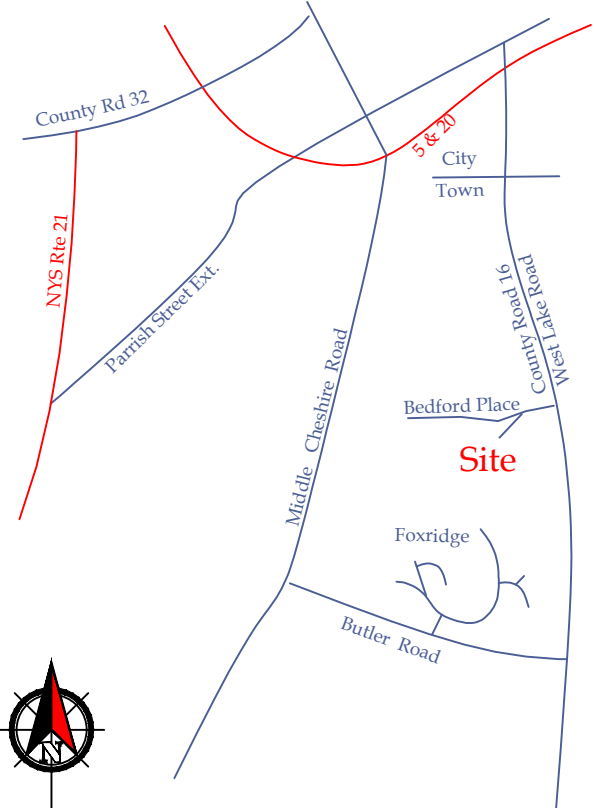




Vicinity Map N.T.S.

Existing Zoning is SCR-1 District
Minimum Lot Size: 1 Acre
Minimum Lot Width: 125 FT
Front Setback: 60 FT.
Rear Setback: 40 FT.
Side Setback: 25 FT.
Maximum Building Height = 35 FT.
Maximum Building Coverage on Lot = 20%
Contours derived from NAVD88 Datum
Flood Zones AE & X Per Community Panel
No. 360598 0025 C Last Dated March 3, 1997.

Proposed Conservation Parcels
Minimum Lot Size: 20,000 sq. Feet
Minimum Lot Width: as shown
Front Setback: 40 FT.
Rear Setback: 20 FT.
Side Setback: 10 FT.
Maximum Building Height = 35 FT.
Maximum Building Coverage on Lot = 20%

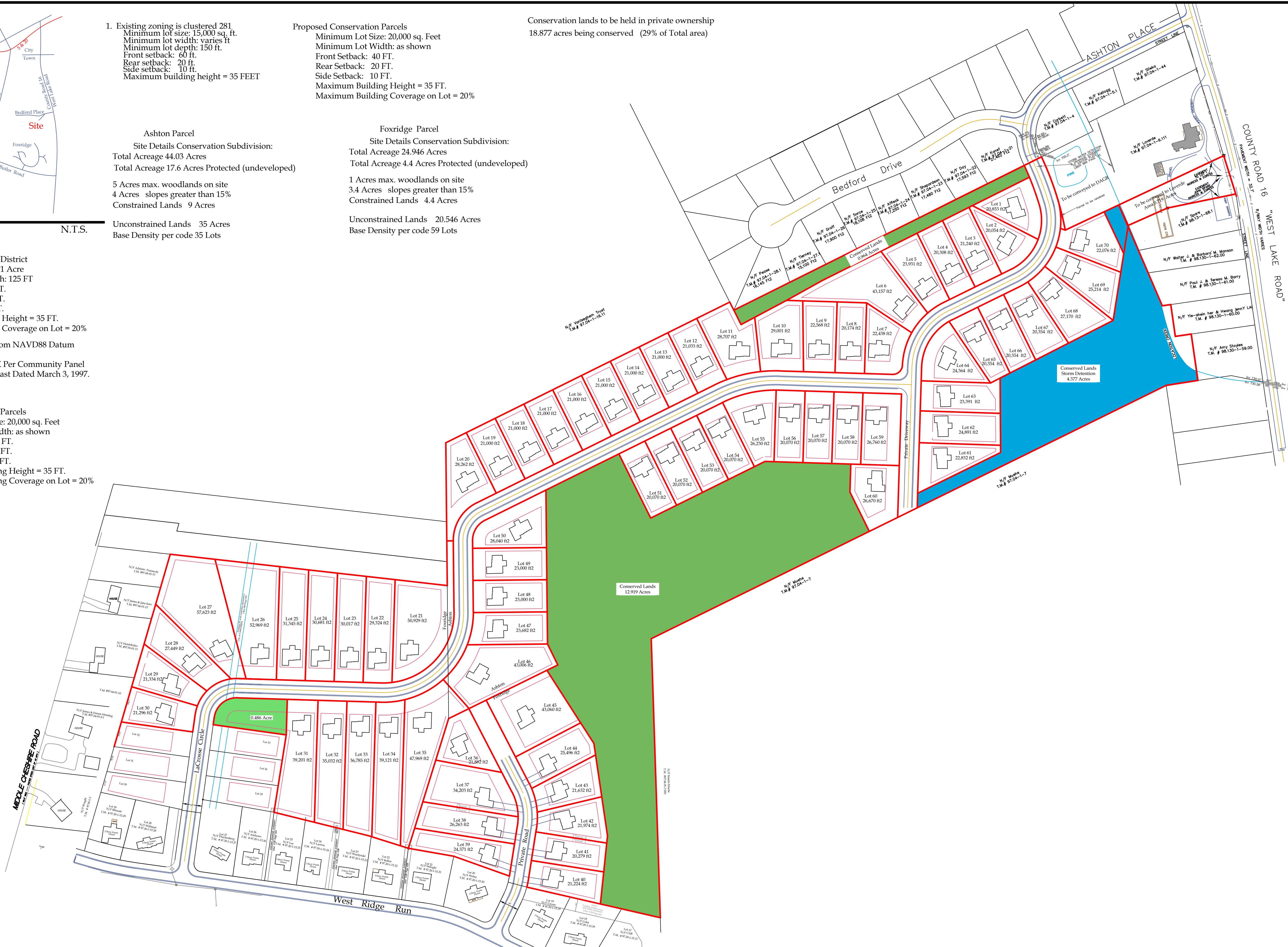
1. Existing zoning is clustered 281.
Minimum lot size: 15,000 sq. ft.
Minimum lot width: varies ft.
Minimum lot depth: 150 ft.
Front setback: 60 ft.
Rear setback: 20 ft.
Side setback: 10 ft.
Maximum building height = 35 FEET

