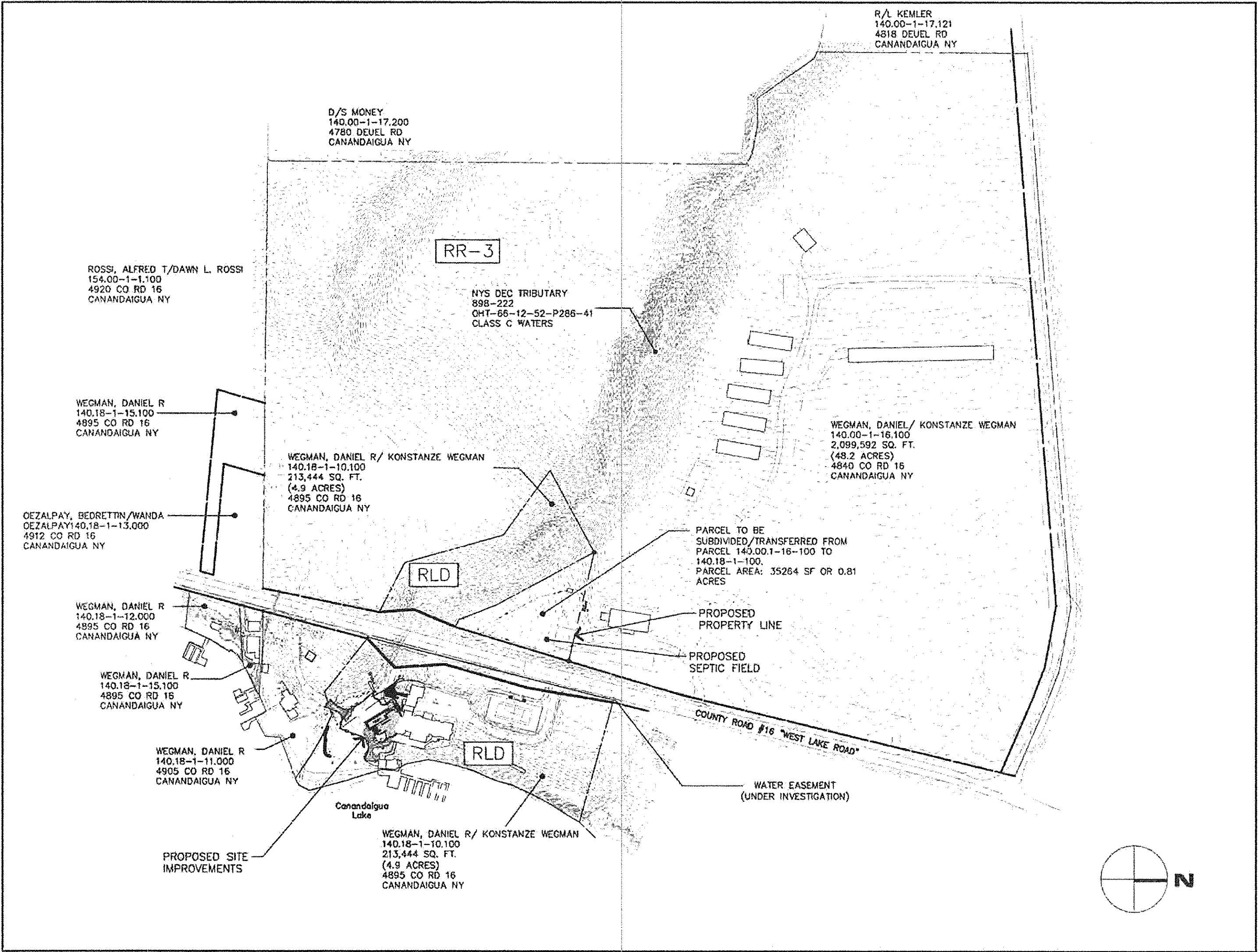


WEGMAN CANANDAIGUA RESIDENCE

4895 COUNTY ROAD 16
TOWN OF CANANDAIGUA, NY



LOCATION PLAN
SCALE 1"=200'

DRAWING INDEX

- GI-001 - GENERAL INFORMATION
- C-100 - OVERALL EXISTING CONDITIONS
- C-101 - HOUSE PROPER EXISTING CONDITIONS
- C-102 - LOT LINE ADJUSTMENT
- C-103 - SITE PLAN AND GRADING PLAN
- C-103a - POOL ENLARGEMENT PLAN
- C-104 - UTILITY PLAN
- C-200 - EROSION AND SEDIMENT CONTROL DETAILS
- C-201 - SEPTIC SYSTEM DETAILS

ZONING BOARD OF APPEALS
TOWN PROJECT: 095-15
VARIANCES GRANTED 12-15-2015:

- 1) Applicant requested a 27' variance for a 33' front setback in the RLD zoning district to construct an addition (attached garage) to a pre-existing non-conforming dwelling when 60' is required.
- 2) A 59' variance to the perimeter of a 184' in-ground swimming pool is requested in the RLD zoning district when pools are not allowed to exceed a 125' perimeter.
- 3) A 58.4' variance to the length of an in-ground swimming pool and garage addition is requested in the RLD zoning district making the setback 41.6' from the bed of a stream carrying water 6 months of the year when 100' is required.
- 4) A 35' variance to the length of a swimming pool is being requested in the RLD zoning district to install a 17' x 75' pool when pools are not allowed to be larger than 20' x 40'.

TOWN ENGINEER

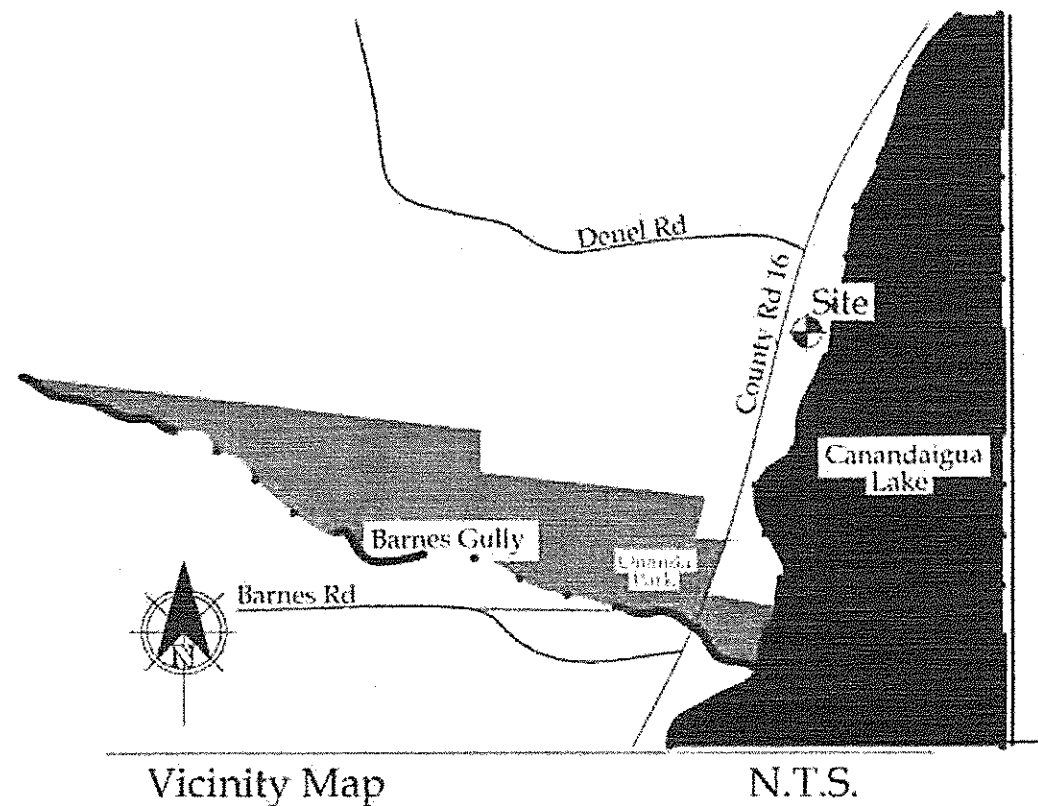
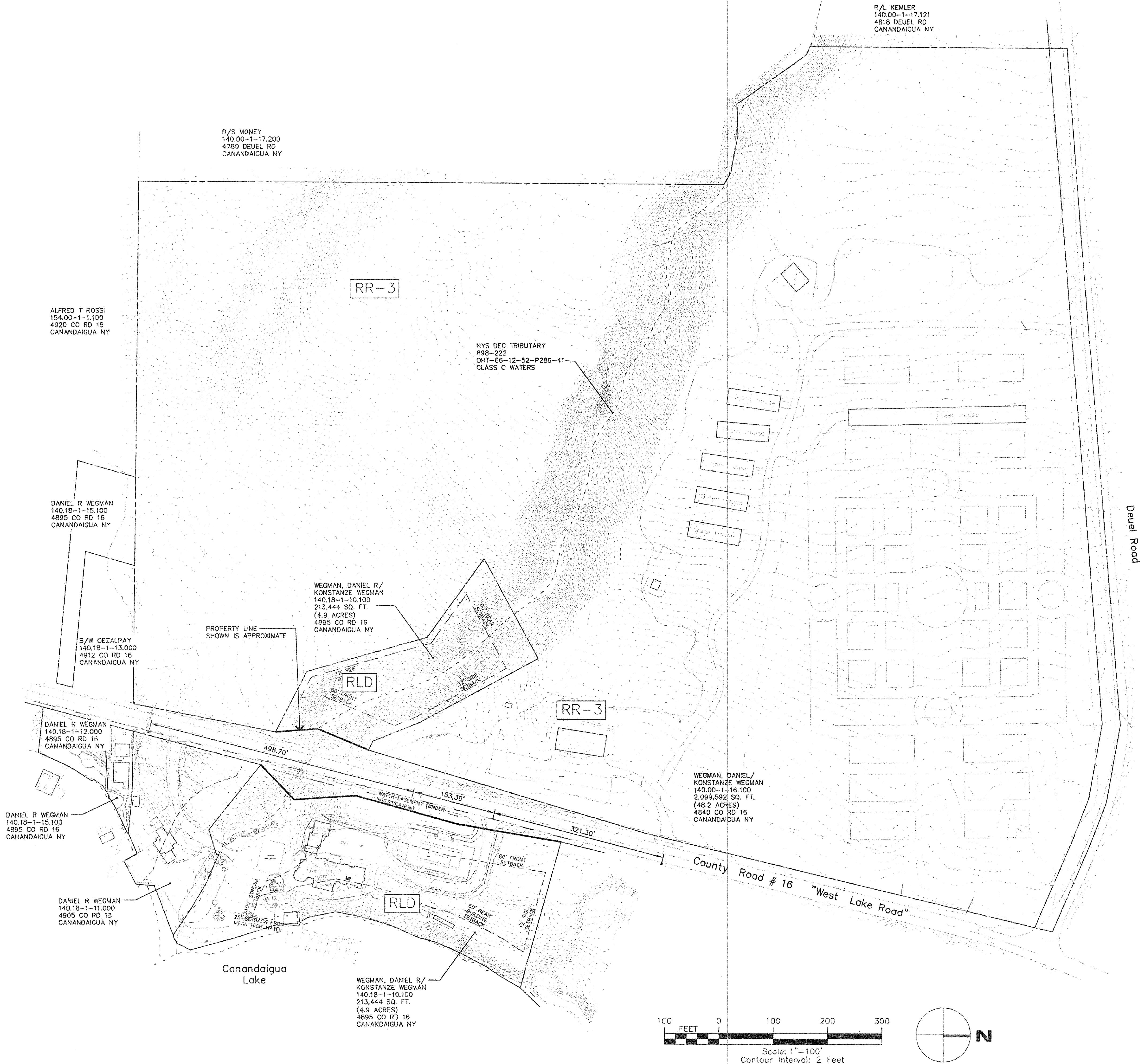
HIGHWAY SUPERINTENDENT

