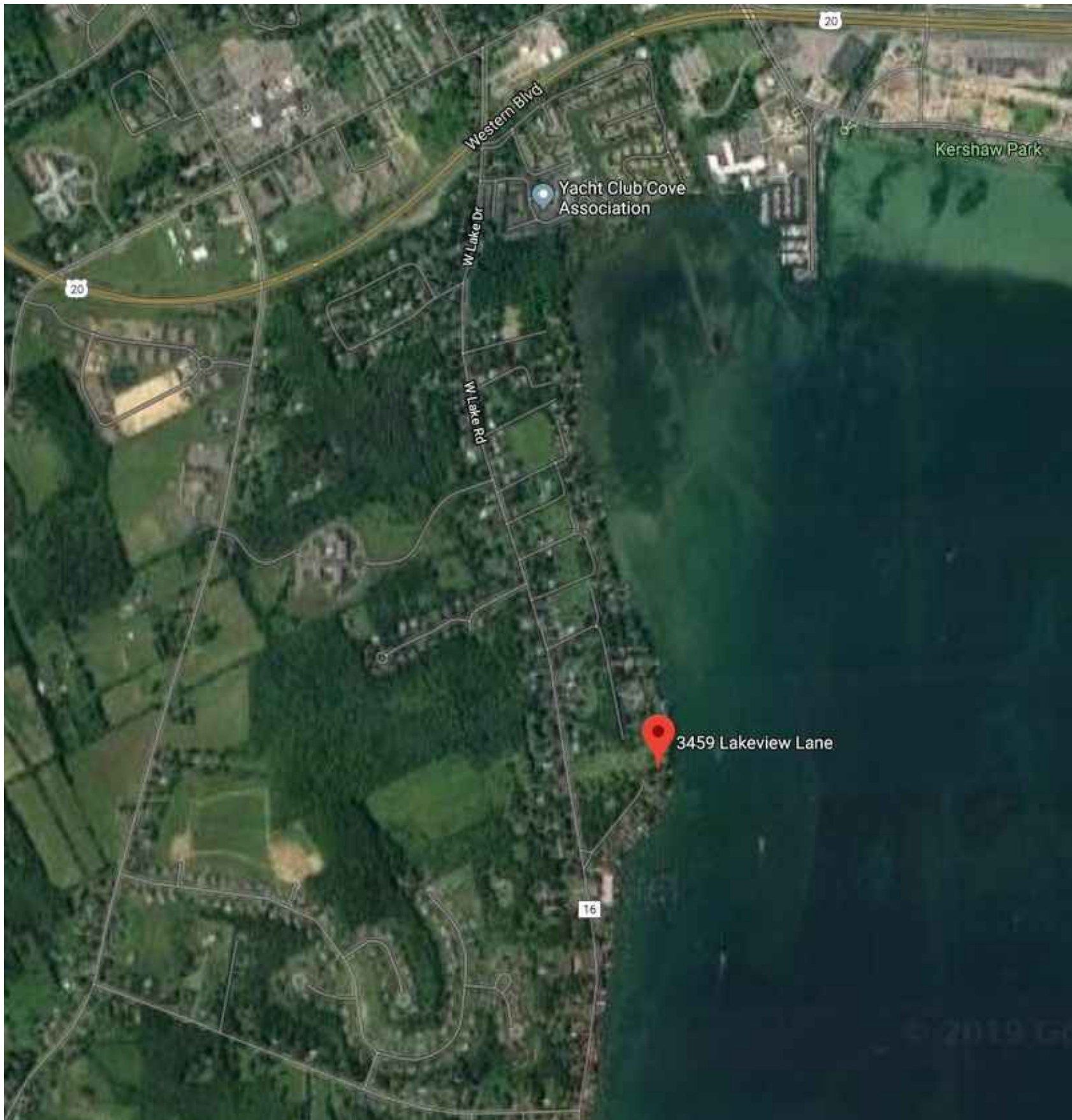
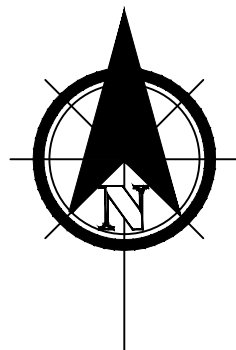


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET  
FOR  
THE LUPTON FAMILY  
3459 LAKEVIEW LANE  
TOWN OF CANANDAIGUA  
ONTARIO COUNTY -- STATE OF NEW YORK



