Banfield Residence

Town of CANANDAIGUA, NEW YORK

STRUCTURAL LOADING DESIGN CRITERIA:

- ALL LOADS IN POUNDS PER SQUARE FOOT

LOCATION	LIVE	DEAD	LIMIT
1ST FLOOR	40	15	L/360
2ND FLOOR (SLEEPING)	30	10	L/360
2ND FLOOR (NON-SLEEPING)	40	10	L/360
ATTIC (NO STORAGE)	10	5	L/240
ATTIC (LIGHT STORAGE)	20	10	L/240
ROOF (W/ FINISHED CLNG.)*	40	20	L/240
ROOF (W/ NO FINISHED CLNG.)*	30	15	L/180
DECKS	40	10	L/360

*ROOF LIVE LOADS BASED ON 40 PSF GROUND SNOW LOAD W/ REDUCTION FACTORS PER ASCE 7 FOR SLOPED ROOFS.

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2,000 PSF AT MIN. FROST DEPTH. VALUES MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION OR LOAD BEARING TEST DATA IS AVAILABLE.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT:

-TABLE N1102.1.2 2020 RESIDENTIAL CODE
MONROE County

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE DEPTH	CRAWL SPACE WALL R-VALUE
5	0.32	0.55	NR	38 - 49*	20 OR 13 + 5	13 /17	30	15 / 19	10/ 2 ft HEATED SLAB 15	15 / 19

38 if continuous batts not compressed

CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA:

-TABLE R301.2(1) 2020 RESIDENTIAL CODE

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY		
40	115	B	SEVERE	42"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO

G E N E R A L N O T E S & C O D E

GENERAL NOTES:

1. THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF NYS AND MEETS OR EXCEEDS THE NYS ENERGY CONSERVATION CONSTRUCTION CODE. IN ADDITION, CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCE AND SAFETY ISSUES IN REFERENCE TO THE CONSTRUCTION CONTRACT.
3. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION (IF APPLICABLE TO PROJECT) AND CONSTRUCTION.
5. ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING/BRACING TO BE CERTIFIED BY THE MANUFACTURER.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.
7. WHEN MATERIALS AND/OR FINISHES ARE FOUND TO BE ABSENT, OR WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING AND PAINTING WITH MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES UNLESS OTHERWISE NOTED.
8. PROVIDE ALL BLOCKING, FURRING AND SHIMMING AS NECESSARY FOR INSTALLATION AND COMPLETION OF THE WORK.
9. ALL NEW WORK SHALL BE PLUMB, LEVEL AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING (IF APPLICABLE TO PROJECT).
10. ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT IF SO.
11. COORDINATE INTERIOR DOORS/HARDWARE, WOOD TRIM AND FINISHES, AND EXTERIOR FINISH MATERIALS (SIDING, ROOFING, ETC.) TO MATCH EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
12. COORDINATE THE INSTALLATION OF CONTINUOUS ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH EXISTING (IF APPLICABLE TO PROJECT). DOWNSPOUTS NOT LOCATED ON DRAWINGS ARE TO BE LOCATED IN FIELD AND APPROVED BY OWNER. ALL DOWNSPOUTS ARE TO RUN TO PRECAST CONCRETE SPLASHBLOCKS, OR TO UNDERGROUND CONDUCTORS PER LOCAL CODE.
13. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SITEWORK, INCLUDING FINISH GRADING AND HYDROSEEDING.
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRIC, PLUMBING AND HVAC SYSTEM INSTALLATION. VERIFY CAPACITY AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION (IF APPLICABLE TO PROJECT).
15. THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL MEANS AND METHODS REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE FOR THE PROJECT. IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION.

ADDITIONS & RENOVATIONS:

1. FOR ADDITIONS AND RENOVATIONS, SMOKE DETECTING ALARM DEVICES & CARBON MONOXIDE DETECTORS SHALL CONFORM TO SECTION R313.1 & R315.2 OF THE RESIDENTIAL CODE OF NYS WHICH STATES EXISTING DWELLINGS UNDERGOING REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION SHALL BE PROVIDED WITH SMOKE ALARMS AND CARBON MONOXIDE ALARMS AS REQUIRED BY APPENDIX J. SMOKE DETECTING ALARM DEVICES - CAN BE BATTERY OPERATED IN AREAS THAT ARE NOT NEW CONSTRUCTION.
2. FOR ADDITIONS AND RENOVATIONS REFER TO NYS RESIDENTIAL CODE - R102.7.1. WHICH STATES THAT ADDITIONS, ALTERATIONS OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS OF A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH ALL OF THE REQUIREMENTS OF THIS CODE, UNLESS OTHERWISE STATED. ADDITIONS, ALTERATIONS OR REPAIRS AND RELOCATIONS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
3. ENERGY EFFICIENCY CHAPTER J604.1 - ADDITIONS AND ALTERATIONS—LEVEL 2. ADDITIONS AND SUBSTANTIAL RENOVATIONS SHALL CONFORM WITH SECTIONS N1101.3.1 AND N1101.3.2.
4. ENERGY EFFICIENCY FOR ADDITIONS, ALTERATIONS, OR RENOVATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CHAPTER, N1101.3.1 OF THE NYS RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CHAPTER. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THIS CHAPTER IF THE ADDITION ALONE COMPLIES OR IF THE EXISTING BUILDING AND ADDITION COMPLY WITH THIS CHAPTER AS A SINGLE BUILDING. ADDITIONS, ALTERATIONS, OR RENOVATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS.
5. EXCEPTION: THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED:
   - STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
   - GLASS ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME, PROVIDED THE U-FACTOR AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) WILL BE EQUAL TO OR LOWER THAN BEFORE THE GLASS REPLACEMENT.
   - ALTERATIONS, RENOVATIONS OR REPAIRS TO ROOF/CEILING, WALL OR FLOOR CAVITIES WHICH ARE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE OF R-3.0/INCH.
   - ALTERATIONS, RENOVATIONS OR REPAIRS TO WALLS AND FLOORS, WHERE THE EXISTING STRUCTURE IS WITHOUT FRAMING CAVITIES AND NO NEW FRAMING CAVITIES ARE CREATED.
   - REROOFING WHERE NEITHER THE SHEATHING NOR THE INSULATION IS EXPOSED. ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING REROOFING SHALL BE INSULATED EITHER ABOVE OR BELOW THE SHEATHING.
   - REPLACEMENT OF EXISTING DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT REQUIRE THE INSTALLATION OF A VESTIBULE OR REVOLVING DOOR, PROVIDED, HOWEVER, THAT AN EXISTING VESTIBULE THAT SEPARATES A CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT BE REMOVED.
   - AN ALTERATIONS THAT REPLACES LESS THAN 50 PERCENT OF THE LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
   - AN ALTERATION THAT REPLACES ONLY THE BULB AND BALLAST WITHIN THE EXISTING LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
6. N1101.3.2 CHANGE IN OCCUPANCY OR USE. SPACES UNDERGOING A CHANGE IN OCCUPANCY THAT WOULD RESULT IN AN INCREASE IN DEMAND FOR EITHER FOSSIL FUEL OR ELECTRICAL ENERGY SHALL COMPLY WITH THIS CODE. WHERE THE USE IN A SPACE CHANGES FROM ONE USE IN TABLE 505.5.2 TO ANOTHER USE IN TABLE 505.5.2, THE INSTALLED LIGHTING WATTAGE SHALL COMPLY WITH SECTION 505.5.

