 of Deeds at Page 389.

Andrew Stern to Daniel R. Wegman by Deed filed December 21, 2009 in Liber 1237 of Deeds at Page 544.

Abstract Reference:  
This survey is subject to any facts an updated abstract of title may reveal.

Map Reference:  
Plan of Land of Sandra S. Honan by Freeland-Parrinello filed as Ontario County map No. 23799.

Plan to Show Proposed Subdivision of Lands of John J. & Sandra S. Honan filed as Ontario County map No. 19400.

Site Details:

Existing Zoning is Residential Lake District (RLD)  
Minimum Lot Size: 20,000 SQ. FT. Total Site Area (94873.0 Sq Ft)  
Minimum Lot Width: 125 FT. 2.178 Acres  
Front Setback: 60 FT.  
Rear Setback: 60 FT. (Accessory Structure 15')  
Side Setback: 12 FT. (Accessory Structure 8')  
Maximum Building Height = 25 FT.  
Maximum Building Coverage on Lot = 15%  
Maximum Lot Coverage = 25%

Flood Zones AE & X Per Community Panel No. 360598 0025 C Last Dated March 3, 1997.  
Contours derived from NAVD88 Datum  
Flood Elevation per NGV29 Datum 691.77'  
Flood Elevation per NAVD88 Datum 691.22'

FINAL LOT LINE ADJUSTMENT APPROVAL

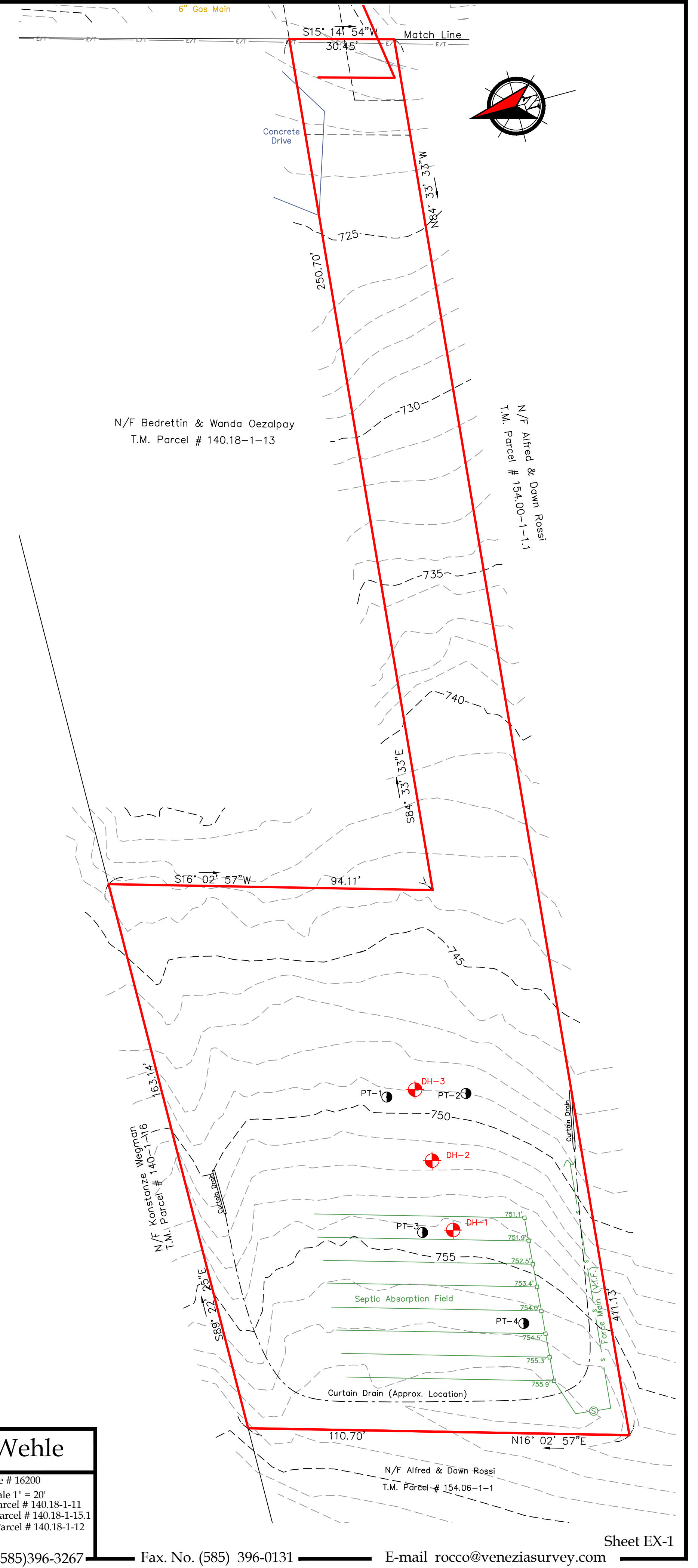
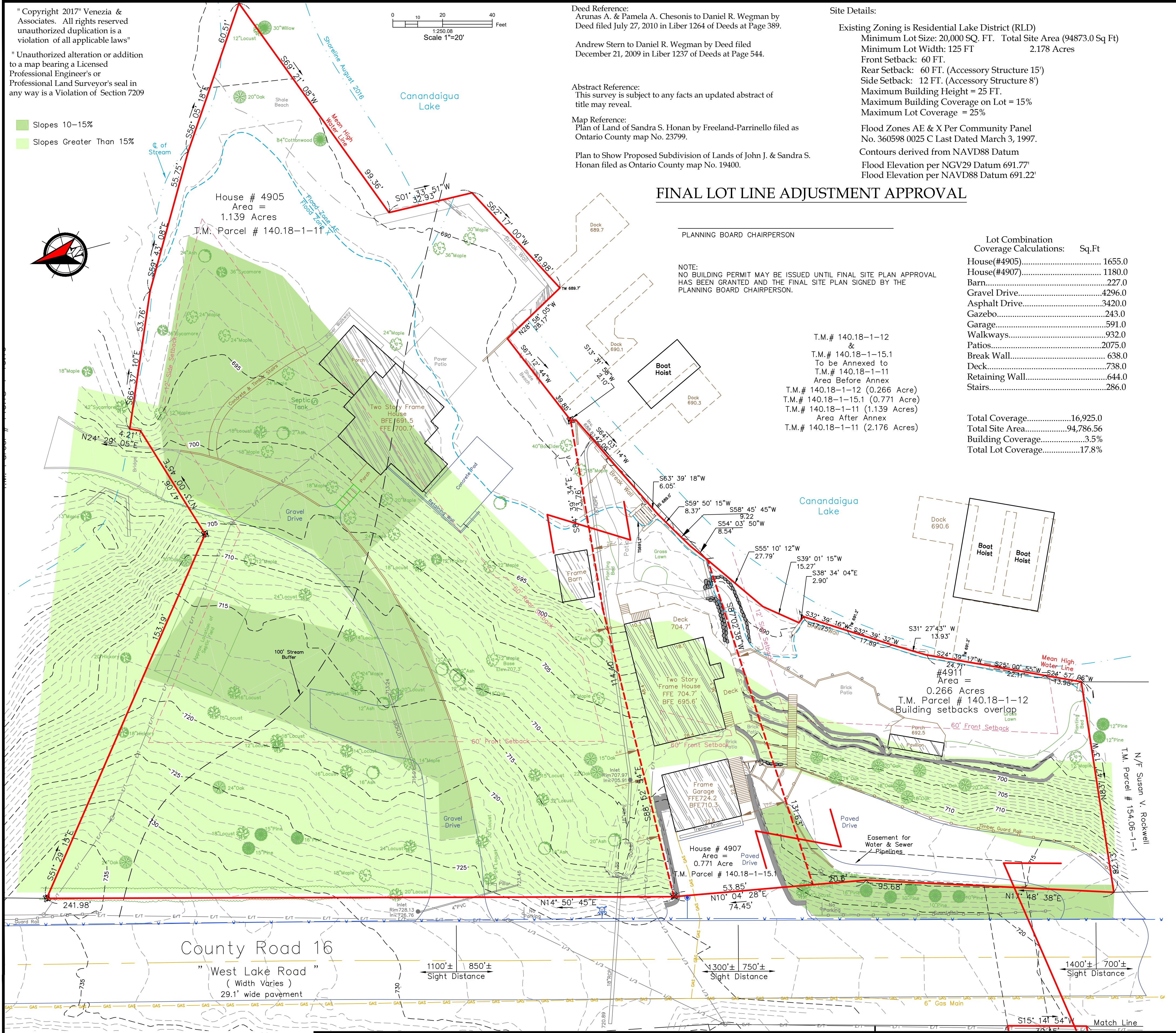
PLANNING BOARD CHAIRPERSON

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

T.M. # 140.18-1-12  
&  
T.M. # 140.18-1-15.1  
To be Annexed to  
T.M. # 140.18-1-11  
Area Before Annex  
T.M. # 140.18-1-12 (0.266 Acre)  
T.M. # 140.18-1-15.1 (0.771 Acre)  
T.M. # 140.18-1-11 (1.139 Acres)  
Area After Annex  
T.M. # 140.18-1-11 (2.176 Acres)

Lot Combination	Coverage Calculations:	Sq.Ft
House(#4905)	.....	1655.0
House(#4907)	.....	1180.0
Barn	.....	227.0
Gravel Drive	.....	4296.0
Asphalt Drive	.....	3420.0
Gazebo	.....	243.0
Garage	.....	591.0
Walkways	.....	932.0
Patios	.....	2075.0
Break Wall	.....	638.0
Deck	.....	738.0
Retaining Wall	.....	644.0
Stairs	.....	286.0

Total Coverage.....16,925.0  
Total Site Area.....94,786.56  
Building Coverage.....3.5%  
Total Lot Coverage.....17.8%



5120 Laura Lane  
Canandaigua New York, 14424

Legend

- Iron pin or pipe found
- Iron pin set
- Drill hole
- Utility pole
- E/T
- Property line
- Centerline

Revisions			
NO.	Date	Description	By
1	4/20/17	Address Pre Comments	R.V.

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on 04/11/2017 from notes of an instrument survey performed on August 2016

Rocco A. Venezia  
License No. 049761 signed

Lot/Parcel Combination:  
Existing Conditions

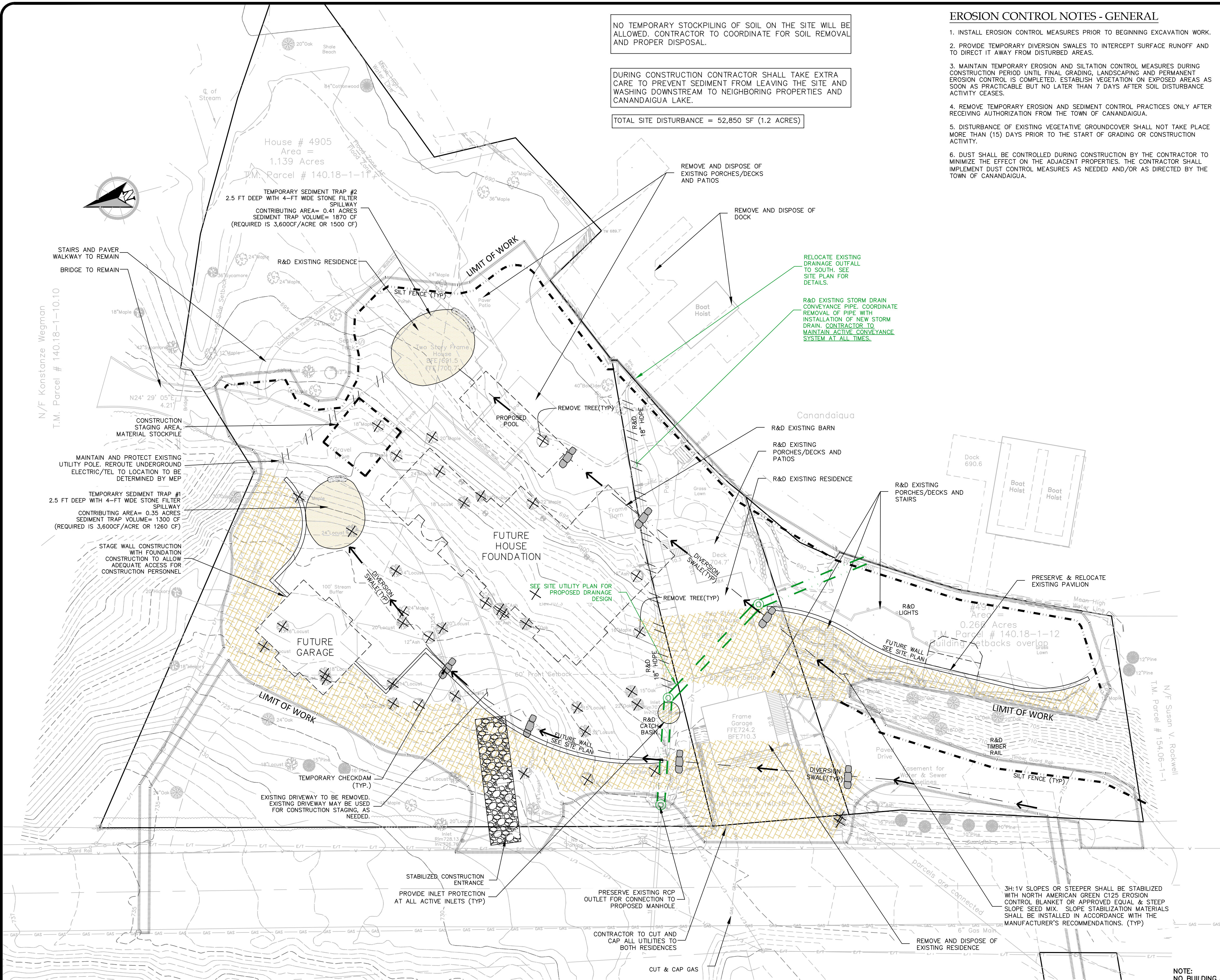
Nicole Wegman & Jason C. Wehle

Showing Land At  
4905, 4907 & 4911 County Road 16  
Town of Canandaigua  
County of Ontario State of New York

