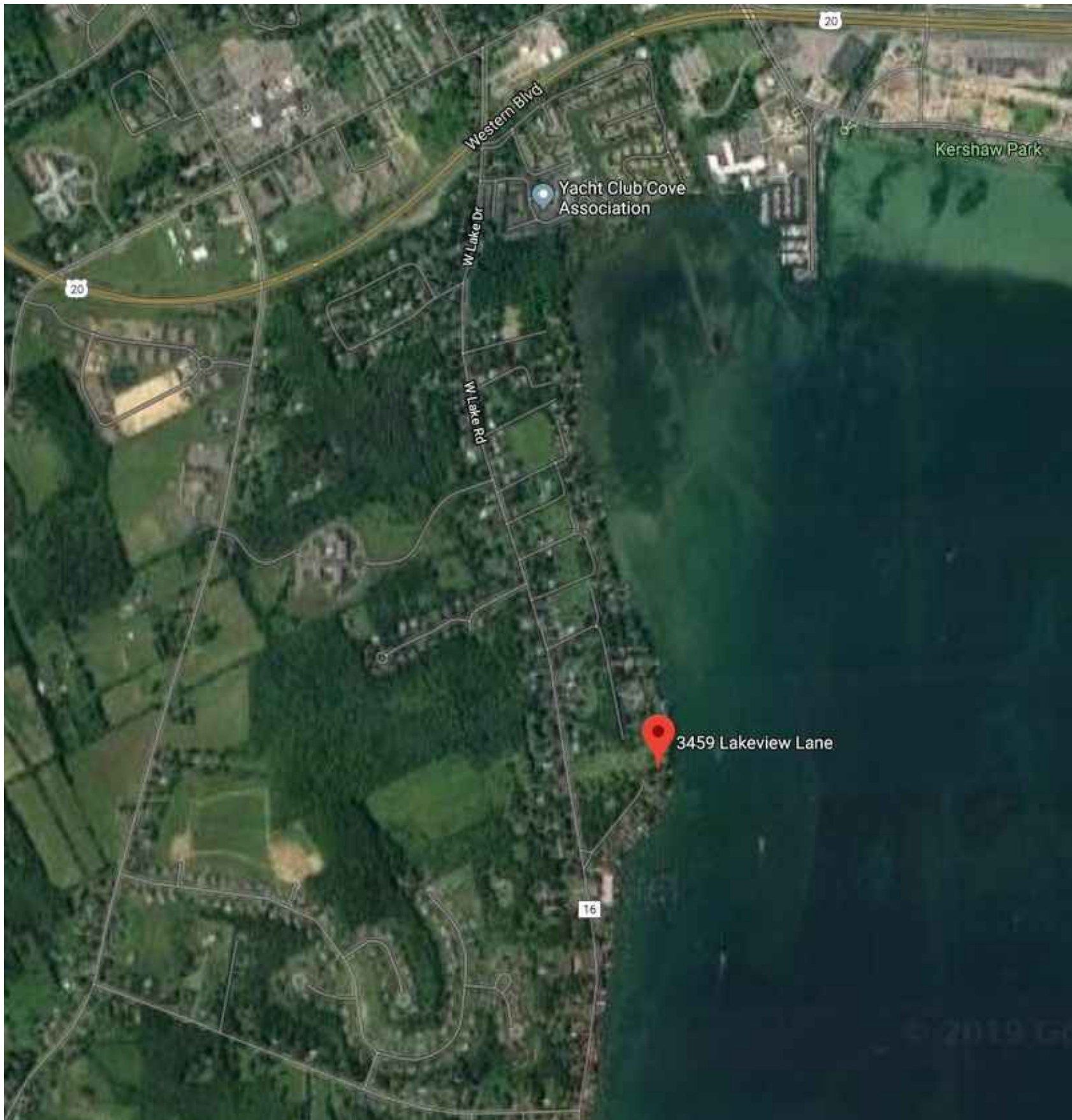
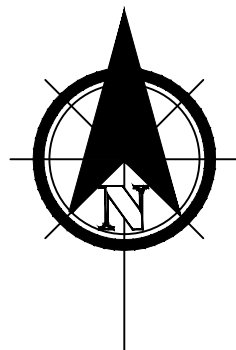


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR
THE LUPTON FAMILY
3459 LAKEVIEW LANE
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK



AERIAL LOCUS
NOT TO SCALE

SHEET INDEX:

- C-0 COVER SHEET
- EXISTING CONDITIONS PLAN
- C-1 SITE PREPARATION & EROSION CONTROL PLAN
- C-2 SITE LAYOUT AND UTILITY PLAN
- C-3 SITE AND UTILITY DETAILS
- LANDSCAPE PLAN

ZONING CHART

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED	
MIN LOT AREA (AREA TO ROW)	20,000 SF	20,647 SF	20,647 SF	
MIN LOT WIDTH	125'	112'*	112'*	
MIN FRONT YARD SETBACK	60'	74.35'	34.15'	VARIANCE REQUESTED
MIN SIDE YARD SETBACK	12'	19.2'	12.00'	
MIN REAR YARD SETBACK	60'	36.14'	40.41'	VARIANCE REQUESTED
MAX BUILDING HEIGHT	25 FT	<25 FT	24.85 FT	
MAX BUILDING COVERAGE	15%	9.1%	20.8%	VARIANCE REQUESTED
MAX LOT COVERAGE	25%	16.8%	29.9%	VARIANCE REQUESTED
SITE DISTURBANCE	19,250 SF			

* PRE-EXISTING NON-CONFORMING

GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980020C MAP REVISED MARCH 3, 1997.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
- ELEVATIONS REFERENCE NAVD88 DATUM.

Existing Lot Coverage Calculations: Sq.Ft

House.....1,566
Garage..... 304
Asphalt Driveway..... 715
Shed.....101
Lake Walls..... 477
Patio..... 211
Walkway..... 85

Building Coverage..... 1,870
Total Coverage..... 3,459
Total Site Area..... 20,647
Building Coverage.....9.1%
Total Lot Coverage.....16.8%

Proposed Lot Coverage Calculations: Sq.Ft

House.....3,522
Garage..... 780
Asphalt Driveway..... 740
Shed..... 0
Lake Walls..... 305
Site Walls/Steps..... 115
Patio/Hot Tub/Wall..... 492
Walkway 228

Building Coverage..... 4,302
Total Coverage..... 6,182
Total Site Area..... 20,647
Building Coverage.....20.8%
Total Lot Coverage.....29.9%

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 1949761

Site Plan Drawings Prepared For:

Al Lupton II
3459 Lakeview Lane
Town of Canandaigua
County of Ontario State of New York

File# 19263

Scale: 1"=10'

