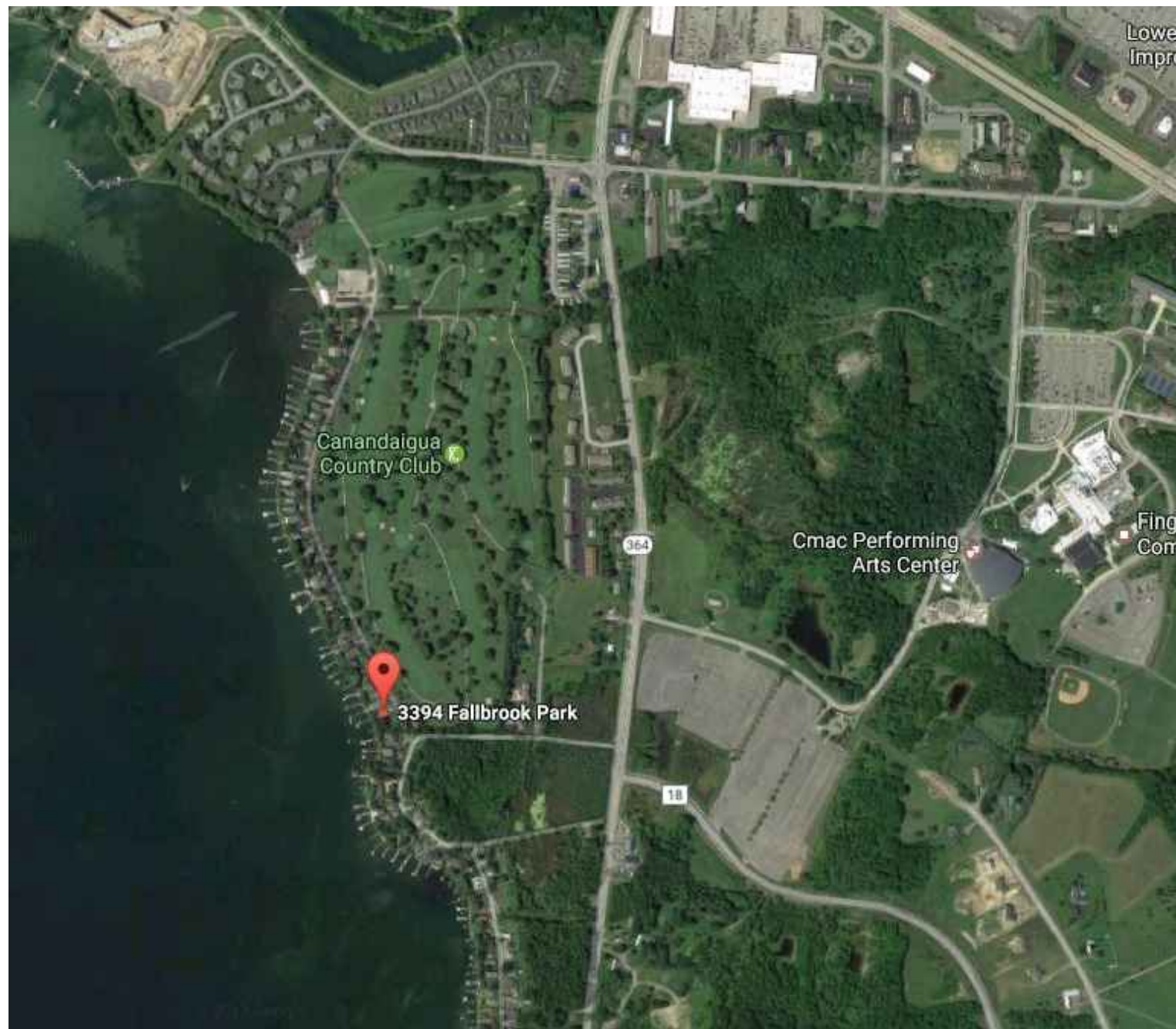
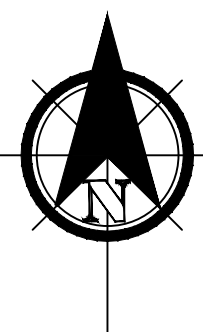


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR
RUSSELL H. & AMY S. BRANDON
3394 & 3396 FALLBROOK PARK
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK



AERIAL LOCUS
NOT TO SCALE

SHEET INDEX:

C-0	COVER SHEET
	EXISTING CONDITIONS PLAN
C-1	SITE PREPARATION & EROSION CONTROL PLAN
C-2	SITE LAYOUT AND UTILITY PLAN
C-3	SITE AND UTILITY DETAILS
	LANDSCAPE PLAN

ZONING CHART

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	6,652 SF [3394 FALLBROOK] 11,662 SF [3396 FALLBROOK]	18,314 SF
MIN LOT WIDTH	125'	50' [3394 FALLBROOK] 120' [3396 FALLBROOK]	170'
MIN FRONT YARD SETBACK	55'	<0' [3394 FALLBROOK] <0' [3396 FALLBROOK]	19.21'
MIN SIDE YARD SETBACK	10'	5.08' [3394 FALLBROOK] 10.46' [3396 FALLBROOK]	18.0'
MIN REAR YARD SETBACK	30'	34.47' [3394 FALLBROOK] 34.39' [3396 FALLBROOK]	30.0'
MAX BUILDING HEIGHT	25 FT		27 FT
MAX BUILDING COVERAGE	20%	43.9% [3394 FALLBROOK] 17.7% [3396 FALLBROOK] 27.2% [COMBINED]	21.1%
MAX LOT COVERAGE	30%	59.6% [3394 FALLBROOK] 19.7% [3396 FALLBROOK] 34.8% [COMBINED]	31.7%
SITE DISTURBANCE		18,000 SF	

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES. THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980020C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
8. DUE TO THE FACT THAT THE PROJECT WILL DISTURB MORE THAN 1-ACRE OF LAND, THE PROJECT WILL BE REQUIRED TO FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NYS DEC SPDES GENERAL PERMIT GP-0-15-002. THE FILING OF THE NOI WILL INCLUDE THE DEVELOPMENT AND IMPLEMENTATION OF A STORMWATER POLLUTION PREVENTION PLAN.
9. ELEVATIONS REFERENCE NAVD88 DATUM.