AERIAL LOCUS  
NOT TO SCALE

SHEET INDEX:

- C-0 COVER SHEET  
EXISTING CONDITIONS PLAN  
C-1 SITE PREPARATION & EROSION CONTROL PLAN  
C-2 SITE LAYOUT AND UTILITY PLAN  
C-3 SITE AND UTILITY DETAILS  
LANDSCAPE PLAN

ZONING CHART

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROVIDED	
MIN LOT AREA (AREA TO ROW)	20,000 SF	20,647 SF	20,647 SF	
MIN LOT WIDTH	125'	112'*	112'*	
MIN FRONT YARD SETBACK	60'	74.35'	34.15'	VARIANCE REQUESTED GRANTED 2/18/2020
MIN SIDE YARD SETBACK	12'	19.2'	12.00'	
MIN REAR YARD SETBACK	60'	36.14'	40.41'	VARIANCE REQUESTED GRANTED 2/18/2020
MAX BUILDING HEIGHT	25 FT	<25 FT	24.85 FT	
MAX BUILDING COVERAGE	15%	9.1%	20.8%	VARIANCE REQUESTED GRANTED 2/18/2020
MAX LOT COVERAGE	25%	16.8%	29.9%	VARIANCE REQUESTED GRANTED 2/18/2020
SITE DISTURBANCE	19,250 SF			

\* PRE-EXISTING NON-CONFORMING

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES ON NOVEMBER 19, 2019.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980020C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
8. ELEVATIONS REFERENCE NAVD88 DATUM.

Existing Lot Coverage Calculations: Sq.Ft

House.....1,566  
Garage..... 304  
Asphalt Driveway..... 715  
Shed.....101  
Lake Walls..... 477  
Patio.....211  
Walkway..... 85

Building Coverage..... 1,870  
Total Coverage..... 3,459  
Total Site Area..... 20,647  
Building Coverage.....9.1%  
Total Lot Coverage.....16.8%

Proposed Lot Coverage Calculations: Sq.Ft

House..... 3,522  
Garage..... 780  
Asphalt Driveway..... 740  
Shed..... 0  
Lake Walls..... 305  
Site Walls/Steps..... 115  
Patio/Hot Tub/Wall..... 492  
Walkway ..... 228

Building Coverage..... 4,302  
Total Coverage..... 6,182  
Total Site Area..... 20,647  
Building Coverage.....20.8%  
Total Lot Coverage.....29.9%

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ
3	3/13/2020	TOWN COMMENTS	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.  
License # 049761

Site Plan Drawings Prepared For:

Al Lupton II  
3459 Lakeview Lane  
Town of Canandaigua  
County of Ontario State of New York

File# 19263

Scale: 1"=10'

T.m. # 98.13-1-18.110

Date: 01/09/2020

Sheet:

C-0

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

E-mail erin@veneziasurvey.com







TOWN OF CANANDAIGUA STANDARD NOTES

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
- ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN M54 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI), A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
- A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
- THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
- THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (M54).
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
- CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
- DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
- ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
- NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
- ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
- ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
  - ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
  - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
    - THE SURFACE 4 INCHES OF SOIL SHOULD BE LOOSENED BY DISKING RAKING OR BACK-BLADING WITH A BULLDOZER
    - FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
    - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
    - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
    - THE FOLLOWING SEED MIX SHALL BE USED:

SEEDING RATE	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER CEREAL RYE	100	2.5

- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.

- DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

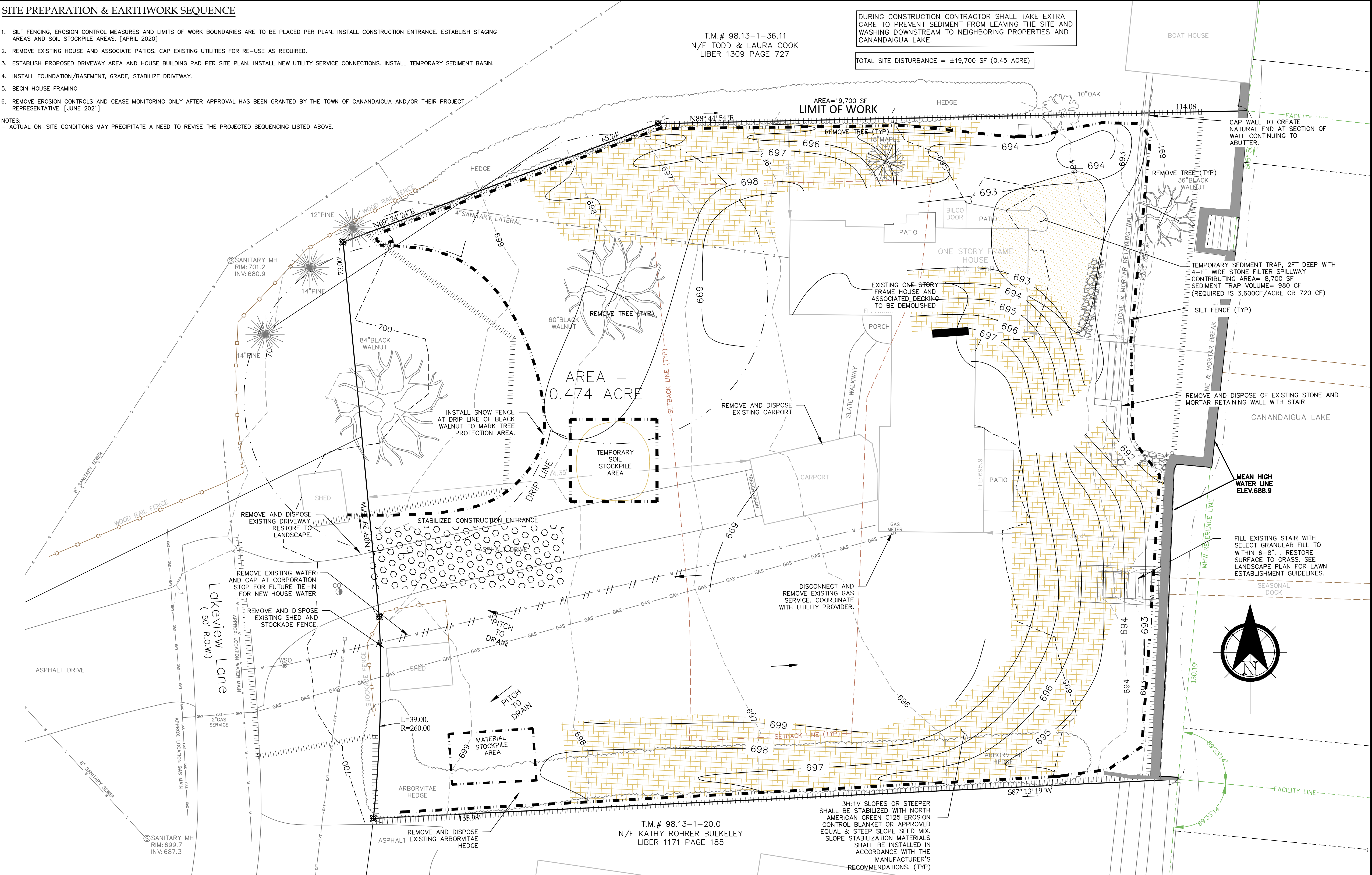
- SEEDING RATE 6 LBS PER 1000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "ARROSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.
- NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK UPFO HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
- THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION AND SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
- ANY ADDITIONAL OR EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
- SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING, AND SUBSEQUENTLY REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS, AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
- ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

SITE PREPARATION & EARTHWORK SEQUENCE

- SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN. INSTALL CONSTRUCTION ENTRANCE. ESTABLISH STAGING AREAS AND SOIL STOCKPILE AREAS. [APRIL 2020]
- REMOVE EXISTING HOUSE AND ASSOCIATE PATIOS. CAP EXISTING UTILITIES FOR RE-USE AS REQUIRED.
- ESTABLISH PROPOSED DRIVEWAY AREA AND HOUSE BUILDING PAD PER SITE PLAN. INSTALL NEW UTILITY SERVICE CONNECTIONS. INSTALL TEMPORARY SEDIMENT BASIN.
- INSTALL FOUNDATION/BASEMENT, GRADE, STABILIZE DRIVEWAY.
- BEGIN HOUSE FRAMING.
- REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE. [JUNE 2021]

NOTES:  
- ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.