CODE REQUIREMENTS:

STAIRS: PER IRC R311.7

1. STAIR TO HAVE HEIGHTS FIELD VERIFIED AND SHOP DRAWINGS APPROVED PRIOR TO FABRICATION. STAIR CONSTRUCTION SHALL CONSIST OF 2x12 STRINGERS, ¾" OR 2x THICK TREADS AND ¾" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
2. STAIRWELLS TO BE A MIN. OF 36" IN WIDTH AND HAVE A CONSISTENT HEAD HEIGHT TO FINISHED CEILING OF 6'-8" FROM THE TREAD NOSING. FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
3. CLOSED RISERS WITH 1" NOSING UNLESS NOTED OTHERWISE. MAX. RISER HEIGHT OF 8 ¼" AND MIN. TREAD DEPTH OF 9", PER IRC 2017 SUPPLEMENT, R311.7.5.1.
4. A LANDING IS NOT REQUIRED AT TOP OF INTERIOR STAIRS PROVIDED A DOOR DOES NOT SWING OVER STAIR.

HANDRAILS: PER IRC R311.7.8

1. HANDRAILS ARE REQUIRED ON AT LEAST ONE (1) SIDE OF STAIRWAYS FOR (4) OR MORE RISERS.
2. HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
3. THE HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1¼" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
4. HANDRAILS PROJECTING FROM A WALL SHALL HAVE AT LEAST 1½" BETWEEN THE WALL AND THE HANDRAIL. ENDS OF THE HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATION OR BENDS.

GUARDRAILS: PER IRC R312.1

1. PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABV. FLR. OR GRADE SHALL HAVE A HALF WALL OR RAIL GUARD 36" MIN. HT.
2. ON OPEN STAIRWAYS SHALL HAVE A GUARDRAIL HEIGHT OF 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
3. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".

GLAZING:

1. GLAZING TO BE TEMPERED WHEN CONSIDERED A HAZARDOUS LOCATION AS DEFINED IN R308.4 OF THE RESIDENTIAL CODE OF NYS SUCH AS:
   - GLAZING IN DOORS
   - GLAZING ADJACENT TO DOORS - WITHIN 24" OF A DOOR WHEN BOTTOM EDGE IS LESS THAN 60" AFF.
   - GLAZING IN WINDOWS - WHEN INDIVIDUAL PANE IS GREATER THAN 9 SF, BOTTOM EDGE IS LESS THAN 18" AFF, TOP EDGE IS GREATER THAN 36" AFF, AND WALKING SURFACE IS WITHIN 36".
   - GLAZING 4 WET SURFACES - ANY GLAZING IN WALLS SURROUNDING TUBS, SHOWERS, SAUNAS WHERE BOTTOM EDGE IS LESS THAN 60" AFF.
   - GLAZING ADJACENT TO STAIRWAYS AND RAMPS - BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF.

ELECTRICAL/ MECHANICAL/ PLUMBING:

1. ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.
2. EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES. APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 6 FEET ABOVE THE FLOOR OR PROVIDE PROTECTION FROM MOTOR VEHICLE IMPACT. PER SECTION G2408 (305) OF THE RESIDENTIAL CODE OF THE STATE OF NEW YORK.

SMOKE/CARBON MONOXIDE ALARMS:

1. FOR NEW CONSTRUCTION SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED AND CONFORM TO SECTION R314 OF THE RESIDENTIAL CODE OF NYS.
   - IN EACH SLEEPING ROOM
   - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
   - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS
   - SHALL NOT BE INSTALLED LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHRUB OR SHOWER.
2. FOR NEW CONSTRUCTION CARBON MONOXIDE DETECTORS SHALL BE DIRECT WIRED AND SHALL BE INSTALLED AND CONFORM TO SECTION R315 OF THE RESIDENTIAL CODE OF NYS WITHIN 15 OF BEDROOM(S) ON EACH FLOOR AND ON EACH FLOOR THAT HAS A CARBON MONOXIDE SOURCE.

ENERGY CONSERVATION STATEMENT:

1. THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED 2018 IECC REQUIREMENTS AND COMPLY WITH SECTION R402 OF THE RESIDENTIAL ENERGY CONSERVATION CODE. INSULATION WILL BE UTILIZED TO SEAL THE BUILDING ENVELOPE, INCLUDING BUT NOT LIMITED TO WALLS, ROOF, RIM JOIST, ABOVE GARAGE FLOORS, CANTILEVERED SPACES AND ALL PERFORATIONS INTO UNCONDITIONED SPACE. BREAKS AND JOINTS IN THE AIR BARRIER WILL BE SEALED WITH FOAM OR CAULK. A VENTILATION CONTROL SYSTEM WILL BE UTILIZED TO PROVIDE THE REQUIRED AIR EXCHANGE.

LIST OF DRAWINGS:

1 / A-0 SITE PLAN
1" = 20'-0"
N

BID SET

REVISIONS

No.	Date	Description

DESIGN WORKS ARCHITECTURE
6 North Main Street, Suite 104 :: Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

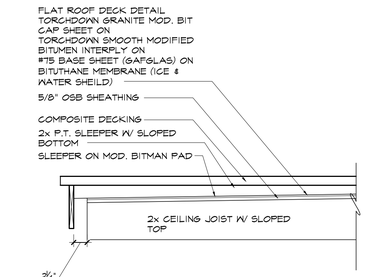
Greg and Roberta
BANFIELD RESIDENCE

5082 Foster Road
Town of Canandaigua
Ontario County, New York

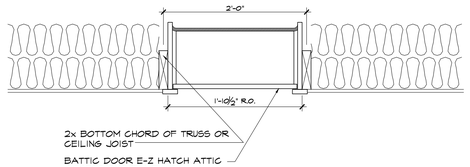
Project No. 2018
Date: 07-05-2022
Scale: AS NOTED
Drawn by: JAS
Checked by: CBS

Title: Construction Documents
COVER SHEET

A-0.0

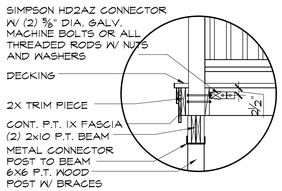


10 ROOF DECK DETAIL
A-0.2

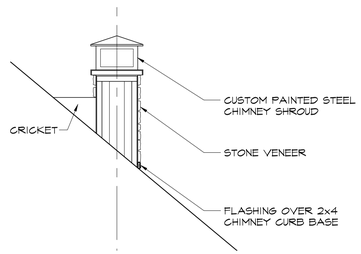


PROVIDE 22" X 30" MIN. SCUTTLE OPG. W/ 30" MIN. HEAD ROOM, TO ROOF CAVITIES THAT EXCEED 30 SF W/ OPENING LOCATED IN AN ACCESSIBLE AREA PER SECTION R-807.

