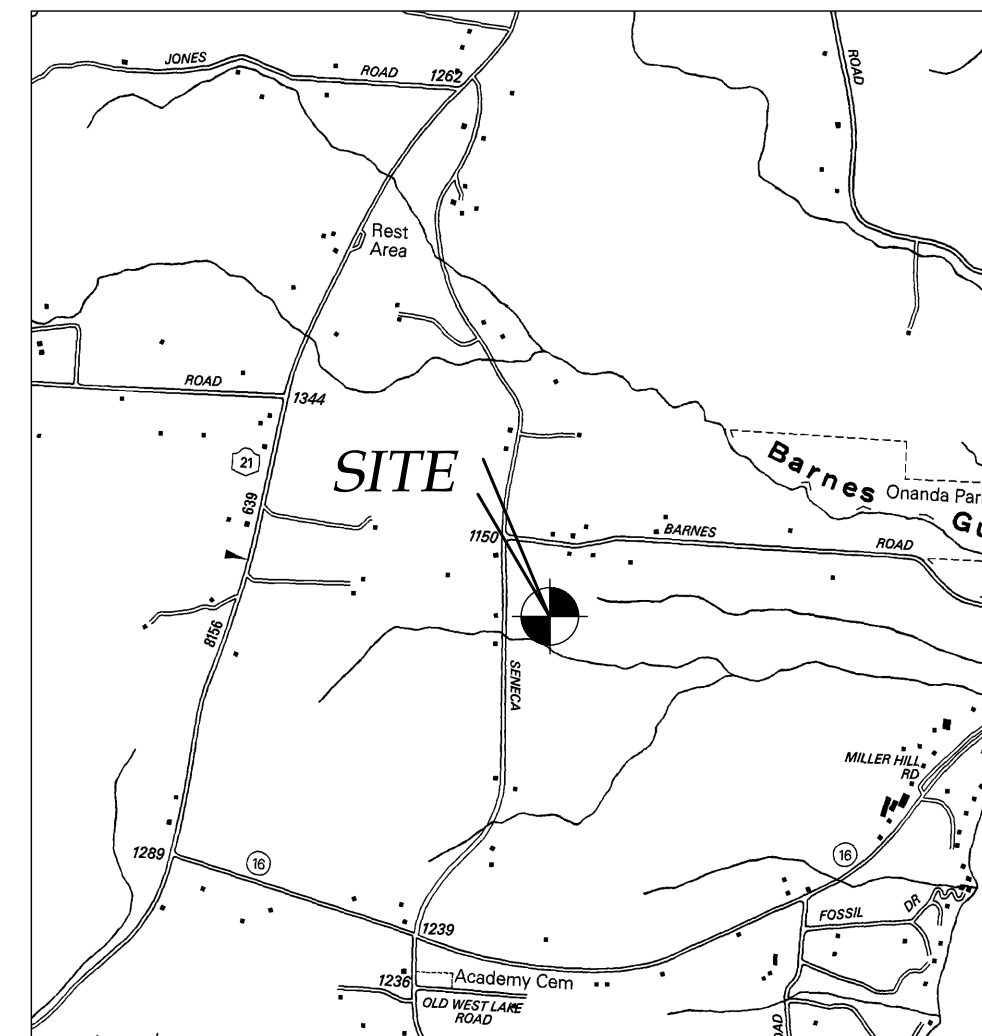


SITE PLAN PREPARED FOR:
JEFFREY & KATE INGRAHAM
5015 SENECA POINT ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

12/08/21

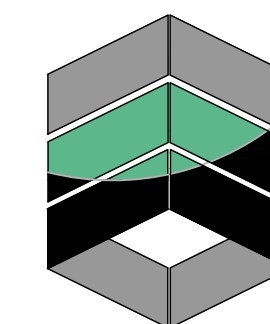


LOCATION MAP
NTS



NOT FOR CONSTRUCTION

INDEX-
COVER
EX100 - EXISTING CONDITIONS
C100 - SITE & UTILITY PLAN
C200 - GRADING & EROSION CONTROL PLAN
C300 - DETAIL SHEET