File # 16200  
Scale 1" = 20'  
T.M. Parcel # 140.18-1-11  
T.M. Parcel # 140.18-1-15.1  
T.M. Parcel # 140.18-1-12

Sheet EX-1



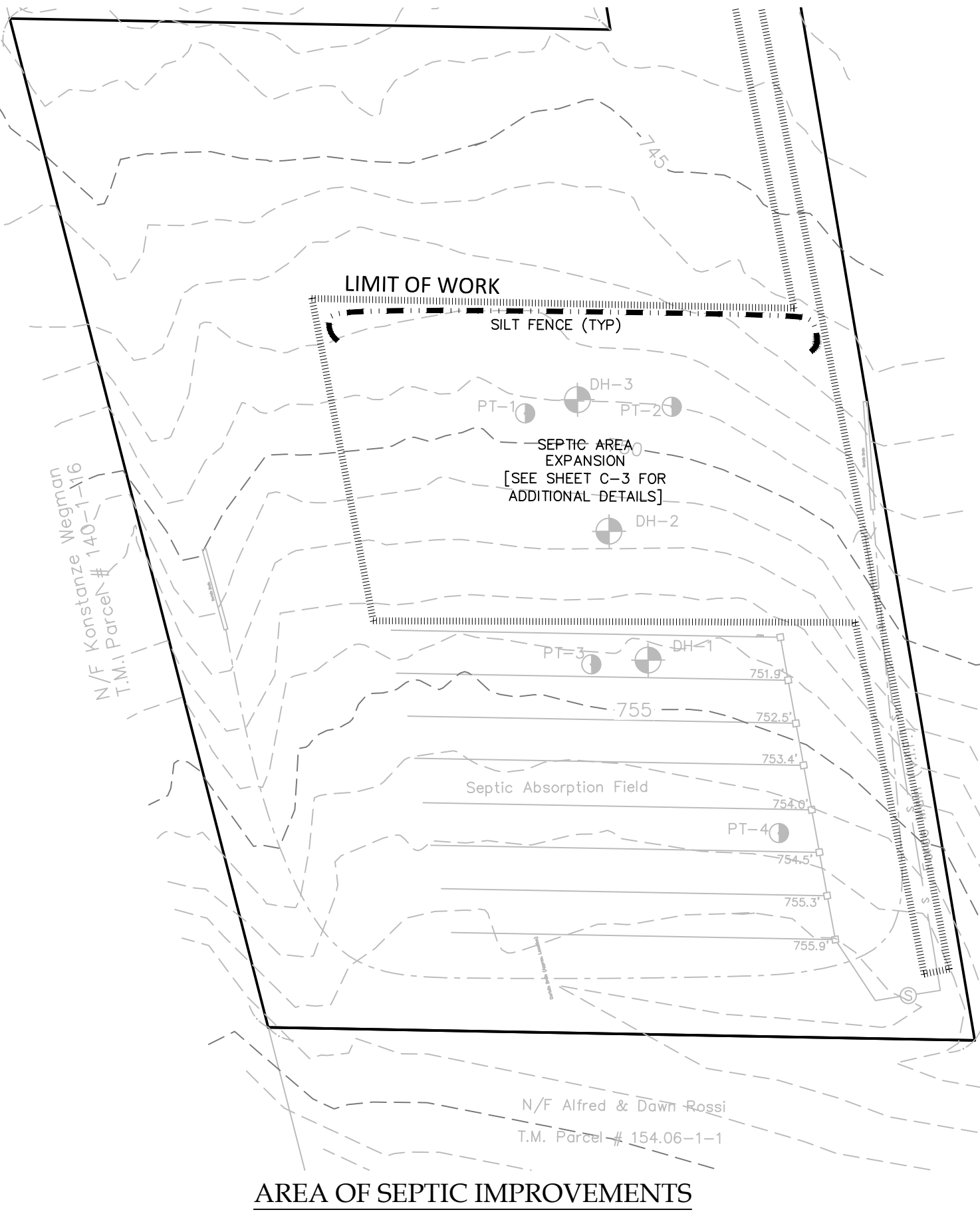


EROSION CONTROL NOTES - GENERAL

1. INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING EXCAVATION WORK.
2. PROVIDE TEMPORARY DIVERSION SWALES TO INTERCEPT SURFACE RUNOFF AND TO DIRECT IT AWAY FROM DISTURBED AREAS.
3. MAINTAIN TEMPORARY EROSION AND SILTATION CONTROL MEASURES DURING CONSTRUCTION PERIOD UNTIL FINAL GRADING, LANDSCAPING AND PERMANENT EROSION CONTROL IS COMPLETED. ESTABLISH VEGETATION ON EXPOSED AREAS AS SOON AS PRACTICABLE BUT NO LATER THAN 7 DAYS AFTER SOIL DISTURBANCE ACTIVITY CEASES.
4. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ONLY AFTER RECEIVING AUTHORIZATION FROM THE TOWN OF CANANDAIGUA.
5. DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN (15) DAYS PRIOR TO THE START OF GRADING OR CONSTRUCTION ACTIVITY.
6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

EROSION CONTROL CONSTRUCTION SEQUENCE:

1. INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES, TEMPORARY SEDIMENT BASIN #2, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
2. BEGIN GENERAL CONSTRUCTION ACTIVITIES TO REMOVE EXISTING STRUCTURES AND TO REGRADE EXISTING DRIVEWAY AND EXTEND TO CREATE NEW DRIVEWAY. REMOVE TREES DOWN TO STUMP WHERE APPLICABLE (STUMP REMOVAL TO HAPPEN DURING SITE WORK AT LOCATION OF STUMP).
3. INSTALL INTERCEPTOR SWALE AT WESTERN LIMIT OF WORK. EDGE OF NEW DRIVEWAY. ESTABLISH VEGETATION ABOVE SWALE. INSTALL TEMPORARY SEDIMENT BASIN #1.
4. RELOCATE 18" STORM DRAIN. MAINTAIN EXISTING STORM DRAIN UNTIL CONSTRUCTION OF NEW STORM DRAIN IS COMPLETE. CONTRACTOR MAY NEED TO COORDINATE SWTH COVER DURING A TIME OF LOW FLOW.
5. INSTALL FOUNDATION/BASEMENT, GRADE AND STABILIZE RELOCATED DRIVEWAY AND INSTALL NEW DRIVEWAY DRAINAGE. INLET PROTECTION SHALL BE PROVIDED AT ALL ACTIVE STORM INLET STRUCTURES.
6. CONSTRUCT NEW RETAINING WALLS AND POOL, BEGIN HOUSE FRAMING.
7. COMPLETE SANITARY AND WATER PLUMBING CONNECTIONS.
8. FINALIZE LANDSCAPE, PERMANENTLY STABILIZE ALL AREAS AROUND THE HOUSE LOCATION.
9. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.



ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

FOR PERMITTING ONLY

LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane  
Canandaigua New York, 14424

LEGEND

SCALE: 1" = 20'

0' 10' 20' 40' 60'



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.  
License # 049761

Drawing Title: **SITE PREPARATION & EROSION CONTROL PLAN**

Site Plan Prepared For:

**Daniel R. Wegman**

Showing Land at  
4905, 4907, & 4911 County Road 16  
Town of Canandaigua  
County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

File# 16200

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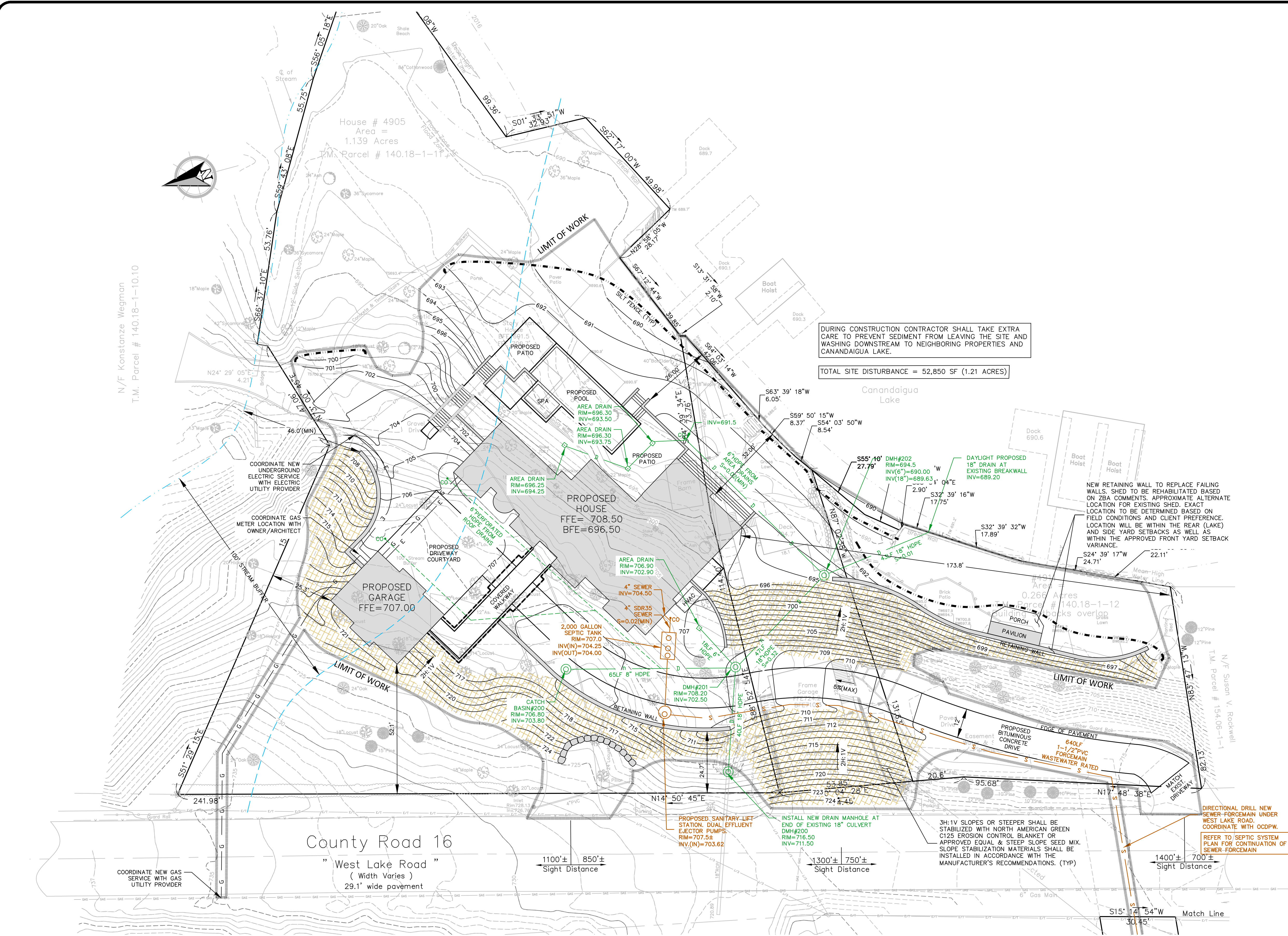
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Date: 4/14/17

Sheet:

C-1





DURING CONSTRUCTION CONTRACTOR SHALL TAKE EXTRA CARE TO PREVENT SEDIMENT FROM LEAVING THE SITE AND WASHING DOWNSTREAM TO NEIGHBORING PROPERTIES AND CANANDAIGUA LAKE.

TOTAL SITE DISTURBANCE = 52,850 SF (1.21 ACRES)

NEW RETAINING WALL TO REPLACE FAILING WALLS. SHED TO BE REHABILITATED BASED ON ZBA COMMENTS. APPROXIMATE ALTERNATE LOCATION FOR EXISTING SHED. EXACT LOCATION TO BE DETERMINED BASED ON FIELD CONDITIONS AND CLIENT PREFERENCE. LOCATION WILL BE WITHIN THE REAR (LAKE) AND SIDE YARD SETBACKS AS WELL AS WITHIN THE APPROVED FRONT YARD SETBACK VARIANCE.