Ashton Parcel
Site Details Conservation Subdivision:
Total Acreage 44.03 Acres
Total Acreage 17.6 Acres Protected (undeveloped)
5 Acres max. woodlands on site
4 Acres slopes greater than 15%
Constrained Lands 9 Acres
Unconstrained Lands 35 Acres
Base Density per code 35 Lots

Proposed Conservation Parcels
Minimum Lot Size: 20,000 sq. Feet
Minimum Lot Width: as shown
Front Setback: 40 FT.
Rear Setback: 20 FT.
Side Setback: 10 FT.
Maximum Building Height = 35 FT.
Maximum Building Coverage on Lot = 20%

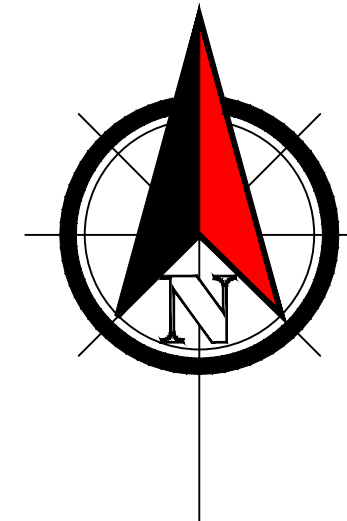
Foxridge Parcel
Site Details Conservation Subdivision:
Total Acreage 24.946 Acres
Total Acreage 4.4 Acres Protected (undeveloped)
1 Acres max. woodlands on site
3.4 Acres slopes greater than 15%
Constrained Lands 4.4 Acres
Unconstrained Lands 20.546 Acres
Base Density per code 59 Lots

Conservation lands to be held in private ownership
18.877 acres being conserved (29% of Total area)



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5120 Laura Lane

Canandaigua New York, 14424

Legend

- Iron pin or pipe found
- Iron pin set
- Drill hole
- Utility pole
- Utility lines
- Property lines
- P.K. nail found
- P.K. nail set
- Concrete Monument
- Benchmark
- Utility lines
- Property lines
- Centerline

Revisions

NO.	Date	Description	By
1	5/17/2019	add parcel sizes	RV

This is to certify that I am a
Licensed Land Surveyor and that this plan
was completed on May 17, 2019

Anthony A. Venezia
License No. 050864 signed



Cluster Plan option subdivision:

Ashton South & Foxridge Combined

owners
D.A.G.R. LLC
5810 Goodale Road
Canandaigua N.Y. 14424

Venezia Group LLC
5120 Laura Lane
Canandaigua N.Y. 14424

Showing Land
on
County Road 16
Town of Canandaigua
County of Ontario
State of New York

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Sheet 1 of 1