MarksEngineering

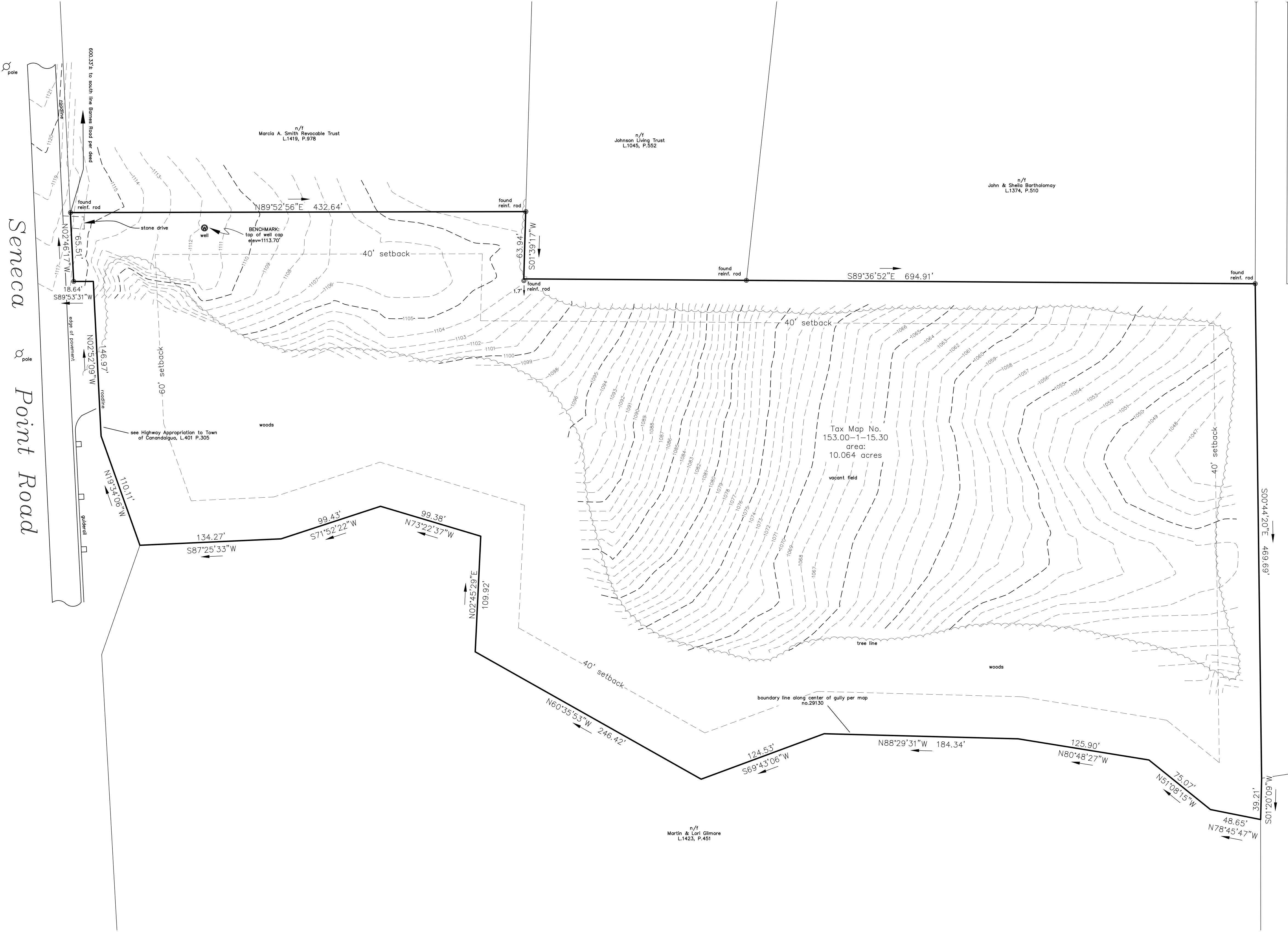
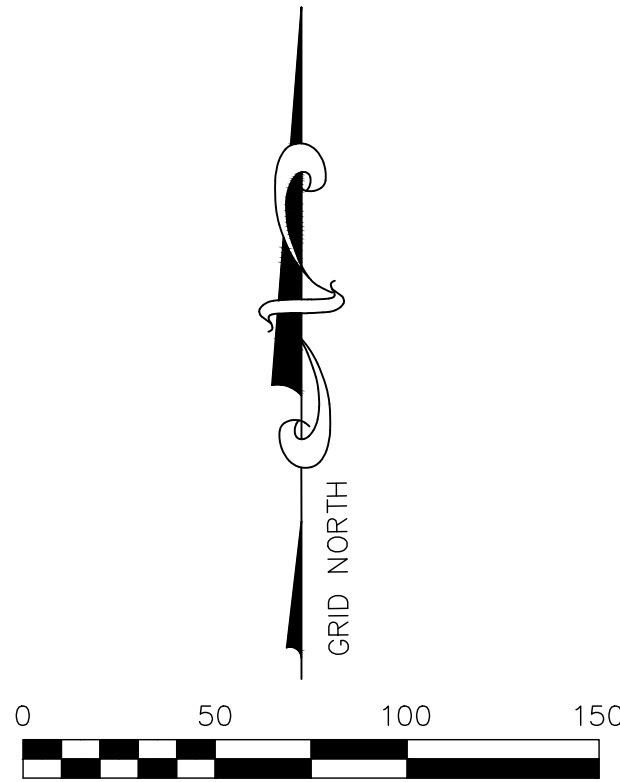
MARKS ENGINEERING, P.C.
42 BEEMAN STREET
CANANDAIGUA, NY 14424
(585)905-0360
WWW.MARKSENGINEERING.COM

PROPERTY OWNER:
JEFFREY & KATE INGRAHAM
164 TREVOR COURT ROAD
ROCHESTER, NY 14610

REVISIONS:

12/16/21-REVISED PER T'O CANANDAIGUA PRC
COMMENTS

JEFFREY & KATE INGRAHAM
5015 SENECA POINT ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
NEW YORK
JOB #21-085
12/08/21



- Notes & References**
1. Horizontal Datum: NAD83, New York State Plane, Central
 2. Vertical Datum: NAVD88, Geoid 18NGS
 3. L.1463 P.953
 4. Filed map nos.: 10106, 18262, 20408, 29130, 36240, 37388
 4. Parcel is RR-3 Rural Residential
 5. This Parcel is in Zone X on Fema Flood Map No. 360598 0025C, dated March 3, 1997
 6. Plan of Land of Peter R. Baker by Freeland-Parrinello, L.S., dated November 12, 2020, job no. 20-228
 7. This plan is subject to any easements or encumbrances that an updated search of title may reveal.
 8. Bearings shown are based on filed map no. 29130

ZONING:
RR-3 Rural Residential
minimum lot size - 3 acres
minimum lot width - 225 feet
setbacks principal building:
front - 60 feet
rear - 40 feet
side - 40 feet
setbacks accessory building:
rear - 30 feet
side - 20 feet

I certify that this plan was prepared
November 16, 2020 from notes of an
instrument survey completed
November 10, 2020 and from materials
referenced hereon.