DIRECTIONAL DRILL NEW SEWER FORCEMAIN UNDER WEST LAKE ROAD. COORDINATE WITH OGDWP. REFER TO SEPTIC SYSTEM PLAN FOR CONTINUATION OF SEWER FORCEMAIN.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

5120 Laura Lane  
Canandaigua New York, 14424

LEGEND

SCALE: 1" = 20'

0' 10' 20' 40' 60'

Revisions			
NO.	Date	Description	By

Drawing Title:  
**SITE LAYOUT AND UTILITY PLAN**

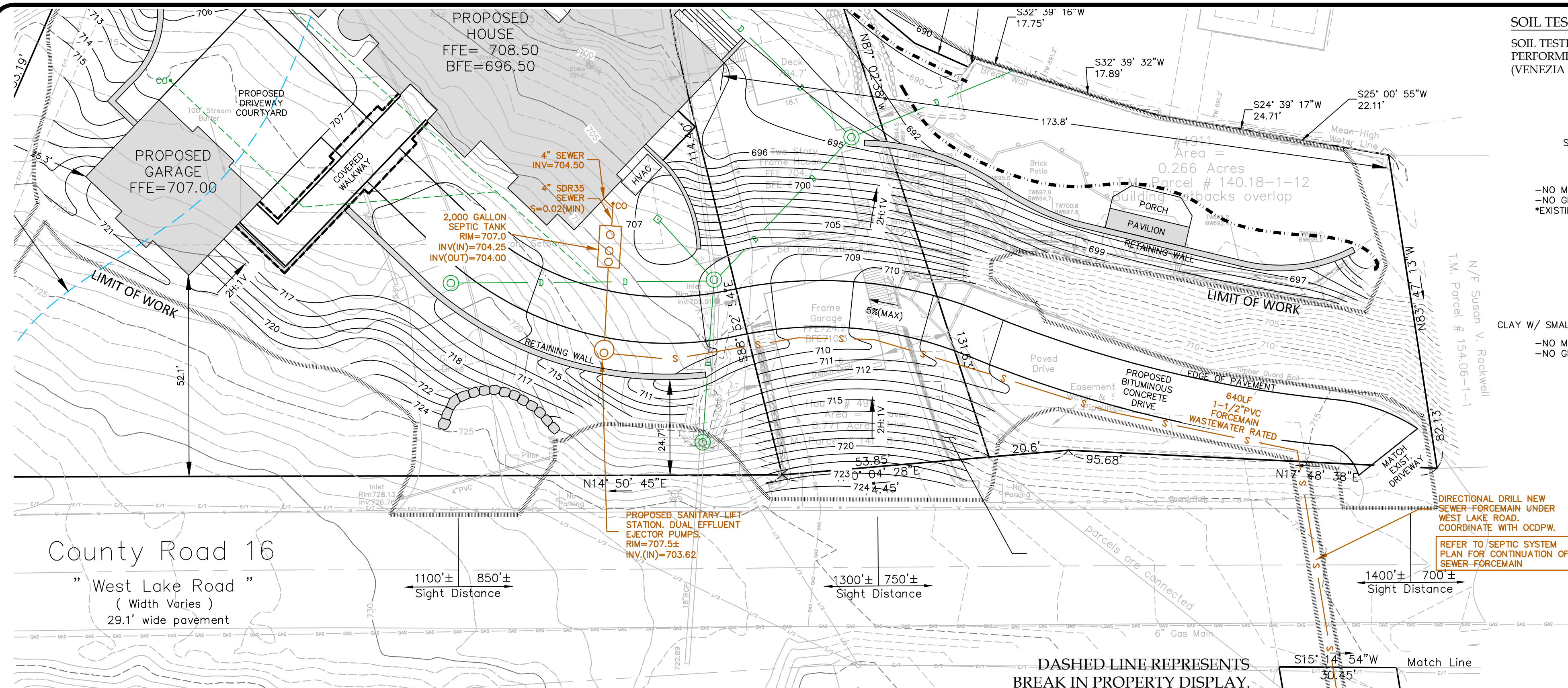
Site Plan Prepared For:  
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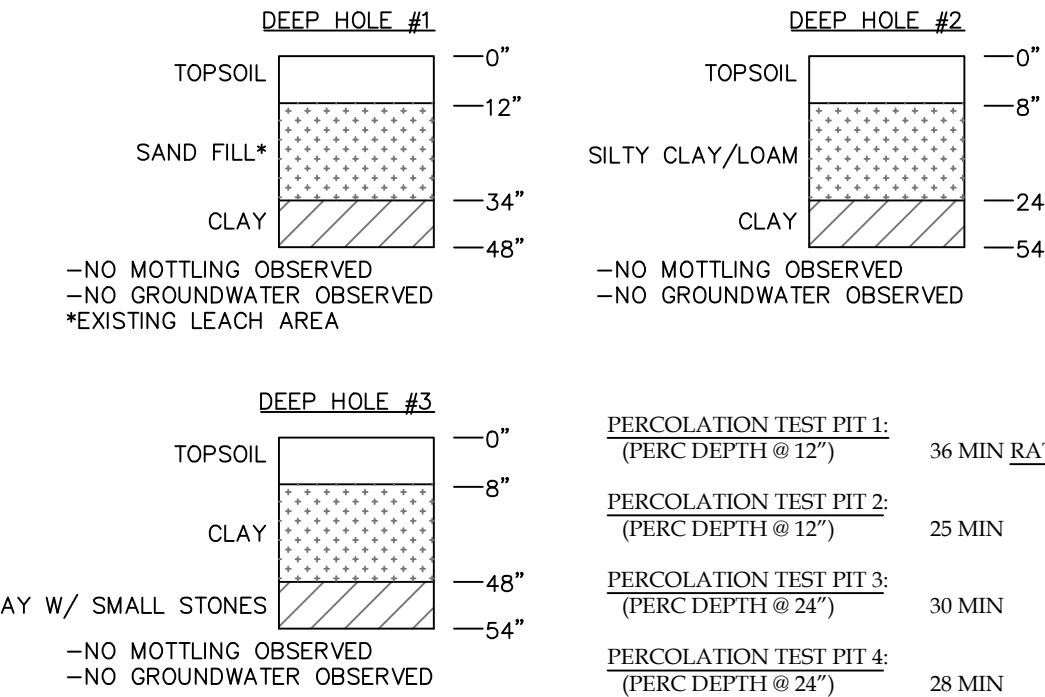
C-2





SOIL TESTING INFORMATION

SOIL TESTING PERFORMED 3/13/17  
PERFORMED BY: ROCCO A. VENEZIA, PLS  
(VENEZIA AND ASSOCIATES)



SYSTEM INVERT SCHEDULE - NEW LEACH LINES

DROP BOX	A INVERT IN	B INVERT OUT TO DROP BOX	C INVERT INTO INFILTRATOR	D BOTTOM OF INFILTRATOR
9	750.96	750.54	750.50	750.00
10	750.36	749.94	749.90	749.40
11	749.76	749.34	749.30	748.80
12	749.16	748.74	748.70	748.20
13	748.56	748.14	748.10	747.60
14	747.96	747.54	747.50	747.00
15	747.36	746.94	746.90	746.40

DESIGN CRITERIA:

REQUIRED DESIGN FLOW [PER NYSDOH APPENDIX 75-A]  
6+ BEDROOMS AT 150 GALLONS PER DAY PER BEDROOM = 900 GPD  
USE DESIGN FLOW OF 900 GPD

THE DESIGN FLOW OF 900 GPD TAKES INTO CONSIDERATION THE  
USE OF A MULTI-SHOWER HEAD FEATURE IN THE MASTER  
BATHROOM. THE MULTI-SHOWER HEAD FEATURE HAS BEEN  
COUNTED AS AN ADDITIONAL BEDROOM FOR SAKE OF DESIGN FLOW  
CALCULATIONS. THE HOUSE IS PROPOSED AS 5 BEDROOMS.

REQUIRED SEPTIC TANK SIZE  
NYSDOH MINIMUM TANK SIZE FOR 6 BEDROOM HOUSE IS 1,750  
GALLONS WITH MINIMUM LIQUID SURFACE AREA OF 47 S.F. THE USE OF  
A GARBAGE GRINDER REQUIRES THAT THE SEPTIC TANK BE UPSIZED BY  
ONE BEDROOM. THE PROPOSED SEPTIC TANK IS 2,000 GALLONS.

REQUIRED LENGTH OF ABSORPTION TRENCH  
FOR PERCOLATION RATE OF 36 MIN/INCH & 6 BEDROOM HOUSE AT 900  
GPD 900 FEET OF ABSORPTION TRENCH REQUIRED (ASSUME 2-FT WIDE  
TRENCH) PER TABLE 4A, APP. 75A OF THE NYSDOH DESIGN HANDBOOK

LEACHING FACILITY TO BE PROVIDED

USE 15 - 60' LONG ABSORPTION TRENCHES = 900 LF

DOSING VOLUME

USE A DOSING RATE VOLUME OF 85% PIPE NETWORK CAPACITY + FOREMAIN VOLUME = 519 GAL/DOSE  
PIPE NETWORK VOLUME IS --> 900 LF OF 4" PIPE = 78.5 CF X 0.85 = 66.8 CF = 500 GAL  
FOREMAIN VOLUME IS --> 650 LF OF 1-1/2" PIPE = 19 GAL

SIZE WET WELL

PROVIDE 1 DAYS STORAGE PLUS DOSE VOLUME IN WET WELL  
TOTAL REQUIRED WET WELL VOLUME = 1,604 GALLONS  
1 DAYS STORAGE VOLUME MUST BE ABOVE ALARM LEVEL.

GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MOST RECENT VERSION OF PART 75A OF THE NYS SANITARY CODE, WASTE TREATMENT STANDARDS - INDIVIDUAL HOUSEHOLD SYSTEMS AND THE NYS DEC PUBLICATION "DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS 2014"
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER, THE NEW YORK STATE DEPARTMENT OF HEALTH (AS NECESSARY), OR THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (AS NECESSARY).
- THIS SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES.
- A MINIMUM OF 10' HORIZONTAL SHOULD EXIST BETWEEN THE SEWER AND ANY WATER LINE. WATER SERVICE SHALL BE INSTALLED TO MEET THE SEPARATION REQUIREMENTS FROM WASTEWATER SYSTEM COMPONENTS FOUND IN THE NYS DEC PUBLICATION "DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS 2014"

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN  
APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN  
SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

5120 Laura Lane  
Canandaigua New York, 14424

LEGEND

SCALE: 1" = 20'

0' 10' 20' 40' 60'

- W PROP WATER
- S PROP SEWER
- D PROP DRAIN
- E PROP ELECT
- T PROP TEL
- GAS PROP GAS
- 900.3 X SPOT GRADE
- PROPOSED EROSION MAT
- CHECK DAM



Revisions			
NO.	Date	Description	By

NYS Land Surveyor  
Rocco A. Venezia, P.L.S.  
License # 049761

Drawing Title:

SEPTIC SYSTEM PLAN

Site Plan Prepared For:

Daniel R. Wegman

Showing Land at  
4905, 4907, & 4911 County Road 16  
Town of Canandaigua  
County of Ontario  
State of New York

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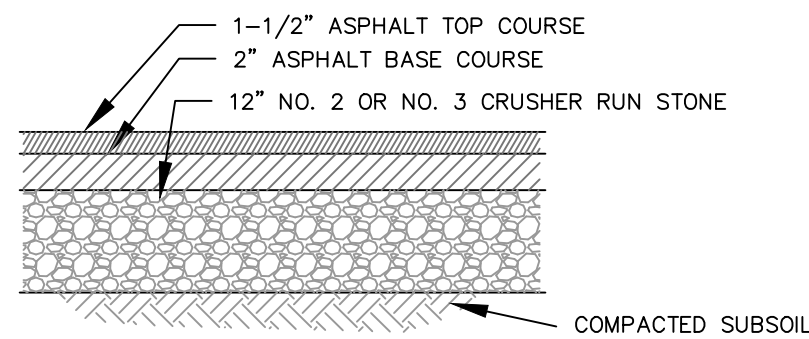
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C-3