T.m. # 98.13-1-18.110

Date: 01/09/2020

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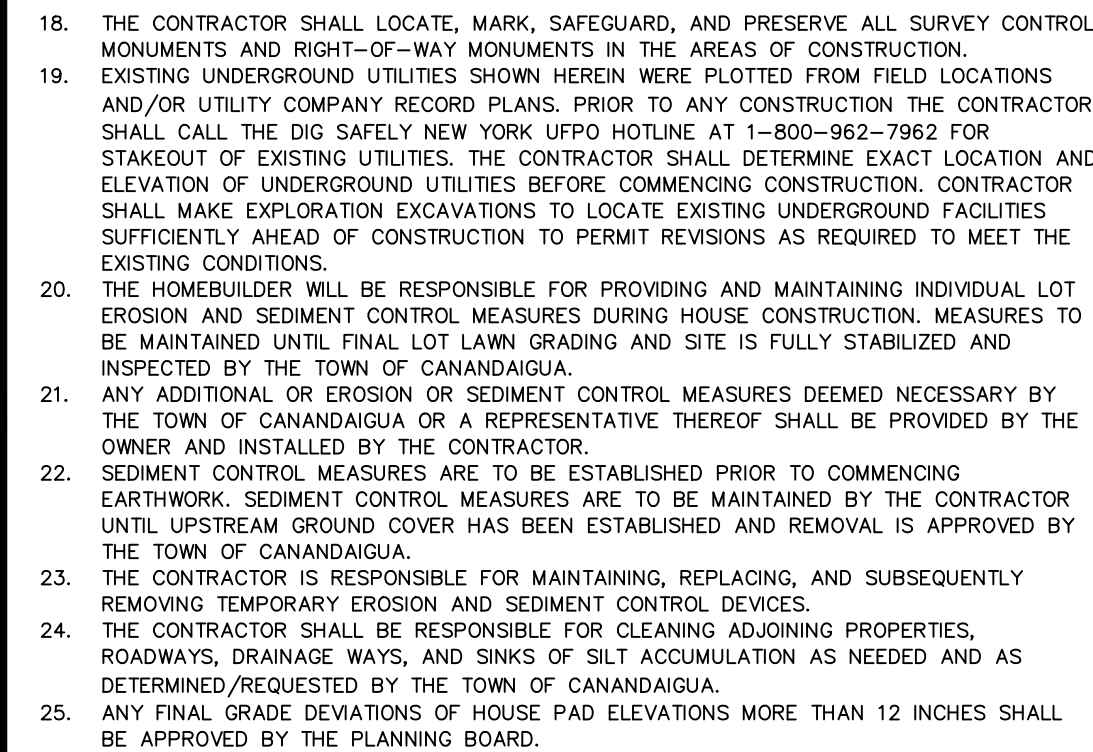
C-0

www.veneziasurvey.com (585)396-3267 Fax. No. (585) 396-0131 E-mail erin@veneziasurvey.com

SITE PREPARATION & EARTHWORK SEQUENCE

1. SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN. INSTALL CONSTRUCTION ENTRANCE. ESTABLISH STAGING AREAS AND SOIL STOCKPILE AREAS. [APRIL 2020]
2. REMOVE EXISTING HOUSE AND ASSOCIATE PATIOS. CAP EXISTING UTILITIES FOR RE-USE AS REQUIRED.
3. ESTABLISH PROPOSED DRIVEWAY AREA AND HOUSE BUILDING PAD PER SITE PLAN. INSTALL NEW UTILITY SERVICE CONNECTIONS. INSTALL TEMPORARY SEDIMENT BASIN.
4. INSTALL FOUNDATION/BASEMENT, GRADE, STABILIZE DRIVEWAY.
5. BEGIN HOUSE FRAMING.
6. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANADAGUIA AND/OR THEIR PROJECT REPRESENTATIVE. [JUNE 2021]

NOTES:
- ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.



	<u>LBS/ACRE</u>	<u>LBS/1,000 SQ. ACRE</u>
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

- SEEDING RATE 6 LBS PER 1000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

Drawing Title: **SITE DEMOLITION AND EROSION CONTROL**

Site Plan Prepared For: **Al Lupton II**
3459 Lakeview Lane
Town of Canandaigua
County of Ontario State of New York

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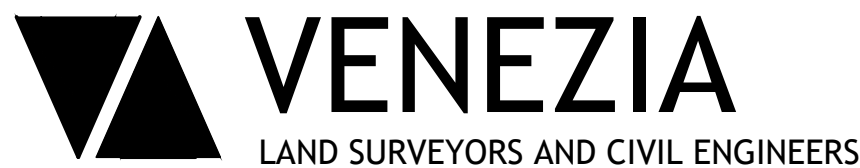
NOTE:
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APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN
SIGNED BY THE PLANNING BOARD CHAIRPERSON.

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

File# 19263
Scale: 1" = 10'
T.m. # 98.13-1-18.110
Date: 01/09/2020
Sheet:

C-1

E-mail rocco@veneziasurvey.com



■ 5120 Laura Lane

Canandaigua New York, 14424



— W	PROP WATER	— — — —	SILT FENCE
- - - S	PROP SEWER	— 900	EXIST. CONTOUR
- · - D	PROP DRAIN	— 900	PROP CONTOUR
- · · E	PROP ELECT	—	PROPERTY LINE
- · · · T	PROP TEL	○	CENTERLINE
- · · · · GAS	PROP GAS	LP	★ LIGHT POLE
900.3 X	SPOT GRADE	⊙	DRAIN MANHOLE
▨	PROPOSED EROSION MAT	CB	□ CATCH BASIN
▧	CHECK DAM	⊙	⊙ SEWER MANHOLE
⋈		⋈	⋈ WATER VALVE
		⋈	⋈ HYDRANT

NYS Land Surveyor

Drawing Title:

SANITARY LATERAL NOTES:

- ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES JURISDICTION.
- NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FORM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
- DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
- THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
- SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
- FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS. INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE GRADE.
- LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
- ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

RENOVATION PROJECTS ONLY

- EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
- PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEDIS.
- IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEDIS IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
- IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
- IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
- IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

NOTE:

IF CURRENT SANITARY SEWER LATERAL IS 4" SDR 35 PVC AND THE LATERAL IS FOUND TO BE IN A CONDITION ACCEPTABLE FOR RE-USE, THE SAME MATERIAL MAY BE USED FOR THE NEW SECTION OF SANITARY LATERAL TO THE HOUSE. IF A COMPLETELY NEW LATERAL IS REQUIRED, THE NEW LATERAL SHALL BE 4" SDR 21 PVC IN ITS ENTIRETY.

WATER SYSTEM NOTES

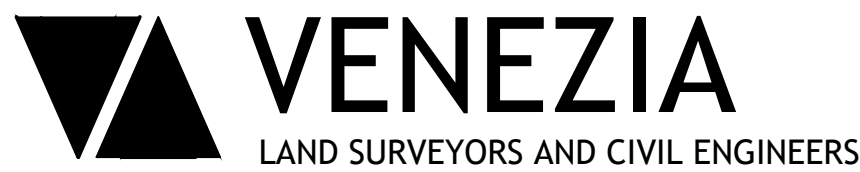
- WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
- PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL WHERE A WATERMAIN CROSSES UNDER A SEWER. ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
- WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5-FOOT OF COVER FROM FINISHED GRADE.
- THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
- THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
- DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.