David M. Parrinello NYSPLS 049724

MarksEngineering

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Phone 985-905-0360
Fax 985-905-0361

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STAMP

REVISIONS AND APPROVALS	
NO.	DATE
	DESCRIPTION OF REVISION OR APPROVAL
	BY

PLAN OF LAND OF
JEFFREY & KATE INGRAHAM
SHOWING LAND IN:
5015 SENECA POINT
TOWN OF CANANDAIGUA

STATE OF NEW YORK

COUNTY OF ONTARIO

DRAWING TITLE: EXISTING CONDITIONS	
DRAWN BY:	KRB
DESIGNED BY:	
CHECKED BY:	DMP
SCALE:	1"=50'
JOB NO.:	21-085
DATE:	12/8/21
TAX MAP#:	AS NOTED

EX100



GRADING NOTES:

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- NO CUT OR FILL OVER 0.5' SHALL BE MADE IN AREAS OF THE LEACH FIELDS.
- THE CONTRACTOR SHALL CONTROL DUST ONSITE AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).

SEQUENCE OF CONSTRUCTION STEPS:

LIMITS OF DISTURBANCE = ±3.0 AC

STEP 1: (SITE PREPARATION)

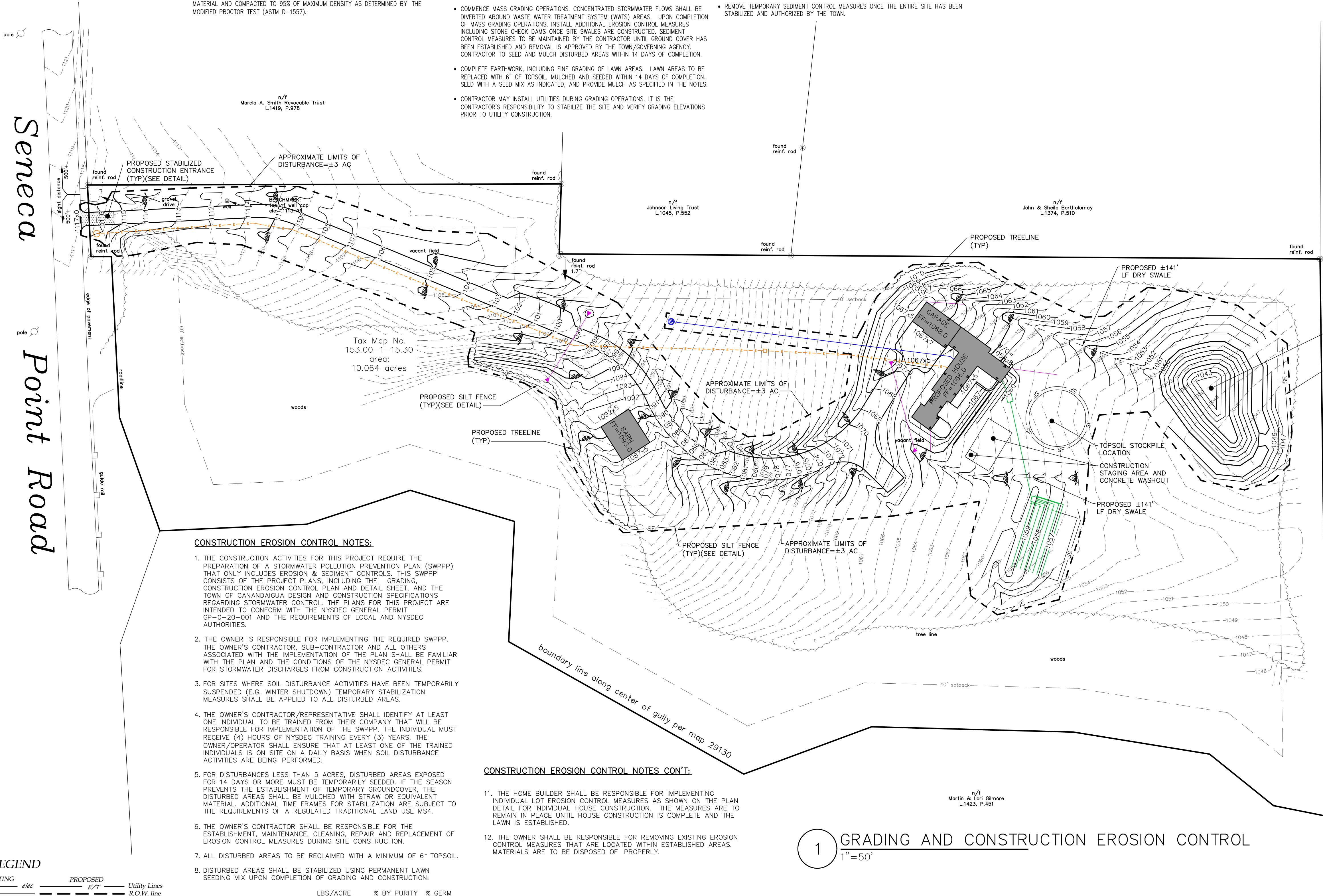
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL).
- CLEAR AND GRUB AS REQUIRED FOR PERIMETER SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS.

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE TOPSOIL FROM THE DRIVEWAY AND PROPOSED HOUSE SITE. INSTALL SILT FENCE AROUND THE PERIMETER OF THE STOCKPILE AND SEED WITH TEMPORARY SEEDING MIX.
- COMMENCE MASS GRADING OPERATIONS. CONCENTRATED STORMWATER FLOWS SHALL BE DIVERTED AROUND WASTE WATER TREATMENT SYSTEM (WWTS) AREAS. UPON COMPLETION OF MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS ONCE SITE SWALES ARE CONSTRUCTED. SEDIMENT CONTROL MEASURES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN/GOVERNING AGENCY. CONTRACTOR TO SEED AND MULCH DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF LAWN AREAS. LAWN AREAS TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 14 DAYS OF COMPLETION. SEED WITH A SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE NOTES.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.

