

*NEW COMMERCIAL SITE PLAN FOR:*  
***KEVIN CLARK (FINGER LAKES PUBLIC HOUSE)***

*401 LAKESHORE DR  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
JUNE 1ST, 2022*



LOCATION MAP  
NTS

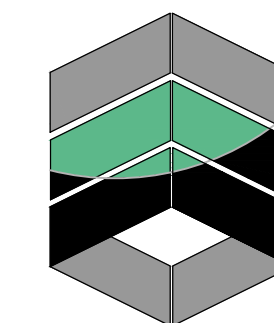


AERIAL PHOTO  
NTS



*NOT FOR CONSTRUCTION*

*INDEX-  
COVER  
EX100 - EXISTING CONDITIONS  
C100 - SITE PLAN  
L100 - LANDSCAPE PLAN*



**MarksEngineering**

*MARKS ENGINEERING, P.C.  
42 BEEMAN STREET  
CANANDAIGUA, NY 14424  
(585)905-0360  
WWW.MARKSENGINEERING.COM*

*PREPARED FOR:  
KEVIN CLARK (FINGER LAKES PUBLIC HOUSE)*

*PROPERTY OWNER:  
ARMS PROPERTIES LLC  
20 NORTH SHORE BLVD  
CANANDAIGUA, NY 14424*

*REVISED*

*06/17/2022 - PER TOWN PRC*

*KEVIN CLARK  
401 LAKESHORE BLVD  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
NEW YORK*

*JOB #22-034  
06/01/2022*



△ Conc. Monument

○ Monument

⊕ Benchmark

⊙ Utility pole

⊙ Hydrant

⊙ Light pole

⊙ Road Sign

⊙ Water Valve

PERC TEST

DEEP HOLE

LEGEND

EXISTING

PROPOSED

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Contour Line

ABBREVIATIONS:

EX-EXISTING

COR-CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SICPP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UG-UNDERGROUND

CONC-CONCRETE

CO-CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

PERF-PERFORATED

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MI-MANHOLE

DI-DRAINAGE INLET

CITY OF CANANDAIGUA ZONING:

C-1

MAXIMUM PRINCIPAL BUILDING HEIGHT - 35 FEET

MAXIMUM BUILDING COVERAGE - 40%

SETBACKS PRINCIPAL STRUCTURE:

FRONT - 40 FEET

REAR - 40 FEET

SIDE - 15 FEET

TOWN OF CANANDAIGUA ZONING:

CC- COMMUNITY COMMERCIAL RESTAURANT USE

MAXIMUM PRINCIPAL BUILDING HEIGHT - 35 FEET

MAXIMUM BUILDING COVERAGE - 10%

SETBACKS PRINCIPAL STRUCTURE:

FRONT -100 FEET

REAR - 30 FEET

SIDE - 20 FEET

MAP REFERENCE

1. MAP NOS. 28319

2. ELEVATION DATUM: NAVD 88 GEOID 18NGS

3. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL

4. LIBER 1272, PAGE 146 OF DEEDS

5. ALL UTILITIES SHOWN ARE BASED ON FIELD LOCATION ONLY.

NO UNDERGROUND UTILITIES WERE LOCATED. ALL UNDERGROUND UTILITIES SHALL BE LOCATED BY NYS DIG SAFE PRIOR TO ANY EXCAVATION.

CITY OF CANANDAIGUA ZONING:  
C-1

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1 EXISTING CONDITIONS  
1"=20'

NOT FOR CONSTRUCTION

SITE PLAN PREPARED FOR  
KEVIN CLARK (FINGER LAKES PUBLIC HOUSE)  
SHOWING LAND IN:  
405 LAKESHORE DRIVE  
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO STATE OF NEW YORK

REVISIONS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06.17.22	PER TOWN PRC	LCR

Marks Engineering

42 BREMAN ST.  
CANANDAIGUA, NY 14424  
www.marksengineering.com marks@marksengineering.com  
Phone: 585-905-0860  
Fax: 585-485-6005

I CERTIFY THAT THIS PLAN WAS PREPARED  
APRIL 28, 2022 FROM NOTES OF AN  
INSTRUMENT SURVEY COMPLETED  
APRIL 20, 2022 AND FROM MATERIALS  
REFERENCED HEREON.

