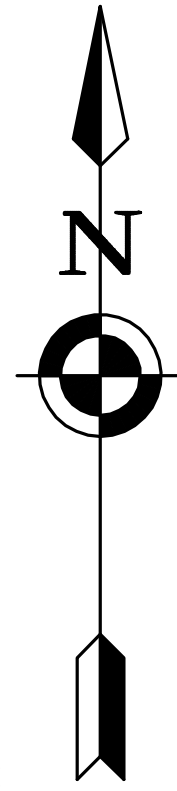


LEGEND

DENOTES RECORD INFORMATION		DRAINAGE FLOW DIRECTION
PROPOSED CONTOUR		GAS MAIN/SERVICE
EXISTING CONTOUR		FENCE LINE
EXISTING PROPERTY LINE		WATERMAIN/WATER SERVICE
SETBACK LINE		TREE/VEGETATION LIMITS
WATERCOURSE LINE		UTILITY POLE
STAKED SILT FENCE OR SOCK		EDGE OF EXIST. PAVEMENT
ROADWAY CENTERLINE		TREES
OVERHEAD WIRES-ELECTRIC/ TEL		EXISTING SIGN
SURFACE SPOT ELEVATION		HYDRANT/ WATER VALVE
		DEEP/PERCOLATION TEST HOLE



PROPOSED CONDITIONS - COVERAGE
AREAS MEASURED IN SQUARE FEET

HOUSE, PORCH AND DECK	8,175.0
DRIVEWAY, PATIO, WALKS	11,142.0
BREAKWALL	137.0
SHED	362.5
TOTAL COVERAGE	19,816.5
TOTAL SITE/LAND AREA (TO ROW)	848,836.8 (19.49 ACRES)
BUILDING COVERAGE	1.00%
TOTAL LOT COVERAGE	2.33%

EXISTING CONDITIONS - COVERAGE
AREAS MEASURED IN SQUARE FEET

HOUSE, PORCH AND DECK	7,135.0
DRIVEWAY, PATIO, WALKS	8,213.0
BREAKWALL	137.0
SHED	362.5
TOTAL COVERAGE	15,847.5
TOTAL SITE/LAND AREA (TO ROW)	848,836.8 (19.49 ACRES)
BUILDING COVERAGE	0.88%
TOTAL LOT COVERAGE	1.87%

SITE DATA/ GENERAL NOTES

- ZONING:
ZONE RLD
- FRONT SETBACK: 60',
- REAR (LAKE) SETBACK: 60'
- SIDE SETBACK: 12'
- MAX. HEIGHT: 25'
- MAX % COVERAGE: 15% (BUILDING) 25% (LOT)
AND
ZONE RR-3
- MINIMUM LOT SIZE: 3 ACRES
- MINIMUM LOT WIDTH: 400 FT
- FRONT SETBACK: 60 FT.
- REAR SETBACK: 40 FT.
- SIDE SETBACK: 40 FT.
- MAXIMUM BUILDING HEIGHT = 35 FT.
- MAXIMUM LOT COVERAGE = 10%
- UTILITIES:
- ELECTRIC: NYSEG OVERHEAD
- GAS: NYSEG
- WATER: TOWN OF CANANDAIGUA
- SEWER: ON SITE INDIVIDUAL HOUSEHOLD SYSTEM
- FLOOD ZONE PER FEMA FIRM PANEL 3605980025C EFFECTIVE DATE MARCH 3, 1997, A PORTION OF THIS PROJECT IS LOCATED IN FLOOD ZONE AE THAT IS IDENTIFIED AS THE AREA DETERMINED TO BE WITHIN THE 100 YEAR FLOODPLAIN.
- ALL DISTANCES AND ELEVATIONS ARE MEASURED IN DECIMAL FEET. ELEVATIONS SHOWN ARE ON NAD 1988 DATUM. ADD 0.50 FEET TO THESE ELEVATIONS TO OBTAIN 1929 NGVD ELEVATIONS. MEAN HIGH WATER LINE AND 100 YEAR FLOOD ARE SHOWN BASED ON 1929 NGVD GRAPHICALLY FOR REFERENCE.
- ORIGINAL BASE MAPPING FOR THIS DRAWING WAS PROVIDED BY VENEZIA ASSOCIATES FROM AN INSTRUMENT SURVEY COMPLETED MAY 2017. THIS SURVEY WAS UPDATED BY PROFESSIONAL ENGINEERING GROUP IN OCTOBER AND DECEMBER 2022.
- DISTURBED AREA IS APPROXIMATELY 0.10 ACRES.