Lot Combination Coverage Calculations:	Sq.Ft	PROPOSED Coverage Calculations:	Sq.Ft
3394		House.....	3,868
House & PORCH.....	2,920	Driveway & Walks	1,326
Brick Walkways	1,043	Patio	500
Break Wall.....	115	Break Wall.....	113
Total Coverage	4,078	Total Coverage.....	5,807
Total Site Area	6,652	Total Site Area.....	18,314
Building Coverage	43.9%	Building Coverage.....	21.1%
3394 Lot Coverage	59.6%	Total Lot Coverage.....	31.7%

3396	
Cottage.....	1,277
Garage.....	785
Break Wall	92
Boat Ramp	45
Concrete Walk	98

Total Coverage	2,297
Total Site Area	11,662
Building Coverage	17.7%
3396 Lot Coverage	19.7%

COMBINED COVERAGE	
Total Coverage	6,375
Total Site Area	18,314
Building Coverage	27.2%
Combined Lot Coverage	34.8%

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	8/2/17	Owner Revisions	EVJ
2	9/11/17	Owner Revisions	EVJ

NYS Land Surveyor
Rocco A. Venezia, P.L.S.
License # 049761

Site Plan Drawings Prepared For:

Russell H. & Amy S. Brandon

3394 & 3396 Fallbrook Park
Town of Canandaigua
County of Ontario State of New York

File# 16271
Scale: NTS
T.m. # 98.11-1-39.0 & 40.0
Date: 6/22/17
Sheet:

C-0

www.veneziasurvey.com (585)396-3267 Fax. No. (585) 396-0131 E-mail rocco@veneziasurvey.com

" Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

" Copyright 2016" Venezia & Associates. All rights reserved unauthorized duplication is a violation of all applicable laws"

Site Details:
Existing Zoning is Residential Lake District (RLD)
Minimum Lot Size: 20,000 SQ. FT.
Minimum Lot Width: 125 FT
Front Setback: 55 FT.
Rear Setback: 30 FT.
Side Setback: 10 FT.
Maximum Building Height = 25 FT.
Maximum Building Coverage on Lot = 20%
Maximum Lot Coverage = 30%

Contours derived from NAVD88 Datum

Flood Zones AE & X Per Community Panel
No. 360598 0020 C Last Dated March 3, 1997.

Deed Reference:
Jodi T. Shea et al to Russell H. & Amy S. Brandon by Deed filed July 14, 2009 in Liber 1229 of Deeds at Page 490.

Mark D. Deci to Russell H. Brandon by Deed filed August 9, 2016 in Liber 1367 of Deeds at Page 632.

ONE STAGE SITE PLAN APPROVAL

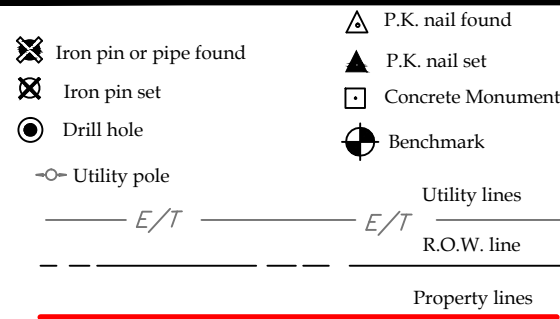
PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



5120 Laura Lane

Legend



Revisions			
NO.	Date	Description	By

This is to certify that I am a
Licensed Land Surveyor and that this plan
was completed on 12/21/2016
from notes of an instrument survey
performed on 12/14/2016

Rocco A. Venezia
License No. 049761

signed

6/22/17



Map of survey prepared for:

Russell H. & Amy S. Brandon

Showing Land
at
3394 & 3396 Fallbrook Park
Town of Canandaigua
County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

Fax No. (585) 396-0131

E-mail rocco@veneziasurvey.com

T.m. # 98.11-1-39.0 & 40
Scale 1"= 10'
File# 16271

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. SEQUENCE – THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE-CONSTRUCTION MEETING:
- INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.
 - IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBANCE AREA AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.
3. PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING
- SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
 - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS/ACRE	LBS/1,000 SQ. ACRES
SPRING/SUMMER/EARLY FALL	
ANNUAL RYE GRASS	30
PERENNIAL RYEGRASS	30
LATE FALL/EARLY WINTER	
CEREAL RYE	100

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDFEET OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

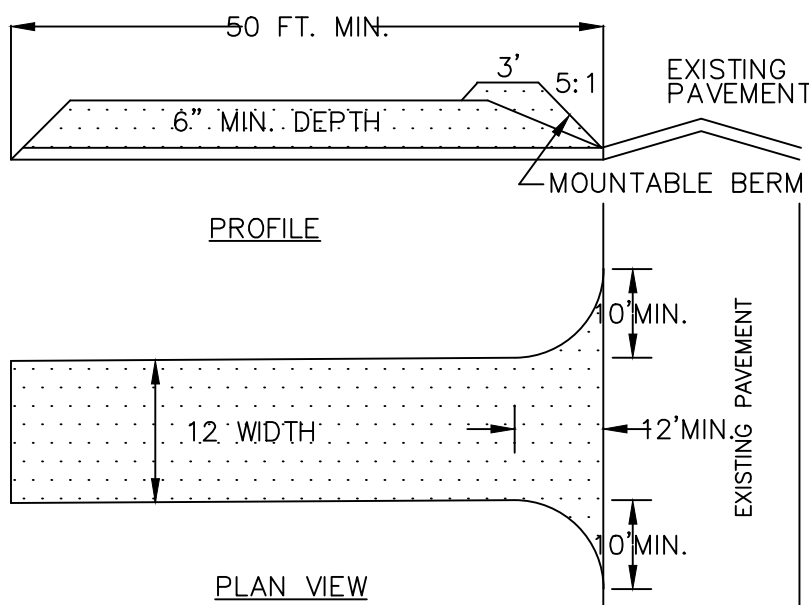
SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET

MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TRACKIFIER.

STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.

- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENT IN THE AREAS OF CONSTRUCTION.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND /OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFPD) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EVALUATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/ OR DIRECTED BY THE TOWN OF CANANDAIGUA.
7. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
8. ROOF LEADERS SHALL BE CONNECTED TO STORM SEWERS, UNLESS OTHERWISE NOTED.
9. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS.
10. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.
11. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/ REQUESTED BY THE TOWN OF CANANDAIGUA.
14. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

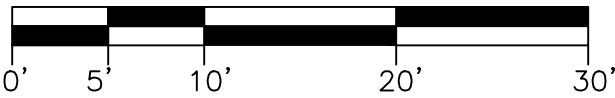


STABILIZED CONSTRUCTION ENTRANCE DETAILS
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

SCALE: 1" = 10'