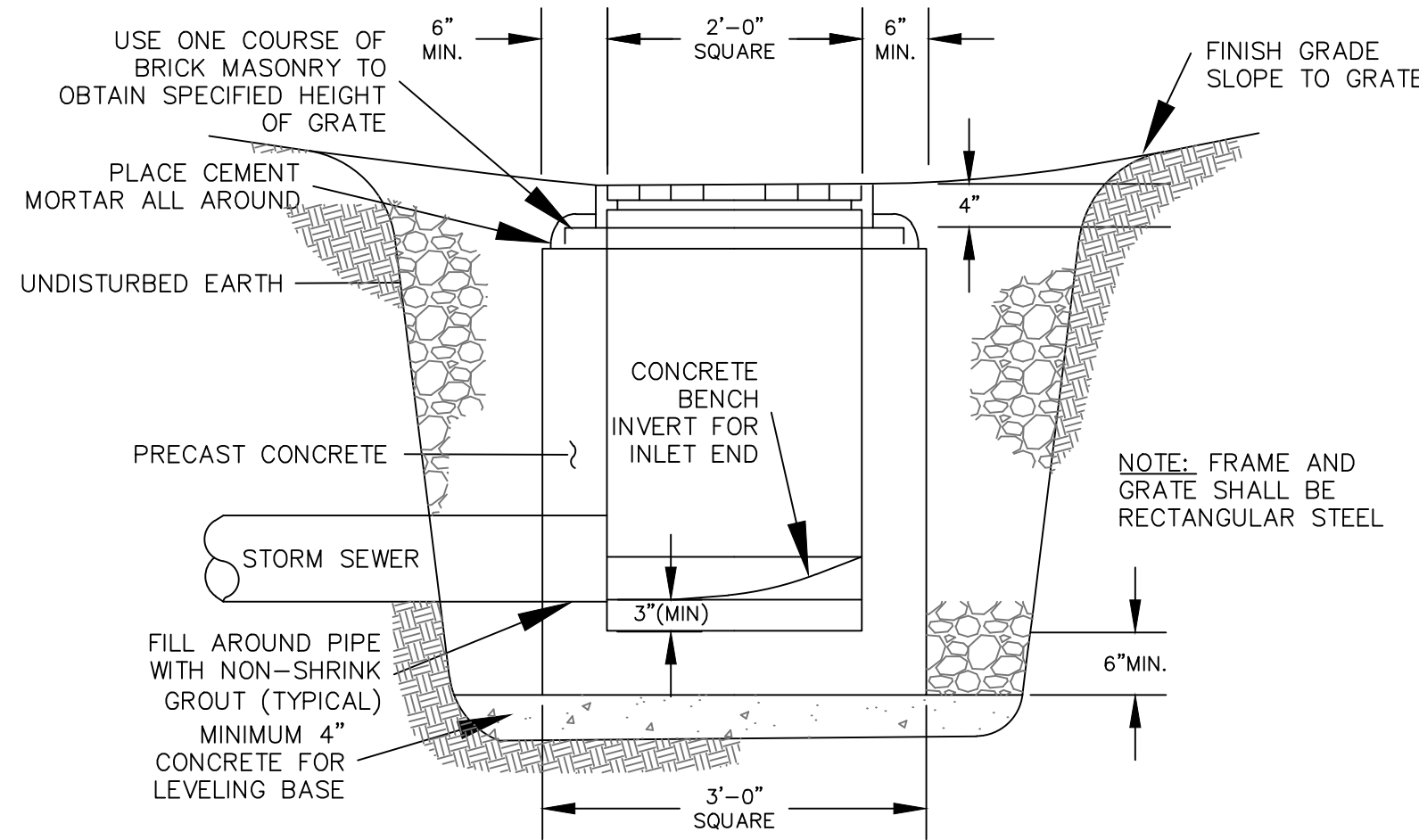


WATER SYSTEM NOTES

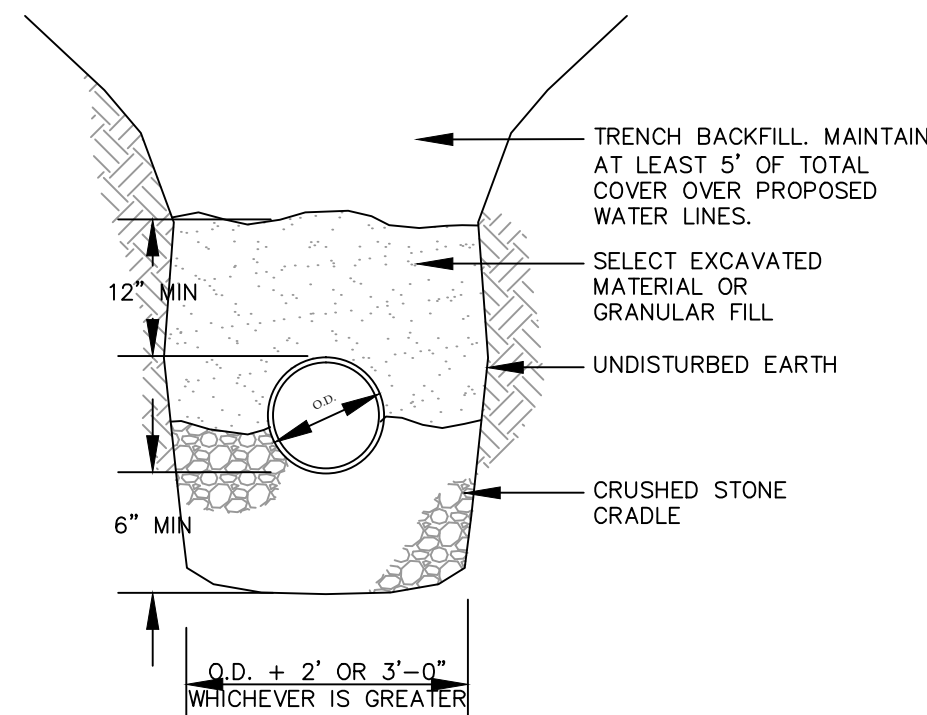
1. WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
2. PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
3. WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5- FEET OF COVER FROM FINISHED GRADE.
4. THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
5. THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
6. DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.



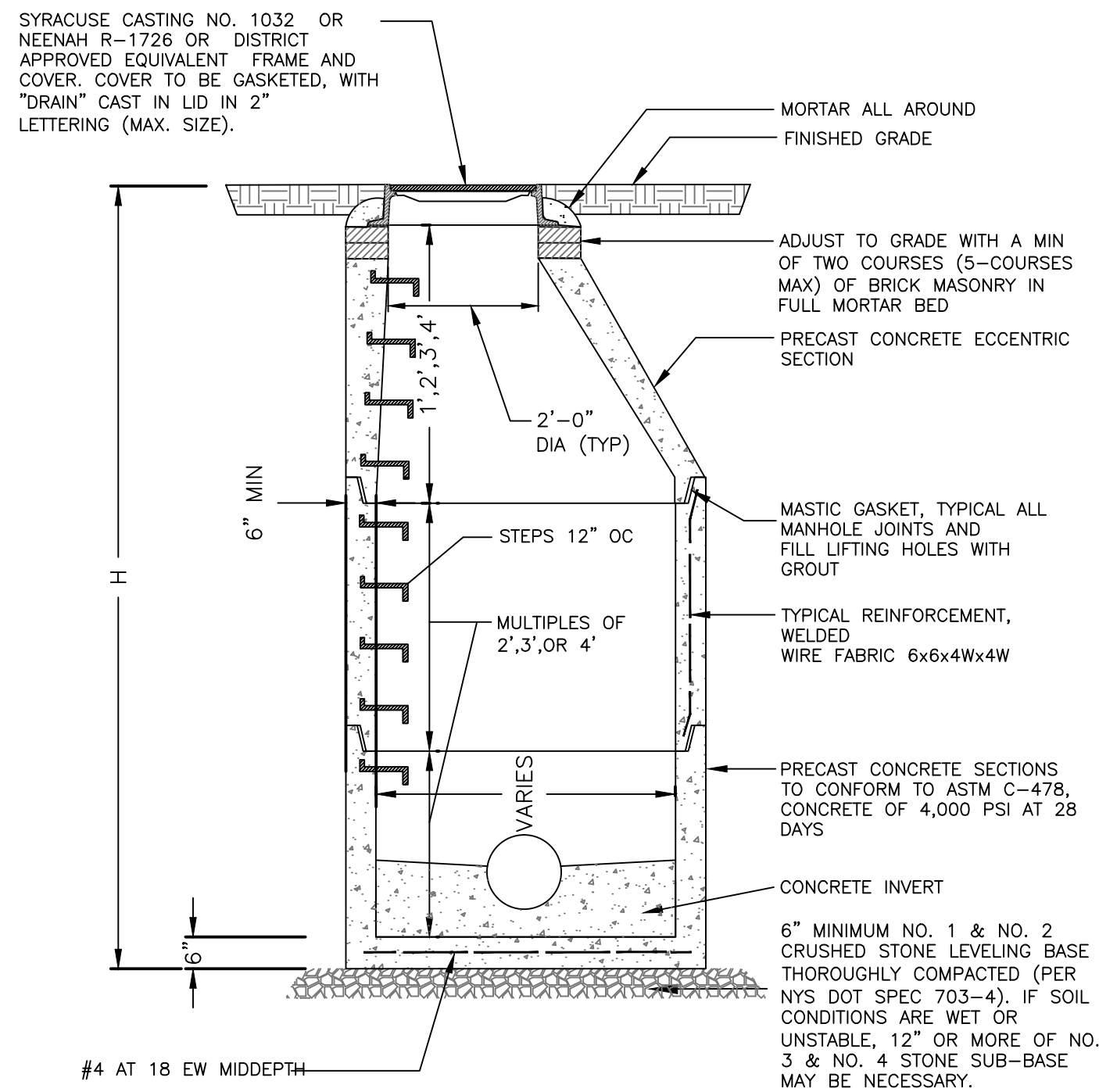
BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE



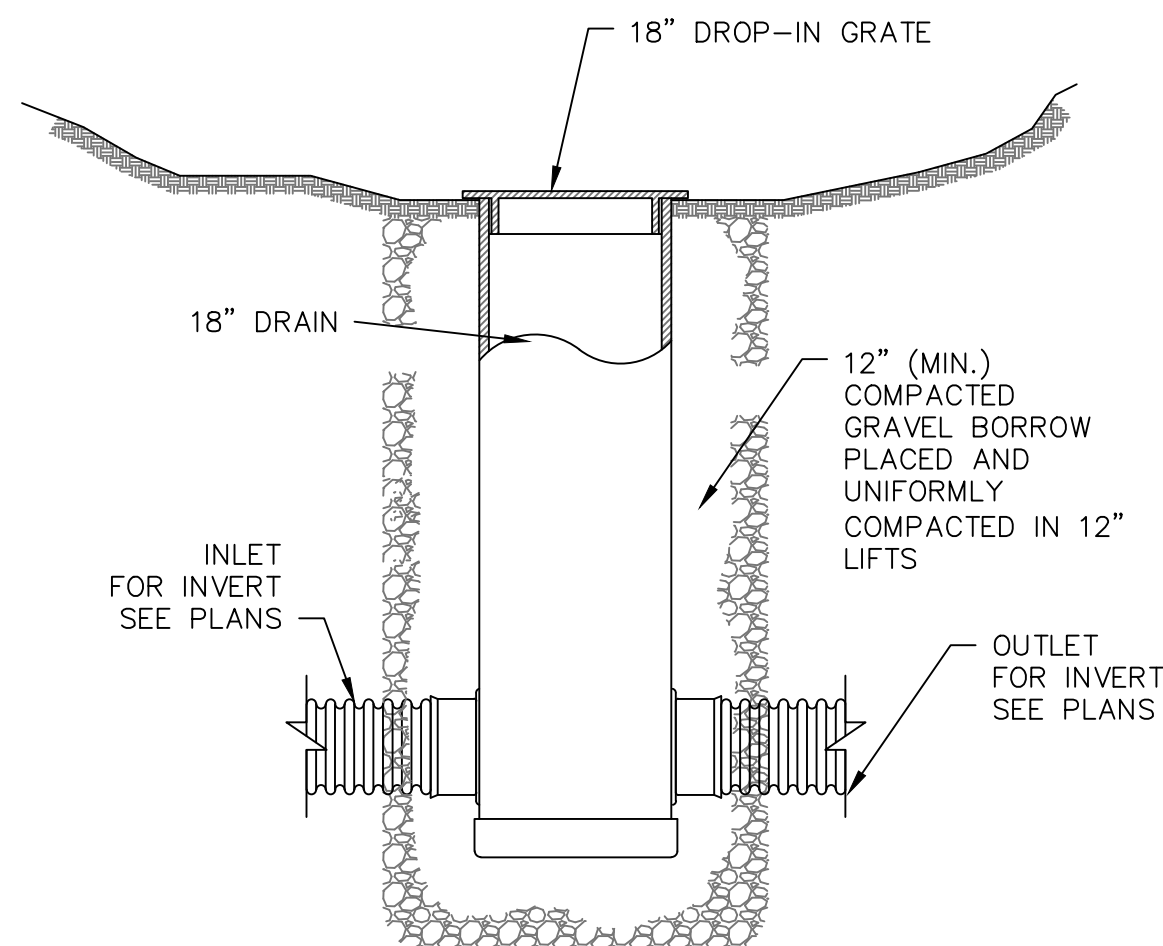
CATCH BASIN  
NOT TO SCALE



PVC WATER MAIN & DRAIN  
BEDDING DETAIL  
NOT TO SCALE



DRAINAGE MANHOLE DETAIL  
NOT TO SCALE



AREA DRAIN DETAIL (18" DRAIN BASIN)  
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By

NYS Land Surveyor  
Rocco A. Venezia, P.L.S.  
License # 049761

Drawing Title:

Site Plan Prepared For:

SITE AND UTILITY DETAILS

Daniel R. Wegman

Showing Land at  
4905, 4907, & 4911 County Road 16  
Town of Canandaigua  
County of Ontario State of New York