DAVID M. PARRINELLO NYSPLS 049724

EX100



GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS WILL BE DONE AT THE RISK OF THE CLIENT.
8. NO APPROVALS HAVE BEEN PROVIDED FOR ANY COMMERCIAL SPEECH SIGNS AND ANY FUTURE COMMERCIAL SPEECH SIGNS WILL REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE TOWN OF CANANDAIGUA PLANNING BOARD.

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#360960 0005B DATED SEPTEMBER 29, 1989.
3. WATER SUPPLY: PRIVATE WELL ON-SITE
4. NYS SPDES PERMIT IS REQUIRED FOR THESE CONSTRUCTION ACTIVITIES AS DISTURBANCE SHALL BE GREATER THAN ONE ACRE.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

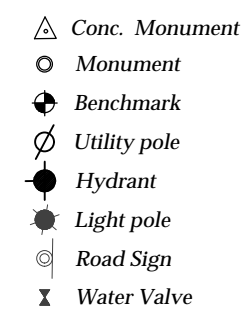
TOWN OF CANANDAIGUA NOTES

1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN CODE ENFORCEMENT OFFICER, ENGINEER AND ALL CONTRACTORS PRIOR TO START OF CONSTRUCTION.
2. ANY DISTURBED AREAS TO REMAIN FOR A PERIOD LONGER THAN 3 DAYS SHALL BE STABILIZED WITH EROSION CONTROL FABRIC OR OTHER APPROVED EROSION AND SEDIMENT CONTROL PRACTICES.

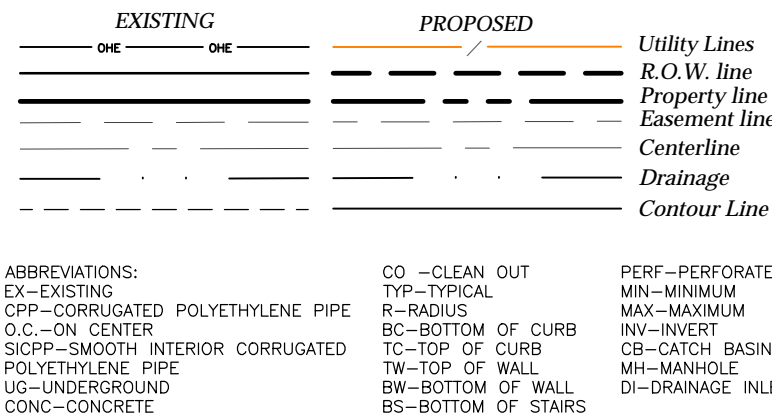
UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
2. ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
3. SAFETY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK

BULK TABLE		
	REQUIRED	PROPOSED
ZONING/USE - PRINCIPAL	CC - COMMERCIAL COMMUNITY	RESTAURANT
ZONING/USE - ACCESSORY	NA	NA
FRONT SETBACK	75'	33.1'
SIDE SETBACK	20'	12.2'
REAR SETBACK	40'	75.4'
BUILDING HEIGHT	35'	NA
MAX. BUILDING LOT COVERAGE	35%	NA
MIN. LOT SIZE	1 ACRES	1.140 ACRES
MIN. LOT WIDTH	175'	>175'
PARKING	1 PER 62.5 SF (INSTITUTE OF TRANSPORTATION ENGINEERS)	40 SPACES (1 PER 65 SF)