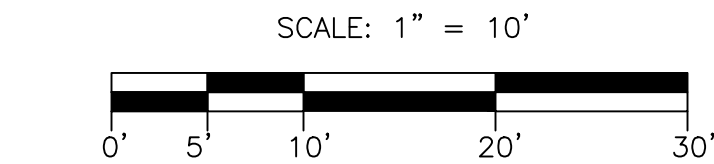
LEGEND

- W PROP WATER
- S PROP SEWER
- D PROP DRAIN
- E PROP ELEC
- T PROP TEL
- GAS PROP GAS
- 900.3 X SPOT GRADE
- PROPOSED EROSION MAT
- CHECK DAM
- SILT FENCE
- 900 EXIST. CONTOUR
- 900 PROP. CONTOUR
- PROPERTY LINE
- CENTERLINE
- LP LIGHT POLE
- STAR DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- WATER VALVE
- HYDRANT

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE



5120 Laura Lane

Canandaigua New York, 14424

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions

NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ
3	3/13/2020	TOWN COMMENTS	EVJ

NYS Land Surveyor

Drawing Title:

SITE DEMOLITION AND EROSION CONTROL

Site Plan Prepared For:

Al Lupton II

3459 Lakeview Lane

Town of Canandaigua

County of Ontario

State of New York

(585)396-3267

Fax. No. (585) 396-0131

File# 19263

Scale: 1" = 10'

T.m. # 98.13-1-18.110

Date: 01/09/2020

Sheet:

C-1

E-mail rocco@veneziasurvey.com



SANITARY LATERAL NOTES:

- ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES JURISDICTION.
- NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FROM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
- DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
- THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
- SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
- FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS. INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE GRADE.
- LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
- ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

RENOVATION PROJECTS ONLY

- EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
- PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEDIS.
- IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEDIS IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
- IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
- IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
- IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

NOTE:

IF CURRENT SANITARY SEWER LATERAL IS 4" SDR 35 PVC AND THE LATERAL IS FOUND TO BE IN A CONDITION ACCEPTABLE FOR RE-USE, THE SAME MATERIAL MAY BE USED FOR THE NEW SECTION OF SANITARY LATERAL TO THE HOUSE. IF A COMPLETELY NEW LATERAL IS REQUIRED, THE NEW LATERAL SHALL BE 4" SDR 21 PVC IN ITS ENTIRETY.

WATER SYSTEM NOTES

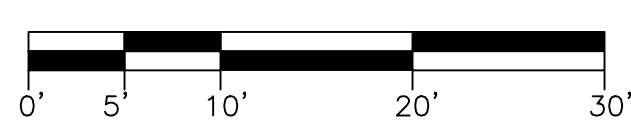
- WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
- PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL WHERE A WATERMAIN CROSSES UNDER A SEWER. ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
- WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5-FEET OF COVER FROM FINISHED GRADE.
- THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
- THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
- DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.

W	PROP WATER	---	SILT FENCE
S	PROP SEWER	---	EXIST. CONTOUR
D	PROP DRAIN	---	PROP CONTOUR
E	PROP ELEC	---	PROPERTY LINE
T	PROP TEL	---	CENTERLINE
-GAS	PROP GAS	---	LP
900.3 x	PROP GAS	---	LIGHT POLE
---	PROPOSED EROSION MAT	---	DRAIN MANHOLE
---	CHECK DAM	---	CATCH BASIN
---		---	SEWER MANHOLE
---		---	WATER VALVE
---		---	HYDRANT

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

SCALE: 1" = 10'



5120 Laura Lane

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NOTE:

NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ
3	2/14/2020	PLANNING DEPT REVISION	EVJ
4	3/13/2020	TOWN COMMENTS	EVJ

NYS Land Surveyor

Drawing Title:

Site Plan Prepared For:

SITE GRADING AND UTILITY PLAN

Al Lupton II

3459 Lakeview Lane  
Town of Canandaigua  
County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

File# 19263

Scale: 1" = 10'