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File# 16200

Scale: NTS

T.m. # 140.18-1-11.000, 15.100, 12.000

Date: 4/14/17

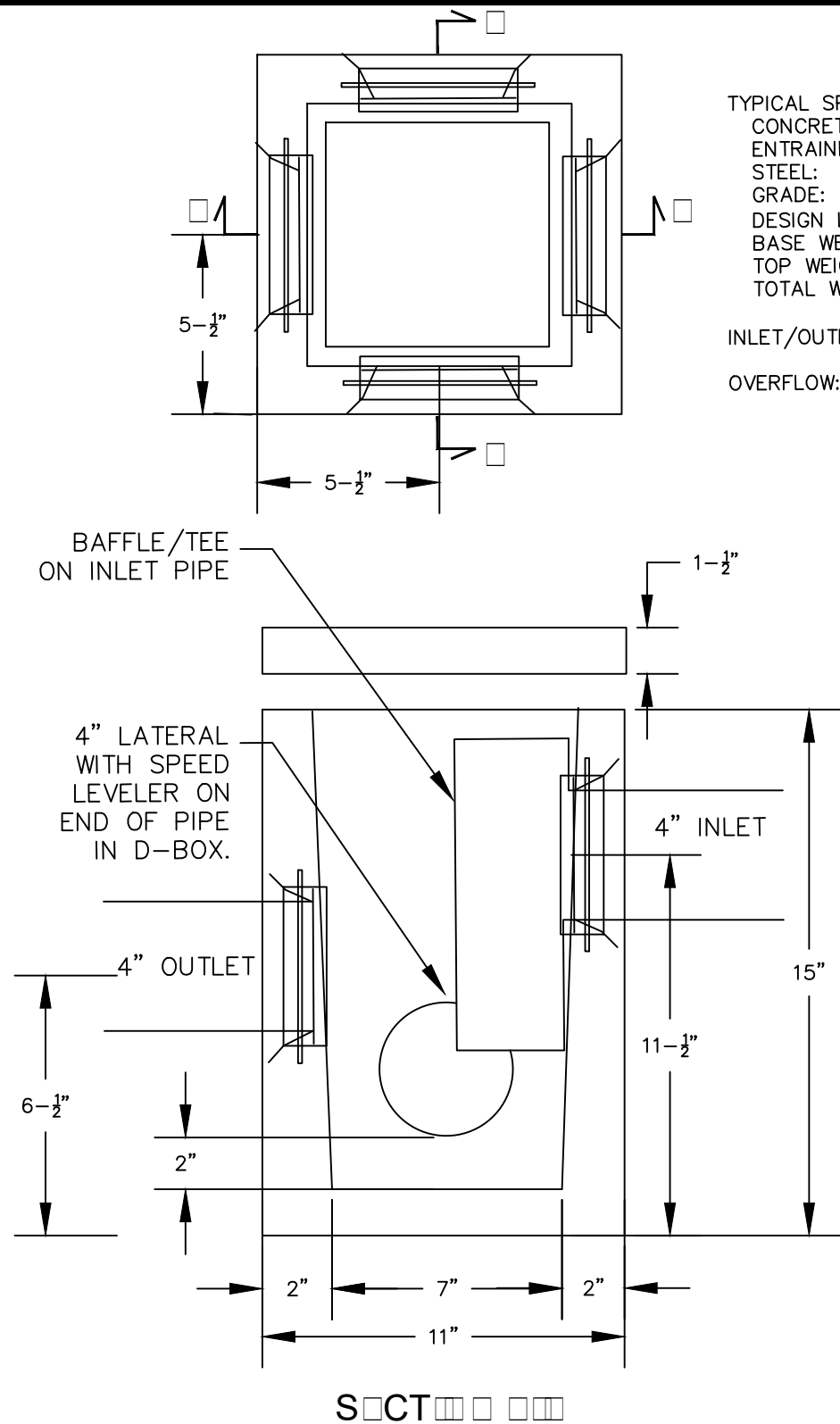
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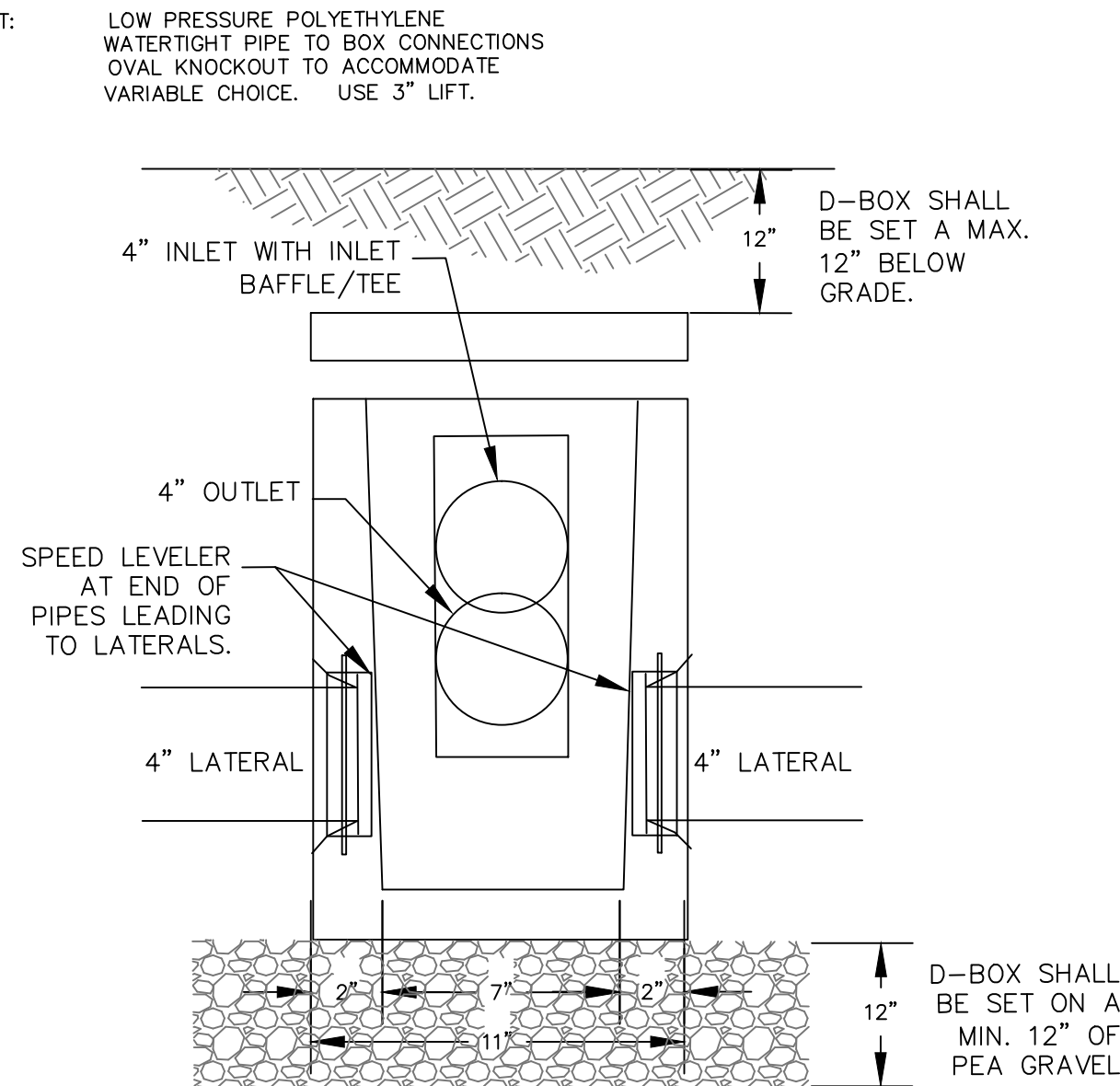
SEPTIC SYSTEM NOTES

1. SANITARY SEWER DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE NYSDEC AND NYSDOH.
2. SEWAGE DISPOSAL SYSTEM SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER. THE ENGINEER SHALL BE PROVIDED WITH AN "AS-BUILT" SURVEY OF THE SYSTEM BEFORE BACKFILL. THE "AS-BUILT" SURVEY SHALL BE CONDUCTED BY THE PROJECT SURVEYOR. SYSTEM CERTIFICATION MAY ALSO REQUIRE A SITE VISIT PERFORMED BY THE DESIGN ENGINEER.
3. PER THE NYSDOH, THE FOLLOWING MINIMUM SEPARATION DISTANCES ARE TO BE MAINTAINED FROM THE SEWAGE DISPOSAL SYSTEM:
  - SEPTIC TANK TO DWELLING 10'
  - DISTRIBUTION BOX TO DWELLING 20'
  - DISTRIBUTION BOX TO PROPERTY LINE 10'
  - ABSORPTION FIELD TO PROPERTY LINE 10'
4. FILL MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM ABSORPTION AREA SHALL HAVE THE SAME PERMEABILITY OF UNDERLYING ORIGINAL SOIL.
5. AN AREA 10- FEET CLEAR AROUND THE ABSORPTION FIELD SHALL BE MAINTAINED FREE OF TREES.
6. ALL COMPONENT AND SEWER LINE ELEMENTS SHALL BE SEALED WITH A BUTYL "O" RINGS, POLY SEAL, OR EQUIVALENT.
7. A VENTILATION STACK AND SEWER LINE CLEANOUT SHALL BE PROVIDED AT THE WINE PRODUCTION OFFICE AND THE WINE TASTING BUILDING.
8. SEWER LATERAL LINES SHALL BE 6-INCH SCHEDULE 40 PVC PIPE SLOPED AT 1/4" PER FOOT MINIMUM.
9. SEPTIC TANK SHALL BE PLACED AT A MINIMUM OF 10- FEET FROM THE BUILDING FOUNDATION.
10. SEPTIC TANK SHALL BE SET LEVEL ON 6" OF PEA GRAVEL.
11. THE WASTEWATER TREATMENT BED IS TO BE KEPT MOWED, AS A LAWN, AT ALL TIMES. IT IS TO BE KEPT FREE OF LANDSCAPED BUSHES AND TREE CANOPY.

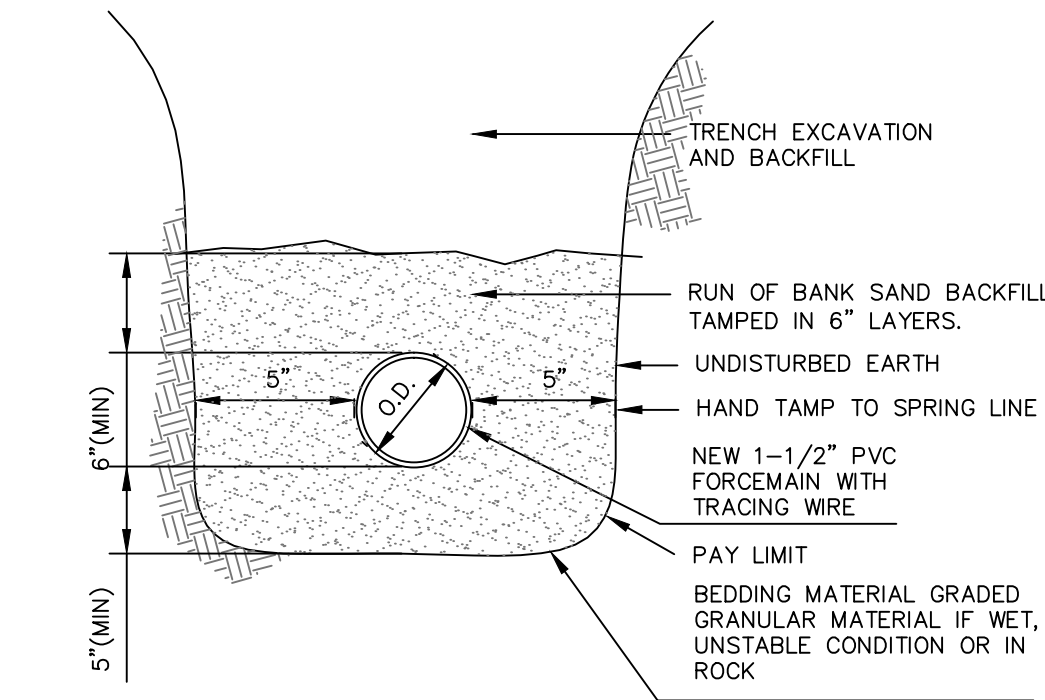


DROP BOX WITH INLET BAFFLE DETAIL

NOT TO SCALE



D-BOX SHALL BE SET ON A MIN. 12" OF PEA GRAVEL

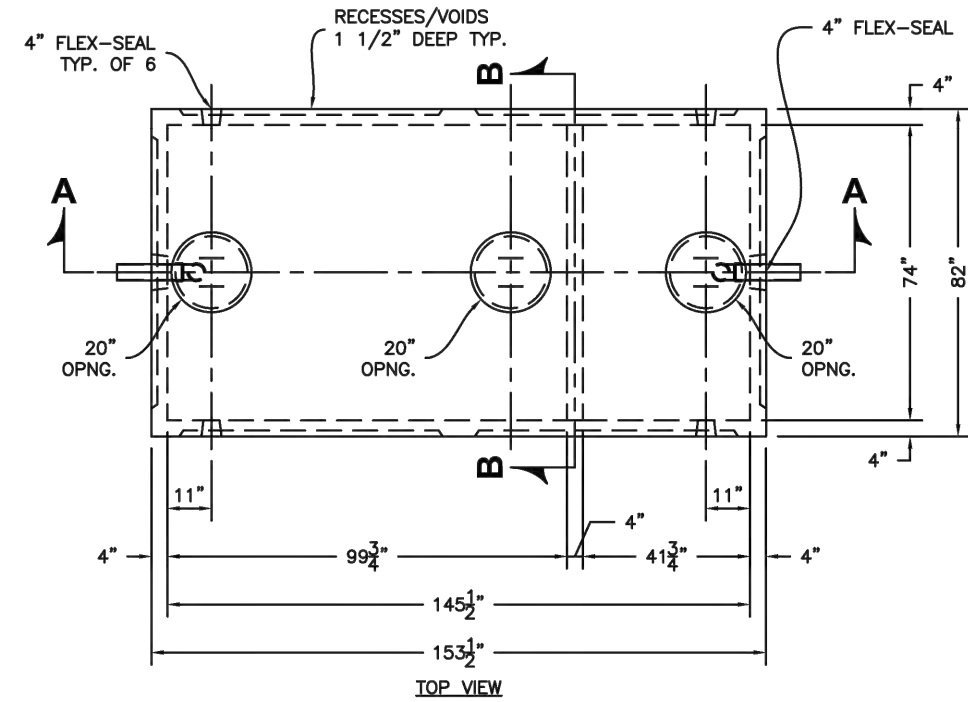


NOTE:  
1. CONTRACTOR TO PROVIDE SAFE EXCAVATION PER STATE AND FEDERAL REQUIREMENTS.

2. PROVIDE 5'-0" MINIMUM COVER OVER FORCEMAIN (FROM TOP OF FORCEMAIN TO FINISHED GRADE), WHERE 5'-0" OF COVER CANNOT BE PROVIDED, CONTRACTOR SHALL PROVIDE INSULATED FORCEMAIN.
3. TRENCH BACKFILL UNDER VEGETATED AREAS SHALL BE NATIVE SOIL WITH NO AGGREGATE GREATER THAN 4" IN SIZE TO BE COMPACTED IN 12" LIFTS.
4. TRENCH BACKFILL UNDER PAVED AREAS SHALL BE SELECT NYSDOT ITEM 203.07 WITH 4" MAX SIZE AGGREGATE TO BE COMPACTED IN 6" LIFTS.