ZONING DATA COMPARISON

ZONING FEATURE	REQUIRED MIN/MAX	PROVIDED
FRONT SETBACK	60' (MIN)	63.2'
REAR (LAKE) SETBACK	60' (MIN)	37.0'
SIDE SETBACK	12' (MIN)	35.8'
BUILDING HEIGHT	25' (MAX)	29' (MATCH EXIST)
BUILDING COVERAGE	15% (MAX)	1.00%
LOT COVERAGE	25% (MAX)	2.33%

APPROVALS

TOWN PLANNING BOARD CHAIRPERSON	DATE
TOWN ENGINEER	DATE
TOWN HIGHWAY AND WATER SUPERINTENDENT	DATE

NO PRELIMINARY SITE PLAN REVIEW WAS REQUIRED

SHORELINE GUIDELINES STATEMENT
AS PROVIDED BY PROJECT LANDSCAPE ARCHITECT

SURVEY CERTIFICATION

WE, PROFESSIONAL ENGINEERING GROUP, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM A FIELD SURVEY PERFORMED AND COORDINATED WITH LIDAR SCANNING IN OCTOBER AND NOVEMBER 2022 RESULTING IN THIS DRAWING THAT SHOWS THIS UPDATED INFORMATION TO THE PRIOR SURVEY DONE BY VENEZIA ASSOCIATES AS WAS PROVIDED FOR THE BUILDING ADDITION PROJECT CONSTRUCTED DURING 2018.

James H. Missell

JAMES H. MISSELL

L.S. #049777



REVISIONS

DATE	BY	DESCRIPTION
1/13/23	SH	PRC REVIEW
1/26/23	SH	SECOND TOWN REVIEW

SITE, UTILITY AND EROSION CONTROL PLAN
PROPOSED AND EXISTING CONDITIONS

5019 COUNTY ROAD 16

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

PROFESSIONAL ENGINEERING GROUP

7171 VICTOR - PITTSFORD ROAD
VICTOR, NEW YORK 14564
TEL: (585) 924-1860 EMAIL: PROENGINEER1@PRODIGY.NET

CLIENT:
DVC INC.
64 STONINGTON DRIVE
PITTSFORD, NY 14534
PHONE: (585) 353-3307
TAX ACCOUNT NO.
154.09-1-20.0

DATE: DEC. 2022 ENGINEER: S.A.H. DRAWN BY: S.A.H. SCALE: 1" = 30' SHEET NO.: 1 OF 3 DRAWING NO.: 2211122SP1

NOT FOR CONSTRUCTION

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL FROM ALL REVIEWING AGENCIES. IT IS SUBJECT TO REVISIONS AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THIS NOTE IS REMOVED.

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW, ARTICLE 145, SECTION 7200, AND APPLIES TO THIS DRAWING. IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