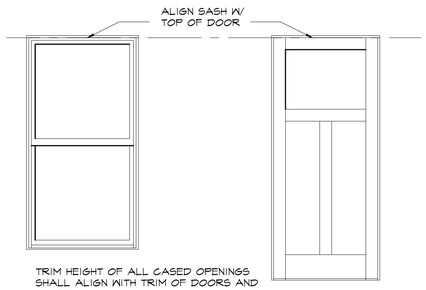
3 ATTIC ACCESS PANEL
A-0.2



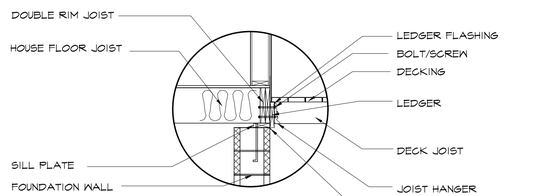
7 RAILING POST DETAIL
A-0.2



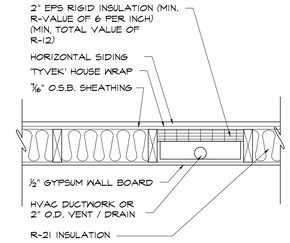
7 CHIMNEY DETAIL
A-0.2



5 ALIGN CASED TRIM ELEVATION
A-0.2

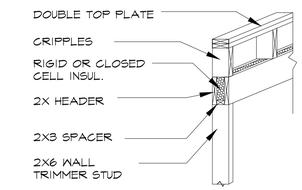


6 LEDGER ATTACHMENT
A-0.2



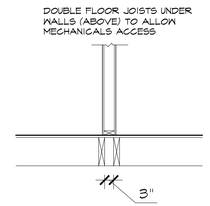
PLUMBING DETAIL AT EXTERIOR WALL

9 A-0.2

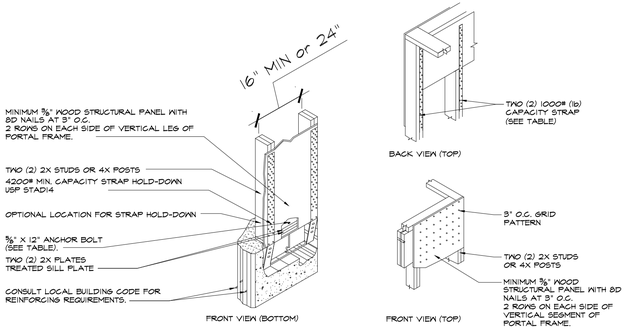


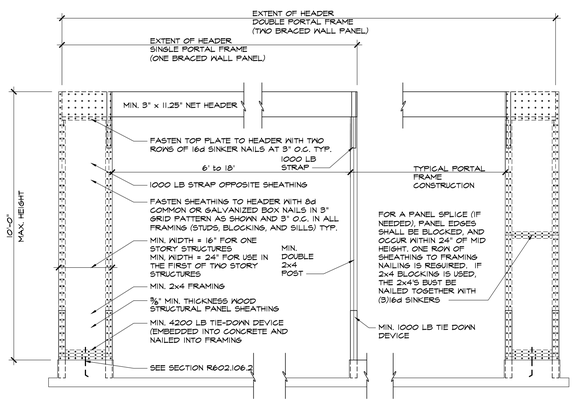
NOTE: ALL EXTERIOR HEADERS TO OUT SIDE WALL

4 INSULATED HEADERS
A-0.2

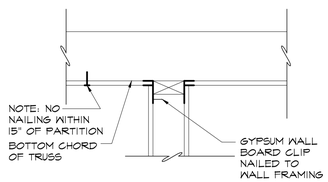


8 DOUBLE FL. JOISTS
A-0.2

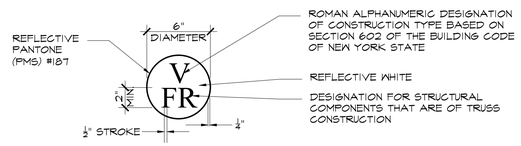




1 NARROW WALL BRACING DETAILS
A-0.2



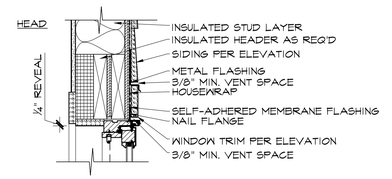
10 TRUSS UPLIFT DRYWALL CLIP DETAIL
A-0.2

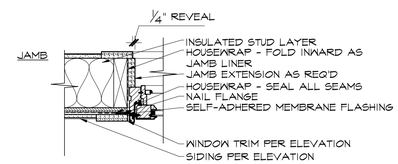


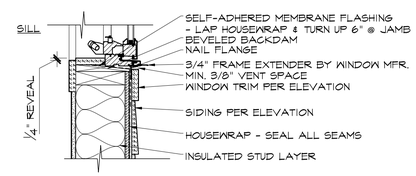
TRUSS IDENTIFICATION SIGN
NOT TO SCALE

"F"	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR AND ROOF FRAMING

9 TRUSS ID
A-0.2







1 WINDOW DETAILS
A-0.2
1-1/2"= 1'-0"

BID SET

REVISIONS

No.	Date	Description

DESIGN WORKS ARCHITECTURE
6 North Main Street, Suite 104 :: Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

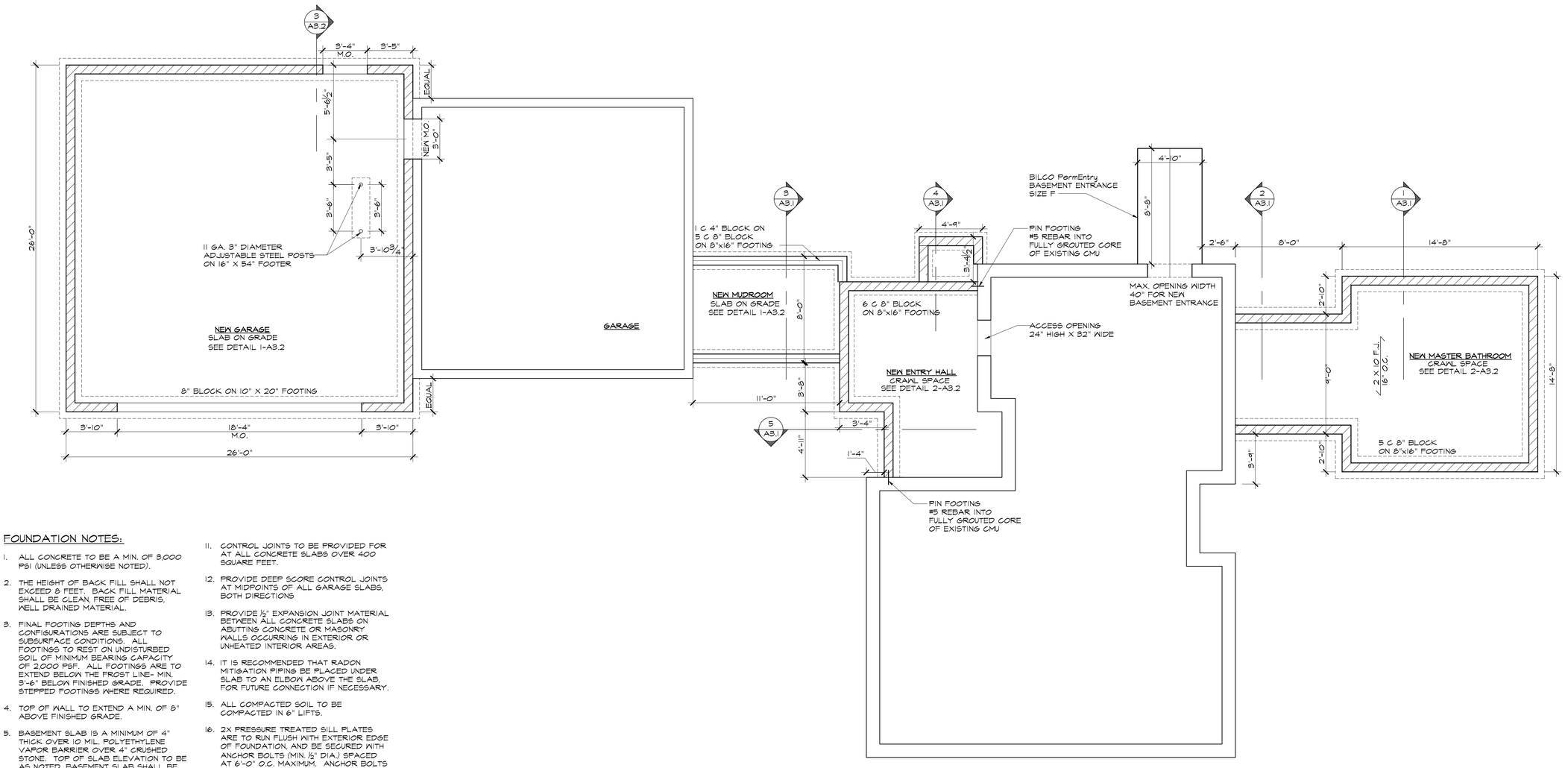
Greg and Roberta
BANFIELD RESIDENCE

5082 Foster Road
Town of Canandaigua
Ontario County, New York

Project No.	2018
Date:	07-30-2020
Scale:	AS NOTED
Drawn by:	JAS
Checked by:	CBS

Title: Construction Documents STANDARD DETAILS

A-0.1



1 / A-1.1 FOUNDATION PLAN

1/4" = 1'-0"