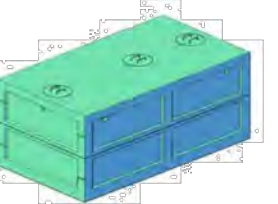
PIPE BEDDING DETAIL - WASTEWATER FORCEMAIN

NOT TO SCALE

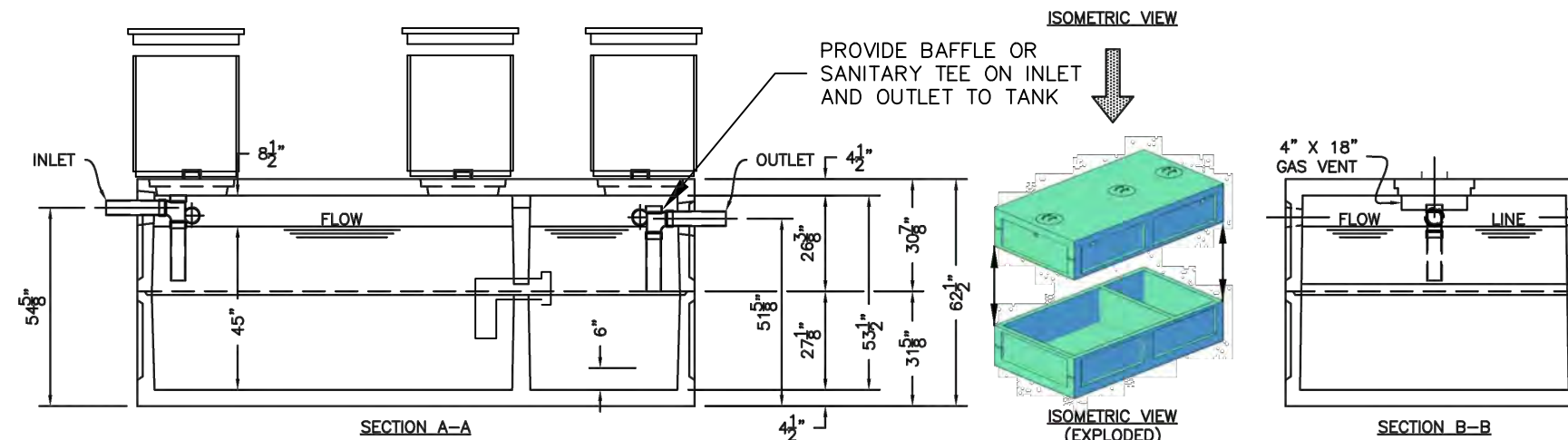


SP-7A  
SPECIFICATIONS:  
CONCRETE: 4,000 P.S.I. @ 28 DAYS.  
ENTRAINED AIR: 5% - 8%  
STEEL: 60-69 KSI  
DESIGN LOADING: NON-TRAFFIC  
@ 300 LBS./SQ. FT. (14 KPa)  
PER ASTM C1227 PERFORMANCE TESTING  
EARTH FILL: PEDESTRIAN LOADING  
MAX. 3'-0"  
WATER TABLE: 3'-0" BELOW GRADE  
WEIGHT: 8,265 LBS.  
TOP SECTION: 8,390 LBS.  
BOTTOM SECTION: 16,650 LBS.  
TOTAL: 24,915 LBS.  
BAFFLE: 4" x 37" BY KISTNER, LARGER BY CONTRACTOR.  
WATERTIGHT ASSEMBLY IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR. ASK FOR KISTNER "WATERTIGHT JOINT INSTALLATION" DETAIL.

PIPE OPENINGS STOCK:  
☐ PIPE SEALS REQUIRED  
☒ 4" PVC - OPENING WITH SEAL - STOCK



ISOMETRIC VIEW



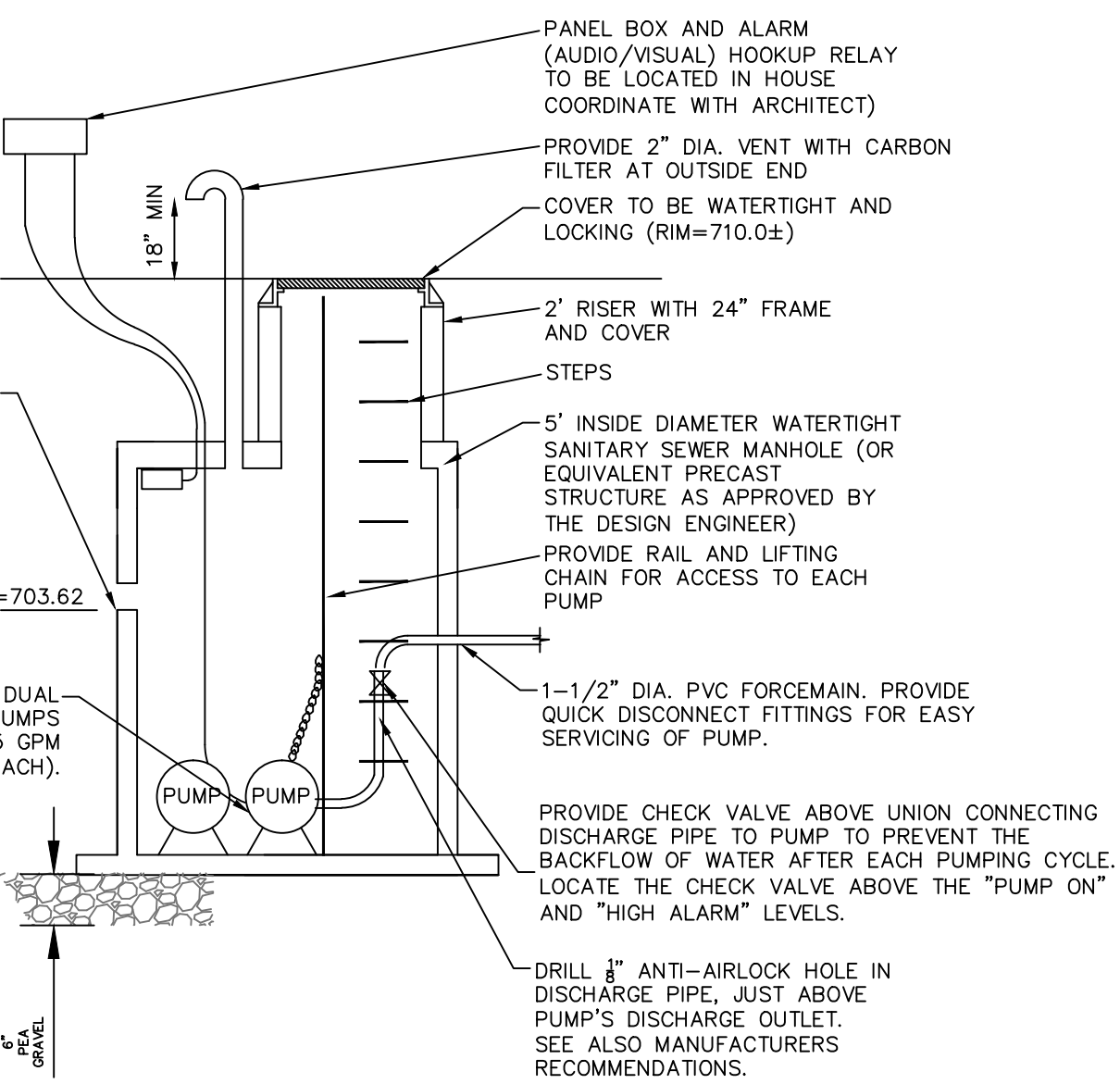
2,000 GALLON DUAL COMPARTMENT SEPTIC TANK

NOT TO SCALE

- NOTES:  
1. CONTRACTOR SHALL SUPPLY COMPLETE PUMP STATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE DESIGN ENGINEER.  
2. PUMP STATION DESIGN AND INSTALLATION SHALL COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS AND THE LATEST EDITION OF THE NYS PLUMBING CODE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PUMP STATION TO ENGINEER FOR REVIEW.

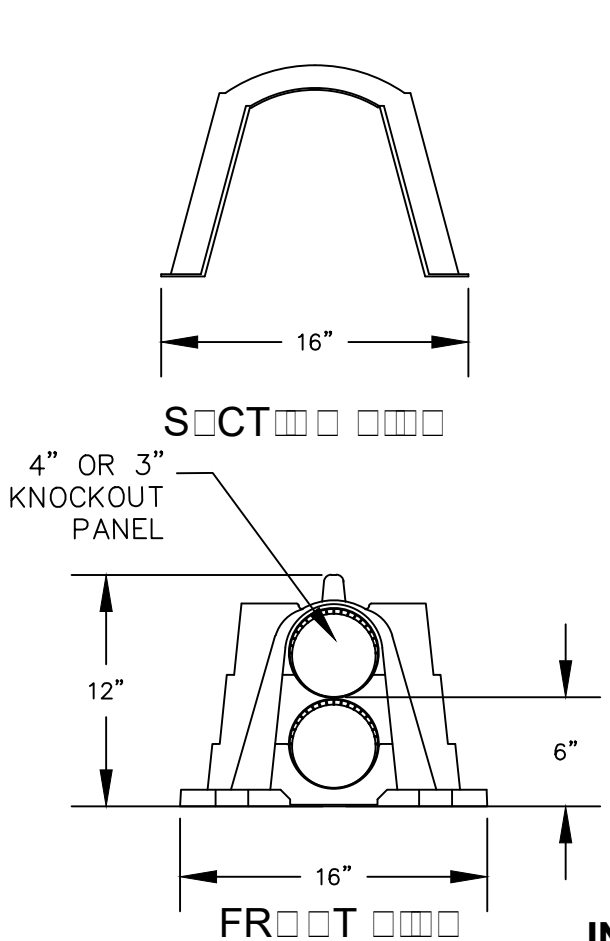
STORAGE CAPACITY BELOW INLET PIPE (INV=703.62) IS 900 GALLONS ABOVE THE ALARM  
ALARM ELEV = 697.49  
START ELEV = 697.24  
(520 GALLON DOSE)  
STOP ELEV = 693.70  
BOTTOM MANHOLE = 692.70

PUMP SYSTEM SHALL BE DUAL EFFLUENT SEWER PUMPS CAPABLE OF PUMPING 25 GPM WITH 113 TDH (EACH).



PUMP STATION DETAIL

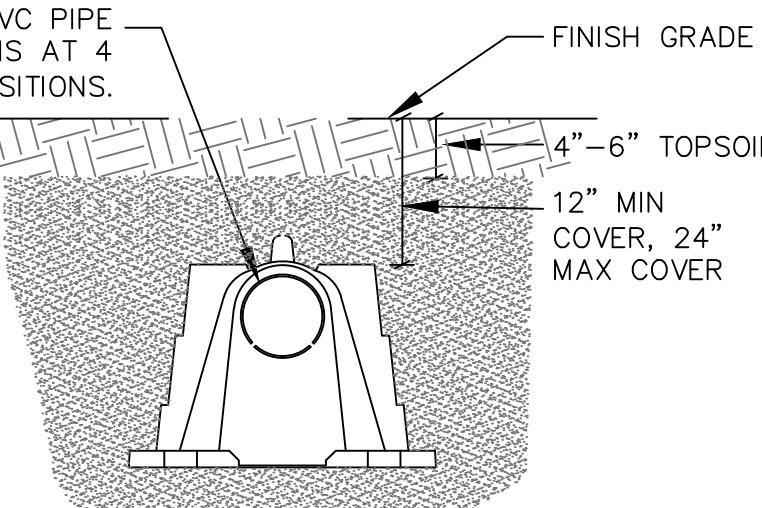
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INFILTRATOR QUICK4 EQUALIZER

24 CHAMBER DETAIL

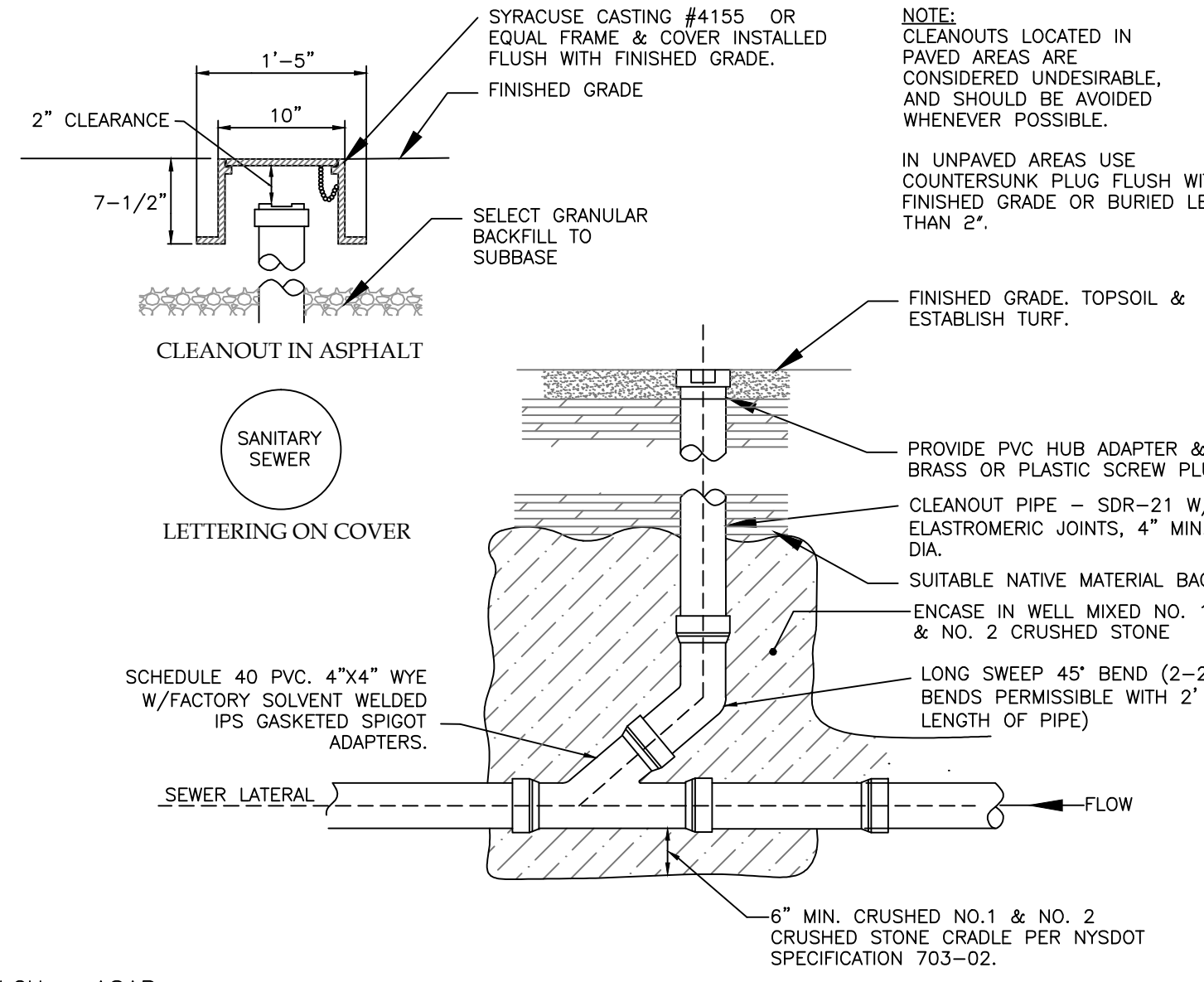
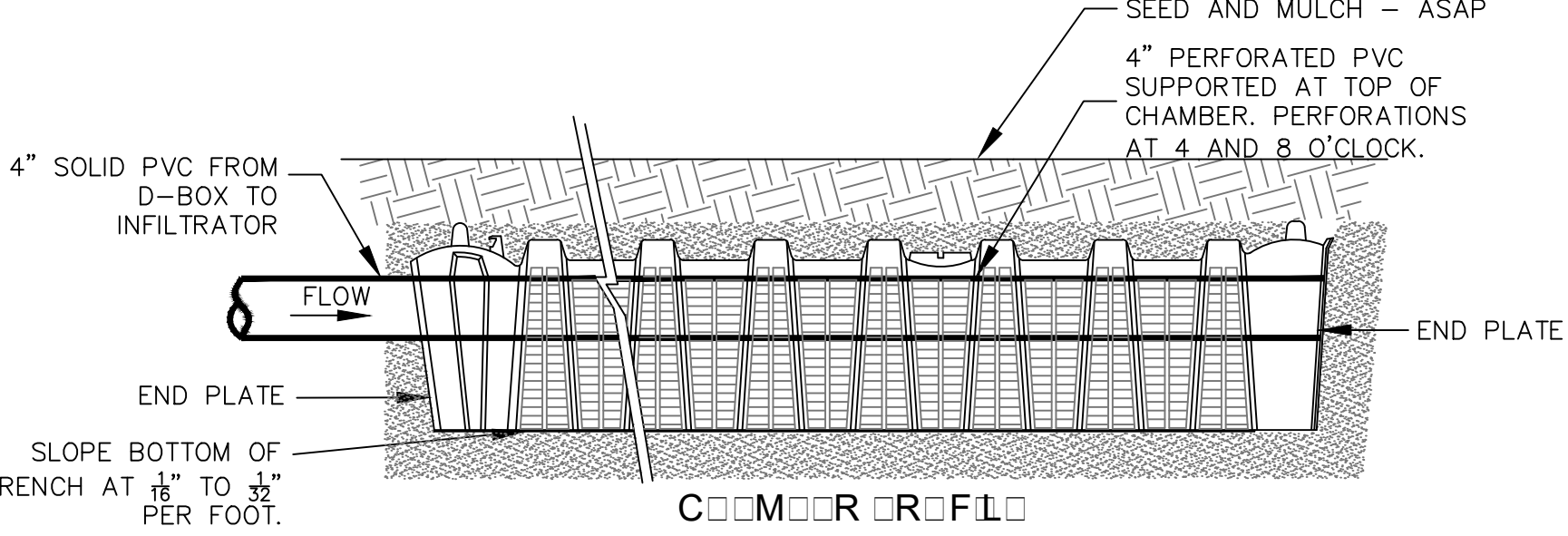
- NOTE:  
1. BACKFILL MATERIAL TO BE TAMPED CAREFULLY TO PROVIDE ADEQUATE SUPPORT TO UNIT SIDES.  
2. SUPPORT 4" PERFORATED PIPE IN INFILTRATOR (FULL LENGTH) IN THE TOP OF THE CHAMBERS WITH NYLON STRAPS. MIN. 3 TIES PER CHAMBER.  
3. TYPICAL TRENCH DEPTH SHOULD BE 18"-30" WITH THE PIPE NOT MORE THAN 24" BELOW GRADE.