STEP 3: (STABILIZATION & MONITORING)

- MAINTAIN PERIMETER SILT FENCE
- MONITOR SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN ENGINEER.
- REMOVE TEMPORARY SEDIMENT CONTROL MEASURES ONCE THE ENTIRE SITE HAS BEEN STABILIZED AND AUTHORIZED BY THE TOWN.



CONSTRUCTION EROSION CONTROL NOTES:

- THE CONSTRUCTION ACTIVITIES FOR THIS PROJECT REQUIRE THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT ONLY INCLUDES EROSION & SEDIMENT CONTROLS. THIS SWPPP CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE PLANS FOR THIS PROJECT ARE INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) TEMPORARY STABILIZATION MEASURES SHALL BE APPLIED TO ALL DISTURBED AREAS.
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH
HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.
- ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

CONSTRUCTION EROSION CONTROL NOTES CON'T:

- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES AS SHOWN ON THE PLAN DETAIL FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

1 GRADING AND CONSTRUCTION EROSION CONTROL
1"=50'

LEGEND

EXISTING: **elec** **PROPPOSED** **E/T**

Utility Lines
R.O.W. line
Property line
Easement line
Centerline
Drainage
Fence Line
Contour Line

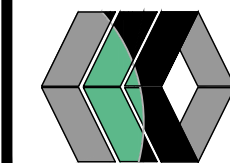
ABBREVIATIONS:
EX-EXISTING
CPP-CORRUGATED POLYETHYLENE
PIPE
O.C.-ON CENTER
SICPP-SMOOTH INTERIOR
CORRUGATED POLYETHYLENE PIPE
UG-UNDERGROUND
CONC-CONCRETE

CO -CLEAN OUT
TYP-TYPICAL
R-RADIUS
BC-BOTTOM OF CURB
TC-TOP OF CURB
TW-TOP OF WALL
BW-BOTTOM OF WALL
BS-BOTTOM OF STAIRS

PERF-PERFORATED
MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

Iron pin or pipe found
Benchmark
Utility pole
Hydrant
Light pole
PERC TEST
DEEP HOLE

