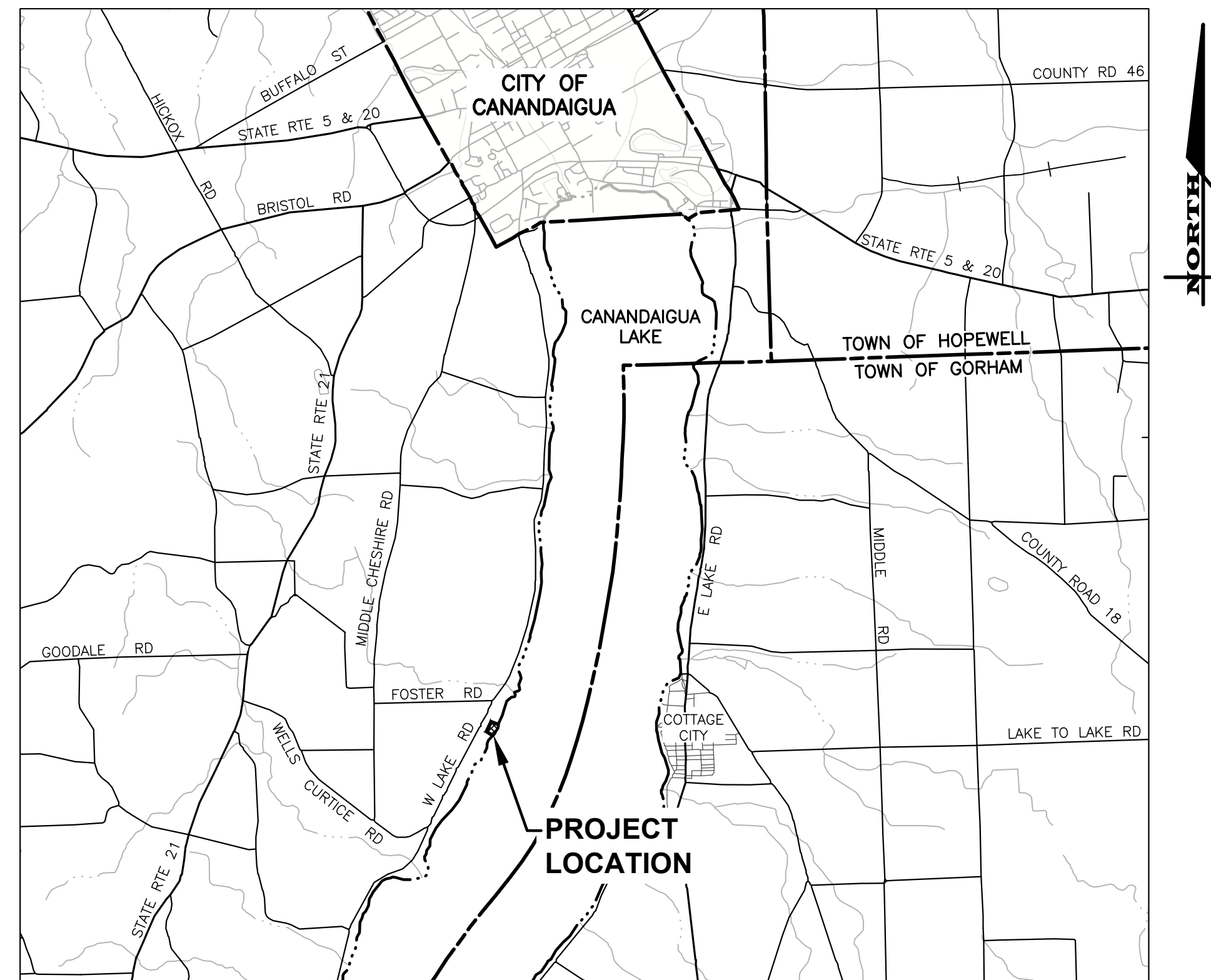


# SITE PLANS for THE GILL RESIDENCE

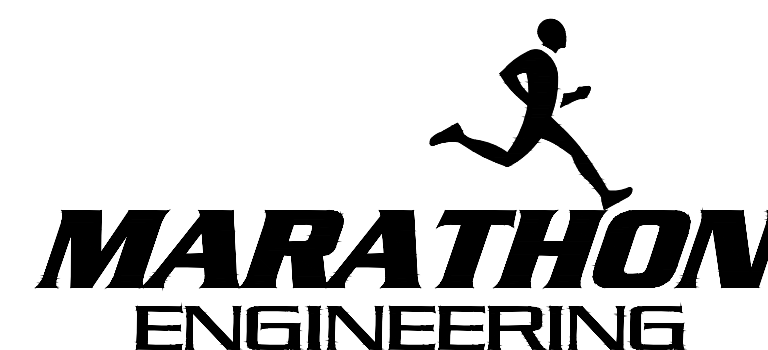
4495 DAVIDSON LANDING DR

SITUATE IN:  
TOWN OF CANANDAIGUA - ONTARIO COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION

39 CASCADE DRIVE  
ROCHESTER, NY 14614  
585-458-7770

ITHACA LOCATION

840 HANSHAW RD, STE 12  
ITHACA, NY 14850  
607-241-2917

[www.marathoneng.com](http://www.marathoneng.com)

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MARATHON ENGINEERING  
OF ROCHESTER, P.C.

LIST OF DRAWINGS		
No.	DWG. No.	DESCRIPTION
1	COVER	COVER
2	V1.0	EXISTING CONDITIONS PLAN
3	C2.0	SITE PLAN
4	C3.0	GRADING & UTILITY PLAN
5	C4.0	EROSION CONTROL AND STABILIZATION PLAN
6	C5.0	LANDSCAPING & RESTORATION PLAN



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NOTES

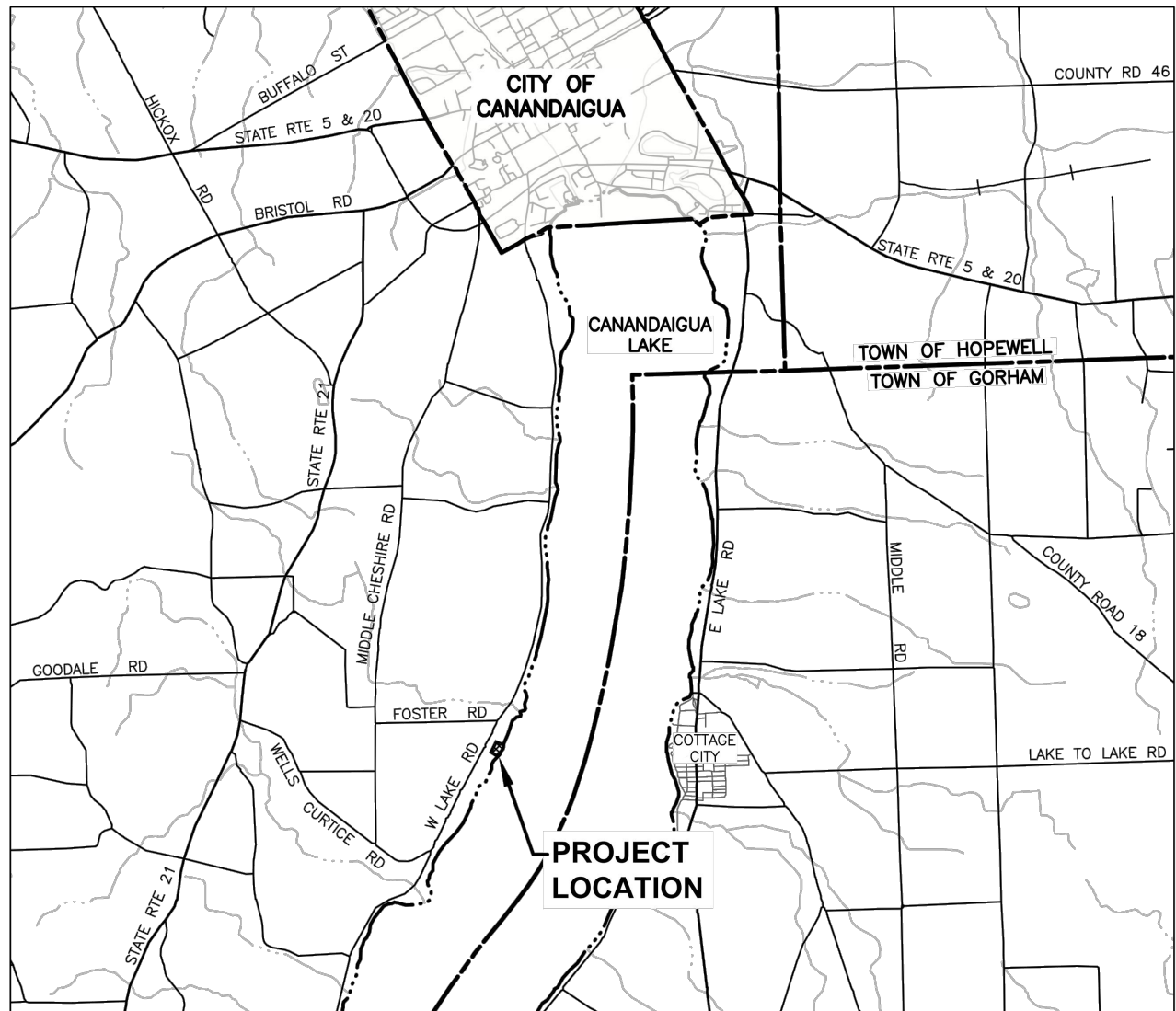
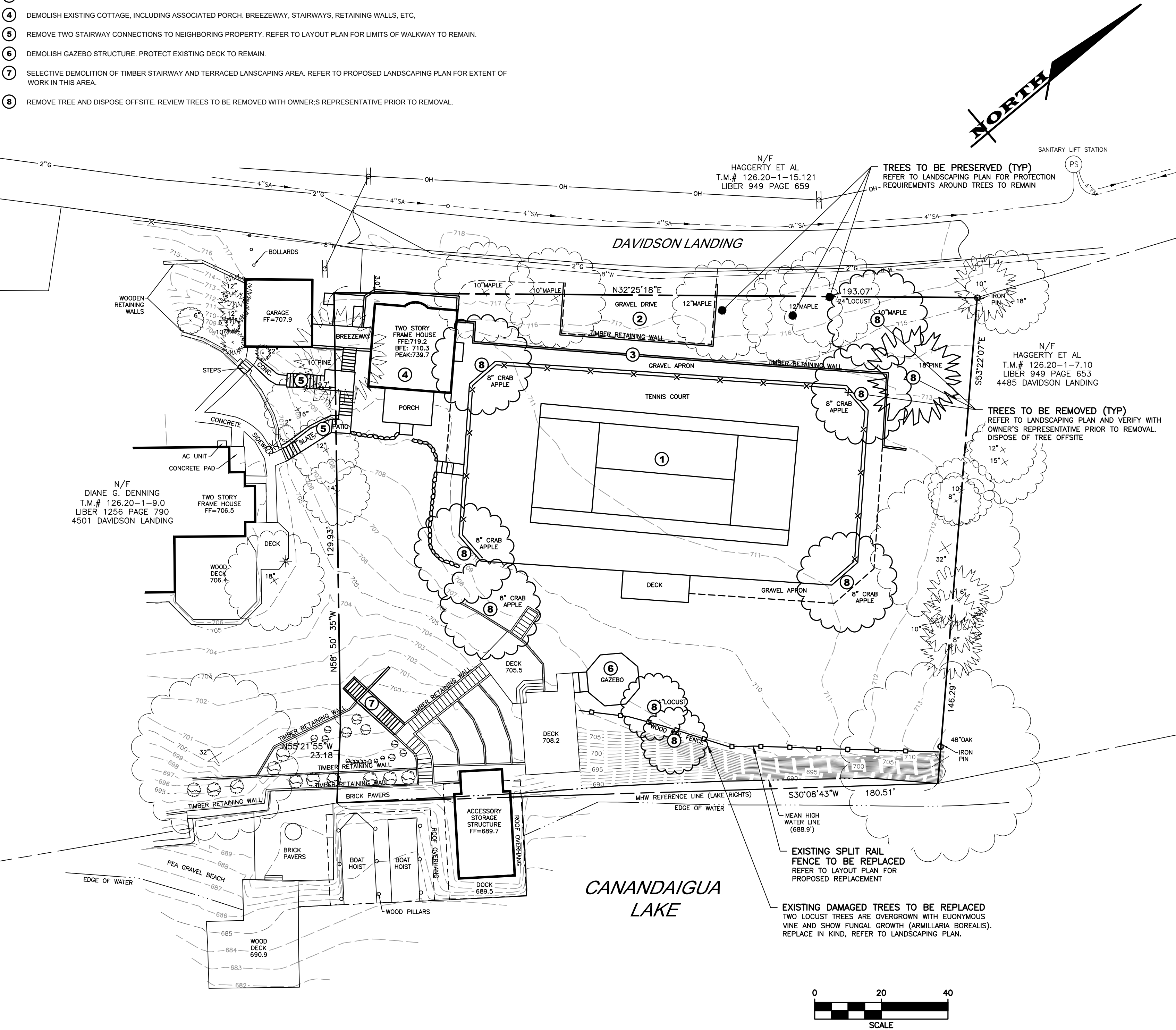
- 1. MAPPING** - THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE PREPARED BY VENEZIA LAND SURVEYORS AND CIVIL ENGINEERS AS SHOWN ON THE EXISTING CONDITIONS MAP TITLED "DANIEL M. GILL REVOCABLE TRUST" FILED AT THE ONTARIO CLERKS OFFICE UNDER MAP NO. 12493. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM CANANDAIGUA LAKE WATERSHED COMMISSION ON 3/17/2020
- 2. STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 3. BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM AN EXISTING CONDITION MAP TITLED "DANIAL M. GILL REVOCABLE TRUST" FILED AT THE ONTARIO COUNTY CLERKS OFFICE UNDER MAP NO. 12493 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- 4. DATUM** - THE VERTICAL DATUM WAS SET TO NAVD 88 USING ELEVATION DATA TAKEN FROM AN EXISTING CONDITION MAP TITLED "DANIAL M. GILL REVOCABLE TRUST" FILED AT THE ONTARIO COUNTY CLERKS OFFICE UNDER MAP NO. 12493.
- 5. FLOODPLAIN** - THE PROPERTY IS LOCATED IN ZONE 'X' AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL No. 3605980025C, DATED 03/03/1997