PLANNING BOARD CHAIR

PRELIMINARY FOR APPROVAL

PROJECT WEGMAN CANANDAIGUA RESIDENCE 4895 COUNTY ROAD 16 ONTARIO COUNTY, NEW YORK	DRAWING NO. GI-001	TITLE OF DRAWING GENERAL INFORMATION	FA PROJECT NO. 154057 PROJECT MANAGER M. ROSSETTI DRAWN BY J. SCHMIDT SCALE AS SHOWN ISSUE DATE 01/08/16	7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY
				7	6	5	4	3	2	1	REV	DESCRIPTION	DATE	BY

FILE NAME: H:\Projects\154057-C0-Wegman_Canandaigua_Residence\Eng\CAD\CUT\C100.dwg
DATE/TIME: 1/29/2016 2:21:11 PM
USER: Dawn Pearl



Original Survey Provided By:
Venezia Associates
5120 Laura Ln.
Canandaigua, NY 14424
(585) 396-3267

Deed Reference:
William Wallace Fenn to Daniel R. & Konstanze Wegman by Deed filed April 9, 1993 in Liber 926 of Deeds at Page 241.

Abstract Reference:
This Survey is subject to any facts an updated abstract of title may reveal.

Map Reference:
Map of a Survey of lands to be conveyed by William Wallace Fenn, et al by Land Surveying Services, filed as Ontario County Map No. 20587.

Lands of Neil S. & Harriett V. Kocher by Jack Anderson filed as Ontario County Map No. 3790.

Plan on Land to be Conveyed by John V. & Rosemary W. Neel by Richard Wilson filed as Ontario County Map No. 15295.