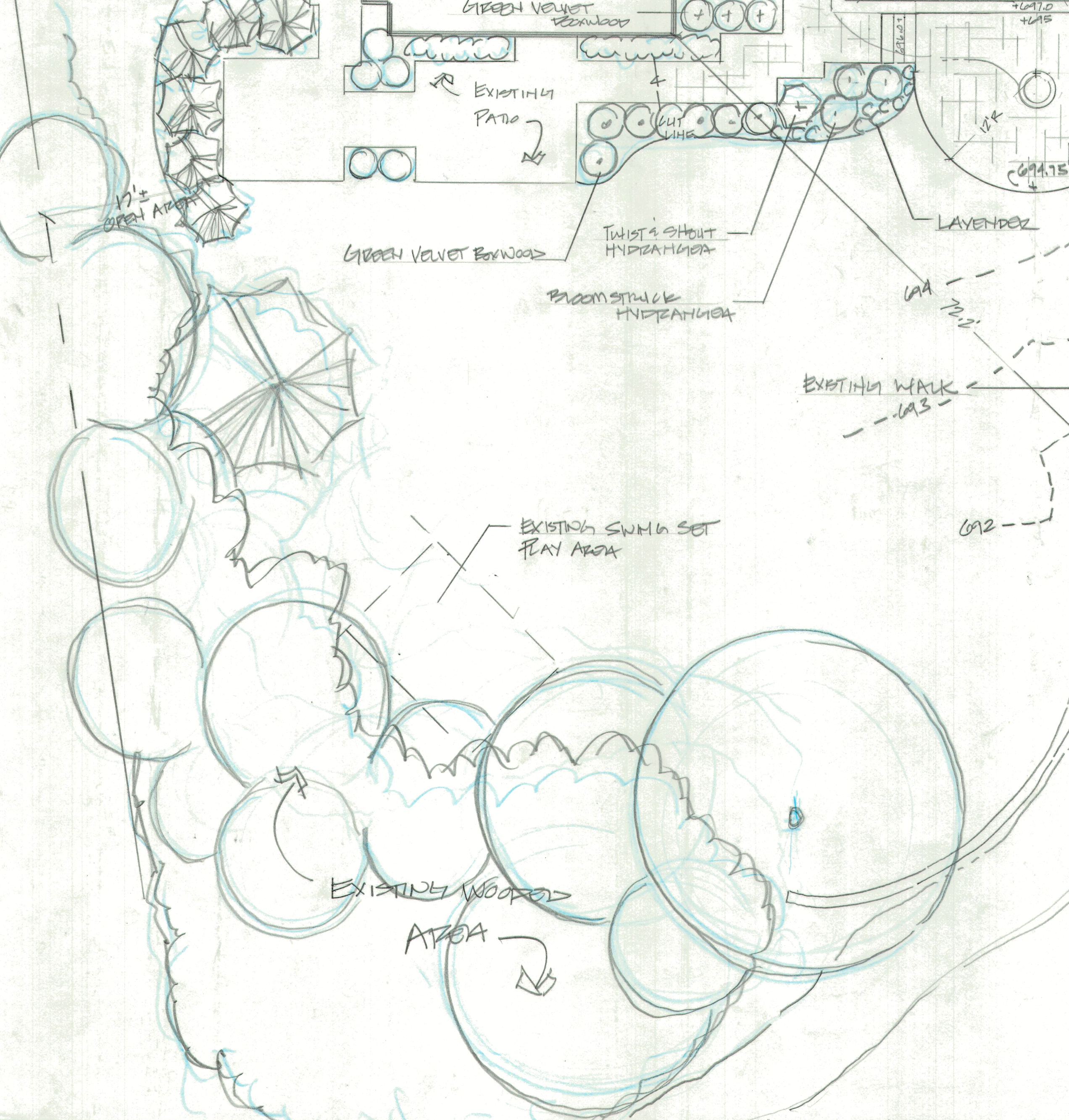
COPYRIGHT 2022, BY PROFESSIONAL ENGINEERING SERVICES/GROUP

THIS SITE IS HEAVILY VEGETATED ALONG BOTH THE NORTH AND SOUTH PROPERTY LINES WITH A SERIES OF LARGE MATURE TREES BETWEEN THE STRUCTURE AND THE SHORELINE. THE PROPOSED REMODELING ALONG WITH THE POOL PATIO STRUCTURE FALLS WITHIN THE ENVELOPE OF MATURE TREES WHICH WILL MAKE IT AESTHETICALLY BLEND TO THE CURRENT CONDITION. IT IS PROPOSED TO STEP THE 1- AND 2-FOOT ELEVATIONS LOW RETAINING WALLS THAT WILL MATCH THE EXISTING CONDITIONS AND AVOID THE ?ANT-HILL/MOUND? EFFECT THAT WOULD OCCUR IF JUST GRADED AND WILL PRESERVE THE EXISTING GRADES TO PROTECT THE PREVIOUSLY MENTIONED LARGE TREES. THE PROPOSED PLAN ALSO CALLS FOR NEW PLANTINGS OF TREES AND SHRUBS TO SOFTEN EDGES AND APPEAR CONSISTENT WITH THE EXISTING CONDITION MAKING IT UPON COMPLETION UNNOTICEABLE THAT WORK HAS OCCURRED AND THUS CONSISTENT WITH THE RECOMMENDED SHORELINE GUIDELINES.