W	PROP WATER	---	SILT FENCE
S	PROP SEWER	---	EXIST. CONTOUR
D	PROP DRAIN	---	PROP CONTOUR
E	PROP ELEC	---	PROPERTY LINE
T	PROP TEL	---	CENTERLINE
-GAS	PROP GAS	---	LP
900.3 x	900.3 x	---	LIGHT POLE
---	PROPOSED EROSION MAT	---	DRAIN MANHOLE
---	CHECK DAM	---	CATCH BASIN
---		---	SEWER MANHOLE
---		---	WATER VALVE
---		---	HYDRANT

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

SCALE: 1" = 10'



5120 Laura Lane

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ

NYS Land Surveyor

Drawing Title:

Site Plan Prepared For:

SITE GRADING AND UTILITY PLAN

Al Lupton II

3459 Lakeview Lane
Town of Canandaigua
County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

File# 19263

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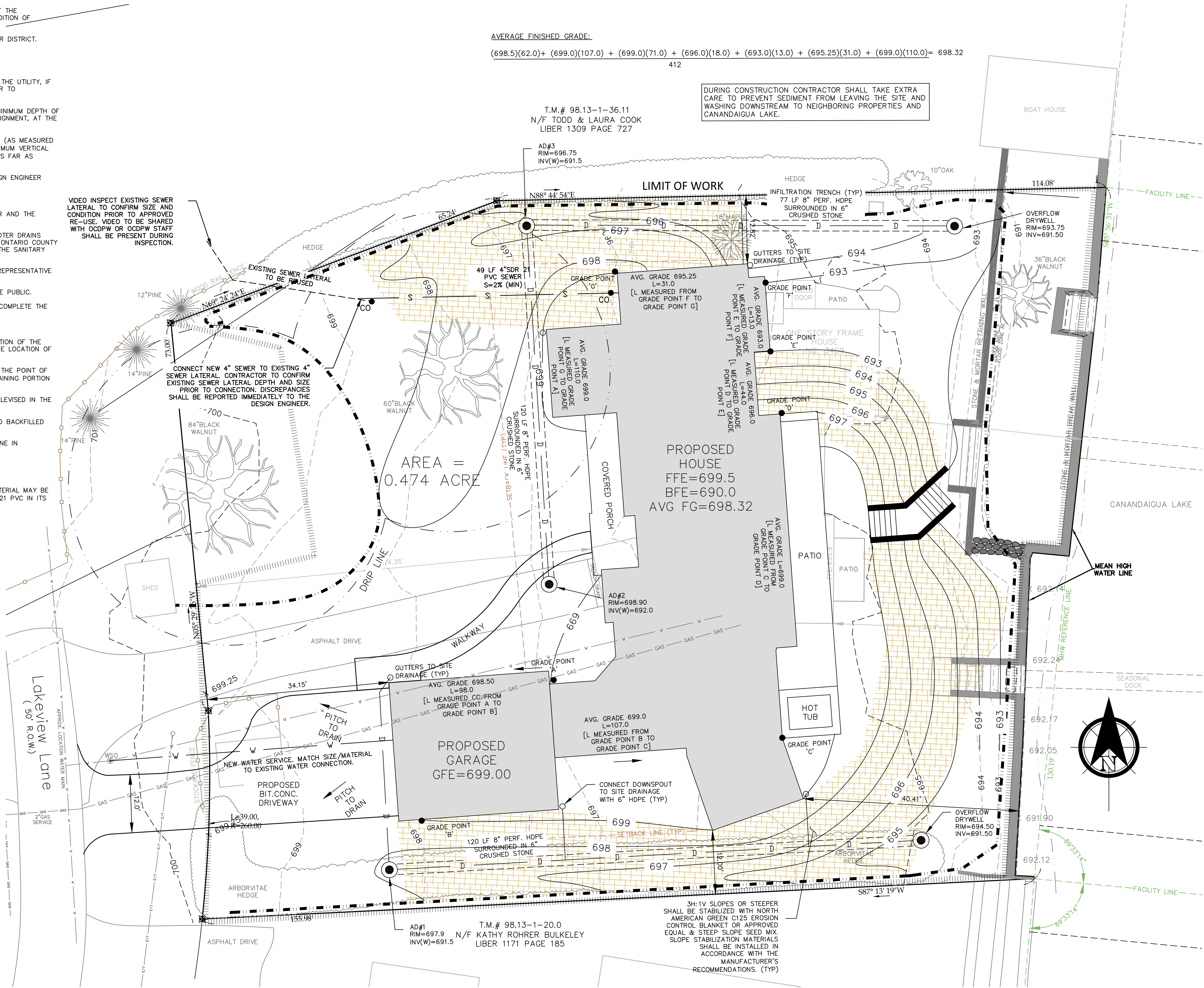
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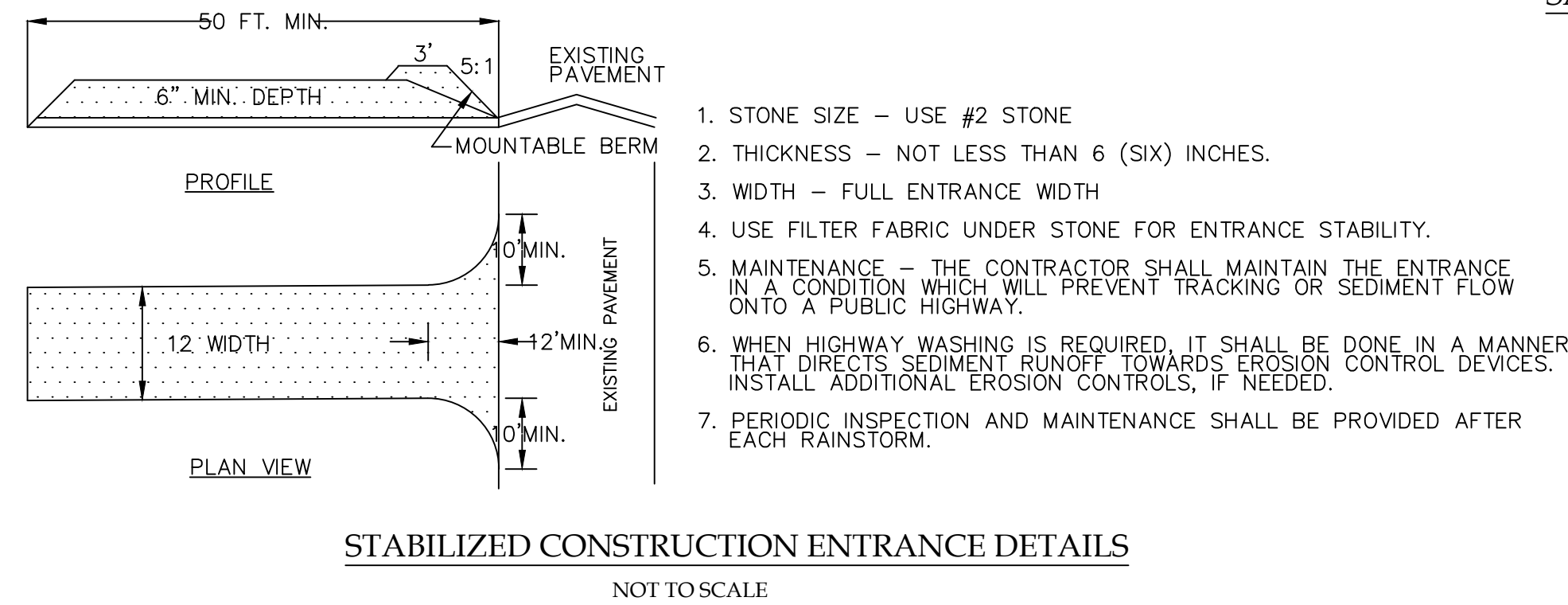
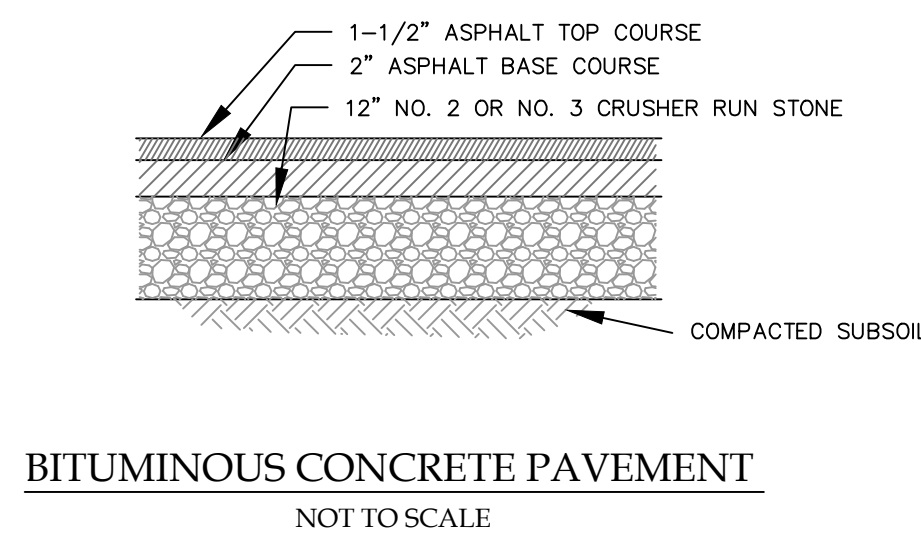
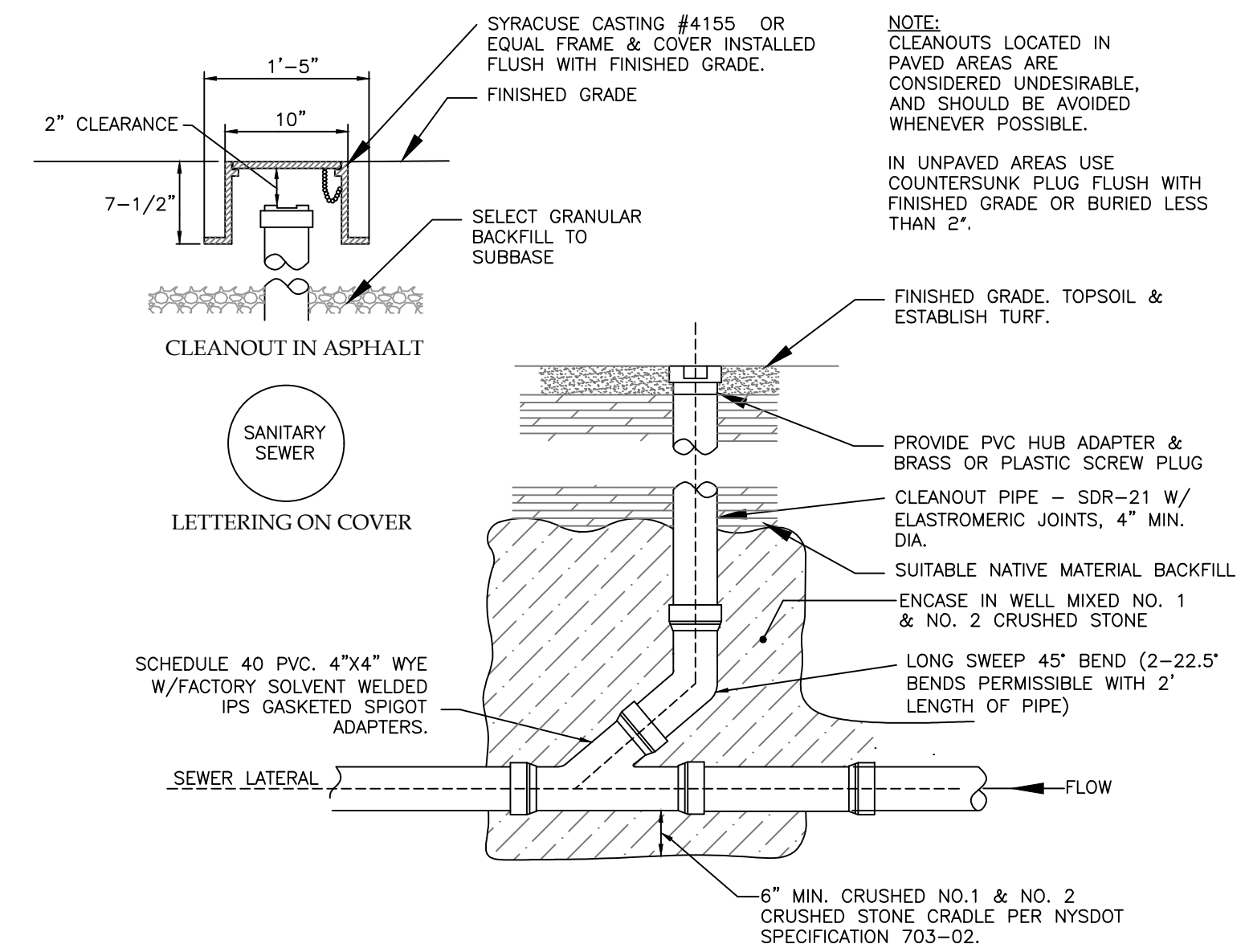