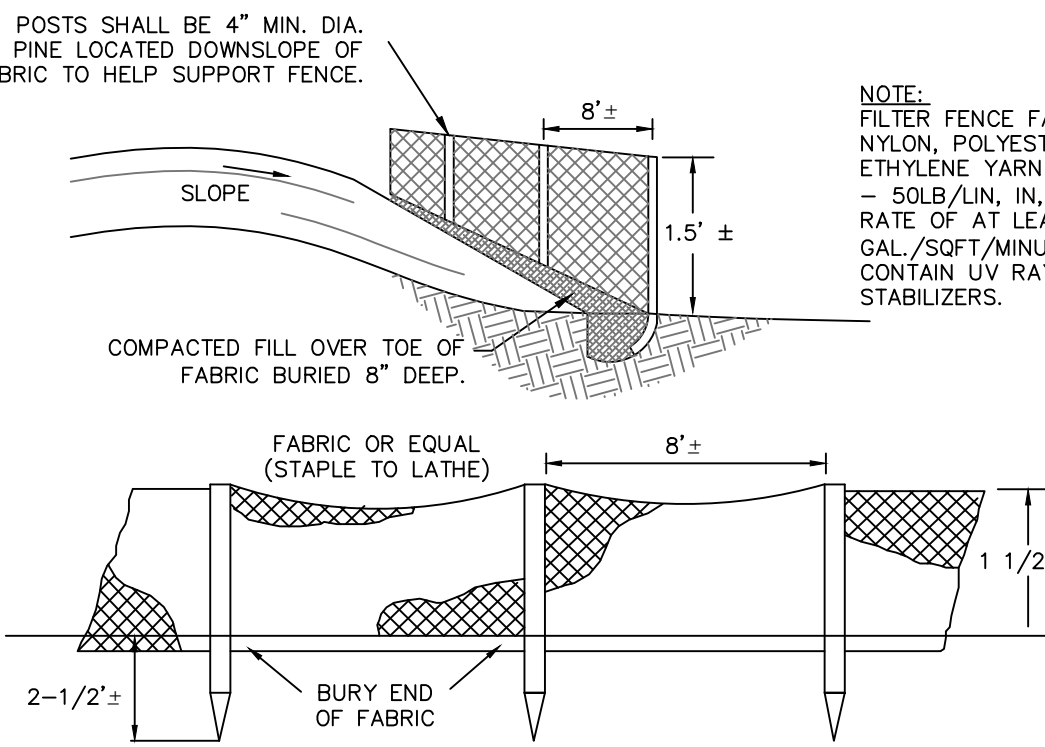


5120 Laura Lane

Canandaigua New York, 14424

LEGEND

W	PROP WATER	SILT FENCE
S	PROP SEWER	EXIST. CONTOUR
D	PROP DRAIN	900- CONTOUR
E	PROP ELECT	PROPERTY LINE
T	PROP TEL	CENTERLINE
GAS	PROP GAS	LIGHT POLE
900.3 x	SPOT GRADE	DRAIN MANHOLE
PROPOSED EROSION MAT		CATCH BASIN
CHECK DAM		SEWER MANHOLE
		WATER VALVE
		HYDRANT



SILT FENCE DETAIL
NOT TO SCALE



Revisions			
NO.	Date	Description	By
1	8/2/17	Owner Revisions	EVJ
2	9/11/17	Owner Revisions	EVJ

NYS Land Surveyor

Drawing Title: **SITE DEMOLITION AND EROSION CONTROL**

Site Plan Prepared For:

Russell H. & Amy S. Brandon

3394 & 3396 Fallbrook Park

Town of Canandaigua

County of Ontario

State of New York

(585)396-3267

Fax. No. (585) 396-0131

File# 16217

Scale 1"= 10'

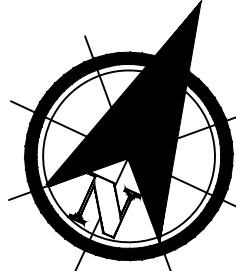
T.m. # 98.11-1-39.0 & 40

Date: 6/22/17

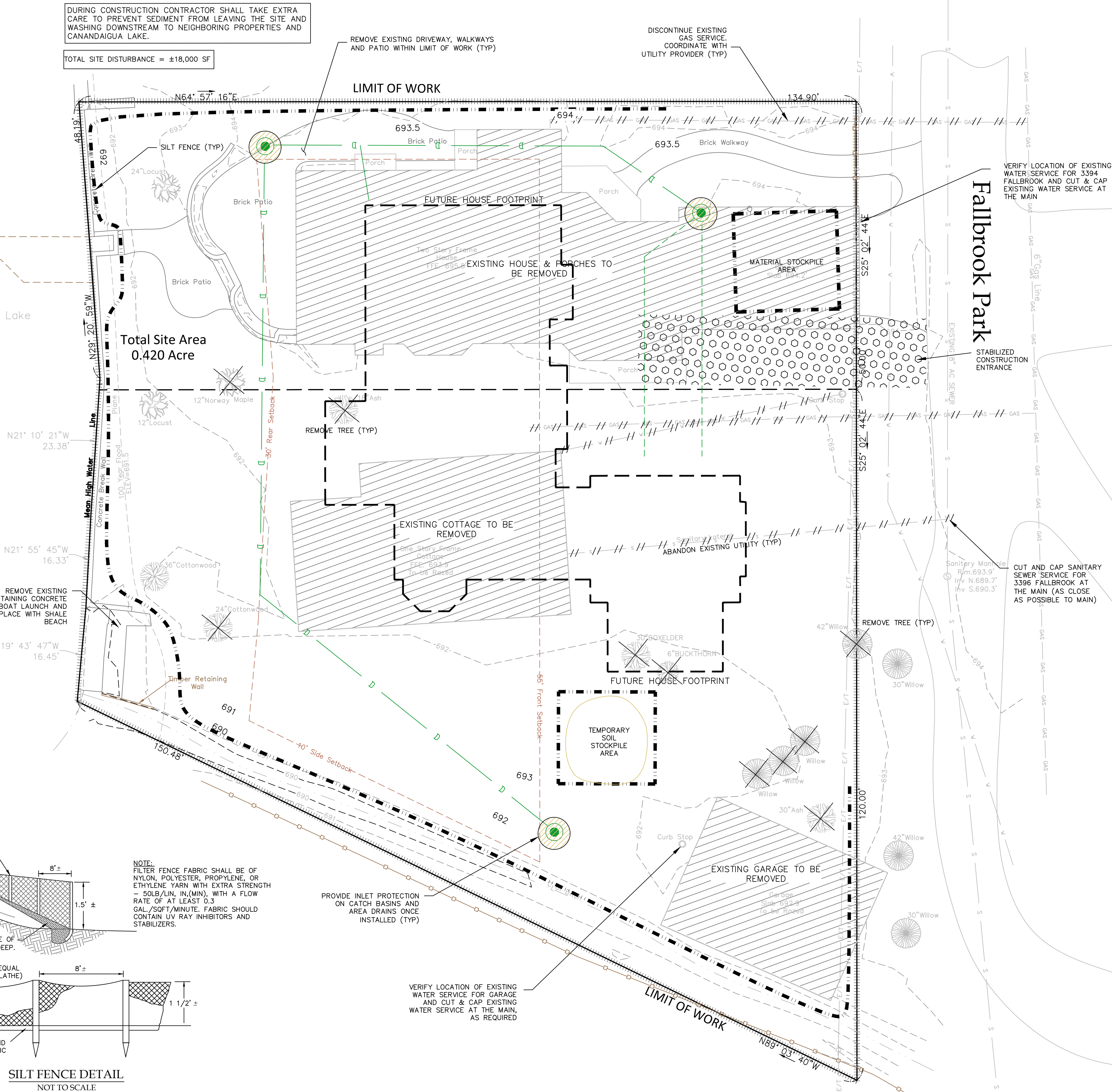
Sheet:

C-1

E-mail rocco@veneziasurvey.com



Canandaigua Lake



WATER SYSTEM NOTES

1. WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
2. PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
3. WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5-FEET OF COVER FROM FINISHED GRADE.
4. THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
5. THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
6. DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.