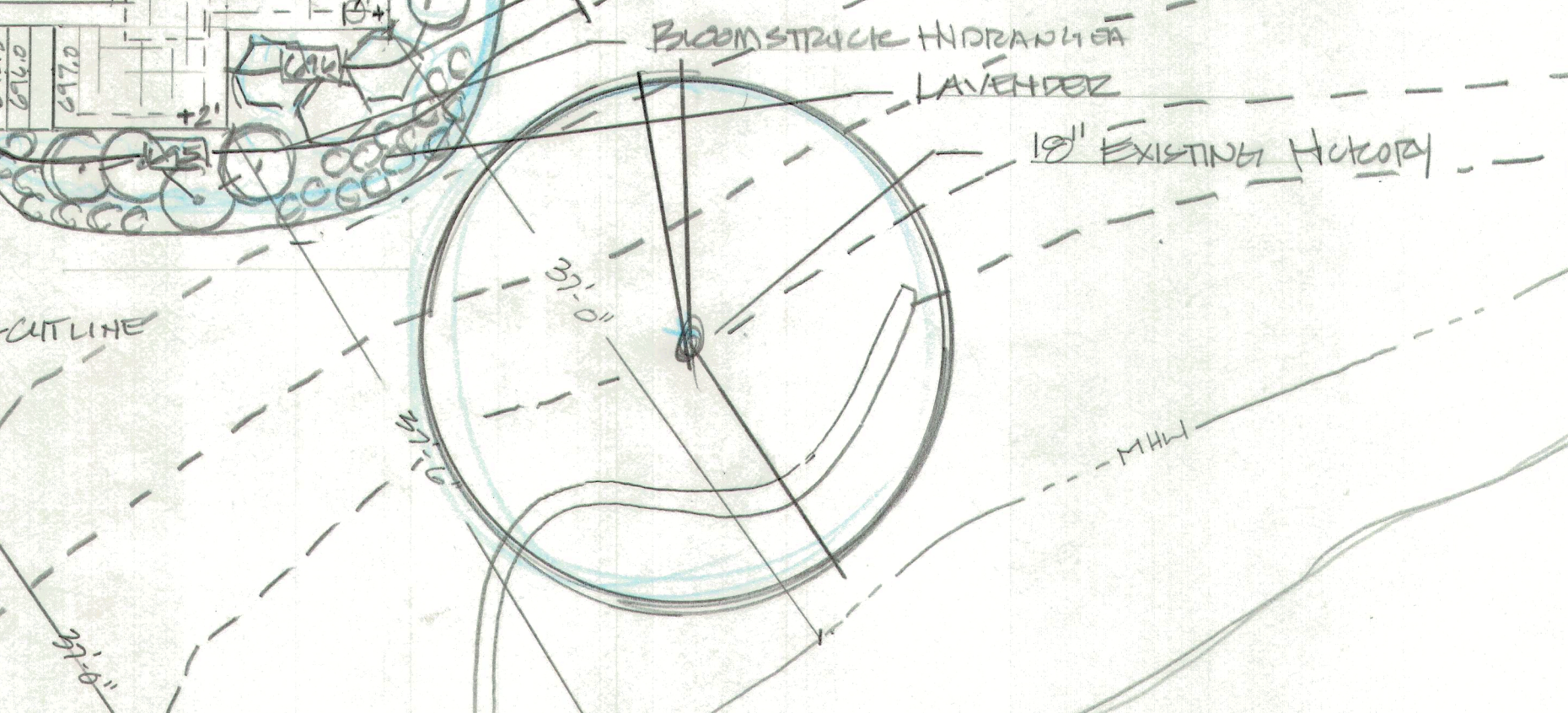
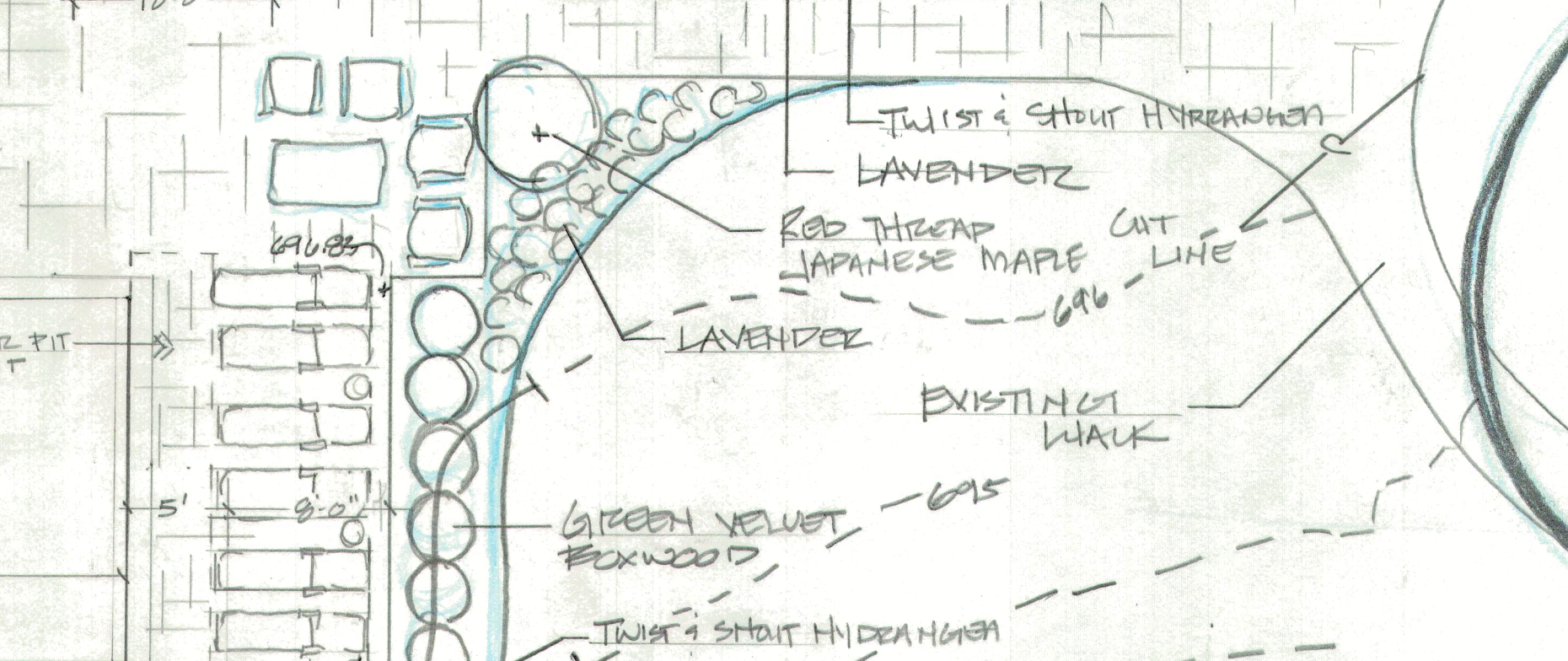