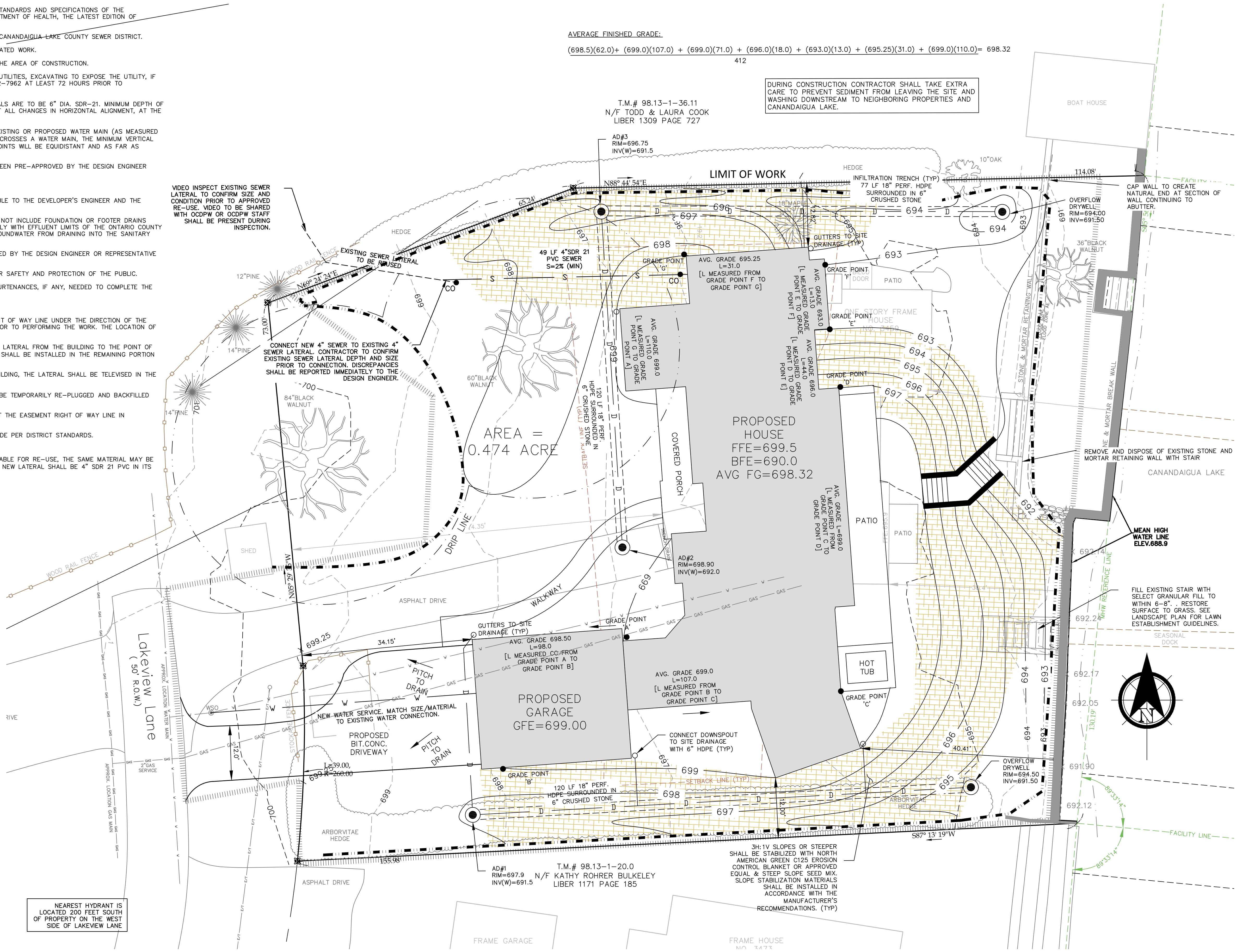
T.m. # 98.13-1-18.110

Date: 01/09/2020

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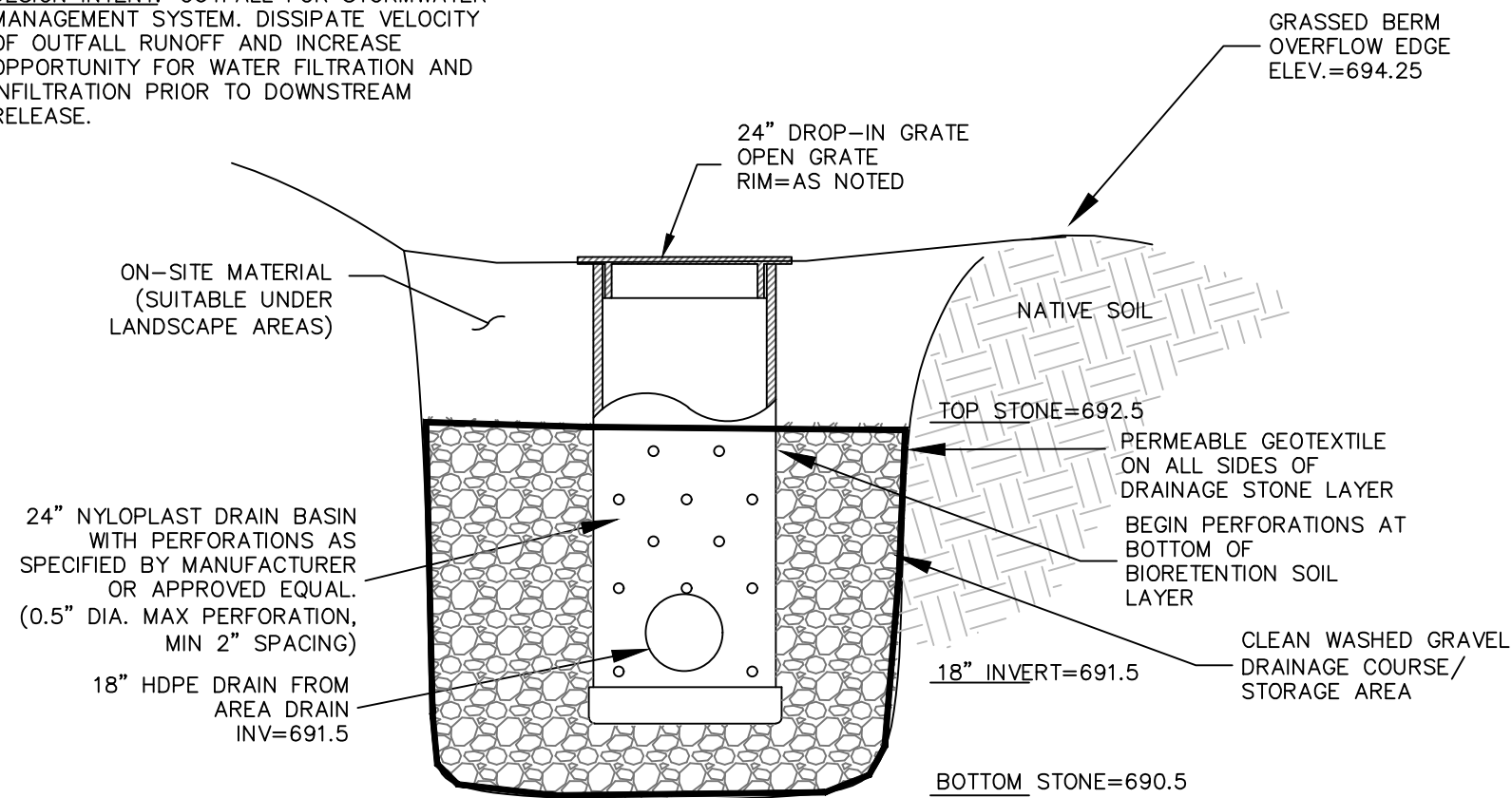
C-2

E-mail rocco@veneziasurvey.com





DESIGN INTENT: OUTFALL FOR STORMWATER MANAGEMENT SYSTEM. DISSIPATE VELOCITY OF OUTFALL RUNOFF AND INCREASE OPPORTUNITY FOR WATER FILTRATION AND INFILTRATION PRIOR TO DOWNSTREAM RELEASE.



OVERFLOW DRYWELL  
NOT TO SCALE

### STORMWATER SYSTEM SIZING

#### REQUIRED VOLUME FOR AREA REDUCTION:

THE STORMWATER INFILTRATION SYSTEM HAS BEEN SIZED TO CONTAIN A 2" RAIN EVENT BEFORE OVERFLOW. DUE TO THE FACT THAT THE PROJECT IS A SINGLE-FAMILY HOME AND THE PROJECT IS NOT SIGNIFICANTLY INCREASING IMPERVIOUS COVER (42,723 SF) A FULL STORMWATER QUANTITY ANALYSIS HAS NOT BEEN PERFORMED, BUT CONTAINMENT OF THE 2" STORM WILL HAVE REDUCTION OF RUNOFF AMOUNTS ACROSS ALL STORMS. ADDITIONALLY THE 2-INCH RUNOFF CONTAINMENT BEFORE OVERFLOW PROVIDES STORMWATER QUALITY CONTROL FOR ENHANCED PHOSPHOROUS REMOVAL DUE TO THE PROJECT BEING LOCATED IN THE CANANDAIGUA LAKE WATERSHED.