SANITARY LATERAL NOTES:

1. ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, AND ANY OTHER AGENCIES HAVING JURISDICTION.
2. NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FROM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
3. DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
4. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
5. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
6. LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
7. SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
8. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
11. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.
12. LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
13. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

RENOVATION PROJECTS ONLY

15. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
16. PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEVIEWED.
17. IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEVIEWED IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
18. IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
19. IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
20. IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

SCALE: 1" = 10'



5120 Laura Lane

Canandaigua New York, 14424

LEGEND

- W PROP WATER
- S PROP SEWER
- D PROP DRAIN
- E PROP ELECT
- T PROP TEL
- GAS PROP GAS
- 900.3 X SPOT GRADE
- PROPOSED EROSION MAT
- CHECK DAM
- SILT FENCE
- DIST. CONTOUR
- PROP CONTOUR
- PROPERTY LINE
- CENTERLINE
- LIGHT POLE
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- WATER VALVE
- HYDRANT



Revisions

NO.	Date	Description	By
1	8/2/17	Owner Revisions	EVJ
2	9/11/17	Owner Revisions	EVJ

NYS Land Surveyor

Drawing Title:

SITE LAYOUT AND UTILITY PLAN

Site Plan Prepared For:

Russell H. & Amy S. Brandon

3394 & 3396 Fallbrook Park

Town of Canandaigua

County of Ontario

State of New York

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

File# 16217

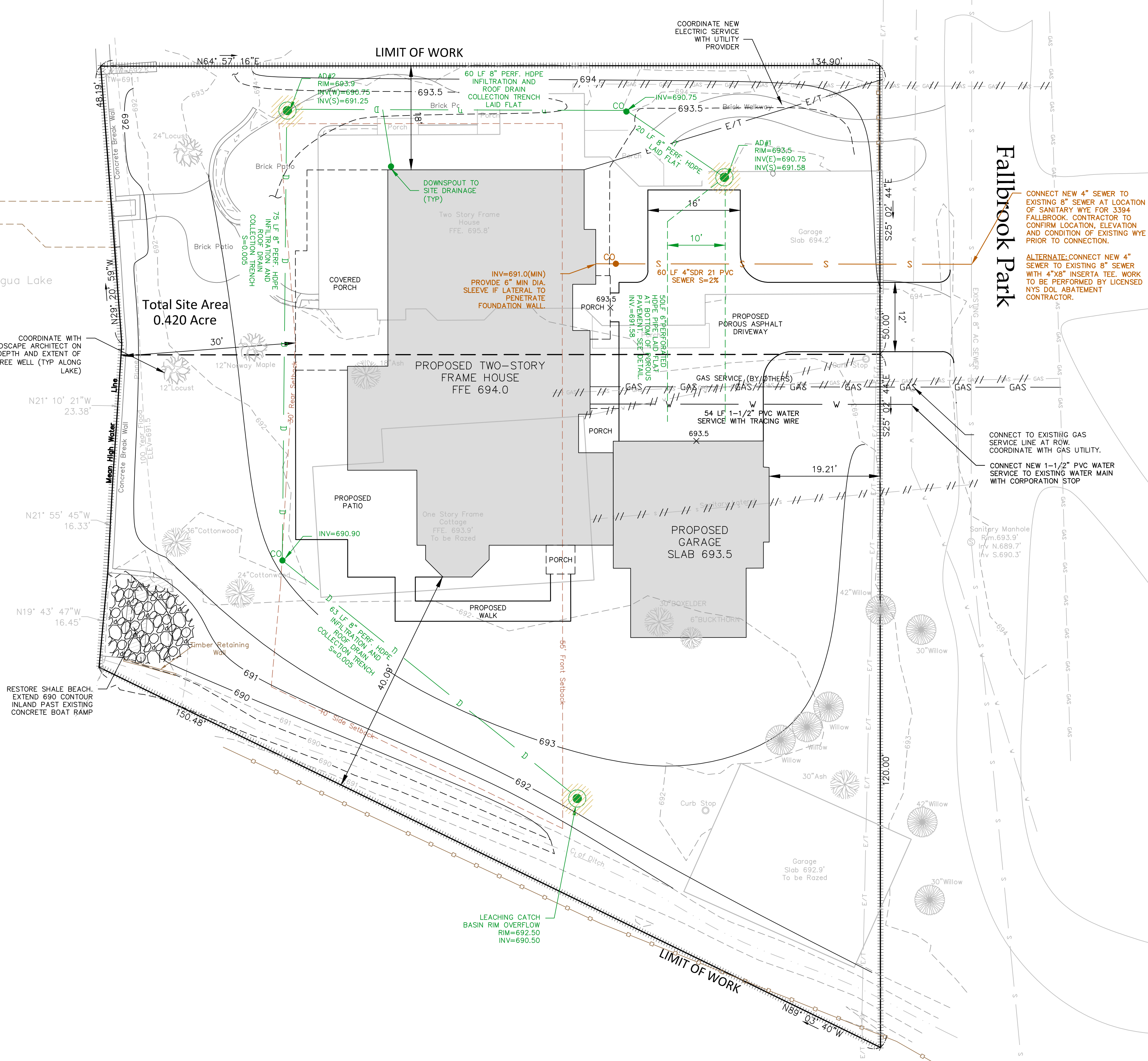
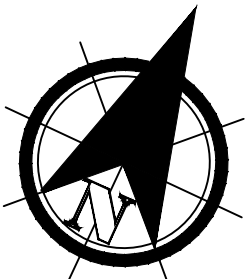
Scale 1"= 10'