Parcel: 140.18-1-10.100

Site Details:
Existing Zoning is Residential Lake District (RLD)
Minimum Lot Size: 20,000 SQ. FT.
Minimum Lot Width: 125 FT
Front Setback: 60 FT.
Rear Setback: 60 FT.
Side Setback: 12 FT.
Maximum Building Height = 25 FT.
Maximum Building Coverage on Lot = 15%
Maximum Lot Coverage = 25%

Adjacent Parcel 140.00-1-16.100:
Existing zoning is rural residential RR-3.

Contours derived from NAVD88 Datum.

Flood Zones AE & X Per Community Panel No. 360598 0025 C Last Dated March 3, 1997.

Property Owner:
Wegman, Daniel and Konstanze
4895 County Road 16
Canandaigua, New York 14424

Wetland Data:
For Parcels 140.00-1-16.100 and 140.18-1-10.100, there are no NYS DEC mapped wetlands.

FEMA Mapping:
Panel: 25 of 25
Community Panel Number: 360598 0025 C

Referenced to the National Geodetic Vertical Datum of 1929

Initial Identification: June 28, 1974
Flood Insurance Rate Map Effective: April 17, 1978
Flood Insurance Rate Map Revisions:
March 3, 1997 - to change base flood elevations and special flood hazard areas and to update map format.

Zone X:
Areas of 500-year flood; areas of 100-year flood with average depths of less than one foot or with drainage areas less than one square mile; and areas protected by levees from 100-year flood.

Contour Interval:
Two Feet

TOWN ENGINEER
HIGHWAY SUPERINTENDENT
PLANNING BOARD CHAIR

PRELIMINARY FOR APPROVAL

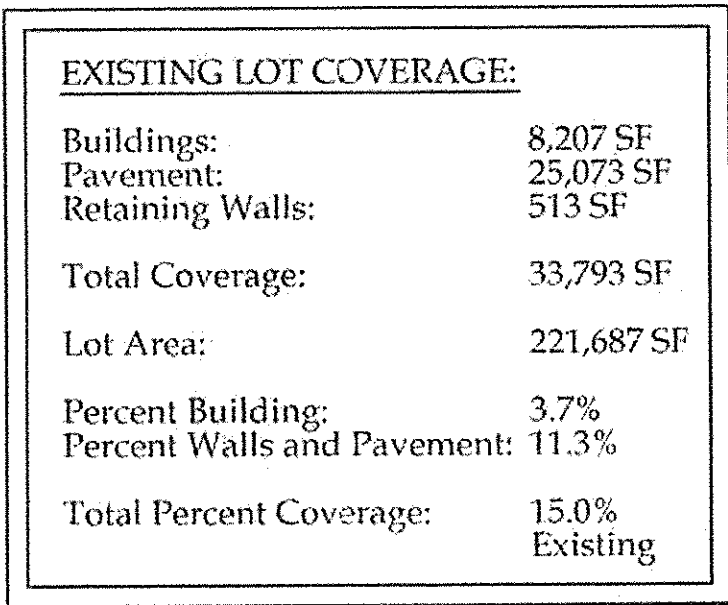
REV	DESCRIPTION	DATE	BY
7			
6			
5	PRELIM. SITE PLAN REVISION	01.22.2016	N.R.
4	PRELIM. SITE PLAN REVISION	12.11.2015	M.R.
3	C-103 & C-200 STORM CHAMBER REV	11.16.2015	M.R.
2	PRELIM. SITE PLAN REVISION	10.22.2015	M.R.
1	PRELIM. SITE PLAN	10.16.2015	M.R.

FA PROJECT NO. 154057	PROJECT MANAGER M. ROSSETTI	ISSUE DATE 01/08/16
DRAWN BY J. SCHMIDT		SCALE AS SHOWN

STATE OF NEW YORK SEAL OF THE STATE ENGINEER	FISHER ASSOCIATES WWW.FISHERASSOC.COM
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PROJECT WEGMAN CANANDAIGUA RESIDENCE 4895 COUNTY ROAD 16 ONTARIO COUNTY, NEW YORK	TITLE OF DRAWING OVERALL EXISTING CONDITIONS
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DRAWING NO. C-100	SHEET 2 OF 9
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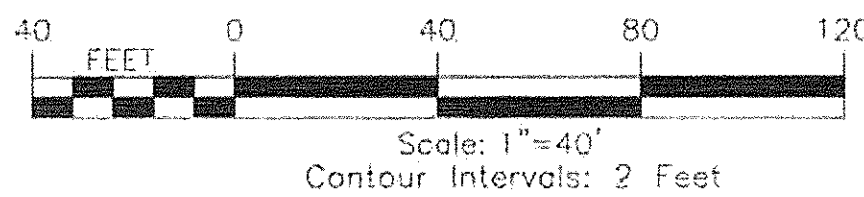
Flood Zones AE & X Per Community Panel
No. 360598 0025 C Last Dated March 3, 1997.