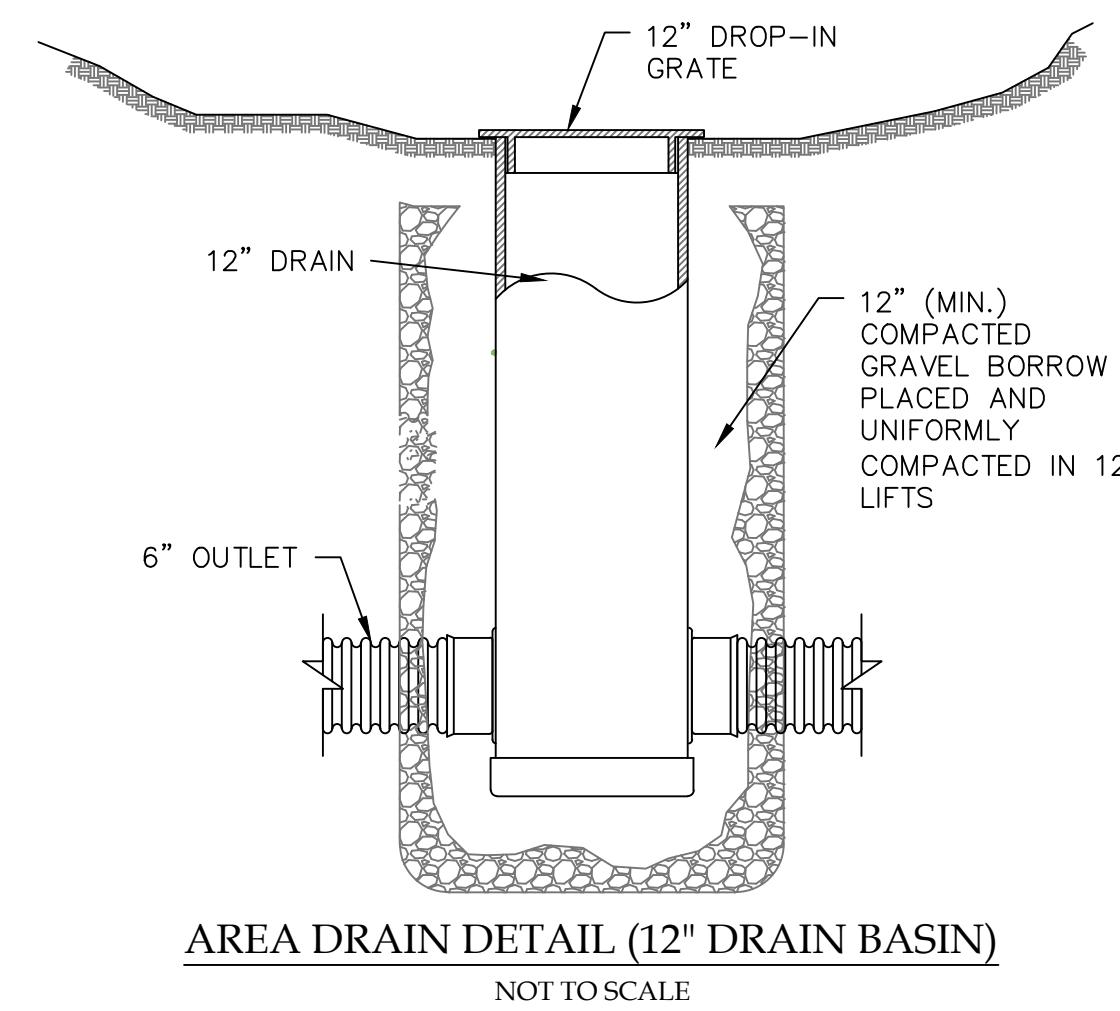
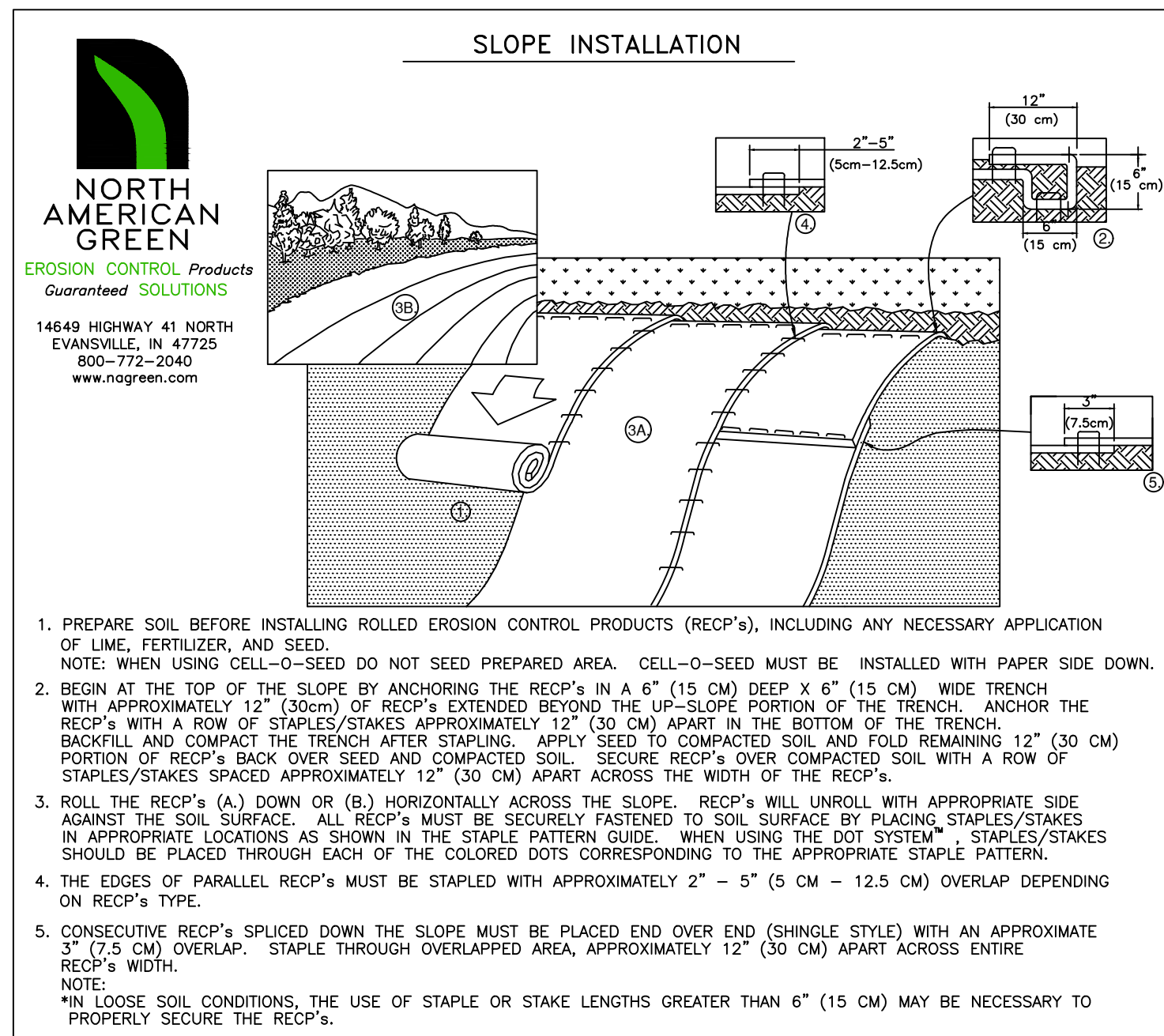
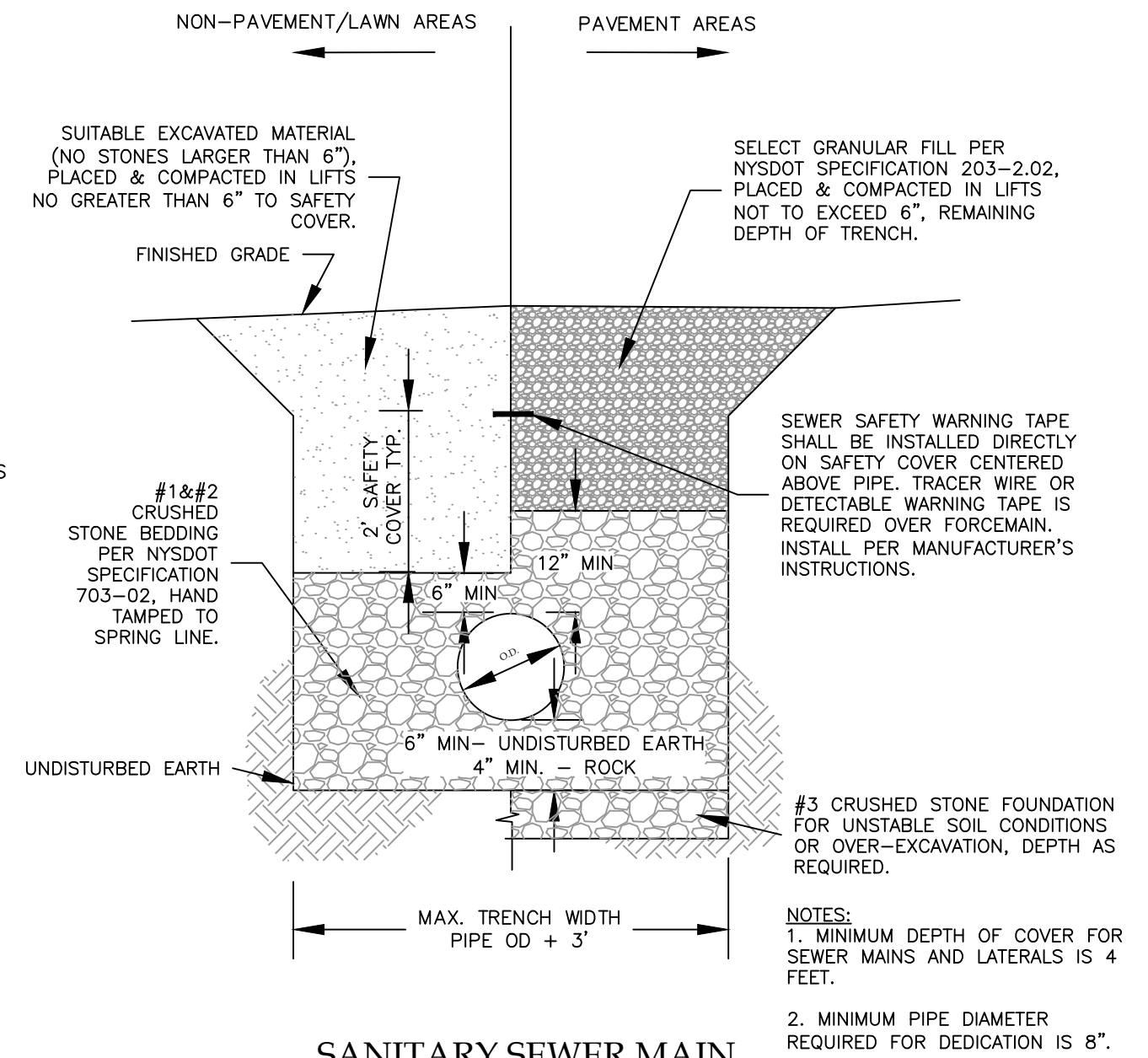
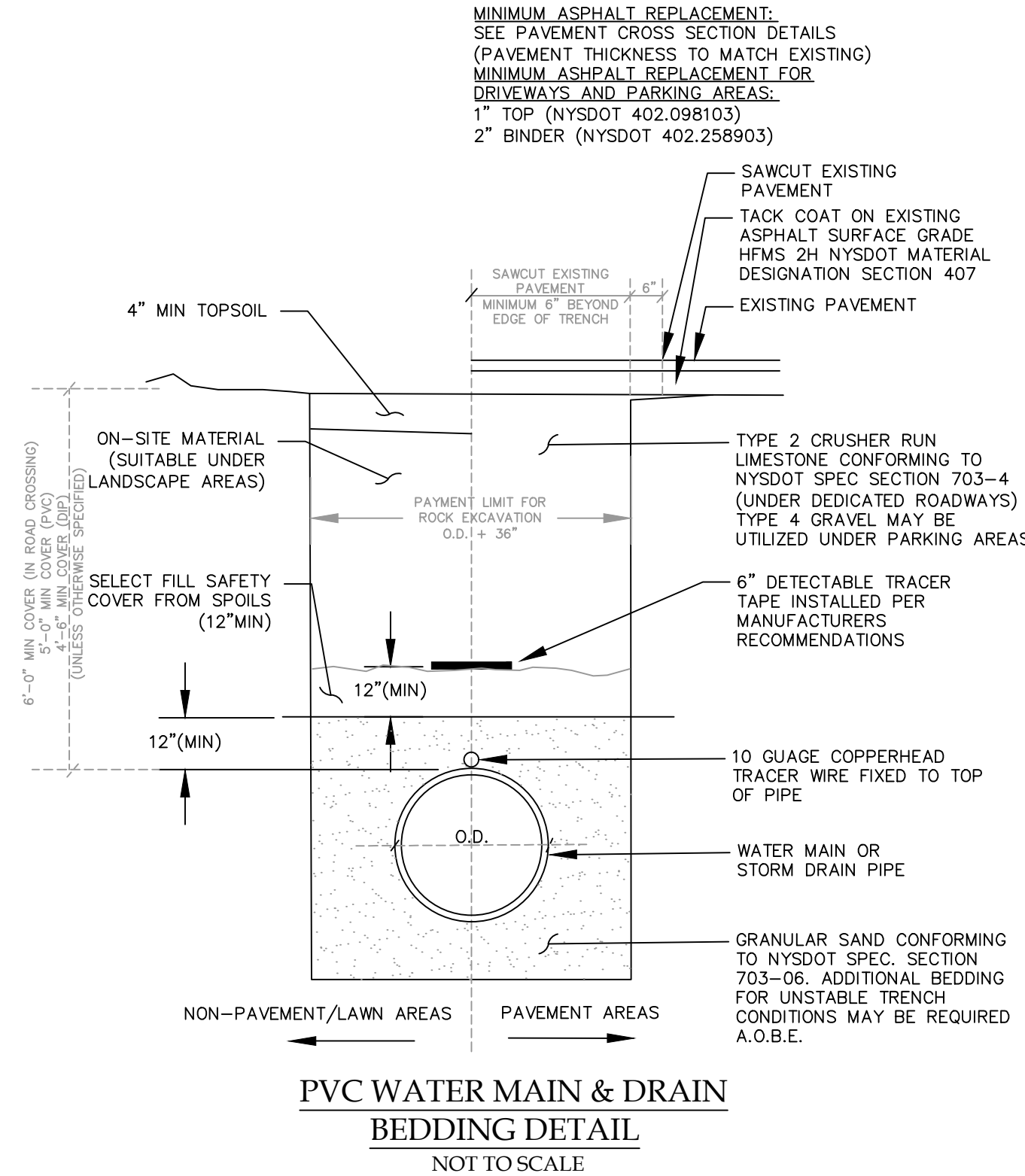
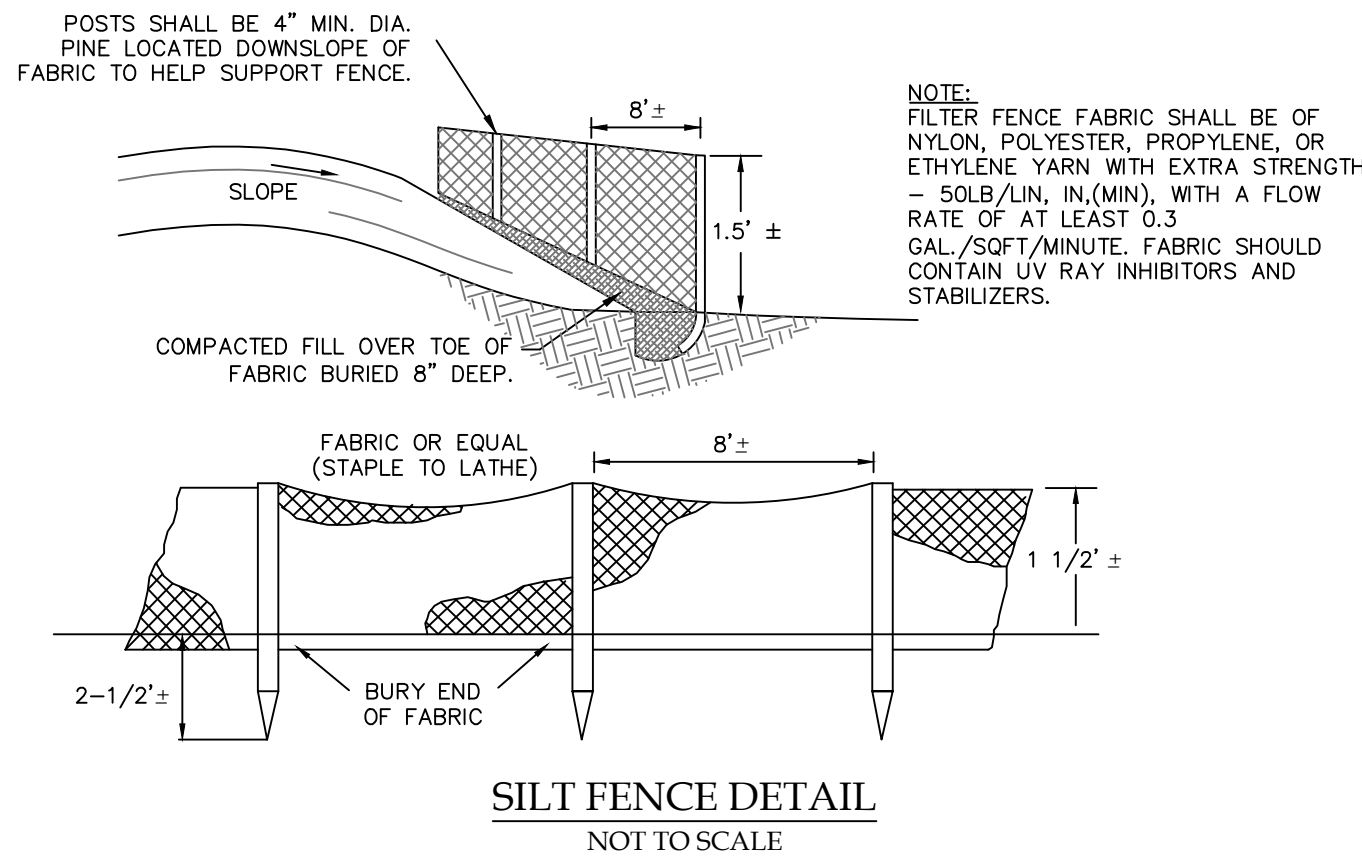
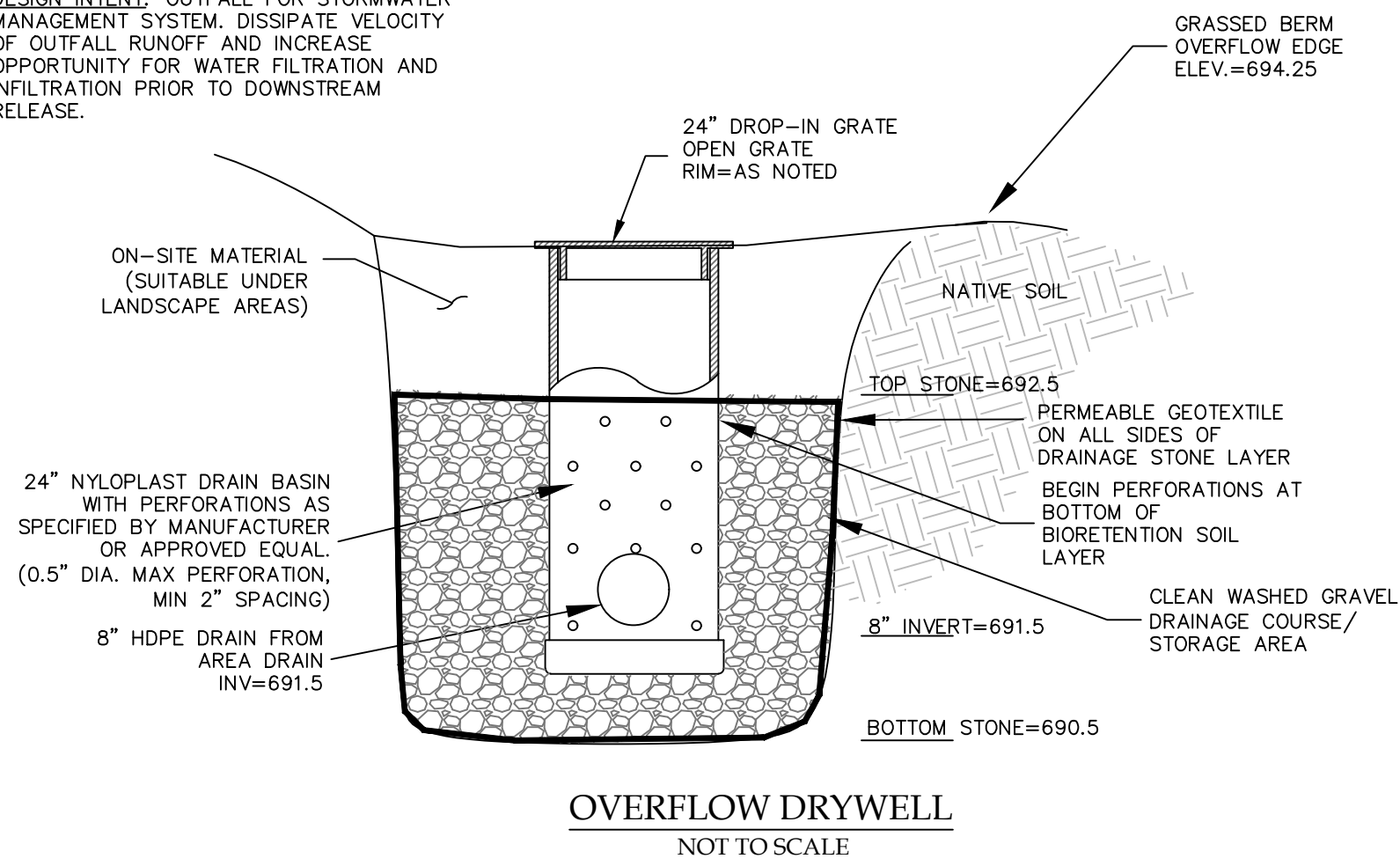
Sheet:

C-2

E-mail rocco@veneziasurvey.com



DESIGN INTENT: OUTFALL FOR STORMWATER MANAGEMENT SYSTEM. DISSIPATE VELOCITY OF OUTFALL RUNOFF AND INCREASE OPPORTUNITY FOR WATER FILTRATION AND INFILTRATION PRIOR TO DOWNSTREAM RELEASE.



ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

File# 19263
Scale: AS NOTED
T.m. # 98.13-1-18.110
Date: 01/09/2020
Sheet:

C-3

FOR PERMITTING ONLY

VENEZIA
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title:

Site Plan Prepared For:

SITE AND UTILITY DETAILS

Al Lupton II

3459 Lakeview Lane
Town of Canandaigua
County of Ontario State of New York

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Fax. No. (585) 396-0131

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	PROPERTY BOUNDARY
	PROPOSED FENCE
	TREE DRIP LINE
	Utility lines R.O.W. line
	Property lines
	Centerline
	Contour
	Iron pin or pipe found
	Iron pin set
	Drill hole
	Utility pole
	P.K. nail found
	P.K. nail set
	Concrete Monument
	Benchmark

DECIDUOUS TREES					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
AA Amelanchier x arborea 'Autumn Brilliance'	Autumn Brilliance Serviceberry	15-25'	15-25'	B&B, multistem	7 ft
CK Cornus kousa	Kousa Dogwood	15-30'	15-30'	B&B, multistem	7 ft
OR Quercus rubra	Red Oak	50-75'	50-75'	B&B	8 ft
LT Liriodendron tulipifera	Tulip Tree	60-90'	30-50'	B&B	8 ft
DECIDUOUS SHRUBS					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
AM Aronia melanocarpa 'Ground Hog'	Chokeberry	14"	2-3'	No 2 Cent.	
CA Ceanothus 'Amabilis'	Sweet perubush	3-4'	3-5'	No 3 Cent.	
CR Cornus racemosa 'Raton'	Ratons Greydogwood	4-5'	4-5'	No 3 Cent.	
CS Cornus sericea 'Bant'	Redtwig Dogwood	4-5'	4-5'	No 5 Cent.	
FO Fothergilla gardenia	Dwarf Fothergilla	2-3'	2-4'	No 3 Cent.	
HF Hydrangea paniculata 'Limelight'	Limelight Hydrangea	6-8'	6-8'	No 7 Cent / B&B	
HO Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	5-8'	5-8'	No 7 Cent / B&B	
RA Rhus aromatica 'Growth Love Sumac'	Growth Low Sumac	1-5-2'	4-5'	No 2 Cent.	
SP Sieria x Snow Pavement	Snow Pavement Rose	2-3'	2-3'	No 2 Cent.	
SJ Spiraea palustris 'Double Play Blue Kazeo'	Double Play Series Spiraea	2-3'	2-3'	No 2 Cent.	
SP Spiraea palustris 'Miss Kim'	Dwarf Lilac	3-5'	3-5'	No 3 Cent.	
VP Viburnum plic. var. tomen. 'Summer Snowflake'	Summer Snowflake Doublefile Viburnum	5-8'	8-10'	B&B	
PERENNIALS AND ORNAMENTAL GRASSES					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
NF Nepeta x baccata 'Walker's Low'	Walker's Low Catmint	2-3'	2-3'	No 2 Cent.	
GC Geranium x Rozanne	Rozanne Cranesbill	12-18"	12-24"	No 2 Cent.	
TC Tiarella cordifolia	Foamflower	8-12"	2-3'	No 2 Cent.	

PROPOSED/
HOUSE /
FFE=699.50
BFE=690.0
AVG FG=699.15

ALL DISTURBED
AREAS SHALL
RECEIVE 4" TOPSOIL
AND SEED SCHEDULE
(SEE NOTE 11), TYP.

10 5 0 10

SCALE 1" = 10'

1. EXISTING CONDITIONS INFORMATION IS TAKEN FROM THE PROPERTY SURVEY PREPARED BY VENEZIA & ASSOCIATES, EXISTING CONDITIONS PLAT PREPARED FOR THE AL LUPTON II AT 3459 LAKEVIEW LANE, TOWN OF CANANDAIGUA DATED NOVEMBER 19, 2019.
2. CONTOURS DERIVED FROM NAVD88 DATUM
3. SURVEY REFERENCE GPS

1. CONTRACTOR SHALL VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2. ALL PLANTING BEDS SHALL BE PREPARED TO A DEPTH OF 18" AS FOLLOWS:
 1. 12" DEPTH SHALL BE A PLANTING MEDIUM CONSISTING OF A MIX OF THREE PARTS FINEST TOPSOIL AND ONE PART APPROVED COMPOST. THE PLANTING SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
 2. THE SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 6" BENEATH PLANTING MEDIUM PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWN AREAS.
3. TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
4. PHOSPHOROUS SHALL NOT BE USED UNLESS SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL PREVENT PROPER PLANT AND LAWN ESTABLISHMENT; IF DEEMED NECESSARY, PHOSPHOROUS APPLICATION SHALL BE LIMITED TO THE MINIMUM RECOMMENDED RATES AND IN ACCORDANCE WITH ALL NYS DEC REGULATIONS
5. CONTRACTOR SHALL LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND PLANT LOCATIONS. MAPS SHALL BE MODIFIED BASED ON ACTUAL SITE CONDITIONS AT THE TIME OF CONSTRUCTION AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE EXCAVATING OR PLANTING. CONTRACTOR SHALL ADJUST THE PLANT LOCATIONS IF DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE.
6. ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
7. ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
8. PROTECT PLANTS FROM DAMAGE DUE TO TRANSPORTATION, LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
9. ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDER HARDWOOD BARK MULCH.
10. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
11. ALL EXISTING LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL, MINIMUM AND SHALL BE FINE GRADED AND SEEDED WITH PREFERRED SEEDS "TIO" SUPREME MIX" OR APPROVED EQUAL AT A MINIMUM RATE OF 5 LBS / 1000 SF.
12. SEEDING TO BE DONE AT COMPLETION OF SITE GRADING. SEEDING BEHIND MAINTAINING A MINIMUM OF 1" FULL ESTABLISHED OF HEALTHY GRASS THAT IS FREE OF WEEDS.

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WARNING
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR NOTATION TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION 'ALTERED BY' FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

3459 Lakeview Lane
Town of Canandaigua, New York

Issue Date

FEBRUARY 6, 2020

No.	Date	Revision
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Drawing Title

**MUNICIPAL
REVIEW PLANS
LANDSCAPE PLAN**

L-1

LANDSCAPE PLAN

Planning Board Chairperson

Date _____