T.m. # 98.11-1-39.0 & 40

Date: 6/22/17

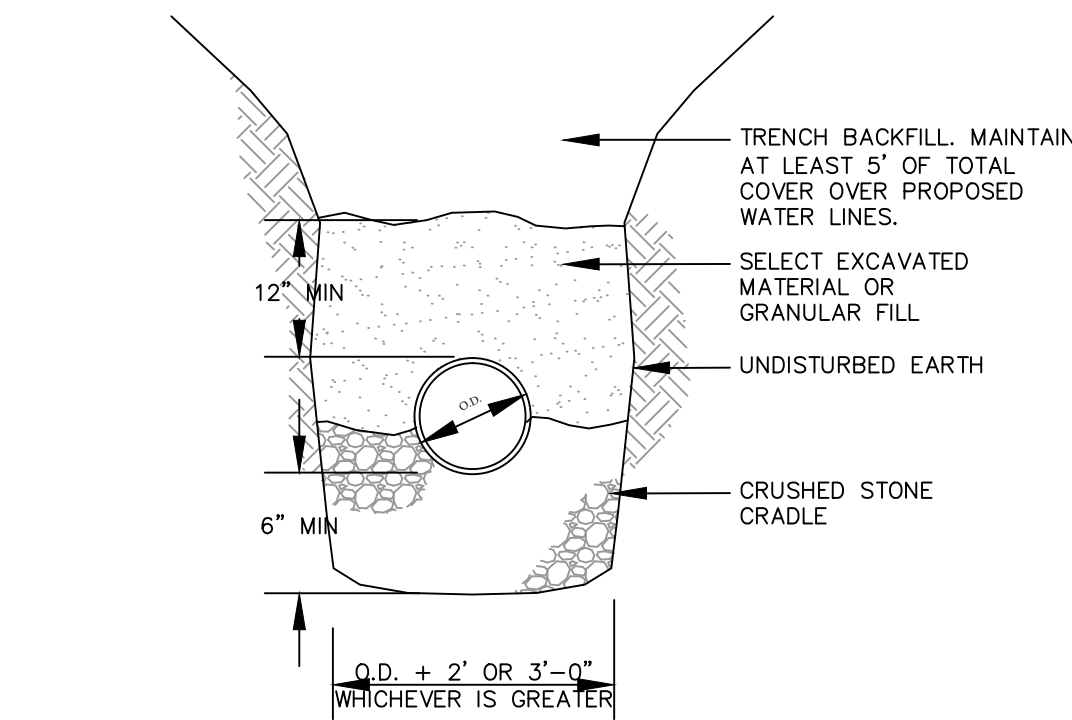
Sheet:

C-2

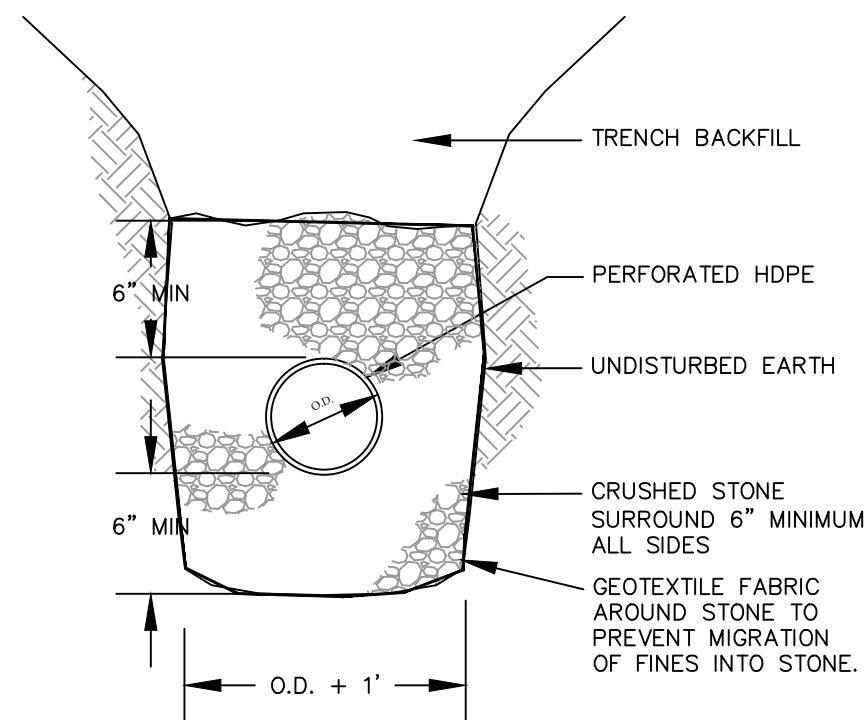


SANITARY LATERAL NOTES:

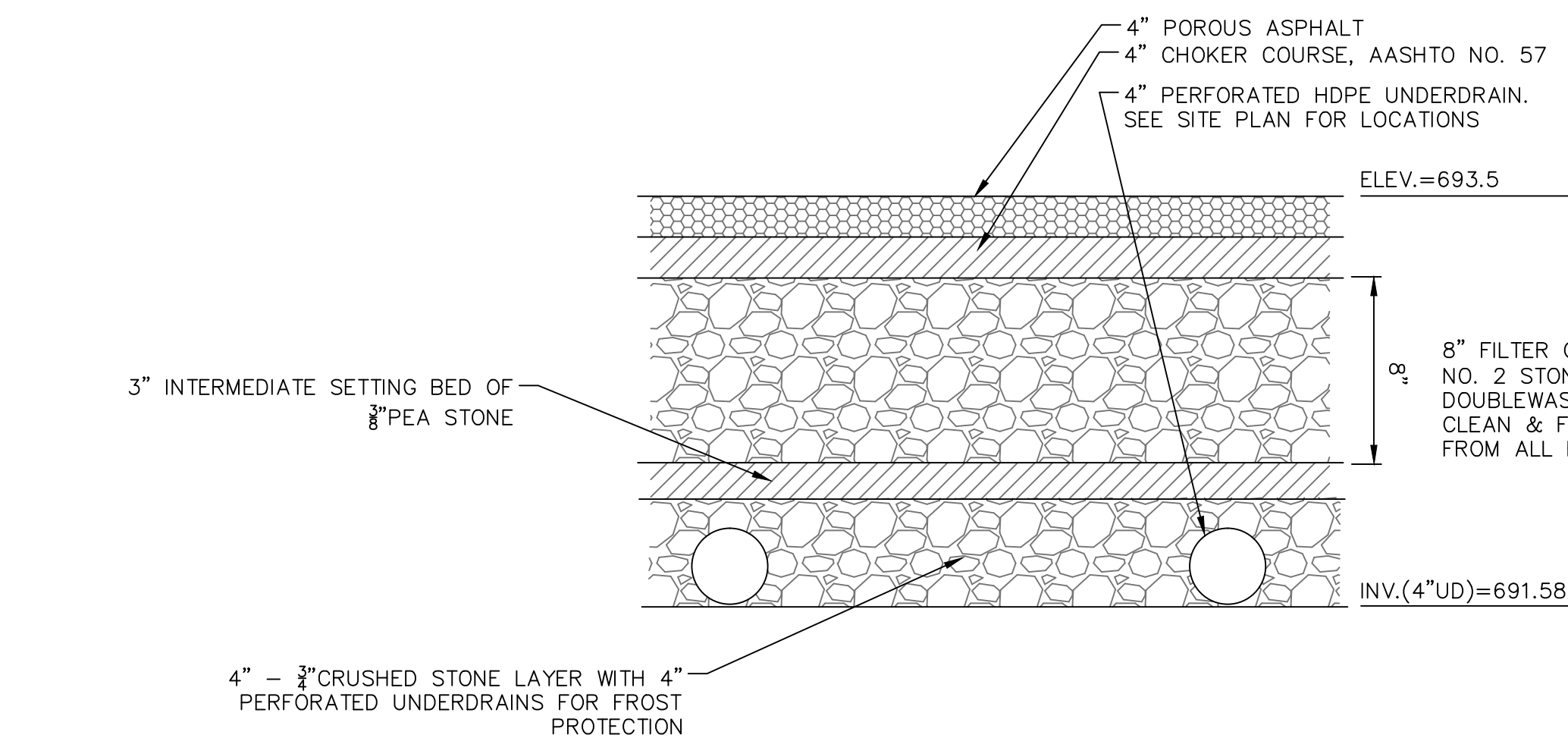
- ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
 - NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FORM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
 - DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
 - THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
 - UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
 - LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
 - SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
 - FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.
 - LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
 - ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.
- RENOVATION PROJECTS ONLY**
- EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
 - PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEVIEWED.
 - IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEVIEWED IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
 - IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
 - IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
 - IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.