SPECIAL DEMOLITION NOTES

- 1.** THE CONTRACTOR SHALL VERIFY THAT ALL UTILITIES TO BE REMOVED DO NOT HAVE ANY IN SERVICE LATERALS OR SERVICES CONNECTED TO THEM. ANY LATERALS/ SERVICES THAT ARE STILL IN SERVICE SHALL BE RECONNECTED AND THE OWNER'S ON-SITE REPRESENTATIVE AND DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- 2.** IT IS INTENDED TO LIMIT DISTURBANCE AS MUCH AS POSSIBLE. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE DEMOLITION SCHEDULE, PHASING, PEDESTRIAN SAFETY, PARKING AND VEHICULAR CIRCULATION, STOCKPILE LOCATIONS AND SECURITY FENCING WITH OWNERS ON-SITE REPRESENTATIVE. ANY DISTURBANCE OUTSIDE THE WORK LIMIT LINE SHALL BE COORDINATED WITH THE OWNERS ON-SITE REPRESENTATIVE.
- 3.** ITEMS TO BE SALVAGED SHALL BE STOCKPILED IN A SECURE LOCATION FOR REINSTALLATION. ANY ITEMS DAMAGED DURING REMOVAL SO AS TO BE UN-USEABLE SHALL BE REPLACED IN KIND.

DEMOLITION SCHEDULE

- 1** DEMOLISH TENNIS COURT. REMOVE AND DISPOSE OF PAVEMENT, NET, AND FENCING.
- 2** REMOVE EXISTING GRAVEL PARKING AREA AND ASSOCIATED TIMBER RETAINING WALL. PROTECT ADJACENT MAPLE TREES DURING DEMOLITION.
- 3** REMOVE TIMBER RETAINING WALL IN ENTIRETY.
- 4** DEMOLISH EXISTING COTTAGE, INCLUDING ASSOCIATED PORCH, BREEZEWAY, STAIRWAYS, RETAINING WALLS, ETC.
- 5** REMOVE TWO STAIRWAY CONNECTIONS TO NEIGHBORING PROPERTY. REFER TO LAYOUT PLAN FOR LIMITS OF WALKWAY TO REMAIN.
- 6** DEMOLISH GAZEBO STRUCTURE. PROTECT EXISTING DECK TO REMAIN.
- 7** SELECTIVE DEMOLITION OF TIMBER STAIRWAY AND TERRACED LANDSCAPING AREA. REFER TO PROPOSED LANDSCAPING PLAN FOR EXTENT OF WORK IN THIS AREA.
- 8** REMOVE TREE AND DISPOSE OFFSITE. REVIEW TREES TO BE REMOVED WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.



LOCATION MAP  
NOT TO SCALE

**MARATHON ENGINEERING**  
ROCHESTER LOCATION  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
585-458-7770  
ITHACA LOCATION  
840 HANSHAW RD, STE 12  
ITHACA, NY 14850  
607-241-2917  
www.marathoneng.com

**SITE PLANS** for **THE GILL RESIDENCE**

STATE OF NEW YORK  
TOWN OF CANANDAIGUA  
4495 DAVIDSON LANDING DR  
ONTARIO COUNTY

JOB NO: 1207-21  
SCALE: AS SHOWN  
DRAWN: LJB  
DESIGNED: RPB  
DATE: 04/07/2021

REVISIONS

DATE	BY	REVISION
6/7/21	LJB	ZBA COMMENTS

IT IS A VIOLATION OF NEW YORK STATE EDUCATION ARTICLE 136, SECTION 7201 FOR ANY PERSON, FIRM OR ENTITY, UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, WITHOUT THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, ANY INSTRUMENT, THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ATTACHED, THE ENGINEER OR LAND SURVEYOR SHALL APPEAL TO THE NEW YORK STATE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS FOR THE REVIEW AND THE DATE OF SUCH ACTION, AND A SPECIFIC DESCRIPTION OF THE VIOLATION.

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STATE OF NEW YORK  
ROBERT P. BRINGLEY  
NO. 066924  
LICENSED PROFESSIONAL ENGINEER

ROBERT P. BRINGLEY

DRAWING TITLE:  
**EXISTING CONDITIONS PLAN**

2 of 6 SHEET No:	<b>V1.0</b>
1207-21 JOB No:	DRAWING No:



File: z:\engineering\Job Files\1207-21\Drawings\Sheets\C2.0.dwg, Last saved: 6/7/2021, Plot Date: 6/7/2021, Plot Style: MARATHON STANDARD.CTB

PROJECT STATISTICS

1. GENERAL:

1.1 APPLICANT — DAN & DEBBIE GILL  
17440 VIA LUGANO CT.  
MIROMAR LAKES, FL 33913

1.2 PROPERTY ADDRESS — 4495 DAVIDSON LANDING DRIVE  
TOWN OF CANANDAIGUA, NEW YORK

1.3 TAX ACCOUNT — 126.20-1-8.000
2. PARCEL STATISTICS:

3.1 AREA — 0.681 ACRES

3.2 EXISTING CONDITIONS: 800 SF COTTAGE W/ GRAVEL PARKING AREA  
AND TENNIS COURT

3.3 PROPOSED CONDITIONS: NEW RESIDENTIAL COTTAGE CONNECTED TO EXISTING  
GUEST HOUSE WITH NEW PICKLEBALL COURT AND  
ASSOCIATED SITE IMPROVEMENTS.
3. ZONING REGULATIONS:

2.1 ZONING DISTRICT — RESIDENTIAL LAKE DISTRICT (RLD)

2.2 CODE REQUIREMENTS —

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SF	29,664 SF	29,664 SF
MIN. LOT WIDTH	125 FT	193.07 FT	193.07 FT
MAX. BLDG. COVERAGE	15%	7.3%	16.9% **
MAX. LOT COVERAGE	25%	40.7%	37.0% *
BUILDING HEIGHT	25 FT	26.4 FT	25 FT MAX
PRINCIPAL BUILDING SETBACKS:			
FRONT SETBACK	60 FT	2.96 FT	13.2 FT *
SIDE SETBACK	12 FT	9.65 FT	34.4 FT
REAR (LAKE) SETBACK	60 FT	120.85 FT	61.6 FT
ACCESSORY BUILDING SETBACKS:			
SIDE SETBACK	12 FT	34.9 FT	12.0 FT
REAR (LAKE) SETBACK	15 FT	0 FT	0 FT *

\* PREEXISTING NONCONFORMITY (NO CHANGE)  
\*\* PROPOSED NONCONFORMITY, VARIANCE REQUESTED

Sight Distance Table			
(Posted: 30MPH, Design: 40MPH)			
Sight Criteria	Required	Available Left	Available Right
Stopping Sight Distance	305	449	361

\* SUFFICIENT SIGHT DISTANCE IS AVAILABLE IN EACH DIRECTION

LEGEND:

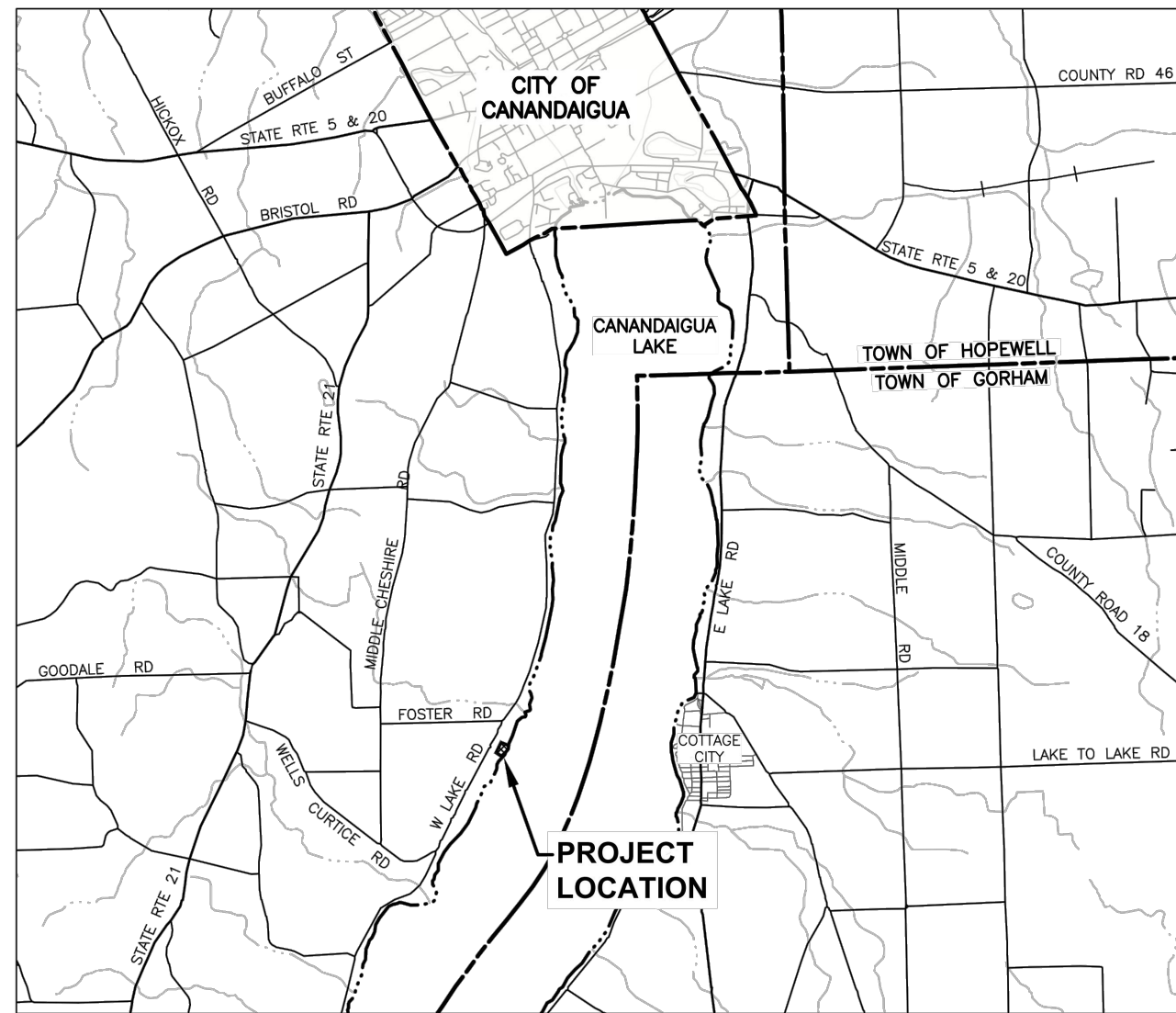
EXISTING	PROPOSED	DESCRIPTION
		SIGN
		LIGHT POLE
		POWER POLE
		ELECTRIC CONDUIT & STRUCTURE
		RIGHT-OF-WAY OR PROPERTY LINE
		CURB
		FENCE (DESCRIPTION)
		STORM SEWER, MANHOLE & FIELD/DROP INLET
		WATER MAIN WITH HYDRANT & GATE VALVE
		CENTERLINE OF SWALE
		TREE LINE

1) GENERAL NOTES:

1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
3. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
10. **PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
11. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT, DATED 3/23/2021, WERE PROVIDED BY HANLON ARCHITECTS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.

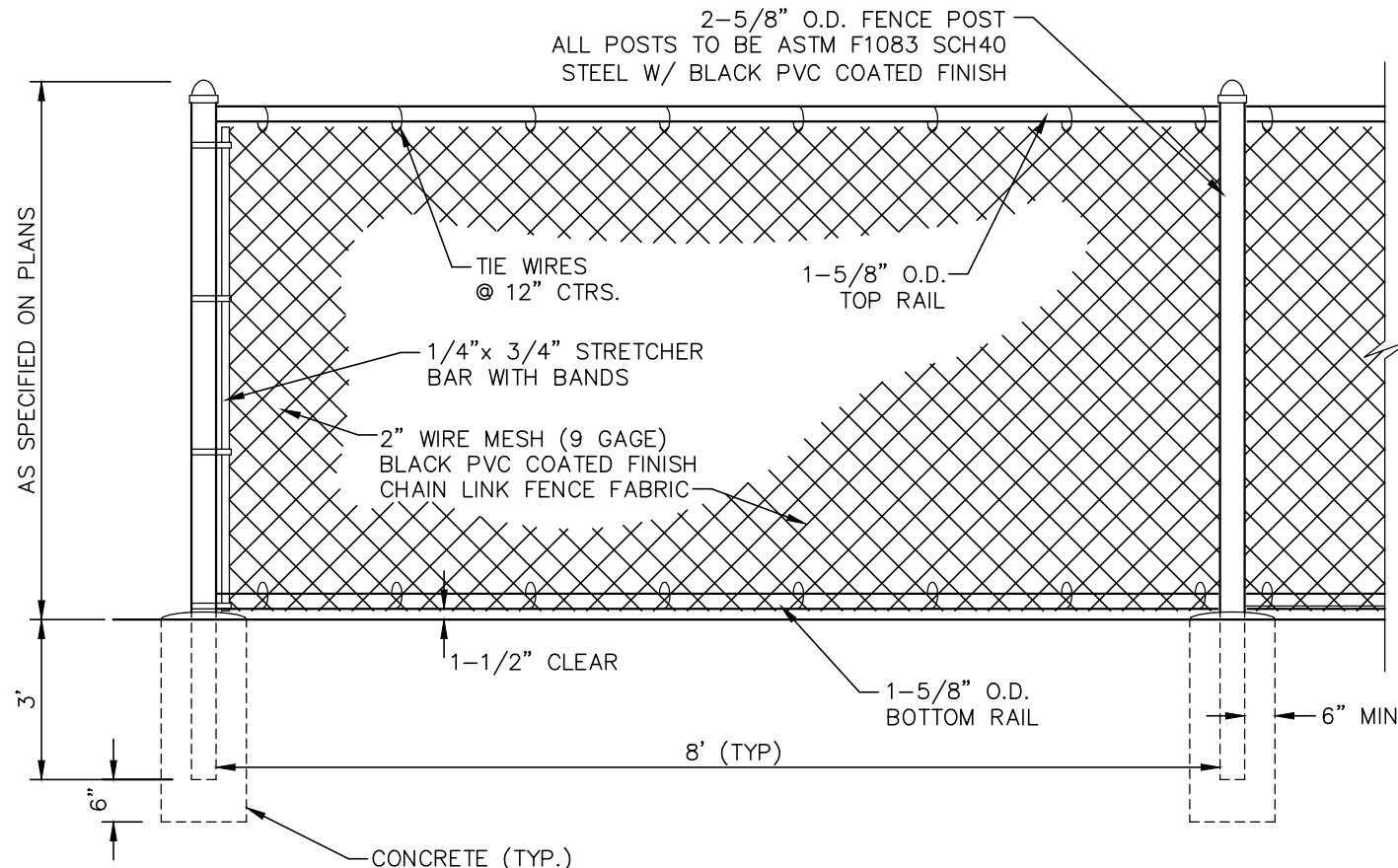
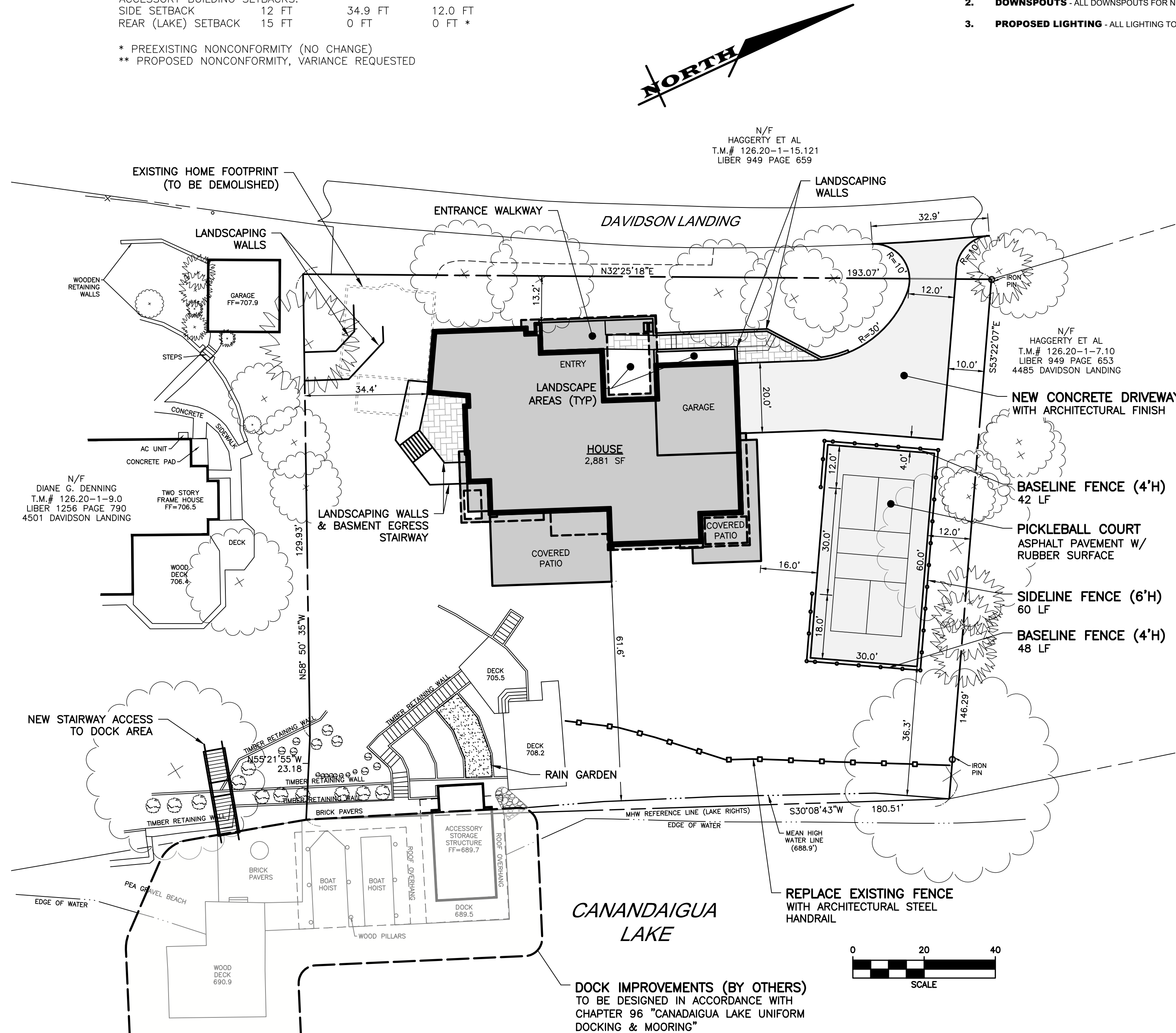
2) ADDITIONAL NOTES:

1. **ELECTRICAL SERVICE** - NEW ELECTRICAL SERVICE SHALL BE COORDINATED WITH RG&E.
2. **DOWNSPOUTS** - ALL DOWNSPOUTS FOR NEW HOME & GARAGE SHALL BE DIRECTED TO THE PROPOSED RAIN GARDENS.
3. **PROPOSED LIGHTING** - ALL LIGHTING TO BE INSTALLED SHALL BE DARK SKY COMPLIANT.



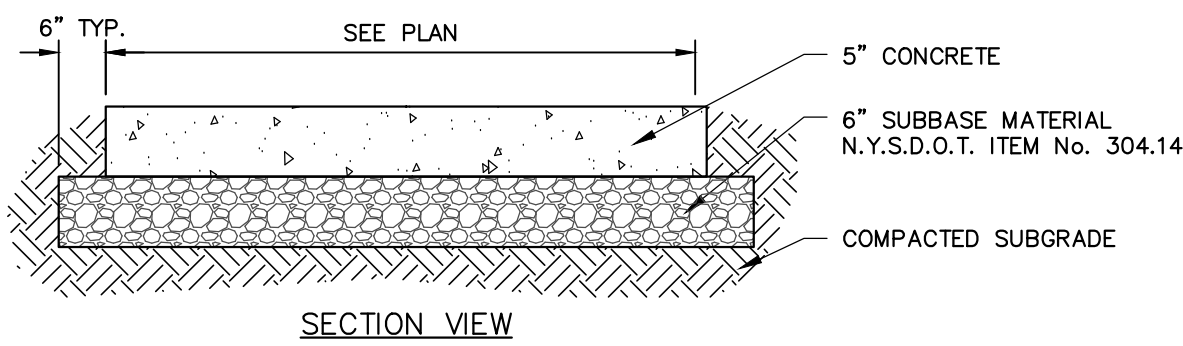
LOCATION MAP

NOT TO SCALE



1 CHAIN LINK FENCE

NOT TO SCALE



NOTES:

1. CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
2. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
3. EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
4. CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
5. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
6. SCORE PATTERN — SCORING PATTERN SHALL BE 5' X 5' SQUARE, MAY VARY IN CERTAIN AREAS—COORDINATE WITH OWNERS ON-SITE REP PRIOR TO SCORING SIDEWALKS.
7. SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
8. "SNAP-CAP" OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.

2 CONCRETE PAVING

NOT TO SCALE

3 RESERVED

4 TENNIS COURT PAVEMENT SECTION

- FULL DEPTH ASPHALT SECTION
- ACRYLIC COURT SURFACE SYSTEM — MASTERSCOLOR BY LAYKOLD OR APPROVED EQUAL.
  - 1.5" — ASPHALTIC TOP COURSE (NYS DOT# 402.098203 9.5 F2 HMA [80 SERIES COMPACTION])
  - 2" — ASPHALTIC CONCRETE BINDER COURSE (NYS DOT# 402.198903 19 F9 HMA [80 SERIES COMPACTION])
  - 2" — ASPHALTIC CONCRETE BASE COURSE (NYS DOT# 402.378903 F9 HMA [80 SERIES COMPACTION])
  - 7" CRUSHED STONE SUBBASE COURSE

**MARATHON ENGINEERING**  
ROCHESTER LOCATION  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
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**SITE PLANS** for **THE GILL RESIDENCE**

STATE OF NEW YORK  
4495 DAVIDSON LANDING DR  
ONTARIO COUNTY  
TOWN OF CANANDAIGUA

JOB NO:	1207-21	
SCALE:	AS SHOWN	
DRAWN:	LJB	
DESIGNED:	RPB	
DATE:	04/07/2021	
REVISIONS		
DATE	BY	REVISION
5/17/21	LJB	BUILDING COVERAGE
6/7/21	LJB	ZBA COMMENTS

THIS IS A NOTATION OF NEW YORK STATE REGULATION. THE SIGNATURE OF THE ENGINEER IS REQUIRED FOR ALL PROJECTS. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

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ROBERT P. BRINGLEY

DRAWING TITLE:

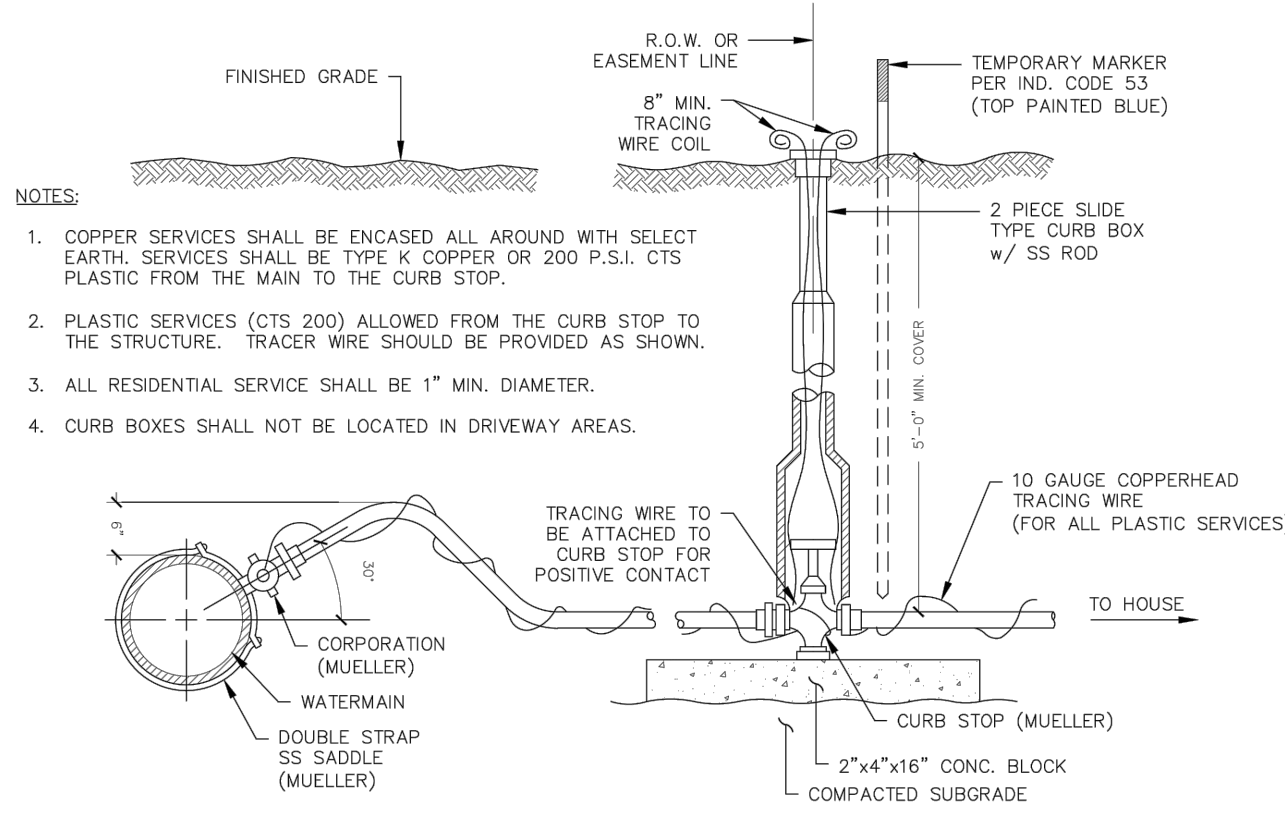
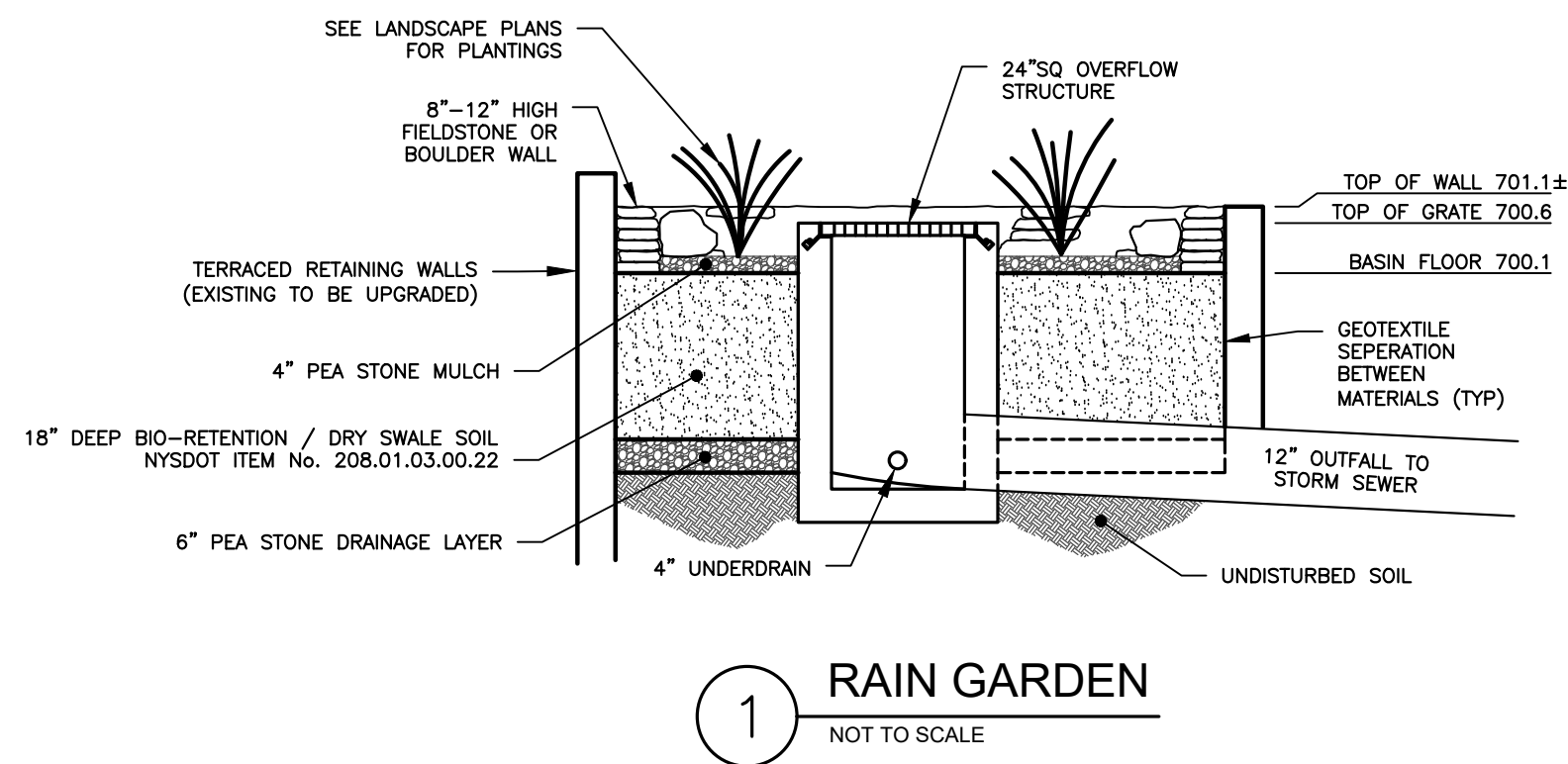
**SITE PLAN**