DRAWING NO.		PROJECT		FISHER ASSOCIATES		STATE OF NEW YORK DANIEL P. ROSSETTI 055467 LICENSED PROFESSIONAL ENGINEER		FA PROJECT NO.		COMPILED BY		DATE		DESCRIPTION	
C-101		WEGMAN CANANDAIGUA RESIDENCE 4895 COUNTY ROAD 16 ONTARIO COUNTY, NEW YORK		WWW.FISHERASSOC.COM				154067		M. ROSSETTI		01/08/16		PRELIM. SITE PLAN	
SHEET 3 OF 9								PROJECT MANAGER		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		7		PRELIM. SITE PLAN REVISION	
								M. ROSSETTI		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		6		PRELIM. SITE PLAN REVISION	
								J. SCHMIDT		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		5		PRELIM. SITE PLAN REVISION	
								SCALE		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		4		PRELIM. SITE PLAN REVISION	
								AS SHOWN		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		3		PRELIM. SITE PLAN REVISION	
								ISSUE DATE		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		2		PRELIM. SITE PLAN REVISION	
								01/08/16		NEW YORK STATE EDUCATION LAW, SECTION 1202 SINCE THIS DRAWING IS A WORK PRODUCT OF A PROFESSIONAL ENGINEER, IT IS THE PROPERTY OF FISHER ASSOCIATES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO REUSE, REPRODUCTION, OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF FISHER ASSOCIATES.		1		PRELIM. SITE PLAN	



(EXISTING
WOODLAND)

WEGMAN,
DANIEL
R
140.18-1-11.0
4905
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RD
16
CANANDAIGUA
NY



SOILS INFORMATION			
Ontario County, New York (NY069)			
Map Unit Symbol	Map Unit Name	Acre in AOI	Percent of AOI
13F	Rock outcrop- Arnot complex, 35 to 80 percent slopes, extremely stoney	1.6	17.7%
15A	Guyanoga channery silt loam, fan, 0 to 3 percent slopes	2.3	25.0%
71C	Darien silt loam, 8 to 15 percent slopes	0.1	1.3%
108C	Lansing silt loam, 8 to 15 percent slopes	2.3	26.1%
108D	Lansing silt loam, 15 to 25 percent slopes	0.0	0.0%
108E	Lansing silt loam, 25 to 35 percent slopes	2.0	21.9%
357C	Ovid silty clay loam, 8 to 15 percent slopes	0.7	7.9%
W	Water	0.0	0.1%
Total for Areas of Interest		9.0	100.0%

County Road # 16 "West Lake Road"

PARCEL TO BE SUBDIVIDED/
TRANSFERRED FROM: PARCEL
140.00.1-16-100 TO
140.18-1-10-100.
PARCEL AREA: 35264 SF OR
0.81 ACRES.

WEGMAN, DANIEL/
KONSTANZE WEGMAN
140.00-1-16.100
2,099,592 SQ. FT.
(48.2 ACRES)
4840 CO RD 16
CANANDAIGUA NY

Septic Information	
Property Type:	Residential
Bedrooms:	6
Bathrooms:	8
Flow Rate:	900 gallons/day
Assumed Percolation Rate:	31-45 minutes
Depth to Bedrock:	>5'
Depth to Groundwater:	>5'