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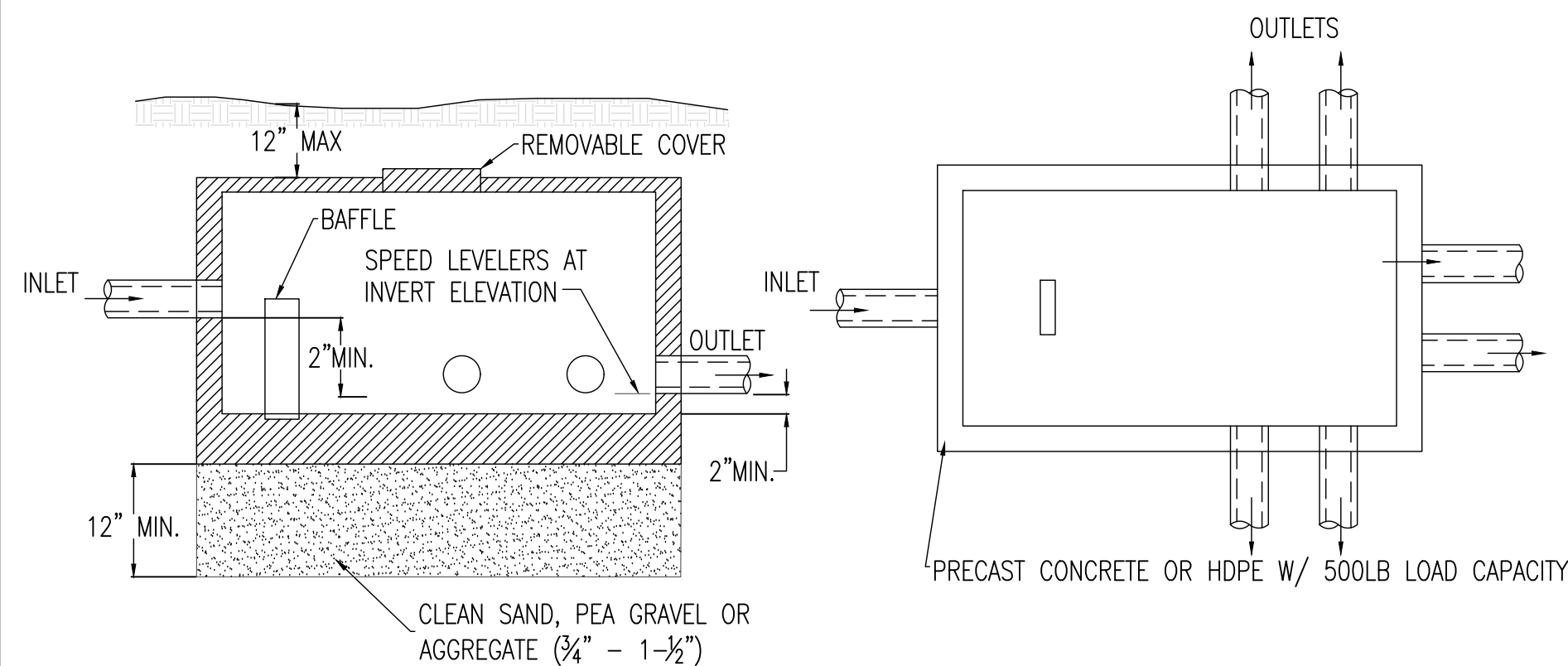
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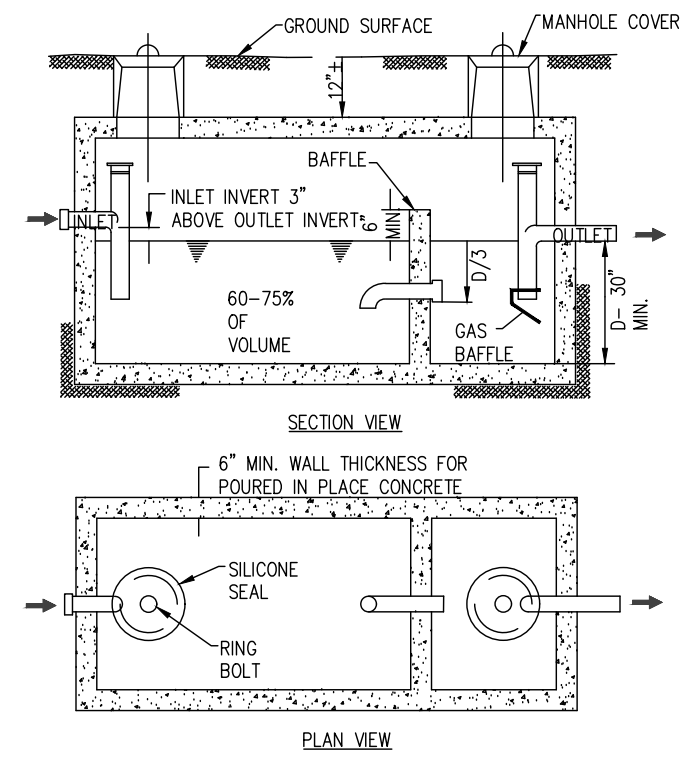
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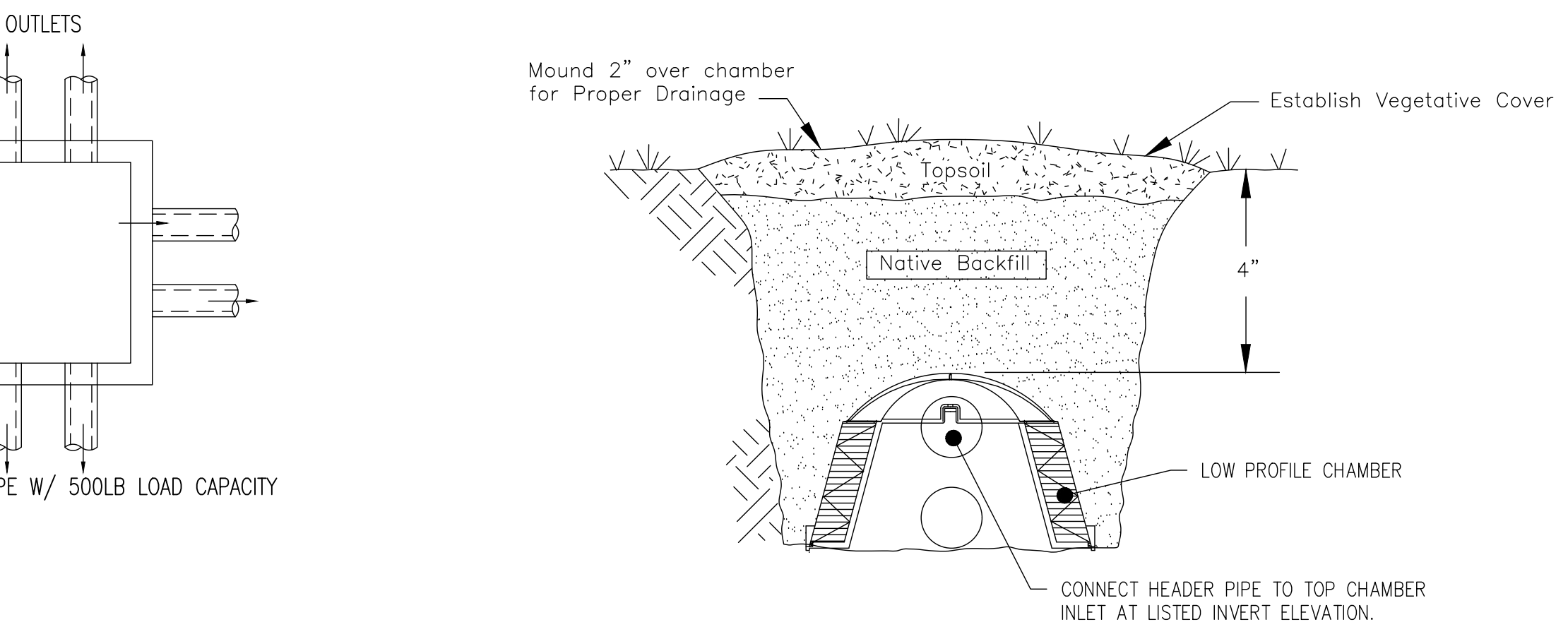
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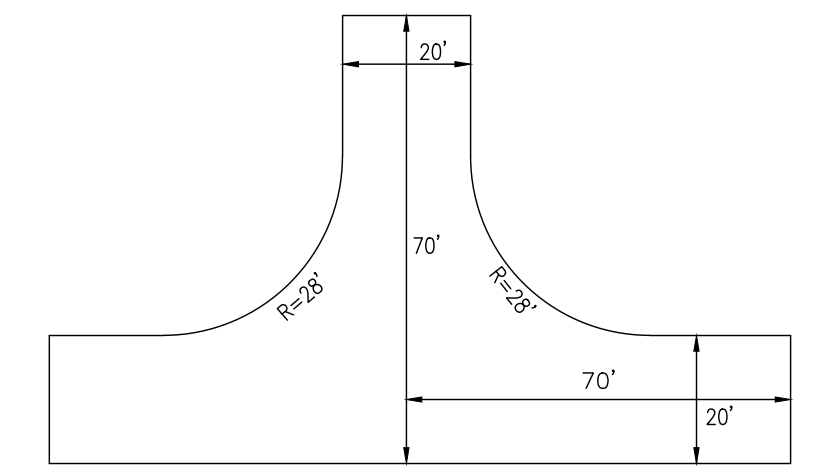
1 TYPICAL D-BOX
NTS