FOUNDATION NOTES:

1. ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
2. THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
3. FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
4. TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
5. BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10/0 WELDED WIRE MESH REINFORCING.
6. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10/0 WELDED WIRE MESH REINFORCING.
7. CRAWL SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
8. UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
9. REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
10. PROVIDE PERIMETER FOUNDATION DRAINPIPE PITCHED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. ** PRE-CAST WALL SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
11. CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
12. PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
13. PROVIDE ½" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
14. IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
15. ALL COMPACTED SOIL TO BE COMPACTED IN 6" LIFTS.
16. 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. ½" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 7" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
17. CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
18. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
19. SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1). SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
20. EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
21. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
22. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
23. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD WEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.

C.M.U. NOTES:

1. CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
2. MORTAR - MORTAR SHALL BE TYPE N.
3. TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
4. BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF ⅜" UNIFORM THICKNESS.
5. WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
6. ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

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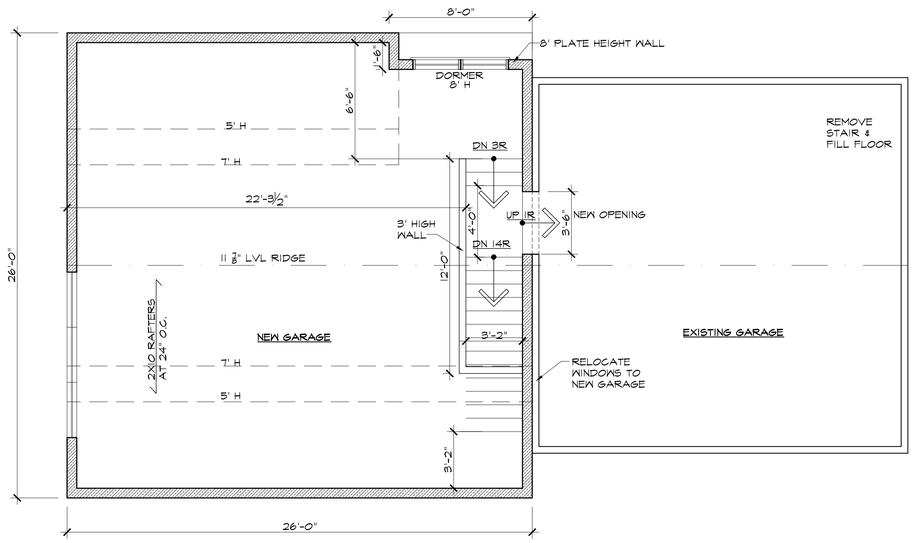
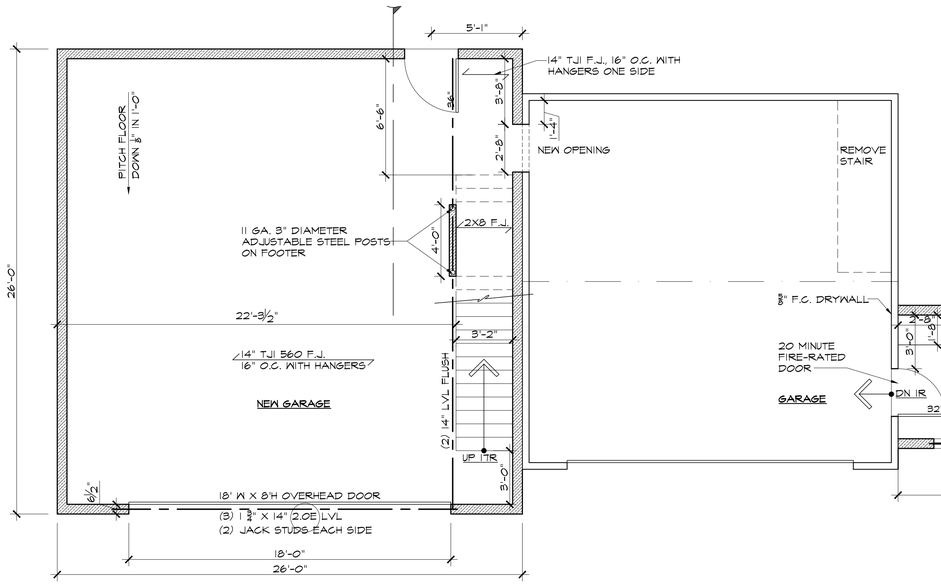
FOUNDATION PLAN

A-1.1



1 A-2.1 GARAGE SECOND FLOOR PLAN

1/4" = 1'-0"



2 A-2.1 FIRST FLOOR PLAN

1/4" = 1'-0"

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
2. ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
3. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
4. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
5. ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
6. DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER.
7. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
8. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
9. ■ INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
10. REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
11. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
12. CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
13. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
14. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
15. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
16. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.

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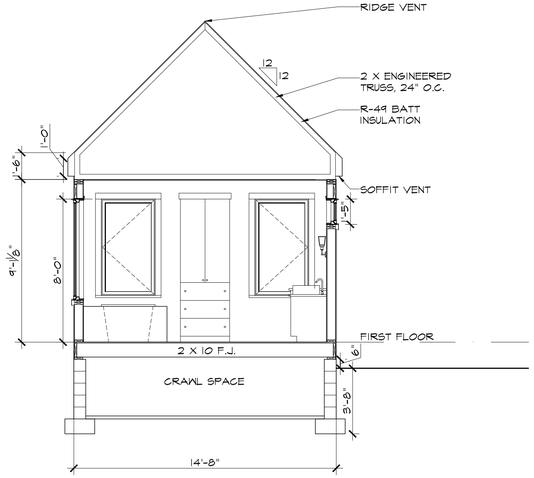
FLOOR PLANS

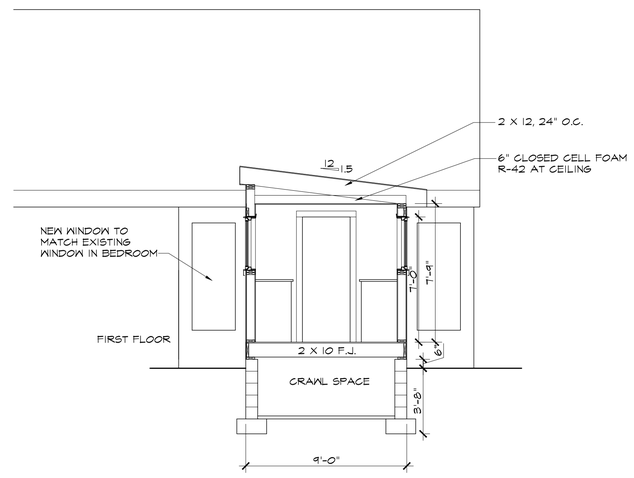
A-2.1

CONSTRUCTION AND FRAMING NOTES:

1. JOISTS, HEADERS, AND BEAMS SHALL BE EASTERN HF no. 2 OR BETTER UNLESS NOTED OTHERWISE:
   - HF.: Fb=1100 PSI, Fv=75 PSI, E=1,300,000
   - LVL: Fb=2600 PSI, Fv=285 PSI, E=1,900,000
   - DOUG FIR: Fb=1400 PSI, Fv=95 PSI, E=1,400,000
2. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.
3. "LVL" BEAMS SHALL HAVE BENDING STRESS FB=2,600 PSI. E= 2.0M PSI.
4. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
5. BEAMS TO FOUNDATION POCKETS SHALL HAVE ½" CLEARANCE FROM MASONRY ½" AIRSPACE THREE (3) SIDES W/ STEEL SHIMS AND SOLID CMU CORES AT BEARING).
6. UNLESS OTHERWISE NOTED PROVIDE A 2x PLATE BOLTED TO TOP FLANGE OF ALL STEEL BEAMS WITH ⅜" DIAMETER BOLTS STAGGERED AT 48" ON CENTER.
7. SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.
8. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE 'PRESSURE TREATED.
9. ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE.
10. DOUBLE FLOOR JOISTS AT FLOOR OPENINGS.
11. PROVIDE DOUBLE STUDS (MIN.) UNDER BEAMS W/SOLID BLKG. TO FNDN. (W/ SOLID CMU CORES AT POINT LOAD), COL. OR BEAM FOR PROPER SUPPORT AND LOAD TRANSFER.
12. FLOOR CONSTRUCTION: ¾" TONGUE AND GROOVE ADVANTECH SUBFLOOR.
13. FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.
14. ALL INTERIOR WALLS SHALL BE COVERED WITH ½" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND, (3 COATS) USE ⅝" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE ½" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
15. ALL WALLS TO RECEIVE TILE SHALL BE CEMENTITIOUS BACKER BOARD IN SHOWERS AND AROUND TUBS.
16. USE (1) LAYER ⅝" TYPE "X" GYPSUM BOARD @ GARAGE WALLS. ALL JOISTS TO BE TAPED, SEALED AND PAINT FINISH.
17. WINDOW AND EXTERIOR DOOR HEADERS AS NOTED ON PLAN.
18. PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE WHERE REQ'D AND AT ROOF CHANGES, HORIZ. ABUTMENTS (PORCHES & DECKS), PROJECTIONS, VALLEY'S, OPENINGS... ETC.
19. ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS TO BE CERTIFIED BY THE MANUFACTURER; INCLUDING FINAL SIZING AND ENGINEERING, BRIDGING AND BLOCKING, THRU-PENETRATIONS, BEARING CONDITIONS AND CONNECTIONS.
20. PROVIDE BRIDGING WHERE JOISTS EXCEEDING A NOMINAL 2 INCHES BY 12 INCHES SHALL BE SUPPORTED LATERALLY BY BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR A CONTINUOUS 1 INCH BY 3 INCH STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
21. PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL.
22. ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SF AT FIRST FLOOR AND 5.7 SF AT SECOND FLOOR. ALL SILLS TO BE WITHIN 44" OF FINISH FLOOR FOR EGRESS OPENINGS.
23. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED WALL AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" GWB ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES), FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT., CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.
24. ALL GAS APPLIANCES TO BE DIRECTLY VENTED TO ROOF OR EXTERIOR TERMINATION ADDRESSING ALL REQUIREMENTS PER MANUFACTURERS SPECIFICATIONS.



1 A-3.1 NEW BATHROOM SECTION
1/4" = 1'-0"



2 A-3.1 NEW DRESSING ROOM SECTION
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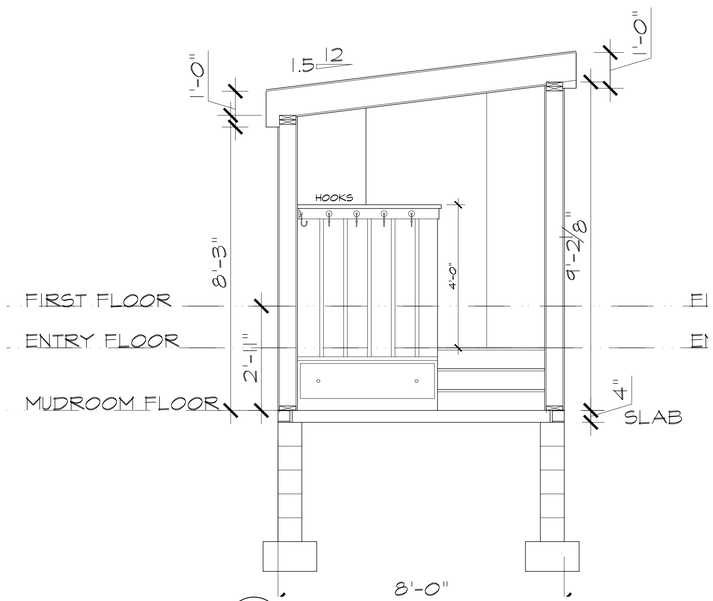
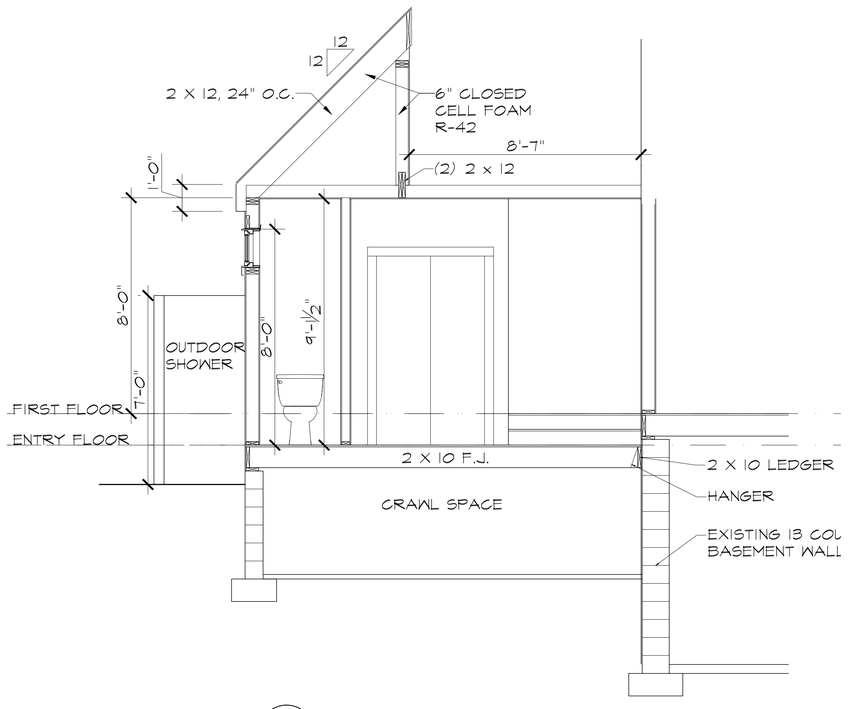
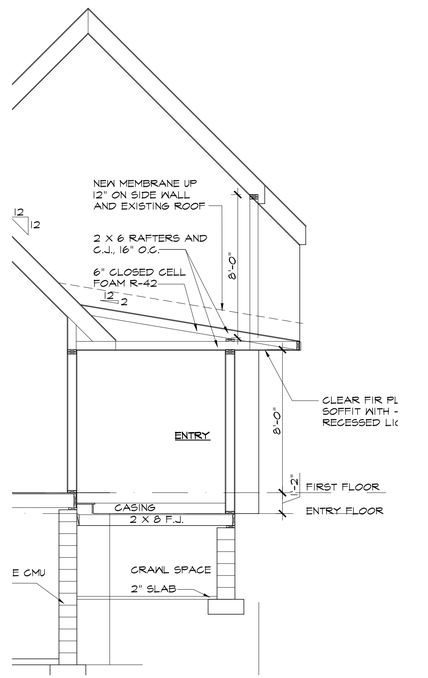