LEGEND



CITY OF CANANDAIGUA ZONING:  
C-1

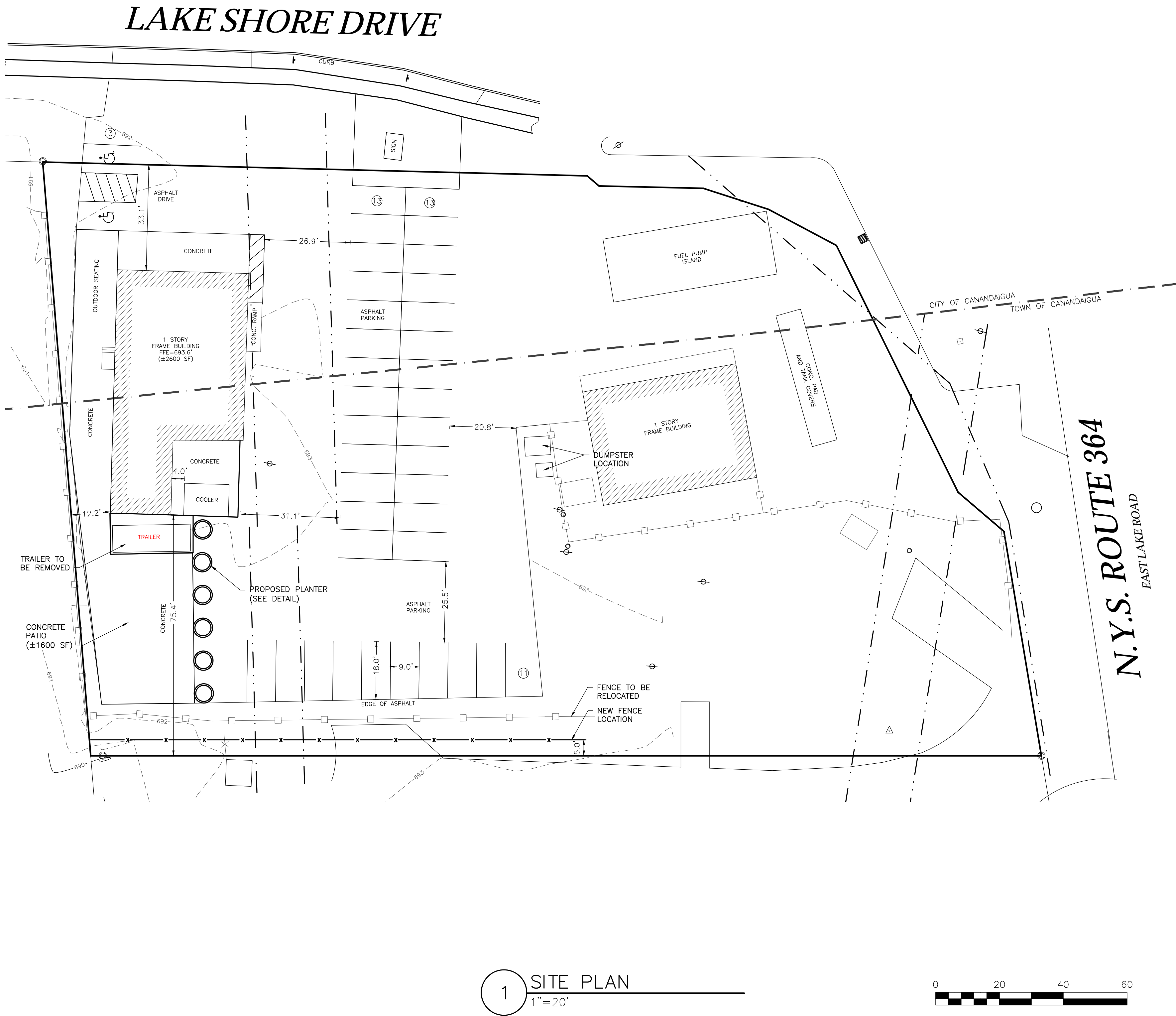
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RESTAURANT USE