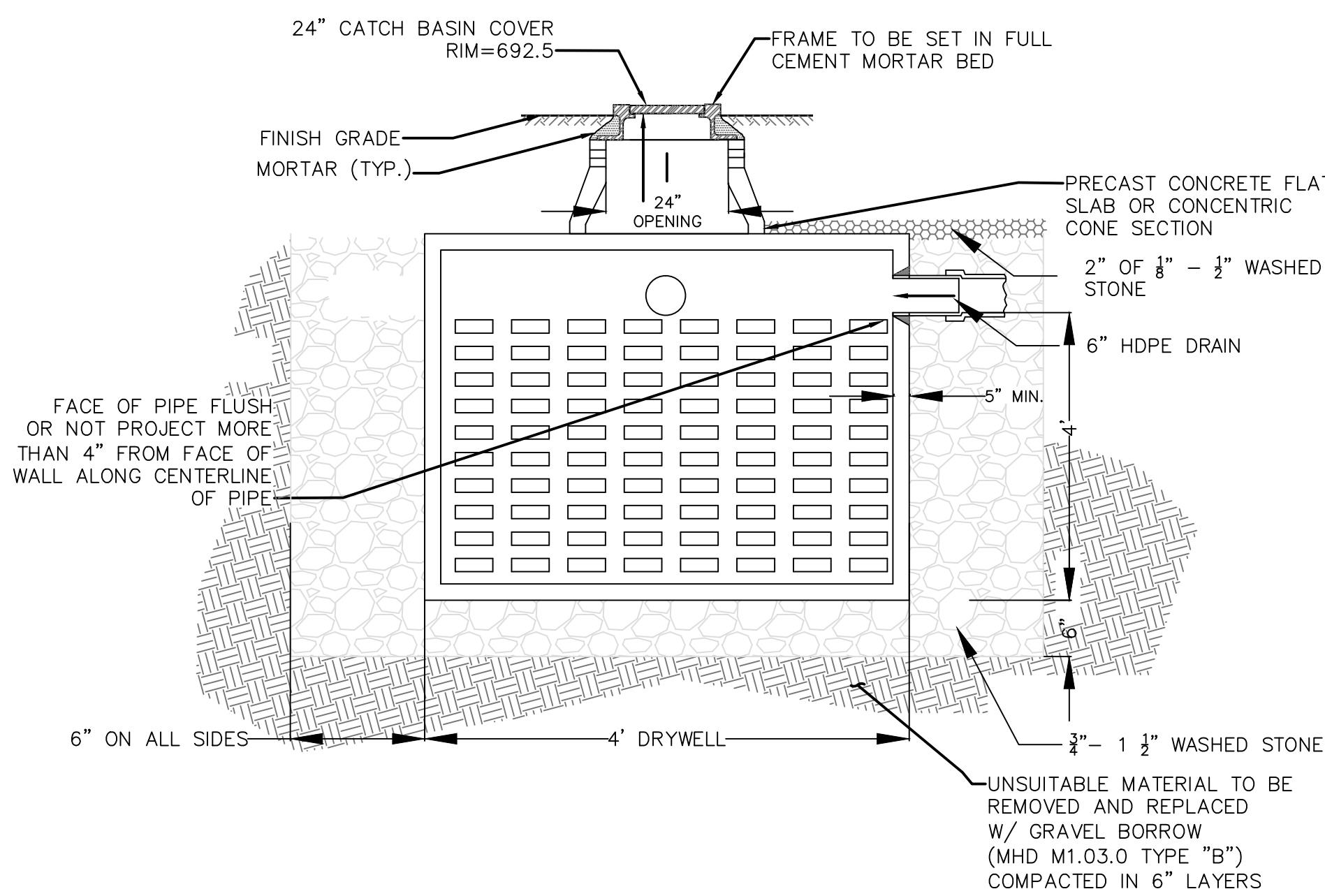
PVC WATER MAIN & DRAIN
BEDDING DETAIL
NOT TO SCALE



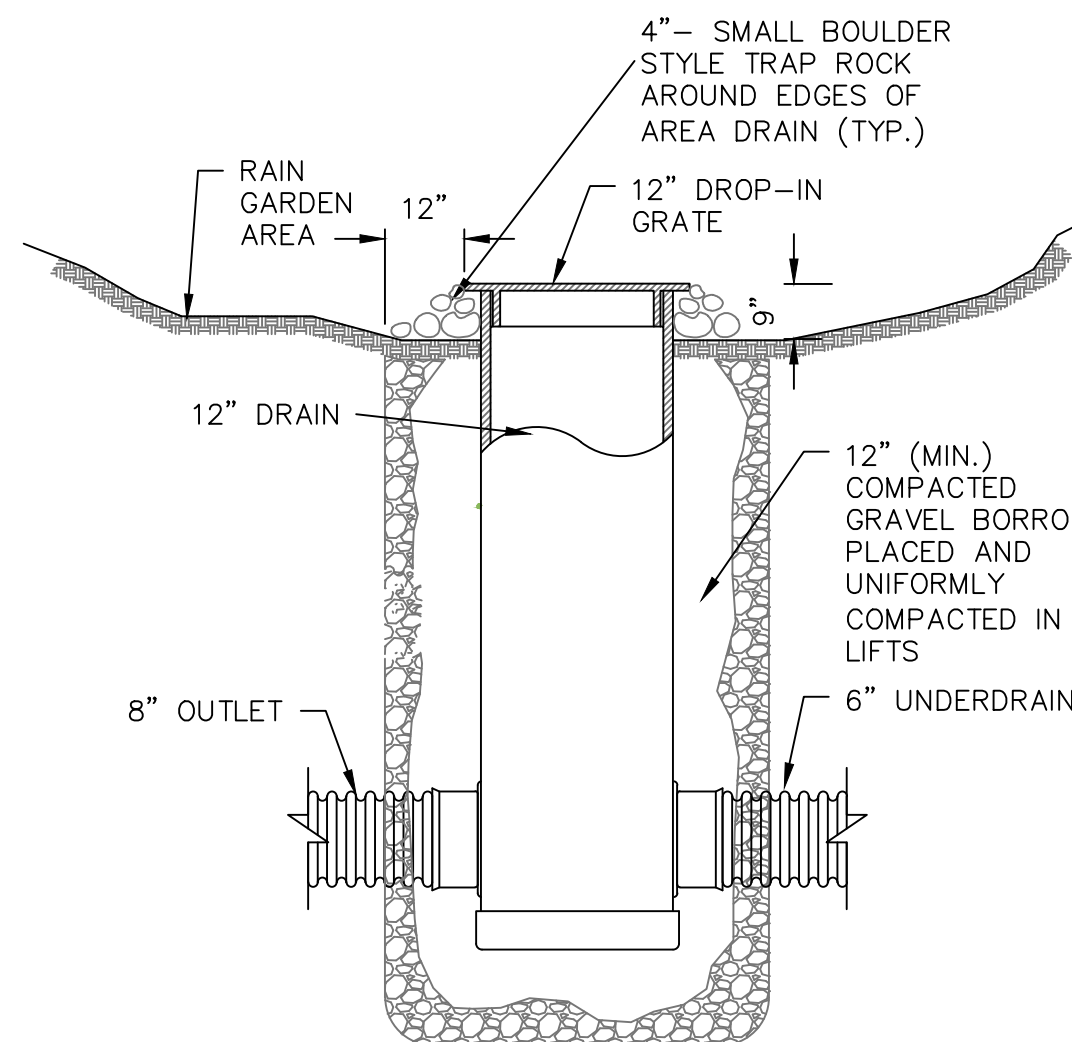
INFILTRATION TRENCH DETAIL
NOT TO SCALE



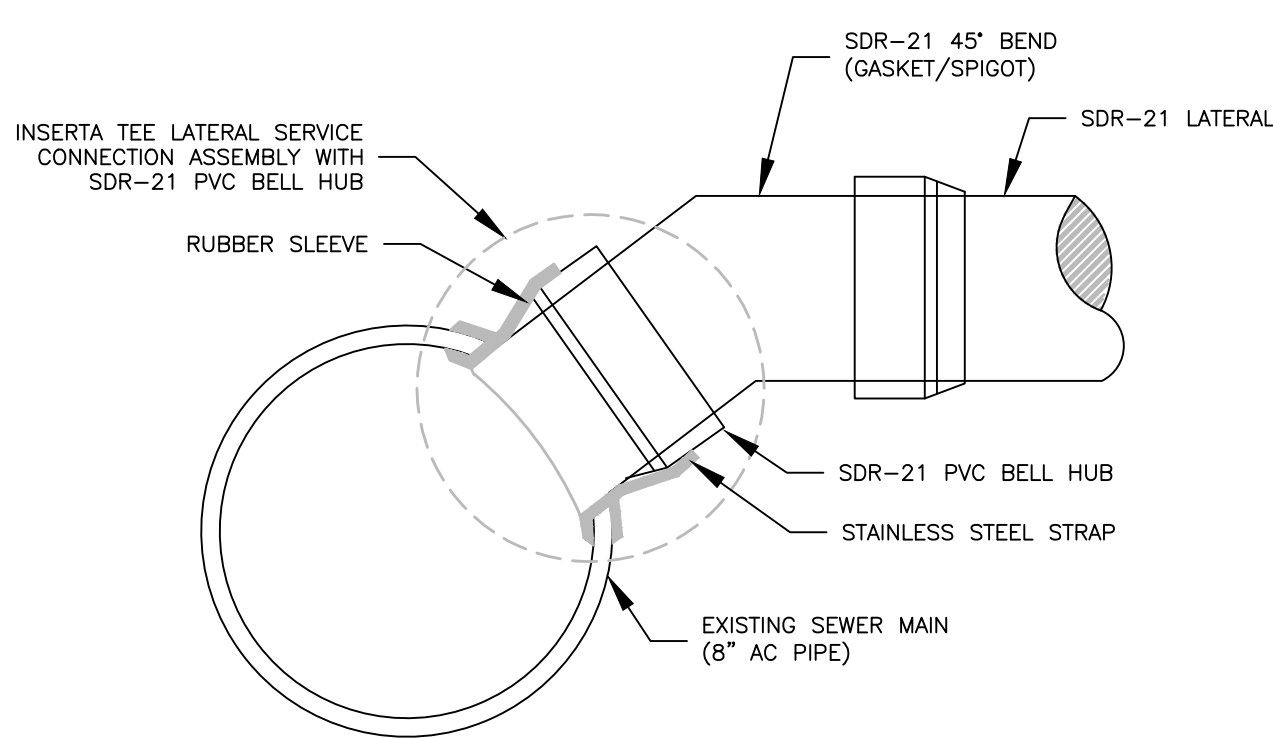
POROUS PAVEMENT DETAIL
NOT TO SCALE



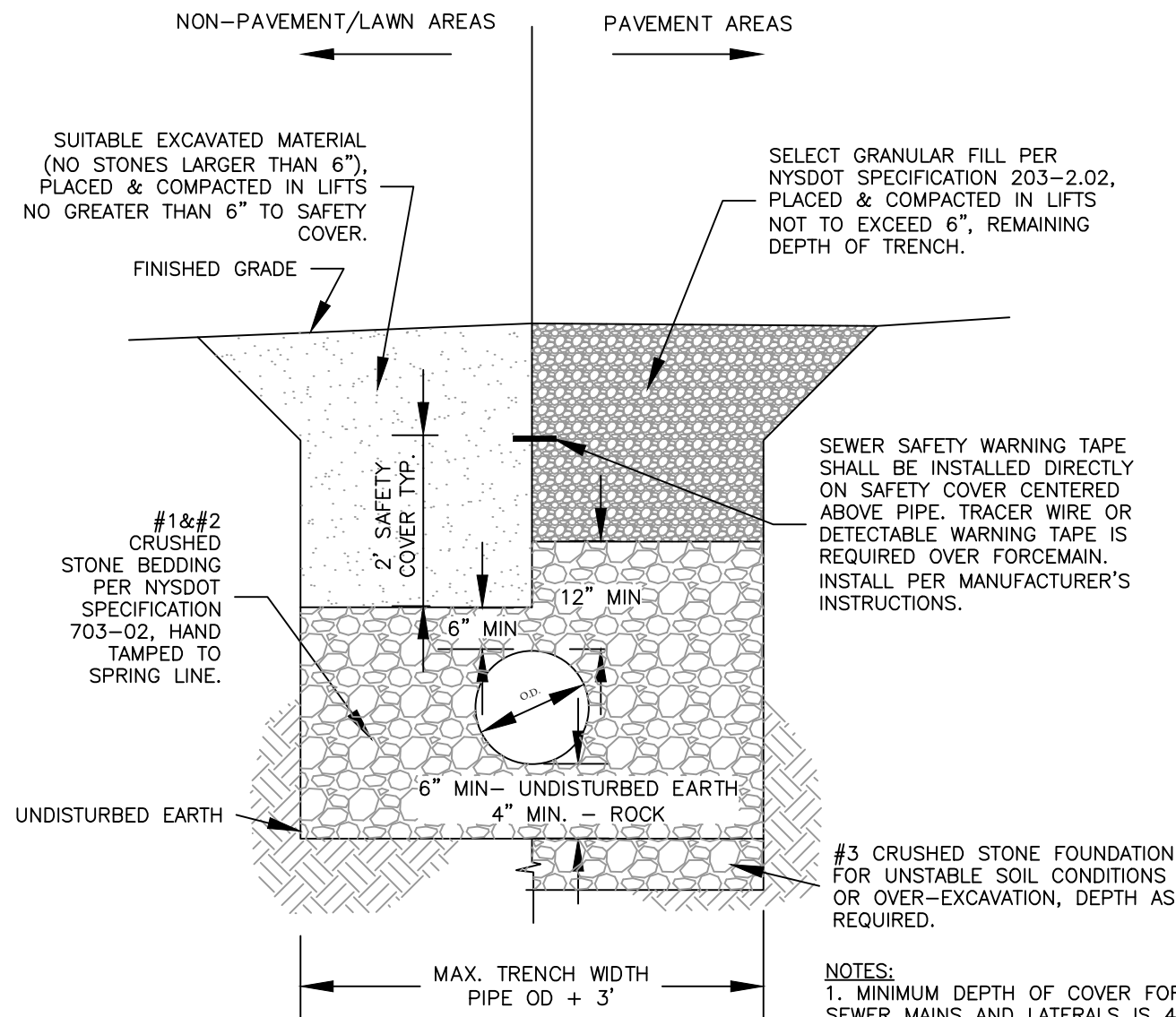
LEACHING CATCH BASIN DETAIL
NOT TO SCALE