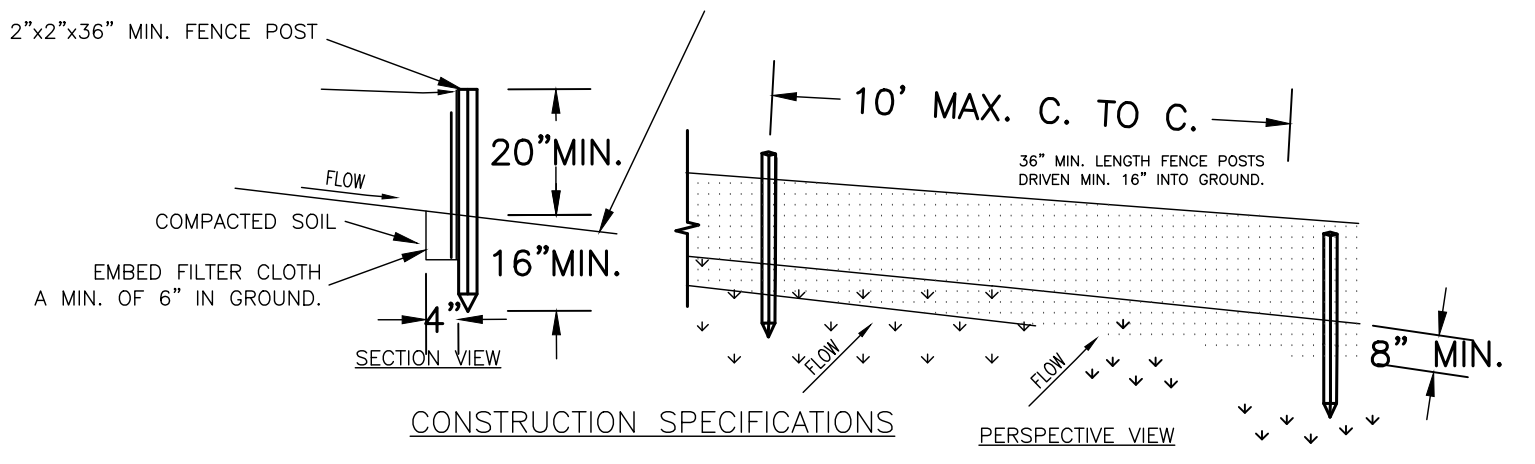
2 TYPICAL SEPTIC TANK
NTS



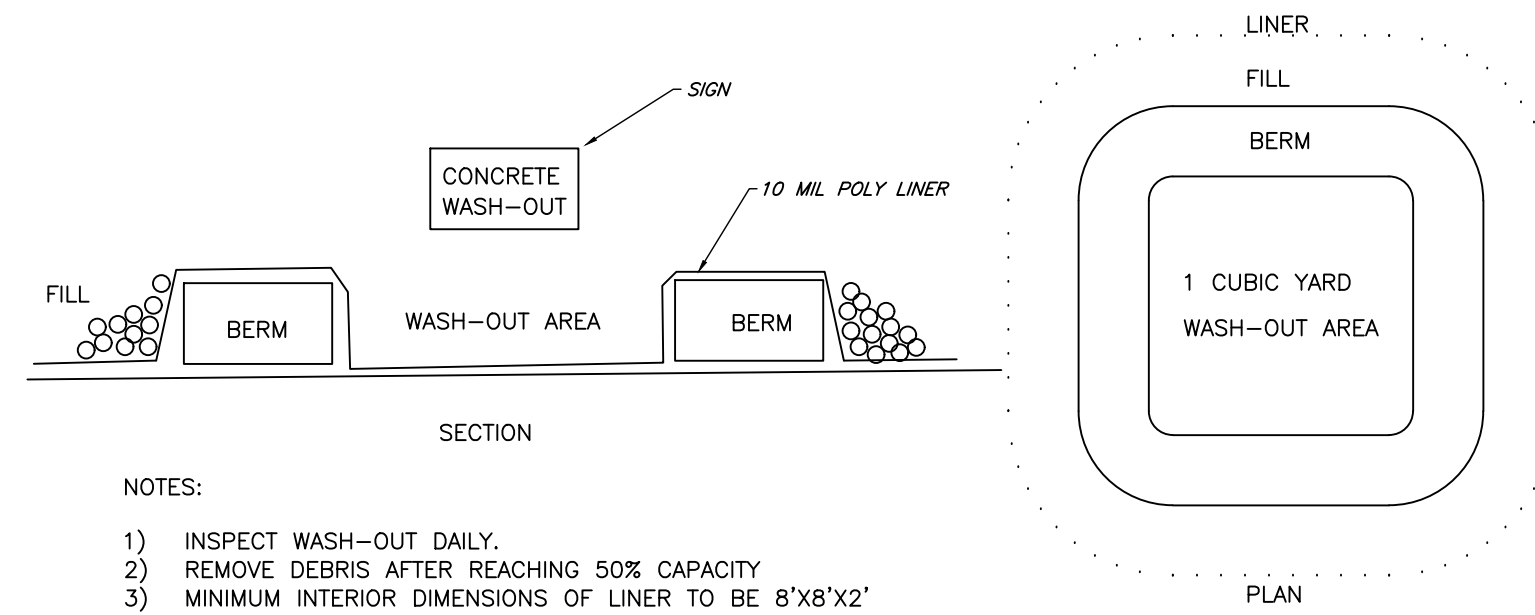
6 GRAVELLES LEACHING CHAMBER DETAIL
NTS



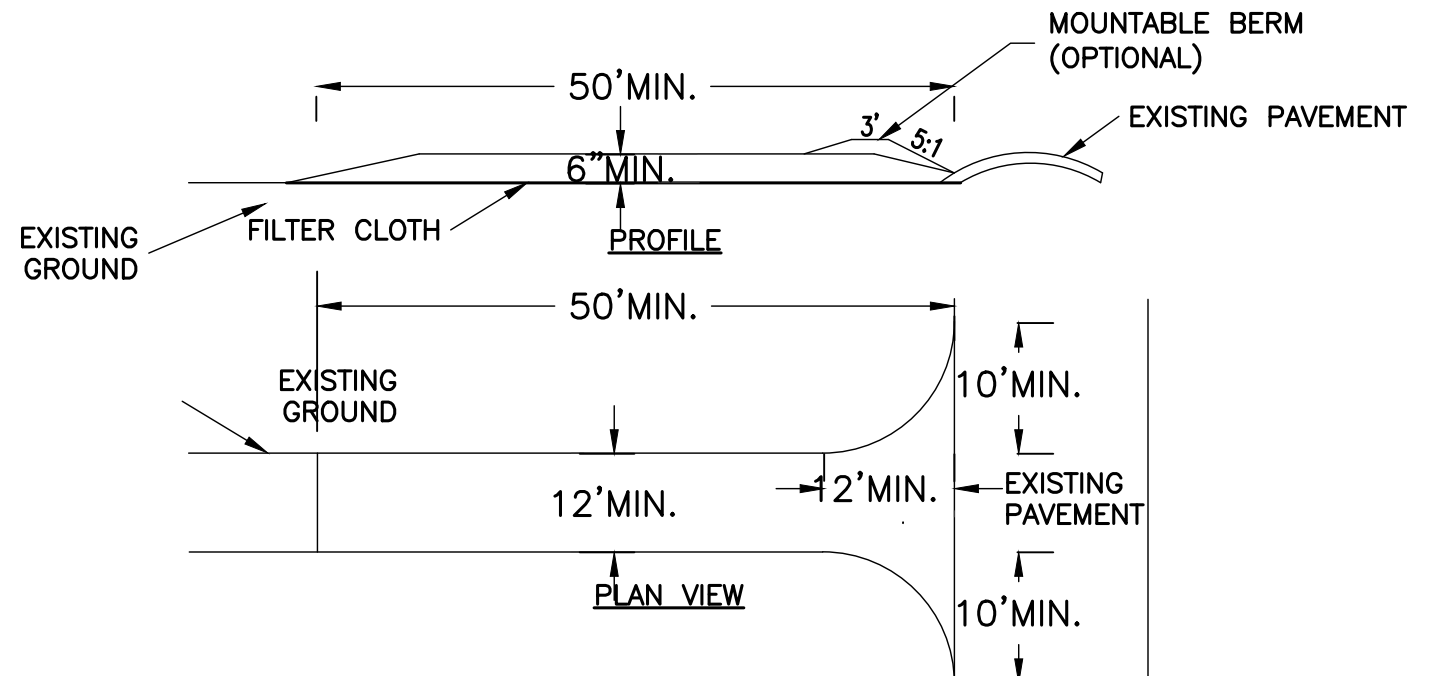
3 FIRE TRUCK TURN-AROUND
NTS



7 TYPICAL SILT FENCE DETAIL
NTS



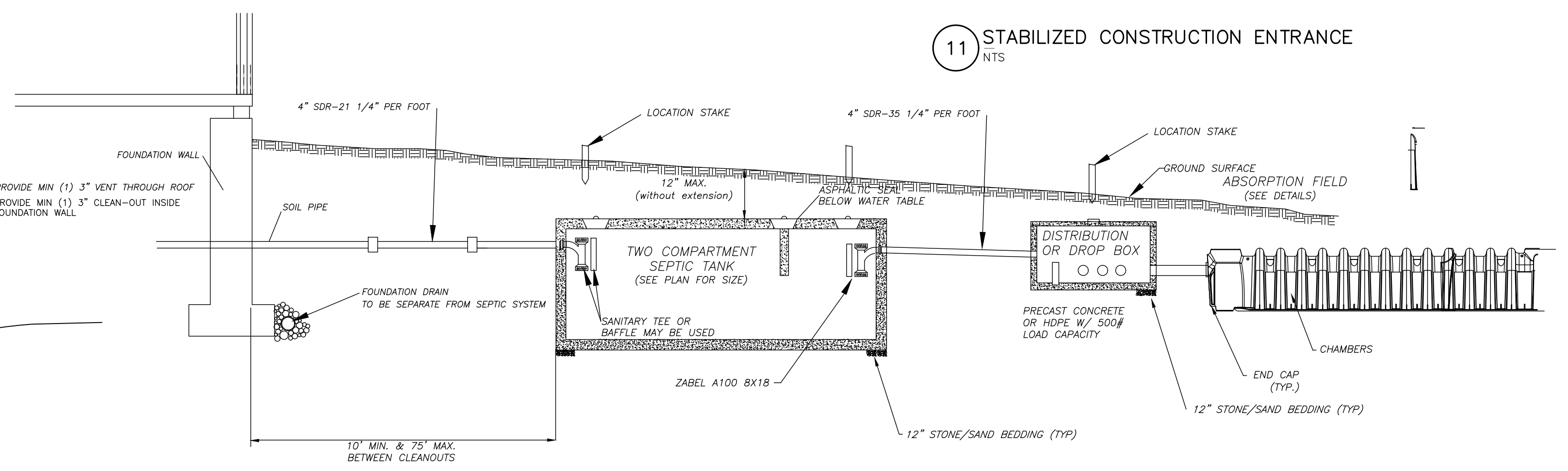
9 CONCRETE WASH-OUT
NTS



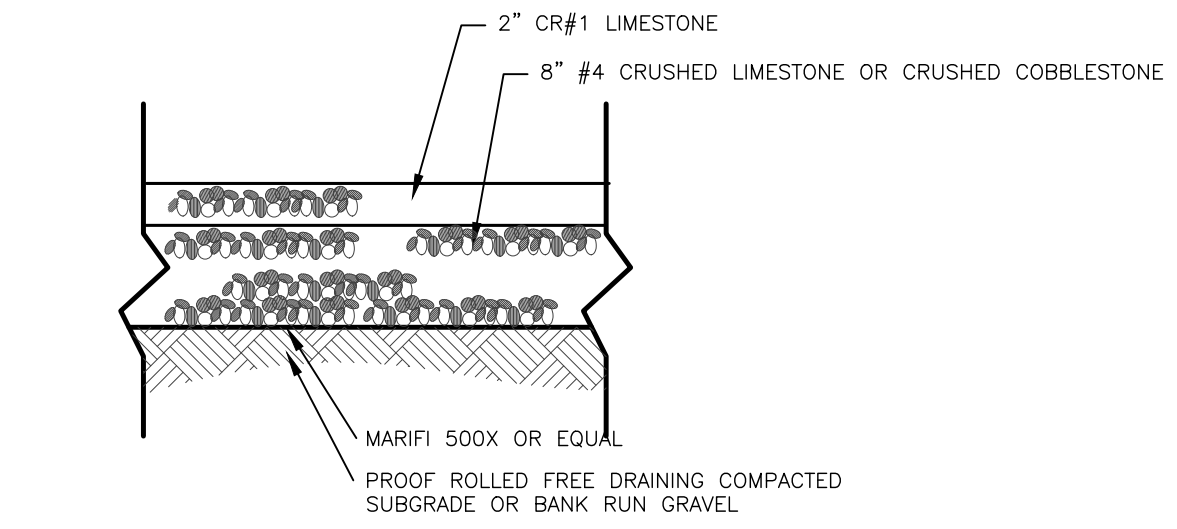
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

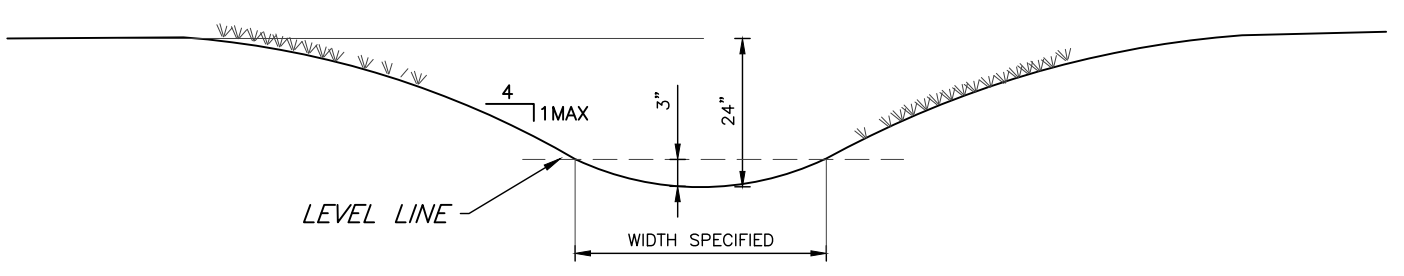
11 STABILIZED CONSTRUCTION ENTRANCE
NTS



8 TYPICAL HOUSE CONNECTION/SEPTIC SYSTEM DETAIL
NTS



4 TYPICAL GRAVEL DRIVE SECTION
NTS