TOWN ENGINEER

HIGHWAY SUPERINTENDENT

PLANNING BOARD CHAIR

PRELIMINARY FOR APPROVAL

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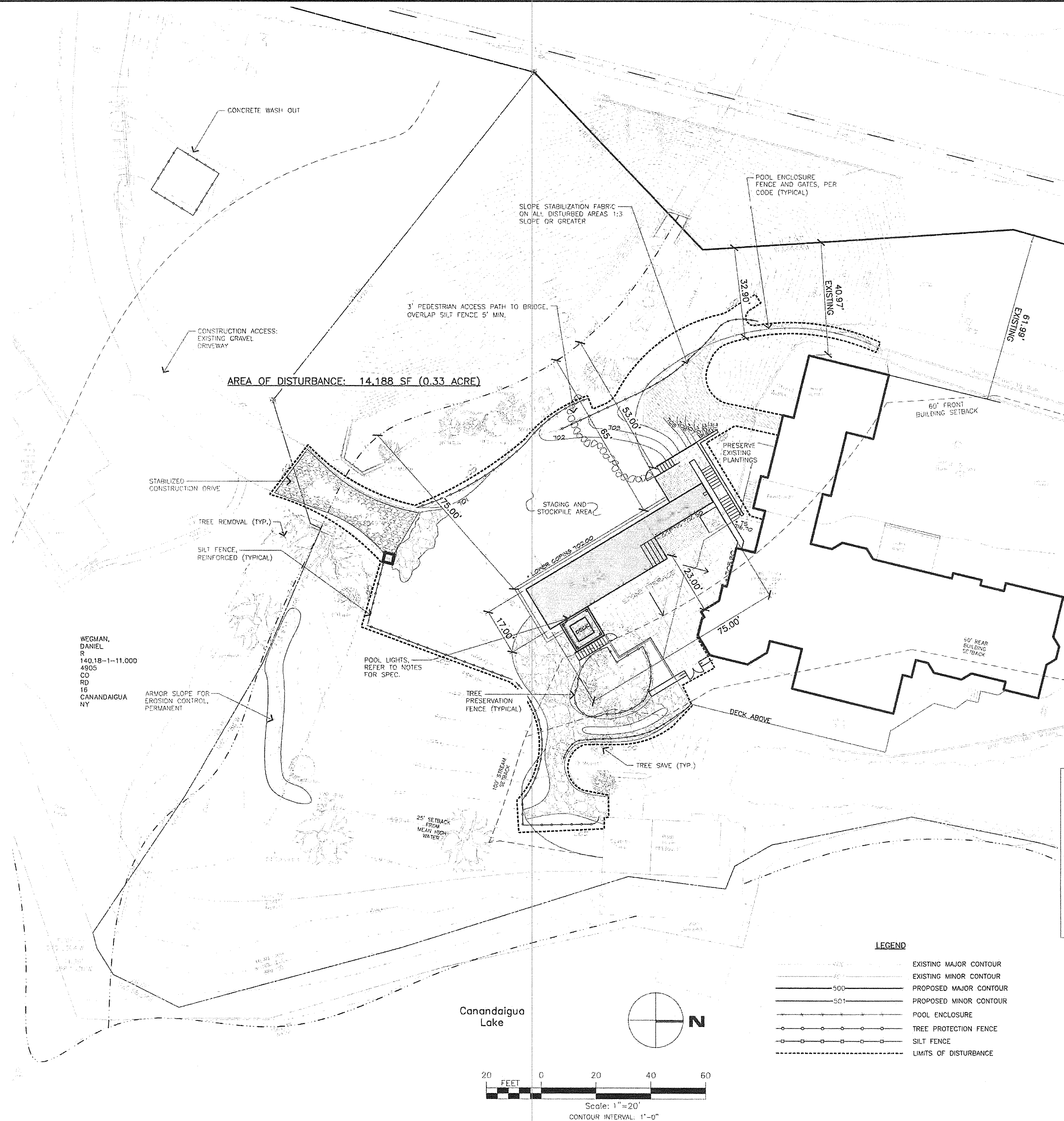
GENERAL NOTES FOR LAND GRADING:

- PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS OR TO STABLE WATER COURSES TO INSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
- ALL GRADED AND DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE ADEQUATELY STABILIZED.
- PROPOSED CONTOURS ON THIS PLAN REPRESENT FINISHED GRADES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE (3) INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- FILL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH THE CONSTRUCTION OF SATISFACTORY FILLS. NO FILL SHALL BE PLACED ON FROZEN FOUNDATIONS.
- THE COST OF IMPORTING AND PLACEMENT OF ANY REQUIRED FILL MATERIAL SHALL BE INCLUDED IN THE BASE BID.
- ALL PAVEMENT AREAS, INCLUDING EACH LIFT, SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION. ALL AREAS SHALL BE FINISH GRADED TO ACHIEVE POSITIVE DRAINAGE. ANY RESULTING DEPRESSIONS NOT SPECIFIED HEREON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE STATE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAINS.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROWED AREAS AND SPOIL AREAS SHALL BE SUBJECT TO THE PROVISIONS OF THE NYS GUIDELINES.
- THE CONTRACTOR SHALL DISPOSE OF EXCESS EARTHEN MATERIAL AS INSTRUCTED BY THE DIRECTOR'S REPRESENTATIVE. ALL MATERIAL TRANSPORT AND DISPOSAL SHALL BE IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE COST OF TRANSPORTING AND DISPOSAL OF ANY EXCESS MATERIAL SHALL BE INCLUDED IN THE BASE BID.
- TEMPORARY SEEDING SHALL CONSIST OF RYEGRASS AT 44#/ACRE OR ARCTOSTOON RYE WINTER RYE AT 109#/ACRE. USE WINTER RYE IF SEEDING IN OCTOBER OR NOVEMBER.
- PERMANENT SEEDINGS SHALL BE INSTALLED ON DISTURBED AREAS WHICH DO NOT RECEIVE ASPHALT, CONCRETE OR OTHER SUCH IMPERVIOUS COVER. THE OPTIMUM TIME FOR SEEDING IS EARLY SPRING. WINTER SEEDING SHOULD BE AVOIDED.
- SEEDING OF BARE SOIL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS. PRIOR TO SEEDING, ADD LIME TO A pH OF 6.0 AND 5-10-10 FERTILIZER AT 14#/1000 SQUARE FEET. AFTER SEEDING, MULCH IN ACCORDANCE WITH TABLE 3.8 OF NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.