3 A-3.1 NEW MUDROOM SECTION
1/2" = 1'-0"



4 A-3.1 NEW ENTRY SECTION
1/4" = 1'-0"



5 A-3.1 NEW ENTRY SECTION
1/4" = 1'-0"

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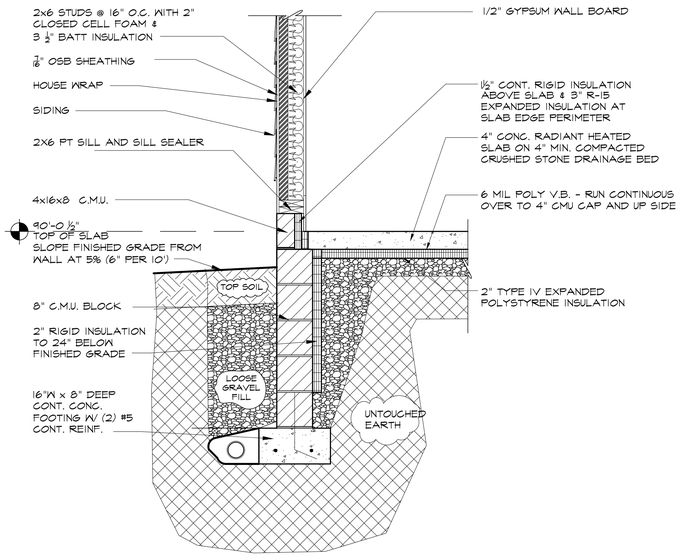
BUILDING SECTIONS

A-3.1



1 / A-3.2 SLAB DETAIL SECTION

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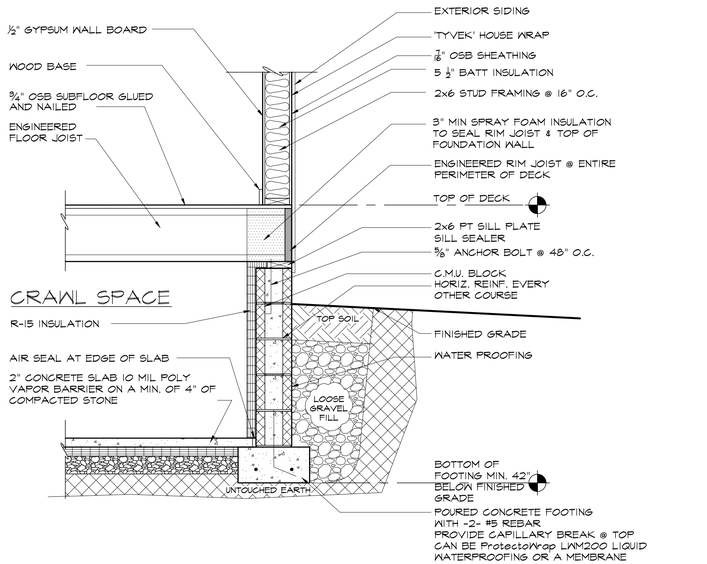

2 / A-3.2 CRAWL SPACE DETAIL SECTION

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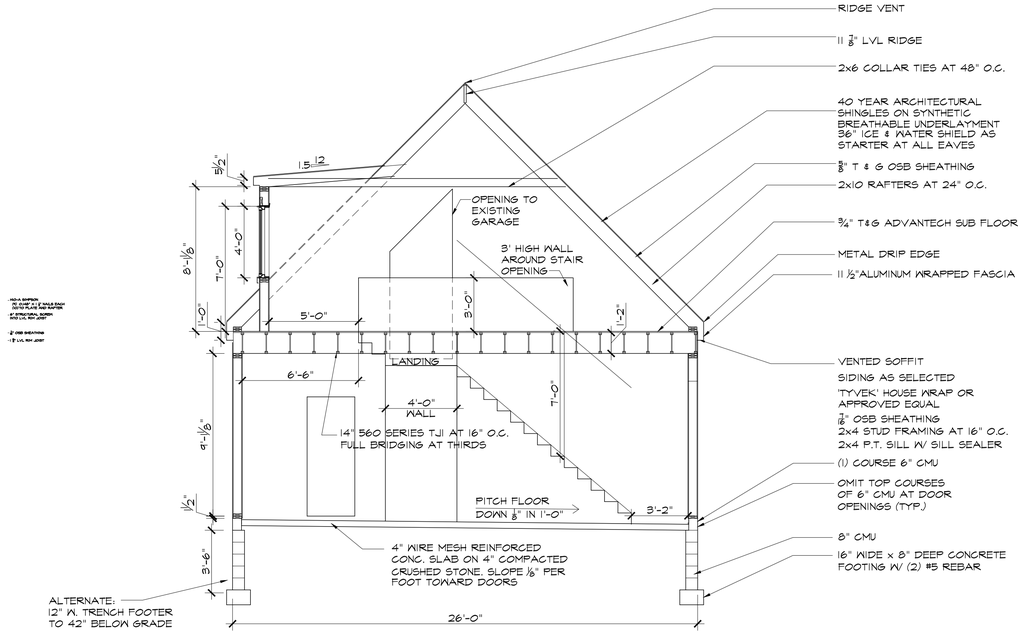

3 / A-3.2 NEW GARAGE SECTION

1/4" = 1'-0"

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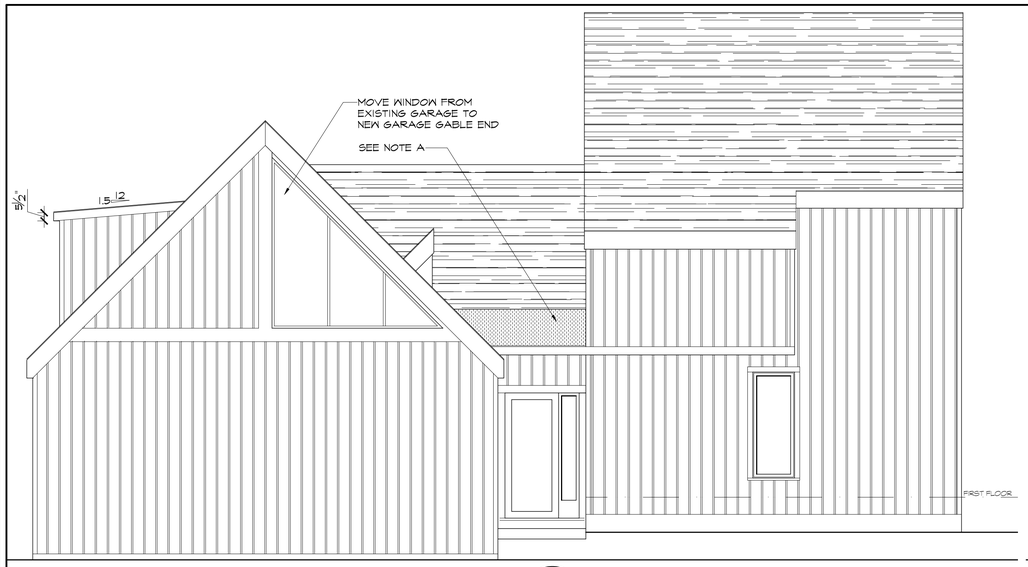
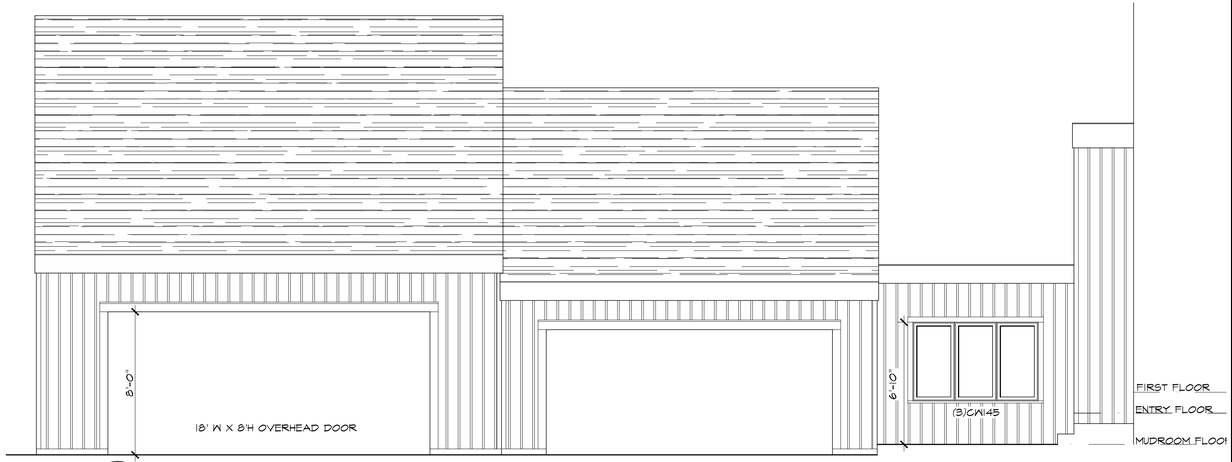
A-3.2