3 of 6  
SHEET No: **C2.0**  
1207-21  
JOB No: DRAWING No:



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STORM STRUCTURE TABLE		
NAME	DESCRIPTION	DETAILS
ES-1	12" END SECTION	INV 700.1 W (25 LF OF 12" ST @ 9.2%)
ST-1	2'SQ CATCH BASIN	TOP 709.0
		INV 705.6 N (98 LF OF 12" ST @ 2.0%)
		INV 702.5 W (45 LF OF 12" ST @ 1.0%)
		INV 702.4 E (25 LF OF 12" ST @ 9.2%)
ST-1.1	2'SQ CATCH BASIN	TOP 705.0
		INV 703.0 E (45 LF OF 12" ST @ 1.0%)
ST-2	2'SQ CATCH BASIN	TOP 711.0
		INV 707.7 W (35 LF OF 12" ST @ 2.0%)
		INV 707.6 S (98 LF OF 12" ST @ 2.0%)
ST-3	2'SQ CATCH BASIN	TOP 711.1
		INV 708.5 W (36 LF OF 12" ST @ 2.0%)
ST-4	2'SQ CATCH BASIN w/ DECORATIVE CAST IRON GRATE	TOP 711.3
		INV 709.3 S (48 LF OF 12" ST @ 6.0%)
		INV 709.2 E (36 LF OF 12" ST @ 2.0%)
ST-5	NYLOPLAST YARD INLET	TOP 714.5
		INV 712.3 W (8 LF OF 12" ST @ 2.0%)
		INV 712.2 N (48 LF OF 12" ST @ 6.0%)
ST-6	NYLOPLAST YARD INLET	TOP 714.5
		INV 712.5 E (8 LF OF 12" ST @ 2.0%)
RG	RAIN GARDEN	SPILL 701.1
		GRATE 700.6
		FLOOR 700.1
		INV 696.6 E (10 LF OF 12" ST @ 2.0%)

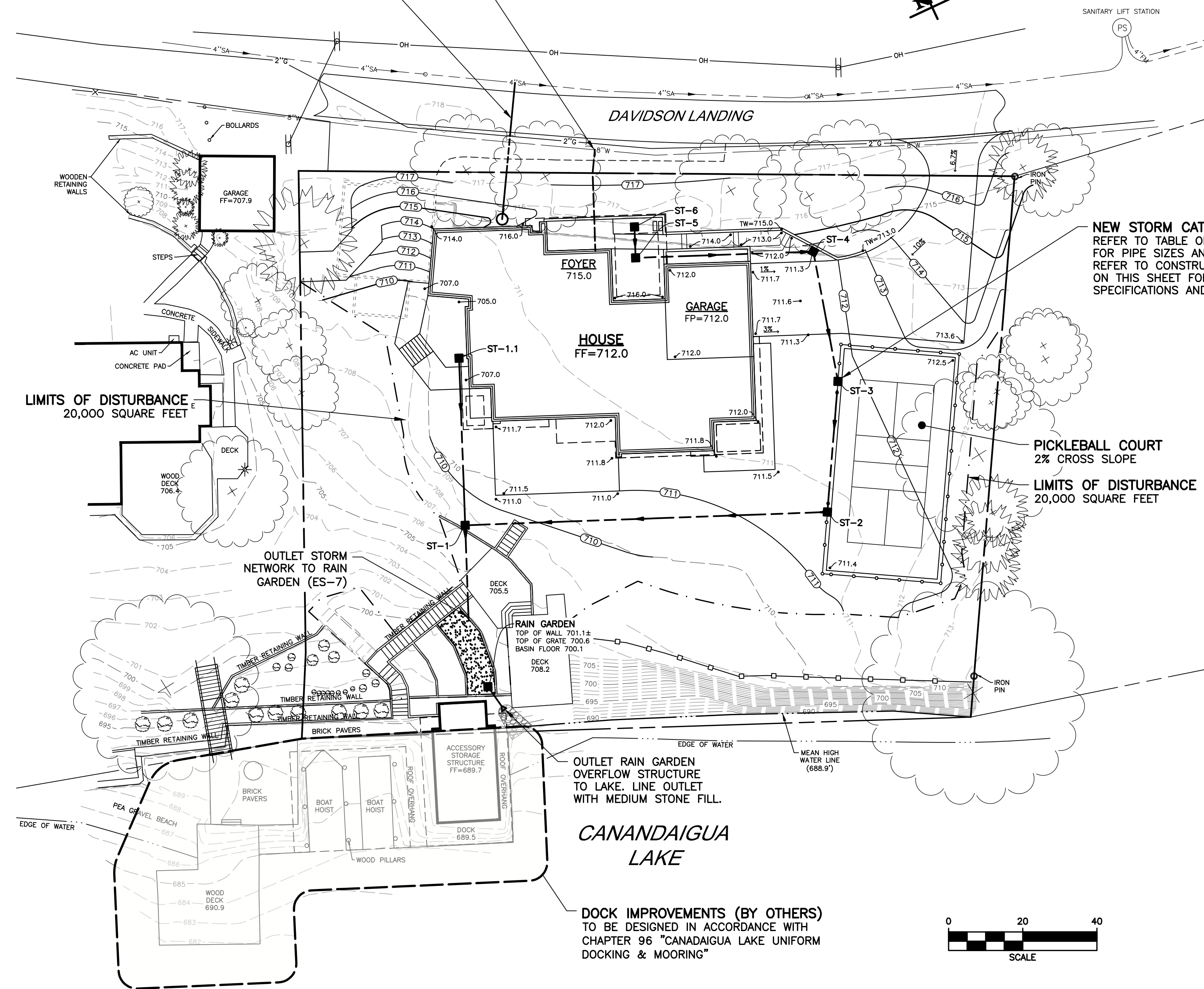


- NOTES:
1. COPPER SERVICES SHALL BE ENCASED ALL AROUND WITH SELECT EARTH. SERVICES SHALL BE TYPE K COPPER OR 200 P.S.I. CTS PLASTIC FROM THE MAIN TO THE CURB STOP.
  2. PLASTIC SERVICES (CTS 200) ALLOWED FROM THE CURB STOP TO THE STRUCTURE. TRACER WIRE SHOULD BE PROVIDED AS SHOWN.
  3. ALL RESIDENTIAL SERVICE SHALL BE 1" MIN. DIAMETER.
  4. CURB BOXES SHALL NOT BE LOCATED IN DRIVEWAY AREAS.

2 TYPICAL WATER SERVICE  
NOT TO SCALE

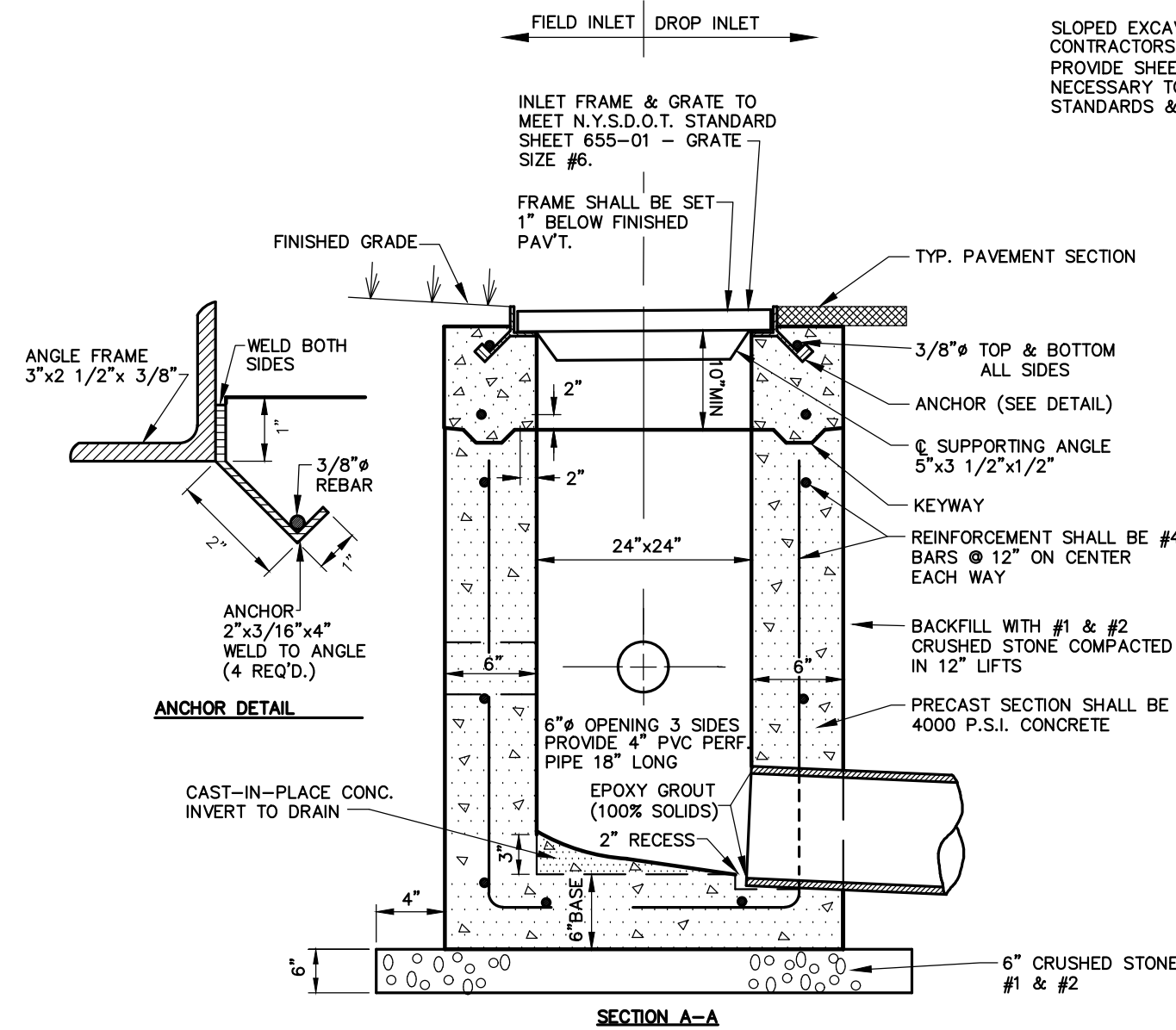
NEW 1" PE WATER SERVICE  
WITH TRACER WIRE. PROVIDE NEW CURB  
STOP AT PROPERTY LINE. NEW METER SHALL  
BE PURCHASED FROM THE TOWN AND  
INSTALLED INSIDE THE PROPOSED HOME.