GRADING AND EROSION CONTROL NOTES

- DRAINAGE PATTERNS SHALL NOT BE CHANGED BY THE CONTRACTOR WITHOUT THE EXPRESS CONSENT OF THE ENGINEER.
- EROSION CONTROL, GRADING, UTILITY CONSTRUCTION AND ALL OTHER PROPOSED WORK SHALL BE RESTRICTED TO THE LIMITS OF THE SITE AS SHOWN ON THESE DRAWINGS.
- BUILDINGS SHOWN HEREON ARE GRAPHICAL REPRESENTATIONS ONLY. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED BUILDINGS REFER TO THE ARCHITECTURAL DRAWINGS.
- MAINTENANCE OF EROSION/SILTATION CONTROLS WILL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR AS SPECIFIED IN THE STORMWATER PERMIT AND ON THESE DRAWINGS.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES AS NECESSARY.
- ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS SHALL BE TEMPORARILY SEED WITH QUICK RYE GRASS AND MULCHED WITHIN 14 DAYS OF GRADING COMPLETION TO REDUCE EROSION. PROPERTY SHALL BE FINAL GRADED AND SEED (HYDROSEED OR SEED WITH STRAW MULCH) AS SOON AS POSSIBLE.
- TEMPORARY SEED AND MULCH DITCHES, TOPSOIL STOCKPILE AND ANY OTHER DISTURBED AREAS NOT SCHEDULED FOR IMMEDIATE ADDITIONAL WORK.
 - TEMPORARY SEEDING SHALL BE PERENNIAL RYEGRASS APPLIED AT A RATE OF 30 LBS. PER ACRE.
 - MULCH SHALL BE EITHER:
 - STRAW OR HAY AT 2 TON/ACRE ANCHORED WITH CELLULOSE (WOOD FIBER) HYDROMULCHED AT A RATE OF 500-750 LBS. PER ACRE.
 - CELLULOSE HYDROMULCHED AT 1 TON PER ACRE WITH NO TIE DOWN.
- THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY AFTER THE COMPLETION OF THIS PROJECT. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND REPLACED IF NECESSARY UNTIL SUCH TIME AS A SUBSTANTIAL STAND OF VEGETATION HAS DEVELOPED AND POTENTIAL FOR EROSION NO LONGER EXISTS.
- ALL EROSION AND SEDIMENT CONTROL METHODS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS.
- RIP-RAP SHALL BE INSTALLED AT ALL END SECTIONS IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- FILL SHALL BE DEPOSITED IN 8-INCH MAXIMUM LIFTS AND COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY ASTM D-1557 AT ITS OPTIMUM MOISTURE CONTENT.
- JUTE MESH, EXCELSOR MATTING, OR OTHER ROLLED EROSION CONTROL PRODUCTS SHALL BE INSTALLED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL AND GREATER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.
- ALL DISTURBED AREAS THAT ARE TO BE PERMANENTLY VEGETATED SHALL HAVE SOIL RESTORATION APPLIED IN ACCORDANCE WITH TABLE 5.3 OF THE NYS SMDM.