5 TYPICAL SWALE CROSS SECTION
NTS

APPENDIX: D-1
DATE: SEPTEMBER 2008

MRBgroup
ENGINEERING/ARCHITECTURE/SURVEYING, P.C.
2440 BROADCROFT BLVD. ROCHESTER, N.Y. 14625

TOWN OF CANANDAIGUA

NOTES:
1. DRIVEWAYS FRONTING ON TOWN ROADS SHALL BE PAVED TO THE RIGHT-OF-WAY LINE UNLESS OTHERWISE INDICATED BY THE TOWN.
2. THE APPLICANT SHALL NOTIFY THE HIGHWAY SUPERINTENDENT AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK TO SCHEDULE A FIELD INSPECTION.
3. A MAXIMUM 3% LEVELING AREA SHOULD BE PROVIDED FOR THE FIRST 30-FEET FROM THE EDGE OF PAVEMENT.

TYPICAL DRIVEWAY APRON DETAIL
NTS

D-1

49 Town of Canandaigua Site Design & Development Criteria Adopted 2-13-12

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STATE OF NEW YORK
JENNIFER A. MARKS
Professional Engineer
No. 93182

STAMP

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	12/16/21	PER TO CANANDAIGUA PRC COMMENTS (JW)	

SUBDIVISION PLAN OF LAND OF
JEFFREY & KATE INGRAHAM
SHOWING LAND IN:
5015 SENECA POINT
TOWN OF CANANDAIGUA

STATE OF NEW YORK
COUNTY OF ONTARIO

DRAWING TITLE:
DETAIL SHEET

DRAWN BY:	JWJ
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JOB NO.:	21-085
DATE:	12/8/21
TAX MAP#:	AS NOTED

C300

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