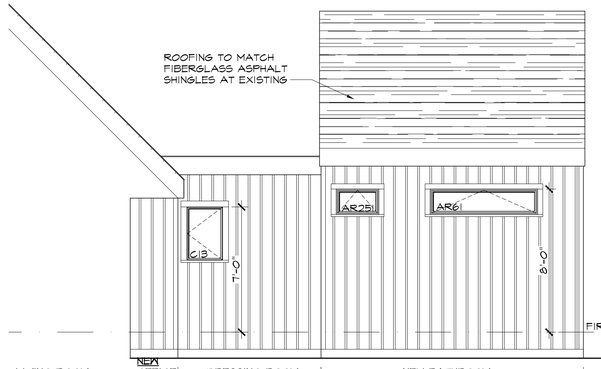
3 SOUTH ELEVATION
A-4.1
1/4" = 1'-0"



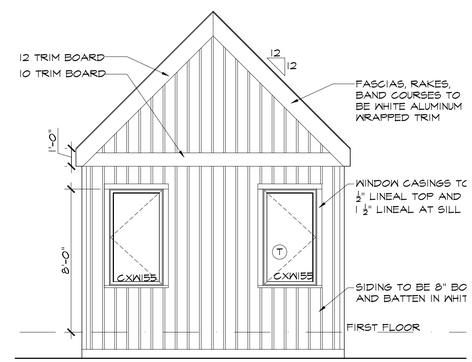
3 EAST ELEVATION
A-4.1
1/4" = 1'-0"

ELEVATION NOTES:

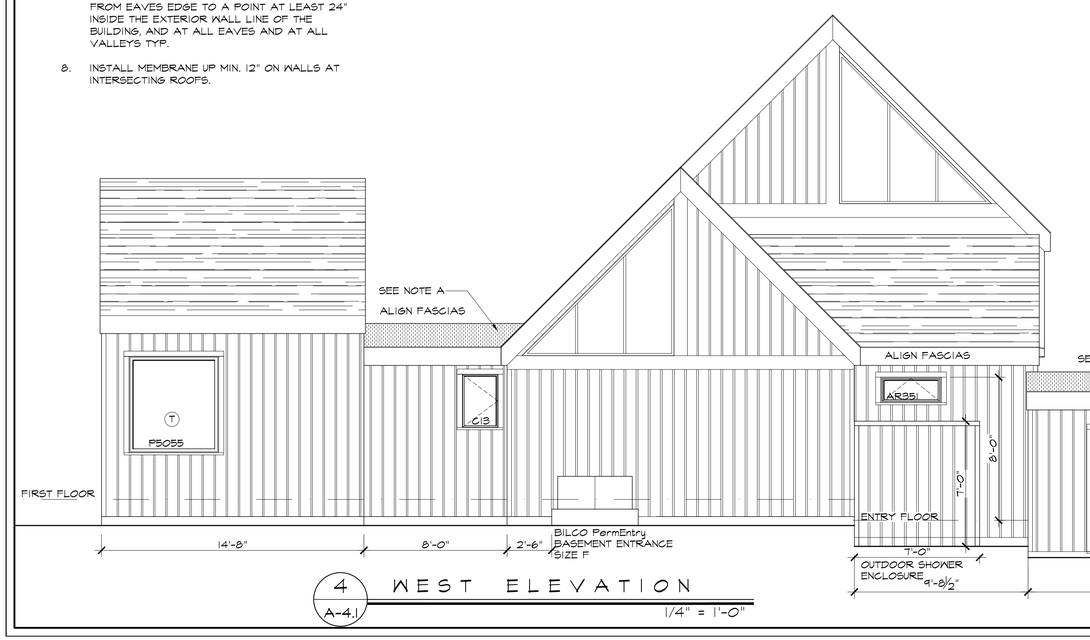
1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. WINDOW NUMBERS ON PLANS AND ELEVATIONS REFER TO MARVIN WINDOWS.
4. WINDOW TAGS ON PLANS AND ELEVATIONS THAT HAVE AN "E" OR "T" BESIDE ITS DESIGNATION ARE TO DENOTE "EGRESS" OR "TEMPERED" AS BEING REQUIRED.
5. ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
6. CONTRACTOR TO VERIFY ALL WINDOW SIZES AND QUANTITIES PRIOR TO ORDERING.
7. ICE & WATER SHIELD R905.2.7.1 TO EXTEND FROM EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING, AND AT ALL EAVES AND AT ALL VALLEYS TYP.
8. INSTALL MEMBRANE UP MIN. 12" ON WALLS AT INTERSECTING ROOFS.



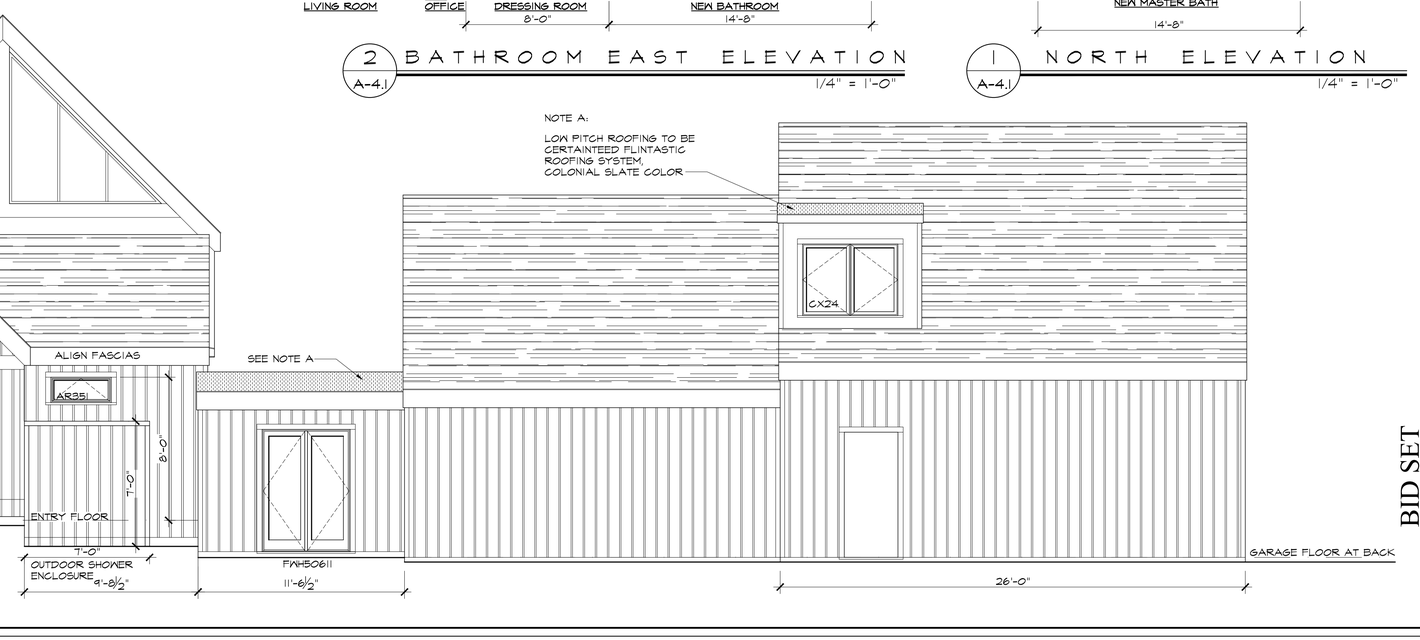
2 BATHROOM EAST ELEVATION
A-4.1
1/4" = 1'-0"