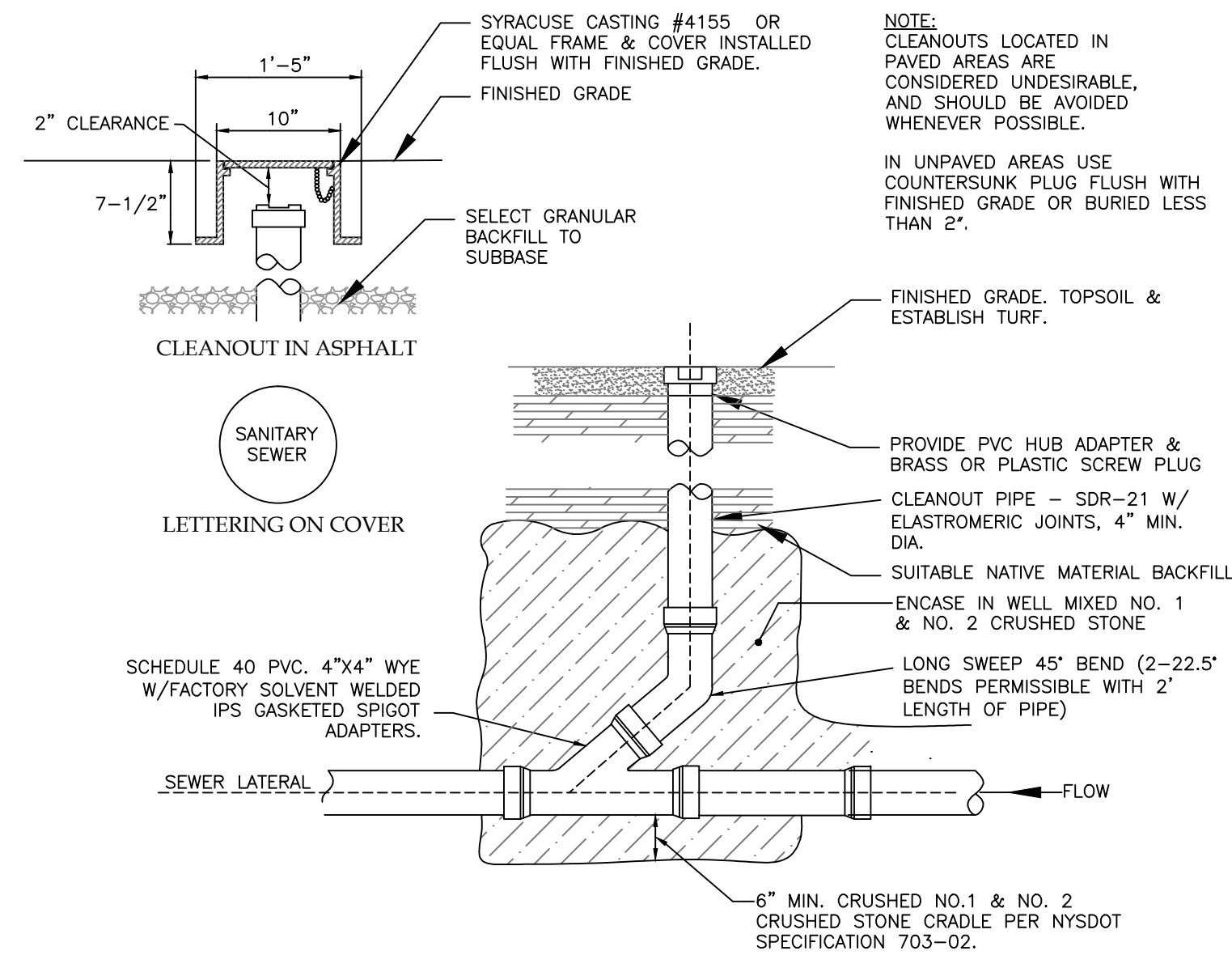
AREA DRAIN DETAIL (12" DRAIN BASIN)
NOT TO SCALE



NEW LATERAL CONNECTION TO EXISTING SEWER MAIN
NOT TO SCALE



SANITARY SEWER MAIN
& LATERAL TRENCH BEDDING
NOT TO SCALE



SANITARY CLEANOUT DETAIL
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	8/2/17	Owner Revisions	EVJ
2	9/11/17	Owner Revisions	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title:

Site Plan Prepared For:

SITE AND UTILITY DETAILS

Russell H. & Amy S. Brandon

3394 & 3396 Fallbrook Park
Town of Canandaigua
County of Ontario State of New York

(585)396-3267

Fax. No. (585) 396-0131

File# 16217

Scale 1"= 10'

T.m. # 98.11-1-39.0 & 40

Date: 6/22/17

Sheet:

C-3

E-mail rocco@veneziasurvey.com

www.veneziasurvey.com