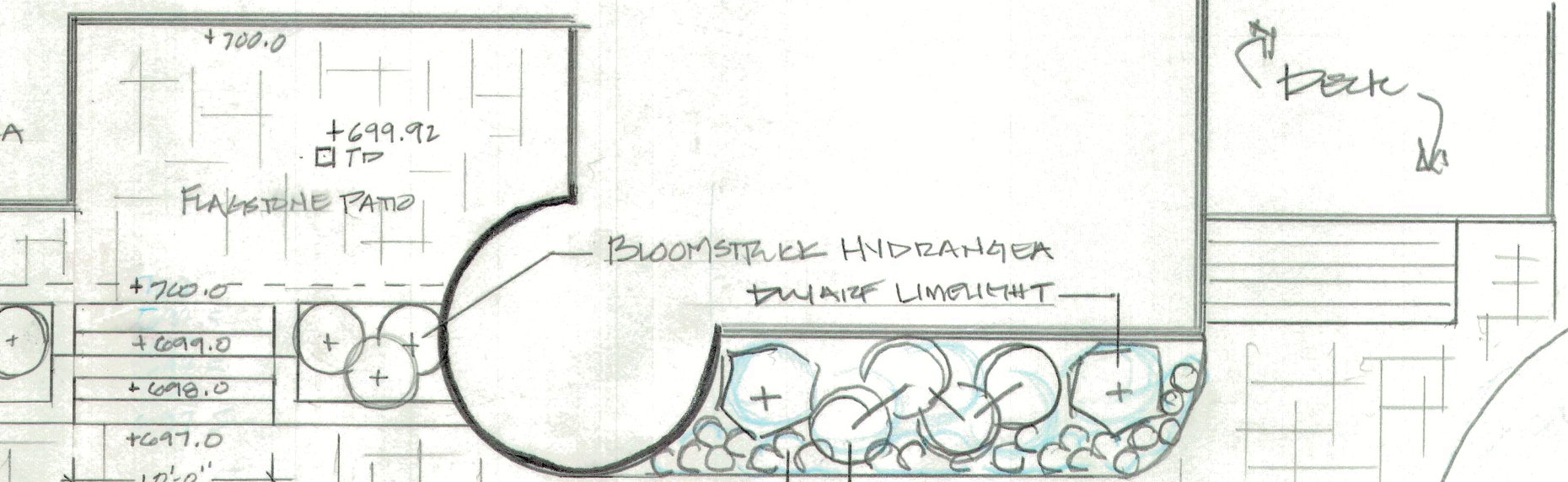
SHORELINE COMPLIANCE NOTE:

THE SITE IS HEAVILY VEGETATED ALONG BOTH THE NORTH AND SOUTH PROPERTY LINE WITH A SERIES OF MATURE TREES BETWEEN THE STRUCTURES AND THE SHORELINE. THE PROPOSED FENCE LINE ALONG WITH THE POOL PATIO STRUCTURE FALLS WITHIN THE ENVELOPE OF MATURE TREES WHICH WILL MAKE IT AESTHETICALLY BLEND TO THE CURRENT CONDITION. IT IS PROPOSED TO SET THE ONE & TWO FOOT ELEVATIONS WITH LOW WALLS THAT WILL MAINTAIN THE EXISTING CONDITION AND AVOID AN ANTHROPOMORPHIC EFFECT THAT WOULD OCCUR IF JUST GRADES AND WOULD PRESERVE THE EXISTING GRASSES TO PROTECT THE MENTIONED LARGE TREES. THE PROPOSED PLAN ALSO CALLS FOR HOW PLANTINGS OF TREES AND SHRUBS TO SOFTEN EDGES AND APPEAR CONSISTENT WITH THE EXISTING CONDITION MAKING IT UPON COMPLETE UNNOTICEABLE THAT WORK HAS OCCURRED AND THIS CONSISTENT WITH THE SHORELINE SURVIVAL.