THE PROPOSED VOLUME OF RUNOFF, ASSUMING 100% RUNOFF FROM 2" OF RAIN, OVER THE IMPERVIOUS COVER DRAINAGE AREA (PROPOSED ROOF, PAVEMENT, DECK, ETC) IS:

IMPERVIOUS AREA X 2" = 6,182 SF X 0.16 FT = 989 CF

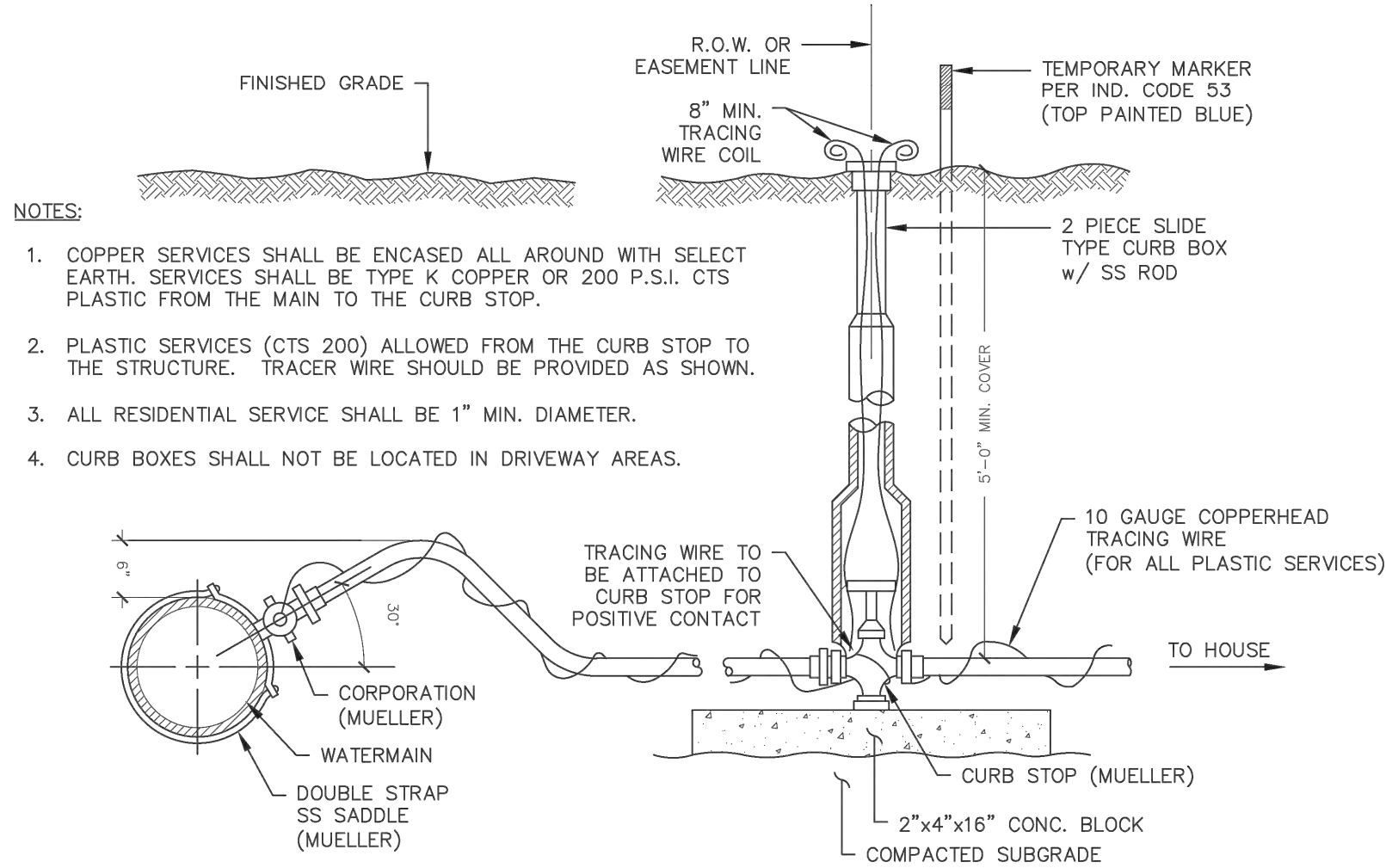
IN ORDER TO PROVIDE DETENTION FOR THIS VOLUME, INFILTRATION TRENCHES ARE PROPOSED AROUND THE HOUSE THAT STORE A COMBINED VOLUME OF 1,128 OF BEFORE OVERFLOW.