NEW SANITARY GRINDER PUMP AND LATERAL  
PROVIDE E/ONE DH071 PACKAGED GRINDER PUMP  
STATION WITH 1.25" HDPE DISCHARGE LINE.  
CONNECT TO EXISTING 4" GRAVITY SEWER.



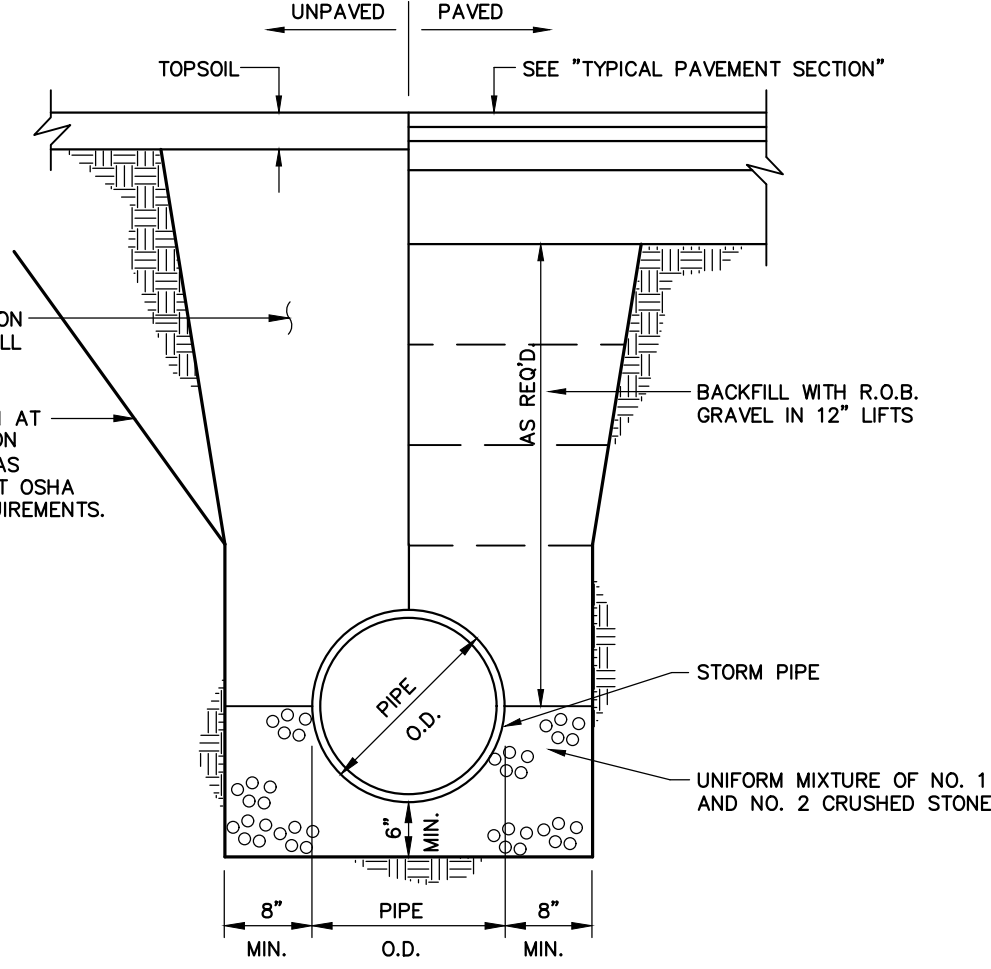
NEW STORM CATCH BASIN AND PIPE  
REFER TO TABLE ON THIS SHEET  
FOR PIPE SIZES AND SLOPES.  
REFER TO CONSTRUCTION DETAILS  
ON THIS SHEET FOR MATERIAL  
SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

3 RESERVED



- NOTES:
- 1.) PRE-CAST INLET SECTIONS SHALL BE MANUFACTURED BY KISTNER, MODEL No. CB-24 (WITH KEYWAY) OR APPROVED EQUIVALENT.
  - 2.) THE INSIDE & OUTSIDE WALLS OF INLET SHALL BE COATED WITH BITUMASTIC.

4 DROP/ FIELD INLET  
NOT TO SCALE



5 STORM TRENCH  
SOLID PIPE

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING BOARD CHAIRPERSON  
DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_  
TOWN ENGINEER  
DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_  
TOWN WATER SUPERINTENDANT  
DATE: \_\_\_\_\_

SITE PLANS  
for  
**THE GILL RESIDENCE**

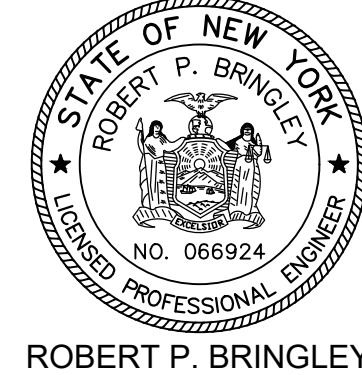
STATE OF NEW YORK  
TOWN OF CANANDAIGUA  
4495 DAVIDSON LANDING DR  
ONTARIO COUNTY

JOB NO: 1207-21  
SCALE: AS SHOWN  
DRAWN: LJB  
DESIGNED: RPB  
DATE: 04/07/2021

REVISIONS		
DATE	BY	REVISION
04/15/21	LJB	DISTURBANCE LIMITS
06/7/21	LJB	ZBA COMMENTS

THIS IS A NOTIFICATION OF NEW YORK STATE REGULATION ARTICLE 16, SECTION 7201 FOR ANY PERSON, FIRM OR ENTITY, UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, FOR ANY REASON, THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOTED. THE ENGINEER OR LAND SURVEYOR SHALL APPEAL TO THE NEW YORK STATE AND THE NOTATION NOTED BY FOLLOWING BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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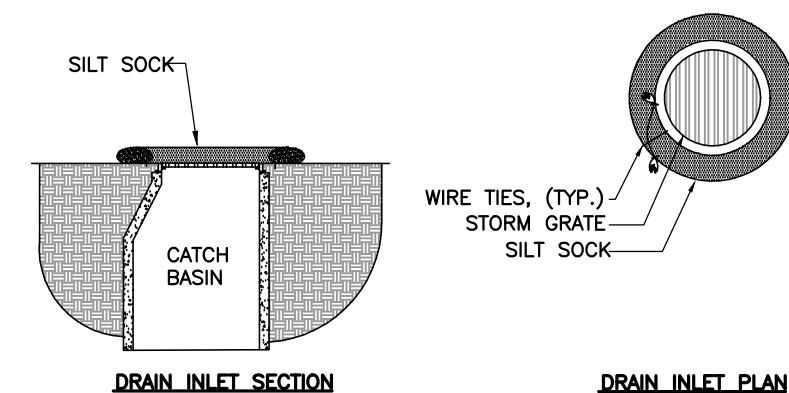
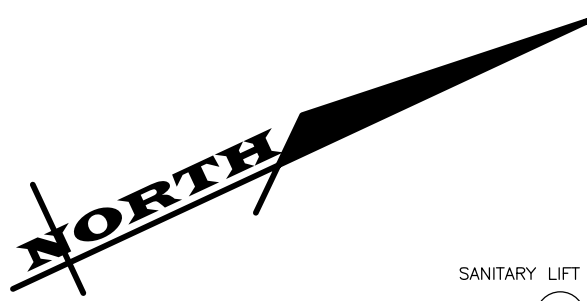
DRAWING TITLE:  
**GRADING &  
UTILITY PLAN**

4 of 6  
SHEET No: **C3.0**  
1207-21  
JOB No: \_\_\_\_\_  
DRAWING No: \_\_\_\_\_



1. **INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
2. **PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
3. **TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDOC REGULATIONS.
4. **SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
5. **DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
6. **OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CU YD) OF FILL/DISTURBED ACRE IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
7. **WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
8. **TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.

- 9. WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS BLUE BOOK SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- 10. SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.16) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION METHODS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP B AND SHALL BE RESTORED AS SPECIFIED.
- 11. SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
- INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  - PROTECT VEGETATION TO REMAIN.
  - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
  - COMPLETE CLEARING AND GRUBBING OPERATION.
  - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
  - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
  - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
  - ROUGH GRADE RAIN GARDEN AREAS AS TEMPORARY SEDIMENT TRAPS.
  - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
  - AFTER SITE IS SUBSTANTIALLY RESTORED, INSTALL RAIN GARDEN AREAS.
  - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.



## CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATION SHOWN ON IN THE PLAN
  2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE UPSTREAM DAM.
  3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE BY DAMAGE FROM DISCHARGED STONES.
- MAXIMUM DRAINAGE AREA - 2 ACRES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES, POSTS SHALL BE STEEL "T" OR "U" TYPE OF HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE, 12 1/2" GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIL 100X, STABULINKKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVOFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. ENVO- FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

1 1/2" MAX.