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NOT FOR CONSTRUCTION

MARKS

Engineering

12 BERMAN ST.  
CANANDAIGUA, NY 14414  
www.marksengineering.com

Phone: 585-902-0860  
Fax: 585-902-0861  
bmarks@marksengineering.com

STATE OF NEW YORK  
BRENNAN A. MCGEE  
199182  
PROFESSIONAL ENGINEER

STAMP

STAMP

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/17/22	PER TOWN PRC	LGR

SITE PLAN PREPARED FOR  
KEVIN CLARK (FINGER LAKES PUBLIC HOUSE)  
SHOWING LAND IN:  
405 LAKESHORE DRIVE  
TOWN OF CANANDAIGUA

STATE OF NEW YORK  
COUNTY OF ONTARIO

DRAWING TITLE:  
SITE PLAN

DRAWN BY:	LGR
DESIGNED BY:	
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	22-034
DATE:	04/27/2022
TAX MAP#:	NOTED

C100



LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKE OFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT AND ONE PART COMPOST. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH TO BE PROVIDE AS FOLLOWS: 100% SHREDDED HARDWOOD MULCH, NO GREATER THAN ONE INCH (1") IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.
  - LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS.

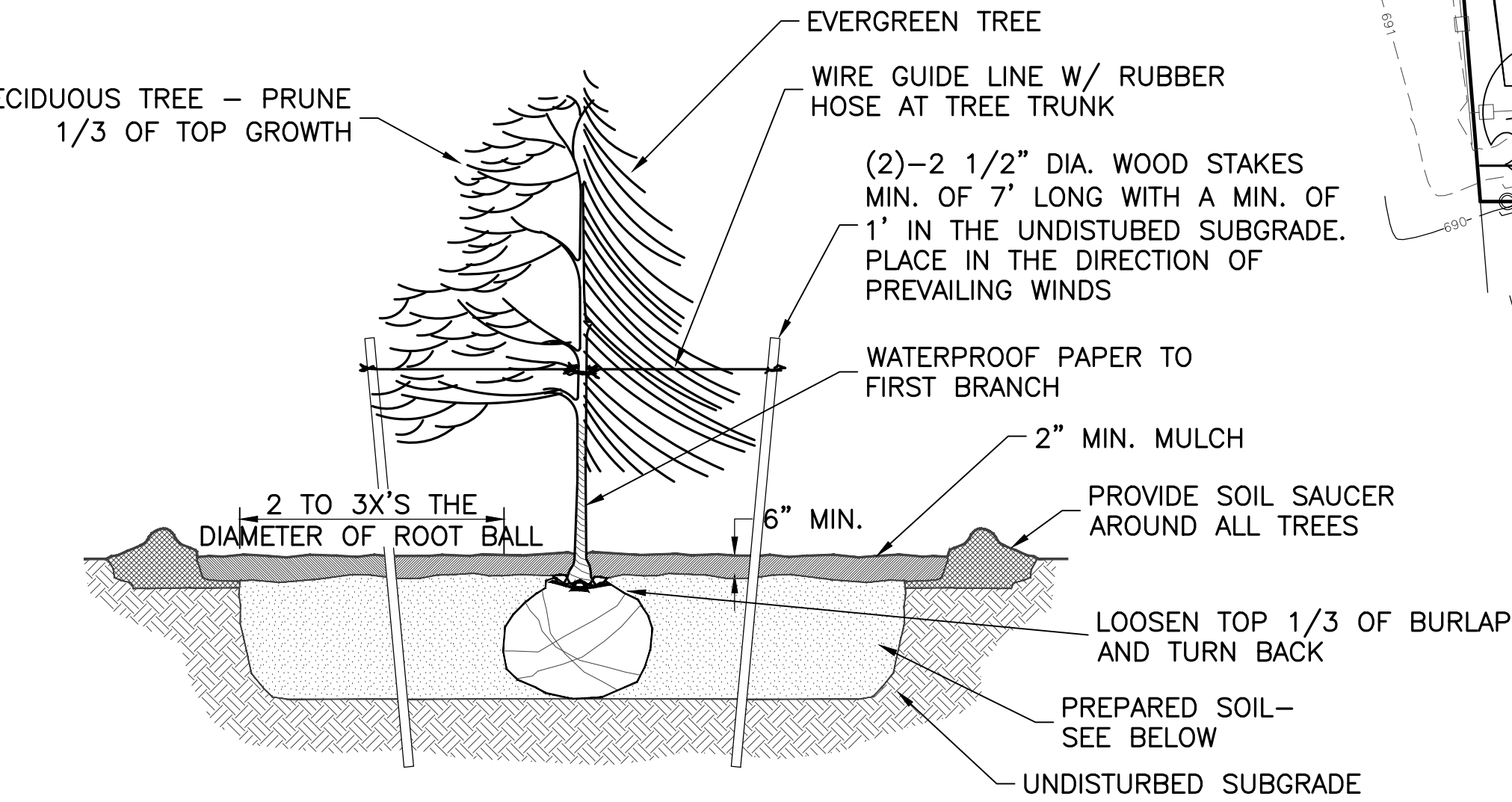
	% BY WEIGHT	% BY PURITY	% BY GERM
'REPELL', 'CITATION' & 'MORNING STAR	40	85	85
PERENNIAL RYE GRASS			
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA'	20	97	80
RED FESCUE			
'BARON' & 'MIDNIGHT'	40	85	80
KENTUCKY BLUEGRASS			