GRAVELLESS CHAMBER LEACHING TRENCH

WITH 4" PERFORATED SPREADER PIPE

NOT TO SCALE



SANITARY CLEANOUT DETAIL

NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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FOR PERMITTING ONLY

**VENEZIA**  
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By

NYS Land Surveyor  
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SEPTIC SYSTEM DETAILS

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TOWN OF CANANDAIGUA EROSION CONTROL AND GRADING NOTES

EROSION CONTROL NOTES:

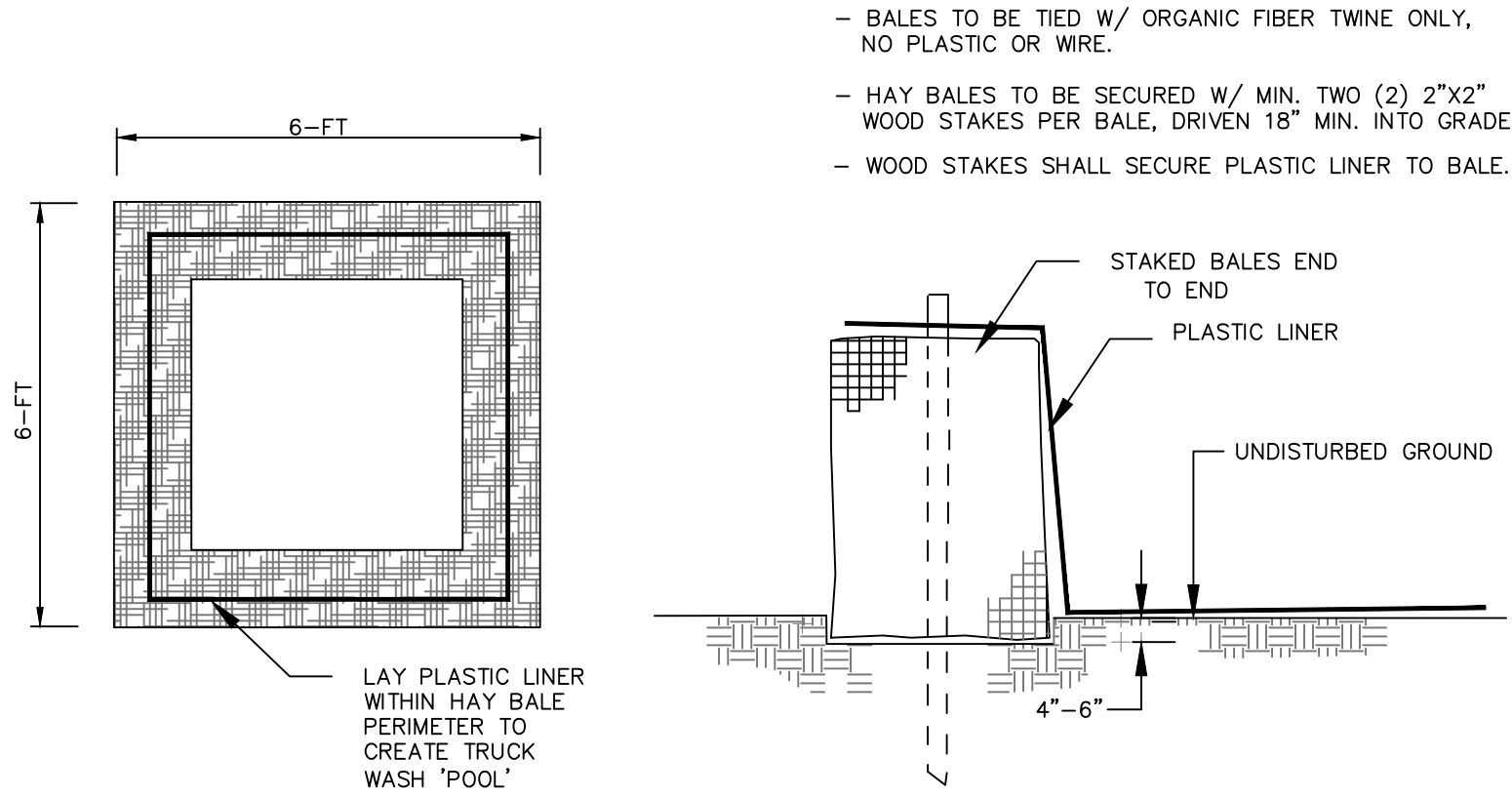
1. CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA. CRUSHED STONE STABILIZATION PAD TO BE PLACED AT THE CONSTRUCTION ENTRANCE. IF BUILDING AND SITE WORK TO BE PHASES, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH PHASE OF CONSTRUCTION.
2. APPROVAL FOR ANY ON-SITE BURIAL MUST BE OBTAINED FROM THE TOWN OF CANANDAIGUA PRIOR TO COMMENCING WORK. OTHER DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH CURRENT NYSDEC REGULATIONS.
3. TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AREAS DESIGNATED BY THE OWNER AND THE TOWN OF CANANDAIGUA. CONTRACTOR IS TO PERFORM THE EARTHWORK MAKING ALL CUTS AND FILLS AS SHOWN ON THE PLANS AND PER FIELD STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF SIX (6) INCHES TO ACHIEVE FINAL GRADING ELEVATION.
4. AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEEDED. SLOPES SHALL BE SEEDDED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK.
5. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED AS PER THE UPDATED GP-0-15-002 REQUIREMENTS.
6. UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES, AND STRAW BALE INLET AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO MAKING CONNECTION OR ALTERING ANY EXISTING UTILITIES.
7. DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCING, CHECK DAMS OR CATCH BASIN/YARD INLET PROTECTION WHICH BECOME CLOGGED, INOPERABLE OR DAMAGED. STRAW BALES SHALL BE INSPECTED AT MAXIMUM INTERVALS OF THREE MONTHS FOR REPLACEMENT AND REPLACEMENT WILL BE DIRECTED TO BY THE TOWN OF CANANDAIGUA. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCING, CHECK DAMS, INLET PROTECTION AND DESILTATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
8. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-362-7862 FOR STAKE-OUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
9. CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT. (SEE DETAIL)
10. ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/ OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION.
11. DISTURBED AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 10 % SEEDDED UPON COMPLETION OF GRADING AND CONSTRUCTION. DISTURBED AREAS SHALL BE SEEDDED IMMEDIATELY UPON COMPLETION WITH TEMPORARY AND PERMANENT MIXTURES, AS APPROPRIATE, AS IDENTIFIED ON THIS SHEET.
12. NO SITE PREPARATION SHALL COMMENCE UNTIL A SOIL AND SEDIMENTATION CONTROL PERMIT HAS BEEN ISSUED BY THE TOWN OF CANANDAIGUA.
13. ALL DISTURBED AREAS TO BE RECLAIMED WITH 6" TOPSOIL.
14. THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-15-002 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY. THE POLLUTION PREVENTION PLAN CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, STORMWATER POLLUTION PREVENTION PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
15. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
16. ANY MODIFICATIONS OR DEVIATIONS FROM THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED BY THE OWNER WITH THE ENGINEER AND THE TOWN OF CANANDAIGUA.
17. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL OF CONSTRUCTION DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF A STORM EVENT THAT GENERATES 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD. AN INSPECTION REPORT LOG IS TO BE KEPT ON-SITE BY THE OWNER. ALL REPORTS ARE TO BE SUBMITTED TO THE TOWN.
18. SEE LANDSCAPE ARCHITECT DRAWINGS FOR PERMANENT SEED MIXES AND FINAL SEEDING REQUIREMENTS.
19. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.
20. THE OWNER/OPERATOR SHALL HAVE A QUALIFIED INSPECTOR PERFORM A FINAL SITE INSPECTION PRIOR TO SUBMITTING THE NOTICE OF TERMINATION (NOT) TO THE NYSDEC. THE QUALIFIED INSPECTOR SHALL CERTIFY THAT ALL DISTURBED AREAS ACHIEVED FINAL STABILIZATION.
21. THE NAME AND TITLE OF THE INDIVIDUALS RESPONSIBLE FOR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IMPLEMENTATION SHALL BE ATTACHED TO THE SWPPP AND MAINTAINED ON THE SITE.
22. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE TRAINED INDIVIDUAL IS ON-SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
23. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH DENSITY OF 80% OVER THE ENTIRE PVIOUS SURFACE HAS BEEN ESTABLISHED.

GRADING NOTES:

1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
2. EROSION CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS. EROSION CONTROL SERVICES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA. REFER TO THE PLANS AND THE TOWN OF CANANDAIGUA CHAPTER 85, SOIL EROSION AND SEDIMENTATION CONTROL SPECIFICATIONS FOR THE EROSION CONTROL DEVICES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING EROSION CONTROL DEVICES FOR THE DURATION OF THE CONTRACT.
4. THE CONTRACTOR WILL PROVIDE CRUSHED STONE STABILIZED CONSTRUCTION ENTRANCE AT THE PROJECT ENTRANCE.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR PREVENTING SILT RUNOFF FROM ACCUMULATION ON THE EXISTING ROADS AND/OR BEING CONVEYED DOWNSTREAM, DIVERSIONARY BERMS, INTERCEPTORS SWALES AND CRUSHED STONE FILTERS SHALL BE EMPLOYED TO PROTECT CANANDAIGUA LAKE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
7. THE OWNER WILL BE RESPONSIBLE FOR IMPLEMENT THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN, INCLUDING THE FILING OF A "NOTICE" OF INTENT PRIOR TO CONSTRUCTION START. THE OWNER HAS A CONTRACTOR AND ALL OTHER ASSOCIATES WITH THE IMPLEMENTATION OF THIS PLAN SHALL BE FAMILIAR WITH PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT GP-0-15-002 FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
8. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PERFORM DUST CONTROL MEASURES AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
9. THE TOPSOIL SHALL BE SEEDDED AFTER COMPLETION OF STRIPING.
10. THE TOPSOIL STOCKPILE LOCATION SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA.