1 NORTH ELEVATION
A-4.1
1/4" = 1'-0"



4 WEST ELEVATION
A-4.1
1/4" = 1'-0"



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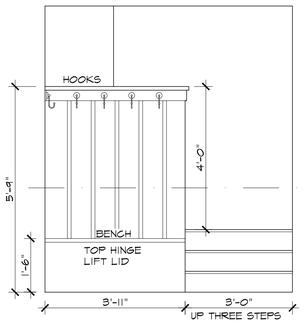
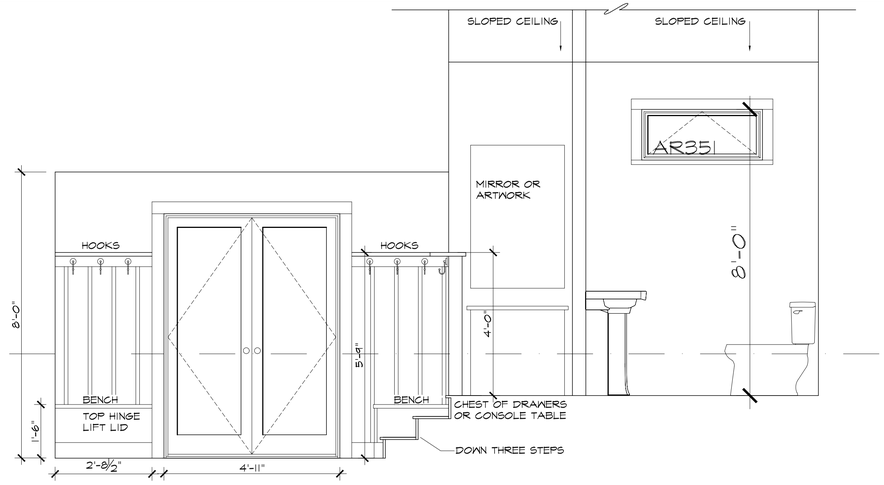
A-4.1



1 / A-5.1 SOUTH ELEVATION

1/2" = 1'-0"



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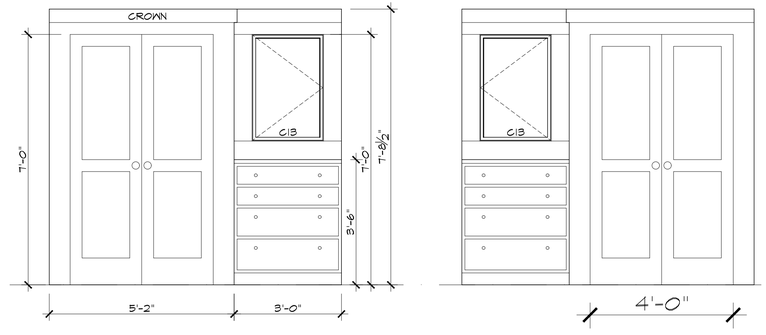
1/2" = 1'-0"



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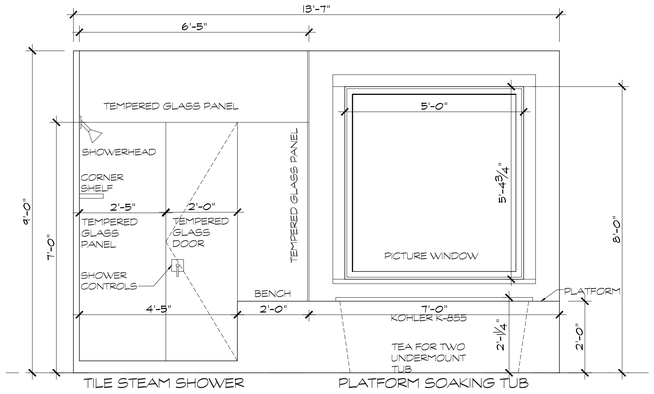

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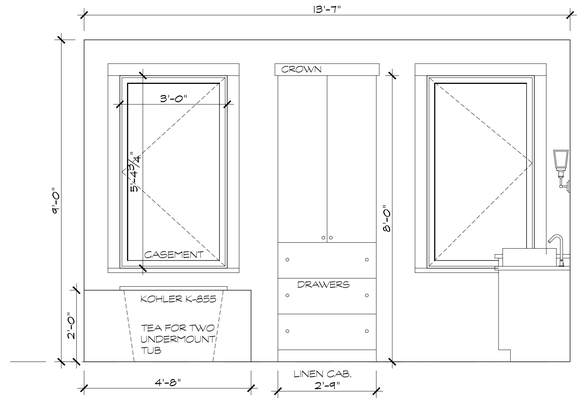

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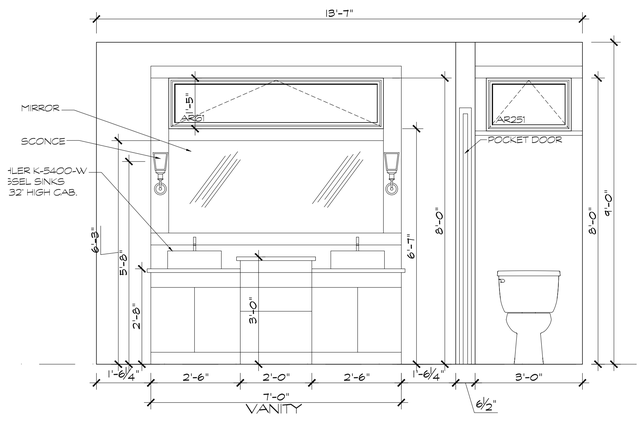
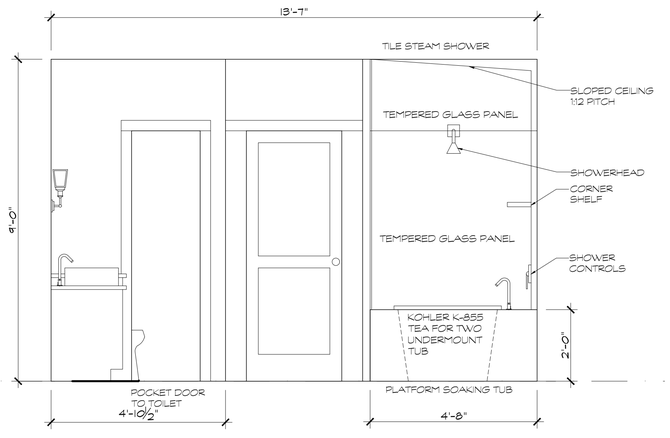


1 / A-5.1 SOUTH ELEVATION

1/2" = 1'-0"



1 / A-5.1 SOUTH ELEVATION

1/2" = 1'-0"

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INTERIOR ELEVATIONS

A-5.1