2"x 4" WOOD FRAME

3" MIN.

STAKE

FABRIC

BURIED FABRIC

FRAME

DROP INLET WITH GRATE

GATHER EXCESS AT CORNERS

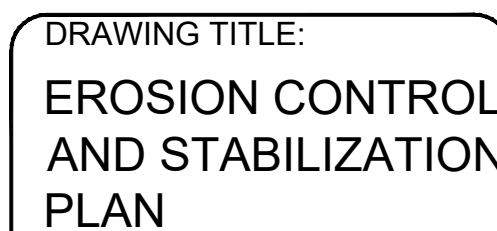
1" MIN.

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. FILTER FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVERYWHERE AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP.
5. STAKE SPACING SHALL BE 10 FEET ON THE UPRIVER SIDE AND 5 FEET MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
6. FILTER FABRIC SHALL BE 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
7. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW.
8. LOW FLOW.

APPROVED BY: _____
PLANNING BOARD CHAIRPERSON
DATE: _____
APPROVED BY: _____
TOWN ENGINEER
DATE: _____
APPROVED BY: _____
TOWN WATER SUPERINTENDANT
DATE: _____

[illegible]

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTIFICATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.





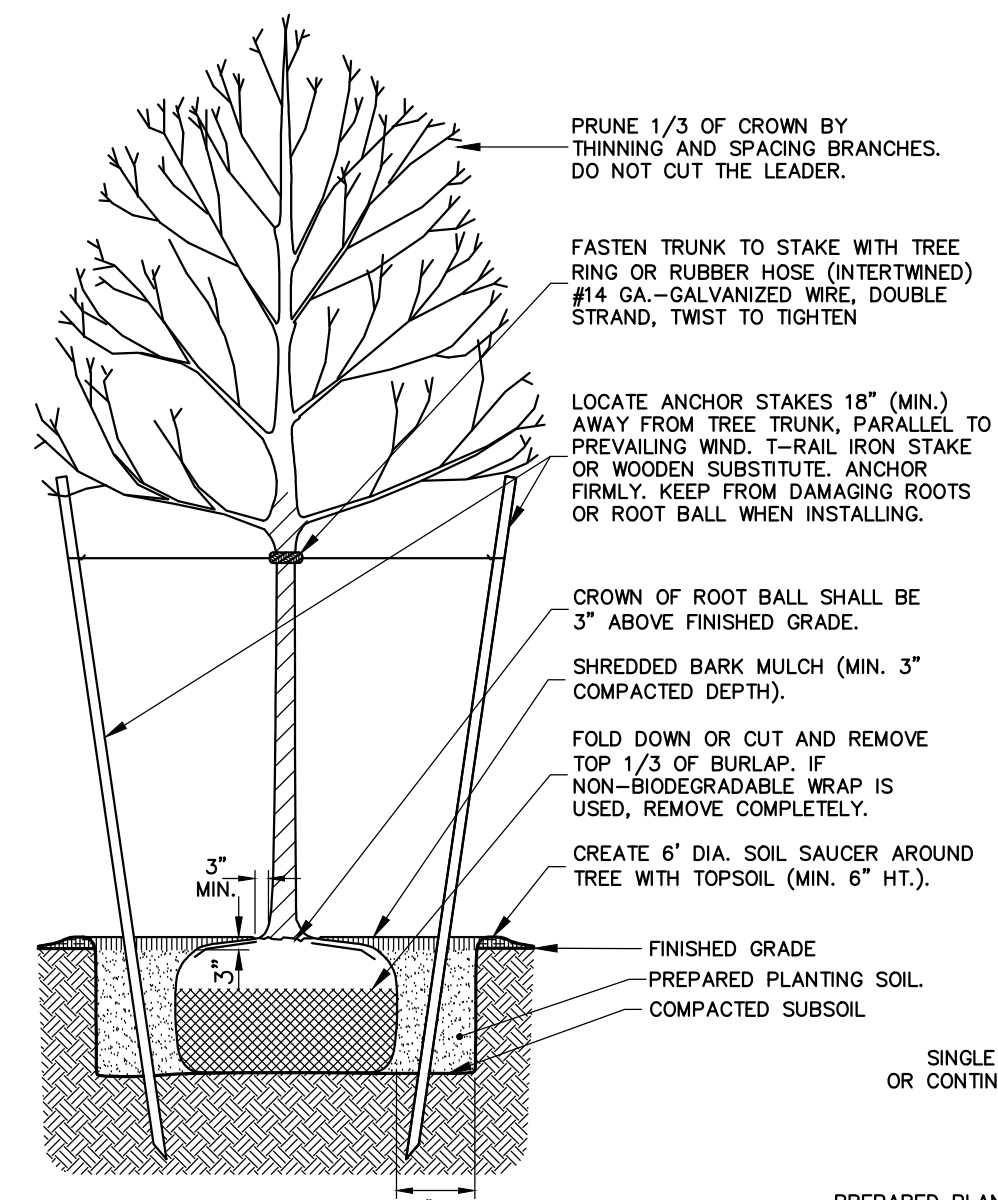
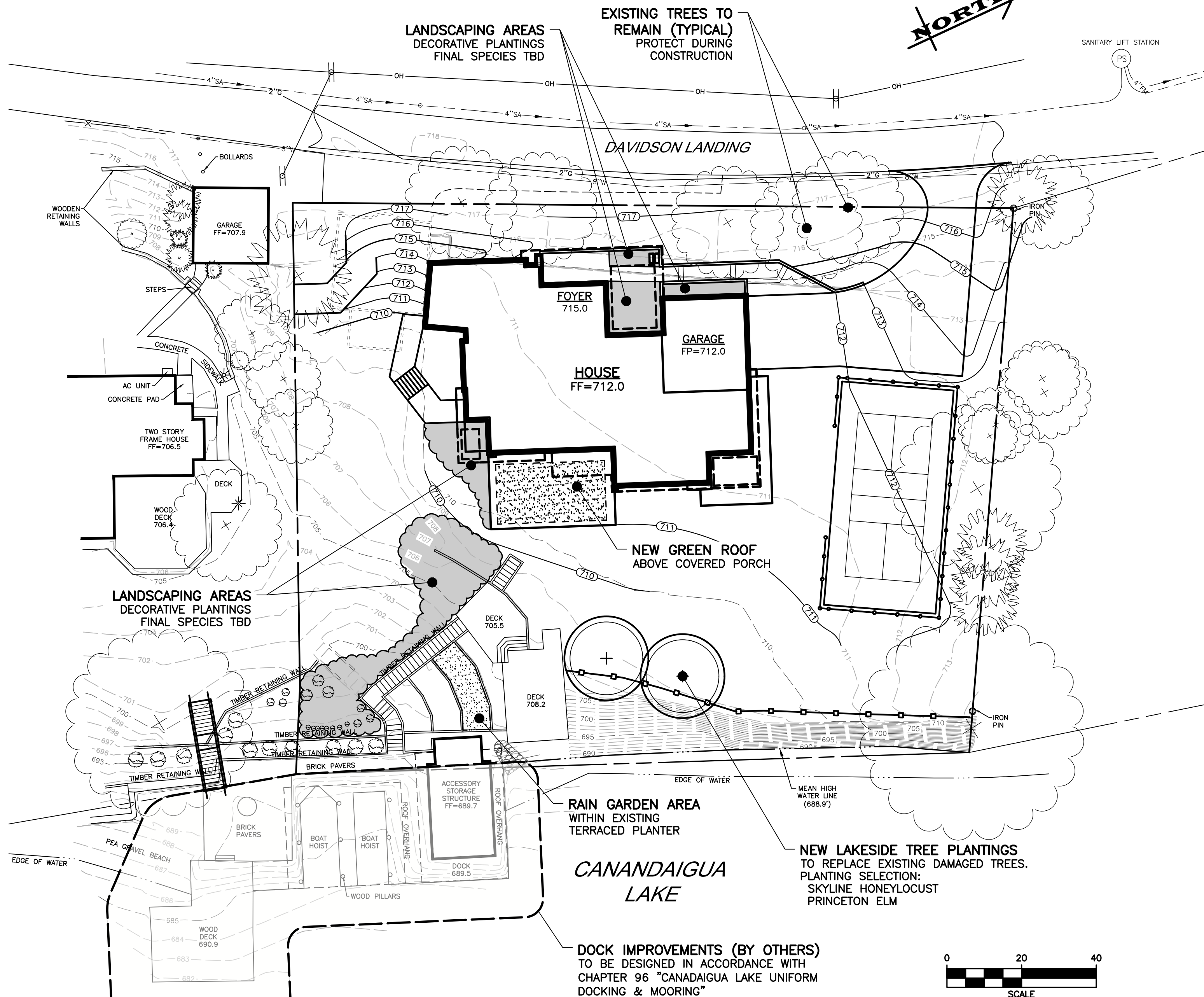
File: z:\engineering\Job Files\1207-21\Drawings\Sheets\C5.0.dwg, Last saved: 6/17/2021, Plot Date: 6/17/2021, By: LUCAS BUSHEN, Plot Style: MARATHON STANDARD.CTB

Table 5.9 Soil Restoration Requirements		
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A & B Aerate* and apply 6 inches of topsoil	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	HSG C & D Apply full Soil Restoration **	
Areas where Runoff Reduction and/or Infiltration practices are applied	Apply full Soil Restoration (de-compaction and compost enhancement)	Keep construction equipment from crowding these areas. To protect newly installed practice from any ongoing construction activities, construct a single plane operation fence area
Redevelopment projects	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.