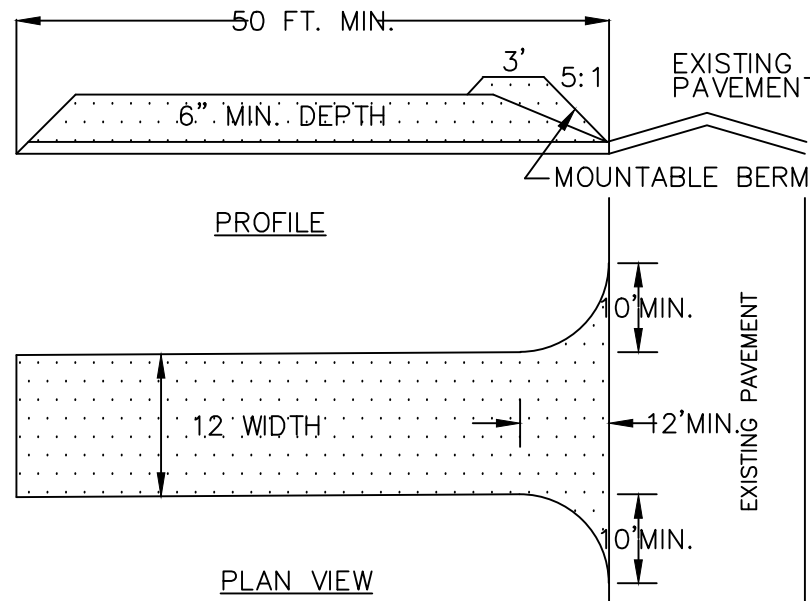
TEMPORARY SEEDING

1. SEED ALL CUT AND FILL AREAS, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
1. IF SOILS ARE COMPACTED, SCARIFY UPPER TWO INCHES BY BACKBLADING WITH A DOZER, RAKING, OR DISKING.
2. IMMEDIATELY\* FERTILIZE WITH 300 LBS/ACRE OF 10-10-10.  
NOTE: NO FERTILIZER SHOULD BE USED AFTER OCTOBER 1ST IF THERE IS DANGER OF LEACHING INTO A WATER RESOURCE. PROJECT SHALL COMPLY WITH THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION FERTILIZER LAW.
3. SEED WITH THE FOLLOWING MIX:
- SUMMER/SPRING/EARLY FALL:  
30 LBS/ACRE ANNUAL RYEGRASS  
30 LBS/ACRE PERENNIAL RYEGRASS
- LATE FALL/EARLY WINTER:  
100 LBS/ACRE CEREAL RYE
4. SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
5. APPLY STRAW MULCH-STRAW MULCH AS NECESSARY TO HOLD IN MOISTURE, PROTECT SOIL FROM EROSION, HOLD SEED IN PLACE, AND KEEP SOIL TEMPERATURES MORE CONSTANT. 3 BALES PER 1000 SQ. FT.



CONCRETE TRUCK WASH AREA

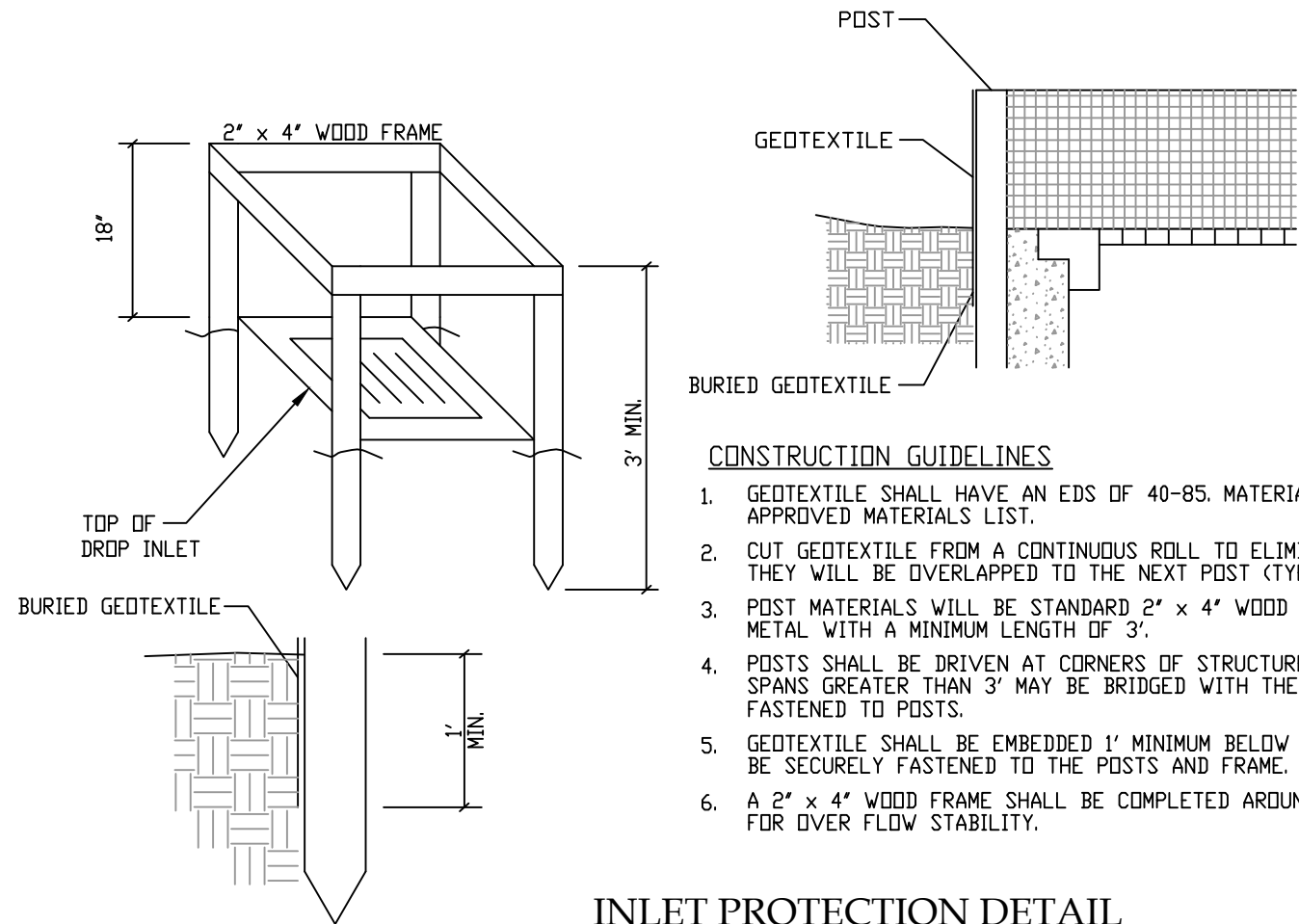
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAILS

NOT TO SCALE

1. STONE SIZE - USE #2 STONE
2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH - FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

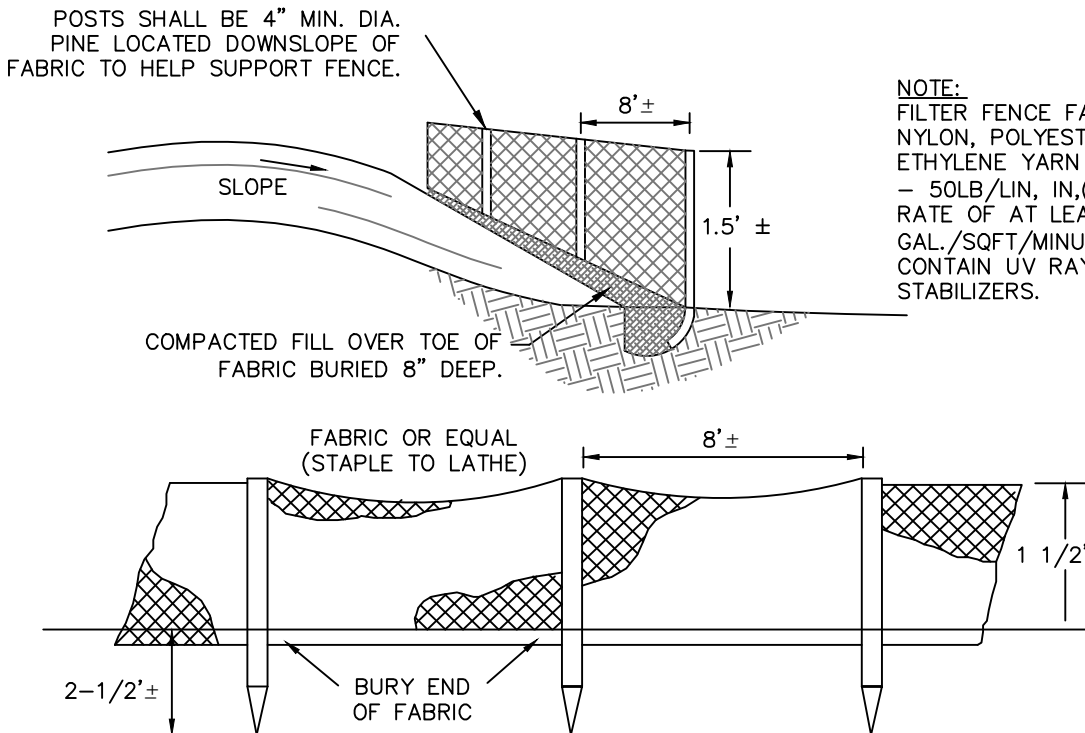


INLET PROTECTION DETAIL

N.T.S.

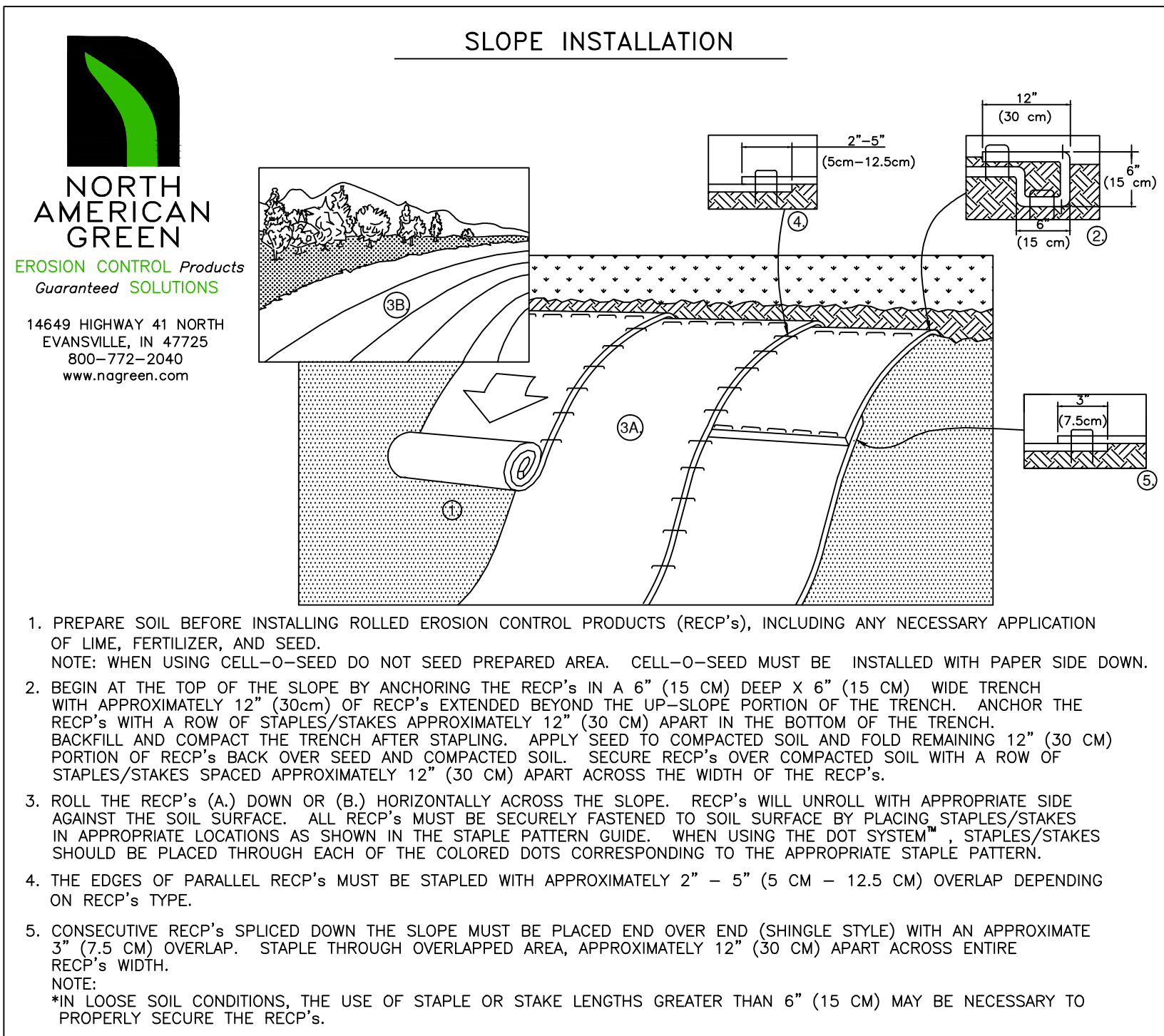
CONSTRUCTION GUIDELINES

1. GEOTEXTILE SHALL HAVE AN EDS OF 40-85. MATERIAL TO BE LISTED ON THE NYSDOT APPROVED MATERIALS LIST.
2. CUT GEOTEXTILE FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT POST (TYP).
3. POST MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3'.
4. POSTS SHALL BE DRIVEN AT CORNERS OF STRUCTURES AND TO A MINIMUM DEPTH OF 1-1/2'. SPANS GREATER THAN 3' MAY BE BRIDGED WITH THE USE OF MESH REINFORCEMENT FASTENED TO POSTS.
5. GEOTEXTILE SHALL BE EMBEDDED 1' MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE POSTS AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE GEOTEXTILE FOR OVER FLOW STABILITY.



SILT FENCE DETAIL

NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
3. ROLL THE RECP's (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DISCS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP's MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP's TYPE.
5. CONSECUTIVE RECP's SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP's WIDTH.
- NOTE:  
IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



5120 Laura Lane

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By



Drawing Title:

EROSION CONTROL NOTES AND DETAILS

Site Plan Prepared For:

Daniel R. Wegman

Showing Land at  
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Town of Canandaigua  
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