SEEDING RATE: 6.0 LBS PER 1,000 SF.  
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH  
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
STARTING FERTILIZER: 5:0:10 AT 20 LBS PER 1,000 SF.

- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM OF 2 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.

PHOSPHOROUS NOTES:

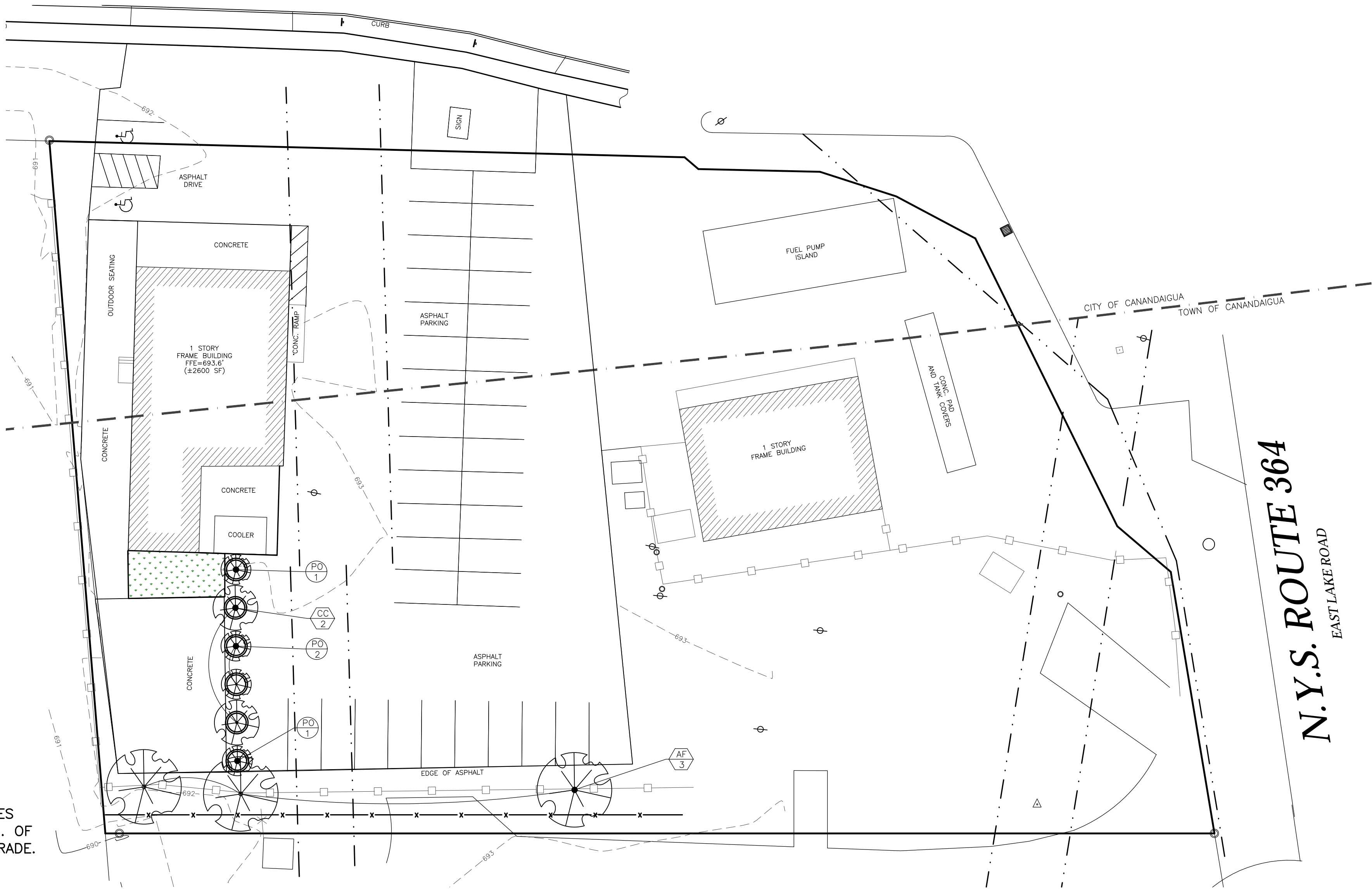
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.