WEGMAN,
DANIEL
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CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE, REINFORCED CONSTRUCTION ENTRANCE AND TREE PRESERVATION FENCING (1 WEEK FOR PREP AND MOBILIZATION).
- FOLLOWING CHANGE-OVER TO NEW SEPTIC FIELD VIA FORCE MAIN TO WESTERN SUBDIVIDED PROPERTY, DEMOLITION, REMOVAL AND DISPOSAL OF THE EXISTING LFECH FIELD TO PROCEED. (2 WEEKS FOR CLEAN-UP AND DISPOSAL)
- ROUGH GRADE THE SITE INCLUDING GRUBBING AND STRIPPING OF TOPSOIL (2 WEEKS FOR SITE PREP, ROUGH GRADING AND REMOVALS)
- INSTALL UNDERGROUND UTILITIES, GARAGE, ELEVATOR, SITE WALL AND SITE STAIR FOUNDATIONS. (4-6 WEEKS FOR EXCAVATION, FORMING, STEEL, CONCRETE) UTILITIES MAY RUN CONCURRENT TO OTHER PHASES OF WORK.
- EXCAVATION, FORM, STEEL AND PLUMBING ROUGH IN FOR SWIMMING POOL. GARAGE CONSTRUCTION TO PROCEED. (2 WEEKS)
- POOL GUNNITE INSTALLATION, MINIMUM 2 WEEKS HYDRATION AND CURING PERIOD, SITE WALLS AND STAIRCASE CORE CONSTRUCTION (2-4 WEEKS)
- BACKFILL OF FOUNDATIONS AND POOL, INSTALL SUBBASE IN PAVEMENT AREAS AND CONTINUE BUILDING CONSTRUCTION. (2 WEEKS)
- POOL COPING AND WATERLINE TILE INSTALLATION WITH AUTOMATIC COVER TRACK (IF TRACK SYSTEM UTILIZED). PAVEMENT SLABS FORMED AND POURED. (2-4 WEEKS)
- WALL STONE FINISHES TO PROCEED (8-8 WEEKS, WORK MAY BEGIN EARLIER AND GO CONCURRENT TO OTHER PHASES ABOVE TO ACCELERATE PROCESS WHERE FEASIBLE).
- PAVING STONE INSTALLATION (4 WEEKS).
- POOL COVER INSTALLATION FOLLOWED BY PLASTER FINISHING, FILL POOL WITH WATER AND ACID TREATMENT (OR EQUAL) (2-4 WEEKS TO PREP, INSTALL AND BRUSH/CURE PLASTER)
- FINISHED GRADING, TOPSOIL AND SOIL PREPARATION, COMPLETE LANDSCAPING AND PAVING (6 WEEKS).
- UPON COMPLETION OF THE PROJECT AND STABILIZATION OF THE PERMANENT EROSION CONTROL MEASURES, ANY SEDIMENT SHALL BE REMOVED.

SOIL RESTORATION NOTES:

- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS SHALL BE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS SHALL BE TAKEN:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
 - ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE AS REQUIRED BY THE LANDSCAPE PLAN.
- TILLING SHALL NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREE OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.
- COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VARIABLE WEE SEEDS, HAVE 0 VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN, AND HAVE A pH SUITABLE TO GROW DESIRED PLANTS.
- FIRST YEAR MAINTENANCE SHALL INCLUDE THE FOLLOWING:
 - INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM EVEN GREATER THAN A HALF-INCH).
 - RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION.
 - WATER ONCE EVERY THREE DAYS FOR THE FIRST THREE MONTHS AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING THE FIRST YEAR.
 - FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.

PROPOSED LOT COVERAGE:

EXISTING BUILDINGS:	8,207 SF
EXISTING PAVEMENT AND WALLS	25,586 SF
PROPOSED BUILDING (GARAGE ADDITION):	713.0 SF
PROPOSED PAVEMENT, WALLS, WATER FEATURES:	5542.0 SF
TOTAL PROPOSED NEW COVERAGE:	6255.0 SF
EXISTING LOT AREA	221,887 SF
PROPOSED NEW SUBDIV. LOT AREA	35,284 SF
TOTAL NEW LOT AREA:	256,971 SF
TOTAL BUILDING COVERAGE (INC. PROPOSED):	3.4%
TOTAL SITE FEATURES (INC. PROPOSED):	12.1%
TOTAL OVERALL COVERAGE (INC. PROPOSED):	15.5%

LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	POOL ENCLOSURE
---	TREE PROTECTION FENCE
---	SILT FENCE
---	LIMITS OF DISTURBANCE

TOWN ENGINEER

HIGHWAY SUPERINTENDENT

PLANNING BOARD CHAIR

PRELIMINARY FOR APPROVAL

PROJECT NO.	PROJECT NAME	PROJECT MANAGER	DRAWN BY	SCALE	ISSUE DATE	REVISION	DESCRIPTION	DATE	BY
154057	WEGMAN CANANDAIGUA RESIDENCE 4895 COUNTY ROAD 16 ONTARIO COUNTY, NEW YORK	M. ROSSETTI	J. SCHMIDT	AS SHOWN	01/08/16	7	CONTRACT - SITE FISHING ASSOCIATES		
						6	PRELIM. SITE PLAN REVISION	01/29/2016	M.R.
						5	PRELIM. SITE PLAN REVISION	12/11/2015	M.R.
						4	PRELIM. SITE PLAN REVISION	11/16/2015	M.R.
						3	PRELIM. SITE PLAN REVISION	10/22/2015	M.R.
						2	PRELIM. SITE PLAN REVISION	10/16/2015	M.R.
						1	PRELIM. SITE PLAN		

DRAWING NO.
C-103
SHEET 5 OF 9