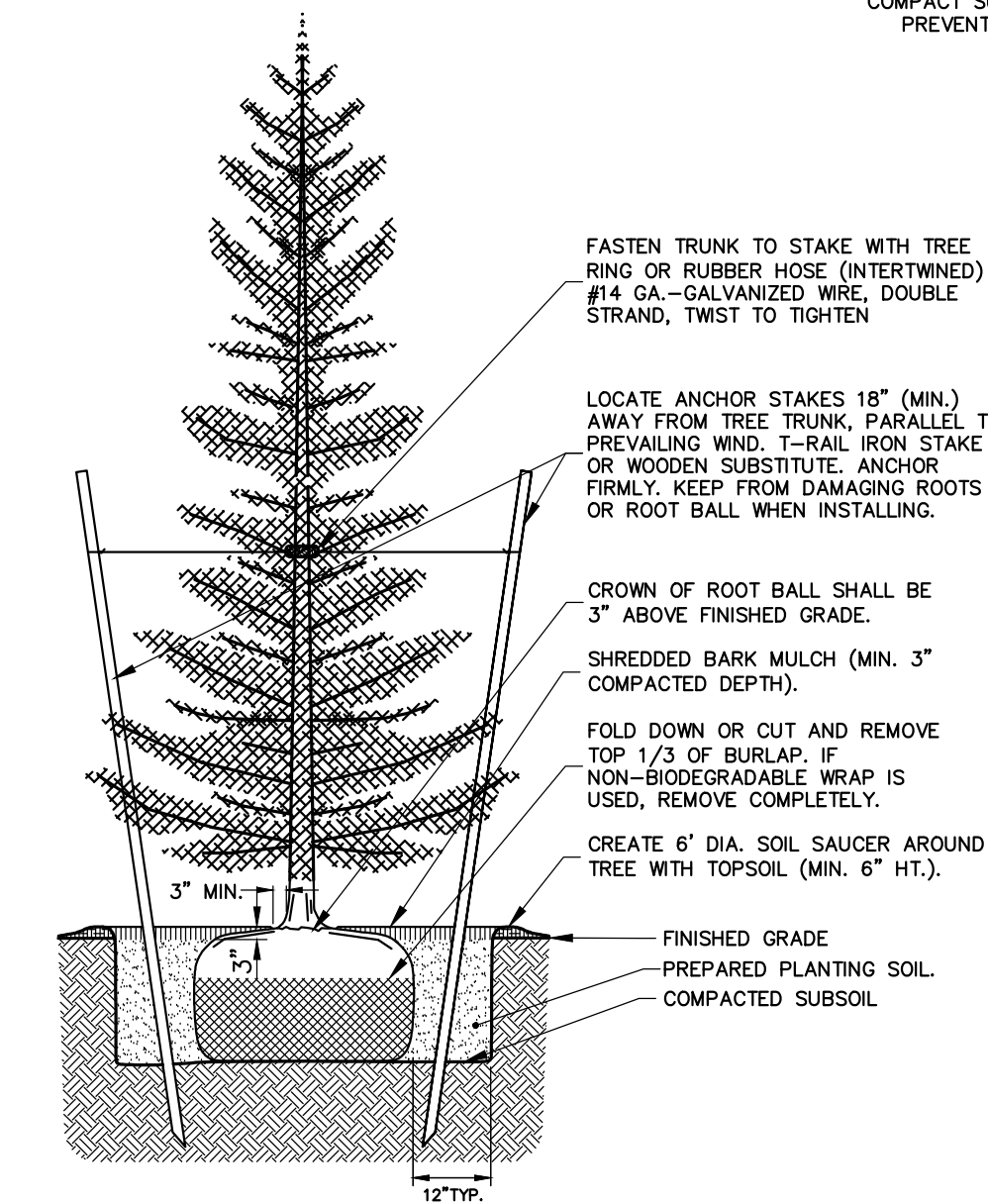
\*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.  
\*\* Per "Deep Rippling and De-compaction, DEC 2008".

#### RESTORATION AND LANDSCAPING NOTES

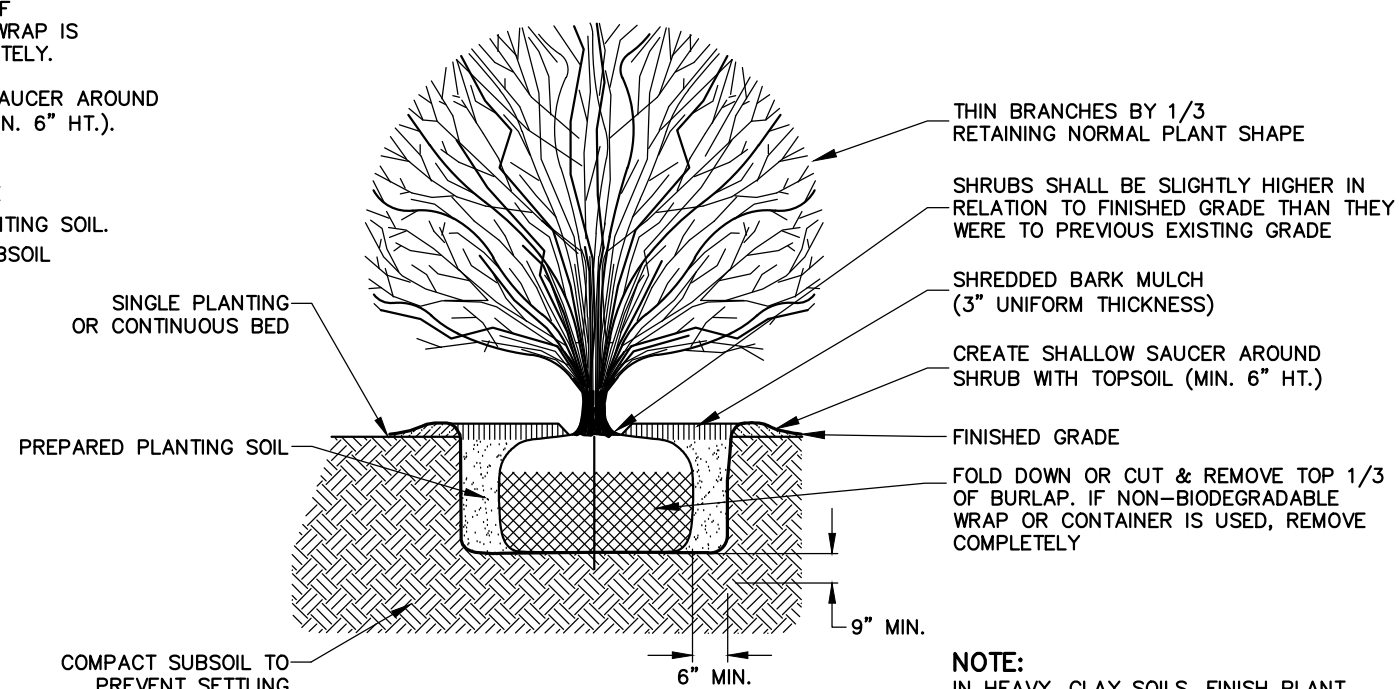
1. GUARANTEE - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
2. TOPSOIL - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
3. SEED - LAWN AREAS SHALL BE HYDROSEEDING WITH AN APPROVED: SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
4. PLANT STOCK - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
5. PLANT LOCATIONS - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
6. PLANTING BEDS - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.



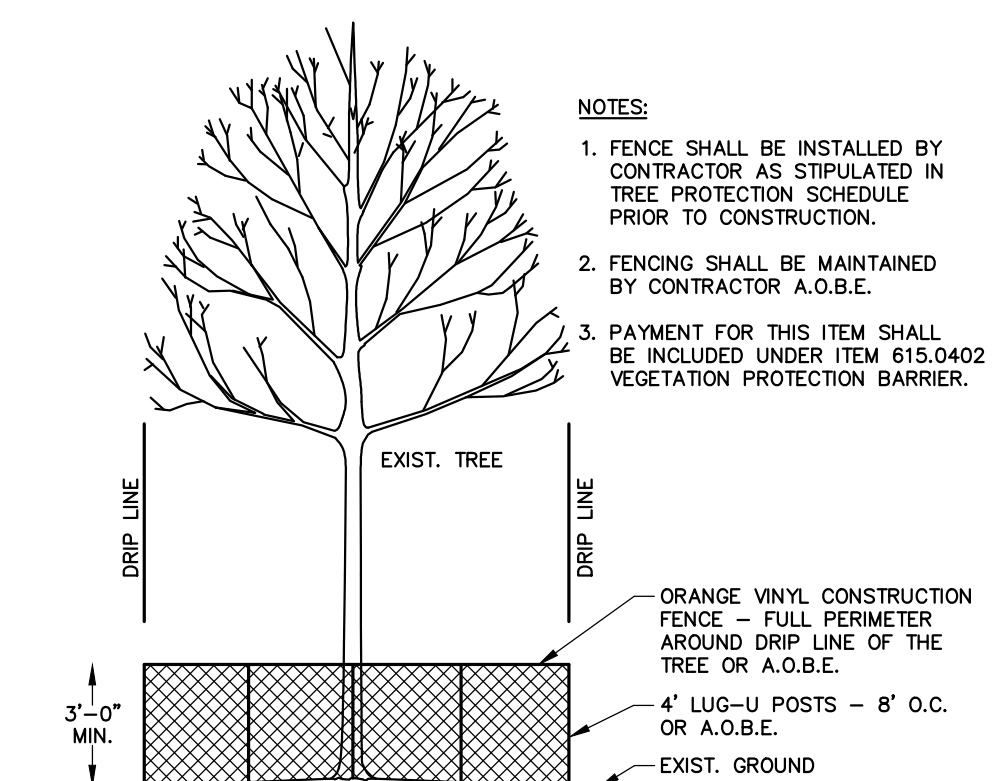
1 DECIDUOUS PLANTINGS



2 CONIFEROUS PLANTINGS



3 SHRUB PLANTINGS



4 TREE PROTECTION

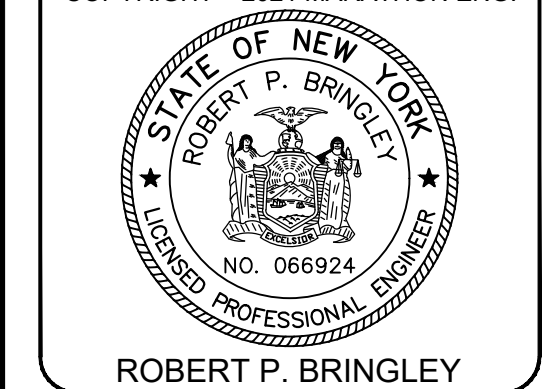
APPROVED BY:	_____
PLANNING BOARD CHAIRPERSON	_____
DATE:	_____
APPROVED BY:	_____
TOWN ENGINEER	_____
DATE:	_____
APPROVED BY:	_____
TOWN WATER SUPERINTENDANT	_____
DATE:	_____

JOB NO:	1207-21
SCALE:	AS SHOWN
DRAWN:	LJB
DESIGNED:	RPB
DATE:	04/07/2021

REVISIONS		
DATE	BY	REVISION
6/7/21	LJB	ZBA COMMENTS

THIS IS A VARIATION OF NEW YORK STATE EDUCATION LAW ARTICLE 16, SECTION 7205 FOR ANY PERSON, FIRM, OR ENTITY, UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, AND BEING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, ANY INSTRUMENT, THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, OR THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, SHALL APPLY TO THE FIRM, FIRM, AND THE NOTATION, NOTED BY FOLLOWING BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:  
**LANDSCAPING & RESTORATION PLAN**