2  
SP-4  
DETAIL: TREE PLANTING  
NOT TO SCALE

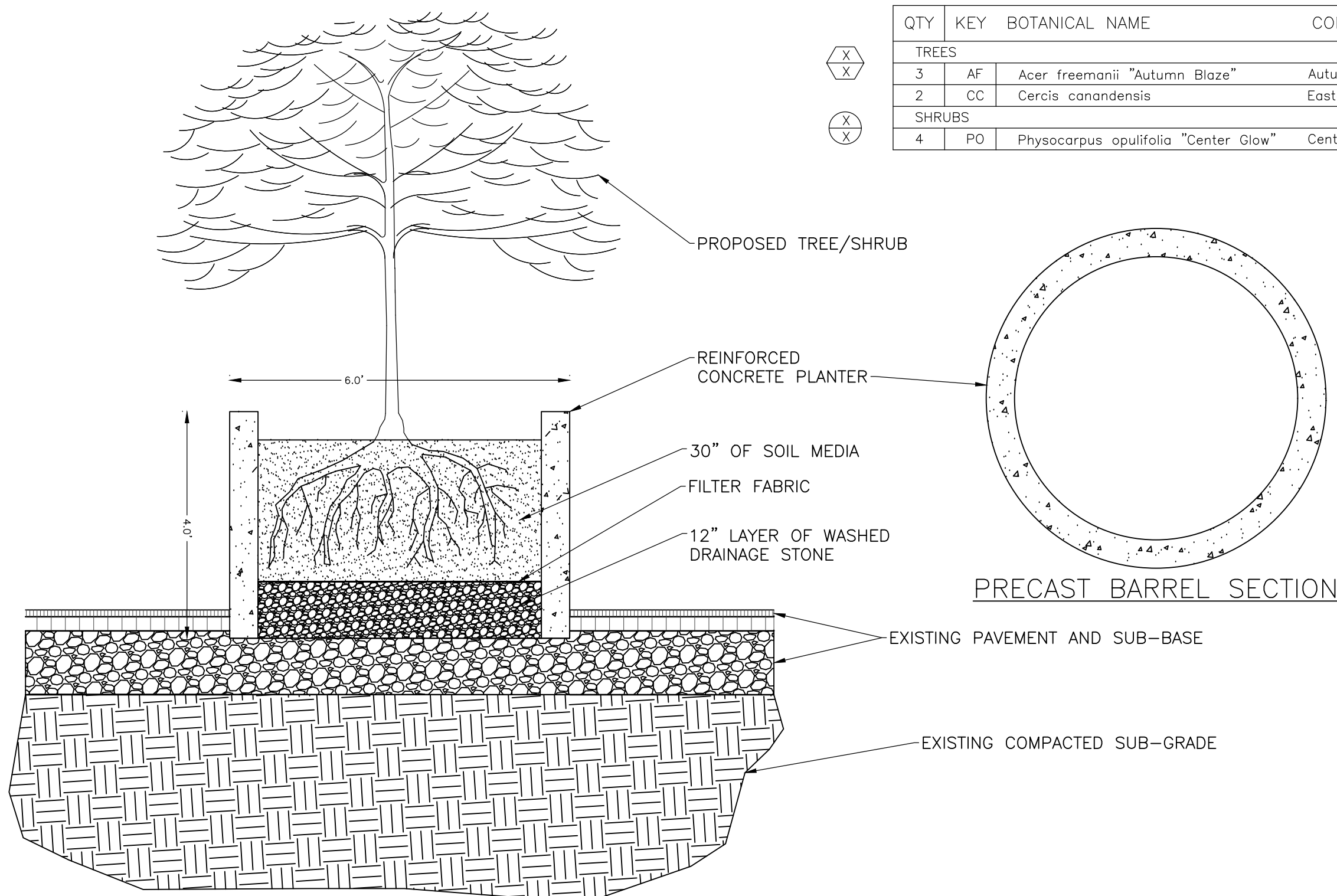
NOTE:  
PREPARED TOPSOIL MIXTURE SHALL BE, BY VOLUME: 4 CUBIC YARDS TOPSOIL, 7.5 CUBIC FEET PEAT MOSS AND 20 POUNDS FERTILIZED(MILORGANITE, NU-EARTH OR EQUAL)

LEGEND		
EXISTING	PROPOSED	Utility Lines
ONE	ONE	R.O.W. line
		Property line
		Easement line
		Centerline
		Drainage
		Contour Line
△	Conc. Monument	
○	Monument	
⊕	Benchmark	
⊙	Utility pole	
●	Hydrant	
⊙	Light pole	
⊙	Road Sign	
⊕	Water Valve	



PLANT LEGEND

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
3	AF	Acer freemanii "Autumn Blaze"	Autumn Blaze Freeman Maple	3" cal.	B&B	
2	CC	Cercis canadensis	Eastern Red Bud	2.5" cal.	B&B	
SHRUBS						
4	PO	Physocarpus opulifolia "Center Glow"	Center Glow Ninebark	#5	cont.	



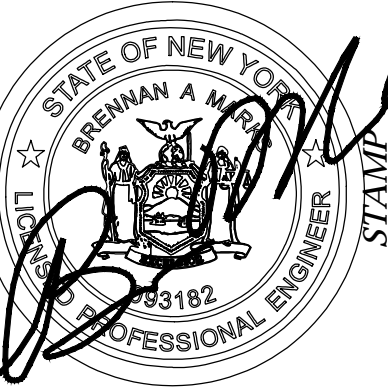
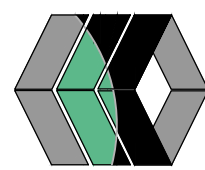
1  
NTS  
TREE PLANTER DETAIL

1  
1"=20'  
LANDSCAPE PLAN

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**MarksEngineering**



STAMP

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LANDSCAPE PLAN

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