TRANSPLANT EXISTING TREES AND SHRUBS IN SERVICE OF CONSTRUCTION ACCESS. RETAIN AND REESTABLISH AT END OF PROJECT



RESIDENCE

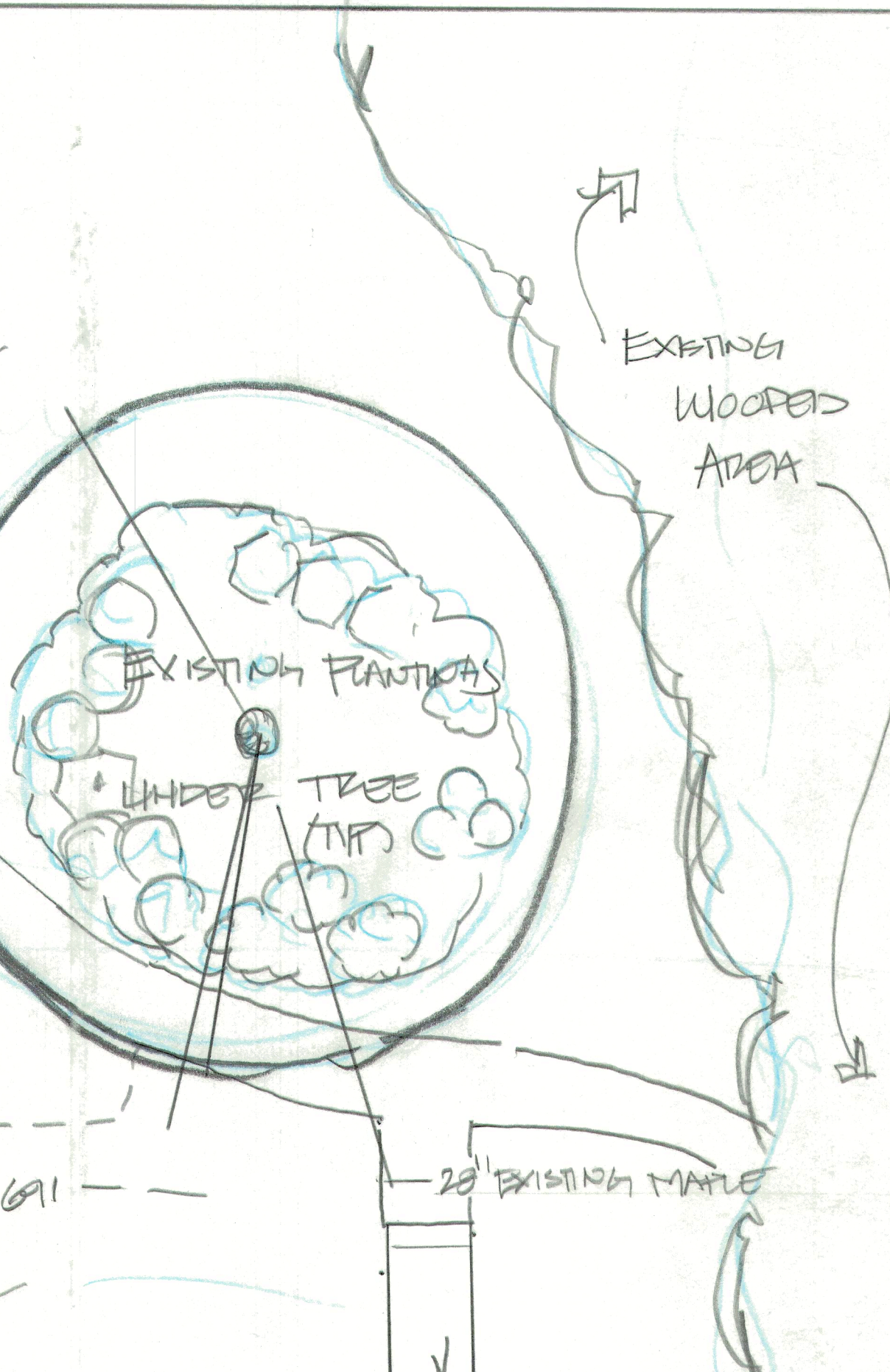


NOTE: ALL GRADES TO BE TOP DRESS WITH TOP SOIL AND COMPOST FROM APPROVED VENDOR FOR SOIL TEST. NO FERTILIZERS SHALL BE USED TO PROTECT LAKE

SEED MIX: 21% 3rd MILLENNIUM SRP TALL FESCUE, 21% COCHISE IV TALL FESCUE, 21% PHAMBLER SRP TALL FESCUE, 10% AMAZING GRASS PERENNIAL RYEGRASS, 21% TRAYESS SRP TALL FESCUE, 6% BROOKLYN KENTUCKY BLUEGRASS

PLANT SCHEDULE:

AMOUNT	SCIENTIFIC NAME	COMMON NAME	SIZE	BALL	REMARKS
TREES:					
1	ACER PALMATUM	BLOODGOOD JAPANESE MAPLE	13 TO 15'	3 1/2' B	FULL AND WIDE
1	ACER PALMATUM DISSECTUM	RED THREAD JAPANESE MAPLE	3 3/4'	3 1/2' B	2X WIDER THAN TALL
SHRUBS:					
15	BUXUS 'X' GREEN VELVET	GREEN VELVET BOXWOOD	24" H	CONT	EQUAL WIDTH TO HEIGHT
10	HYDRANGEA SPP.	TWIST & SHOUT	24" H	CONT	
1	"	LIMELIGHT	3' H	CONT	FULL
2	"	BLOOMSTRUCK	24" H	CONT	
2	"	DWARF LIMELIGHT	30" H	CONT	
PERENNIALS:					
75	LAVENDER	LAVENDER	26" H	CONT	
TRANSPLANTS:					
TREES:					
3	GREEN GIANT ARBOVITAE		10' H		HAND DEL
SHRUBS:					
25	MISC. BOXWOOD AND HYDRANGEAS		30" H		HAND DEL



It is a violation of the law for any person, acting under the direction of a licensed landscape architect, to alter any item in any way. If an item bearing the seal of a landscape architect is altered, the altering landscape architect shall attach to his item the seal and the notation 'ALTERED BY' followed by his signature and the date of such alteration, and a specific description of the alteration.

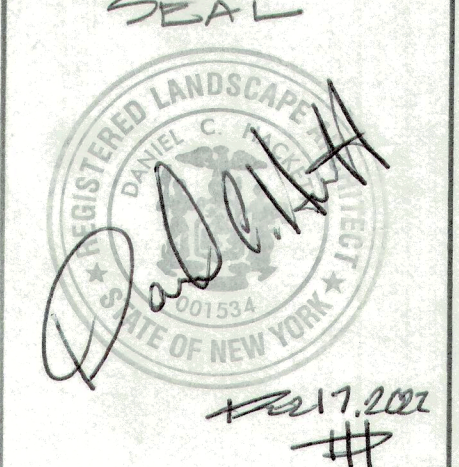
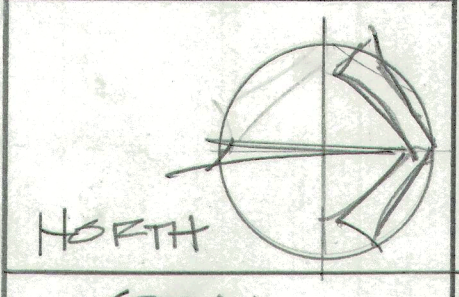
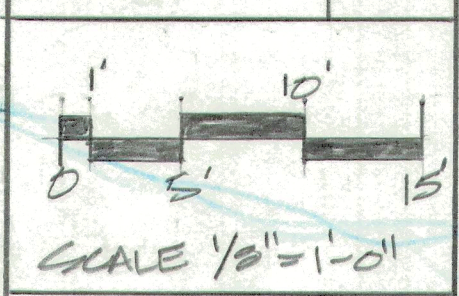
SHEET TITLE

PLANTING PLAN

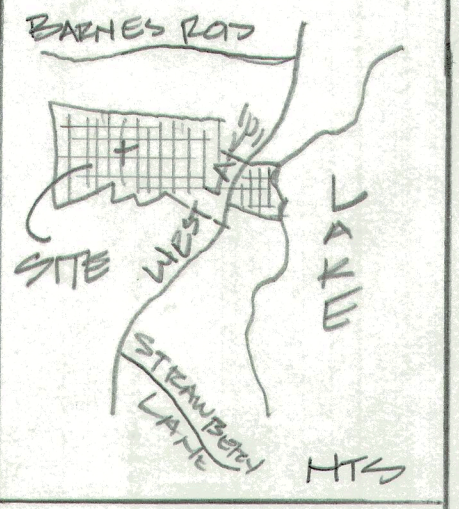
CLIENT: SANDS 5019 ORIO CANADIAN HILL, NY 14124

BY: DAN HACKETT PIA SEUS LAKEWOOD TR CANADIAN HILL, NY 14124 (ES) 314-2114

REVISIONS:	DESCRIPTION	DATE
1.		
2.		
3.		
4.		
5.		



LOCATION MAP:



JOB # 217533
SCALE 1/8" = 1'-0"
DATE: FEB 17, 2022
DRAWN BY: JH
CHECKED BY: JH
SHEET # L 1 OF 1



SHEET NO.:	DRAWING NO.:
3 OF 3	221112DT1