#### VOLUME PROVIDED IN INFILTRATION SYSTEM:

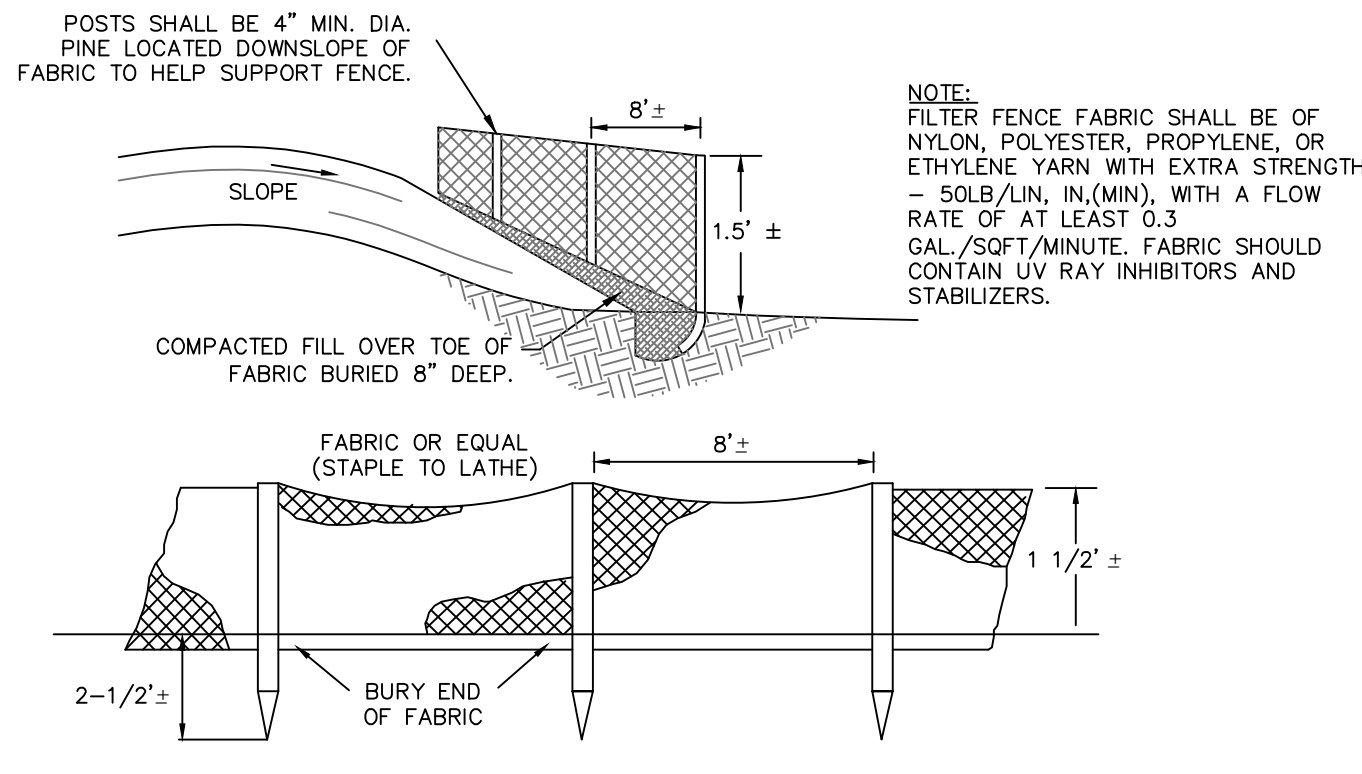
STONE TRENCH:  
317" BASE LENGTH STONE  
2" BASE WIDTH STONE  
VOLUME OF STONE = 317' X 2.5' X 2.5' = 1,981 CF - PIPE VOLUME = 1,420 CF X 40% VOID = 568 CF

PIPE VOLUME (EMBEDDED IN STONE):  
317' LF 18" PIPE  
VOLUME OF 18" PIPE = 3.14 X (9"/12)<sup>2</sup> X 317' = 560 CF

TOTAL VOLUME OF SYSTEM:  
VOLUME OF STONE + VOLUME OF PIPE = 568 CF + 560 CF = 1,128 CF



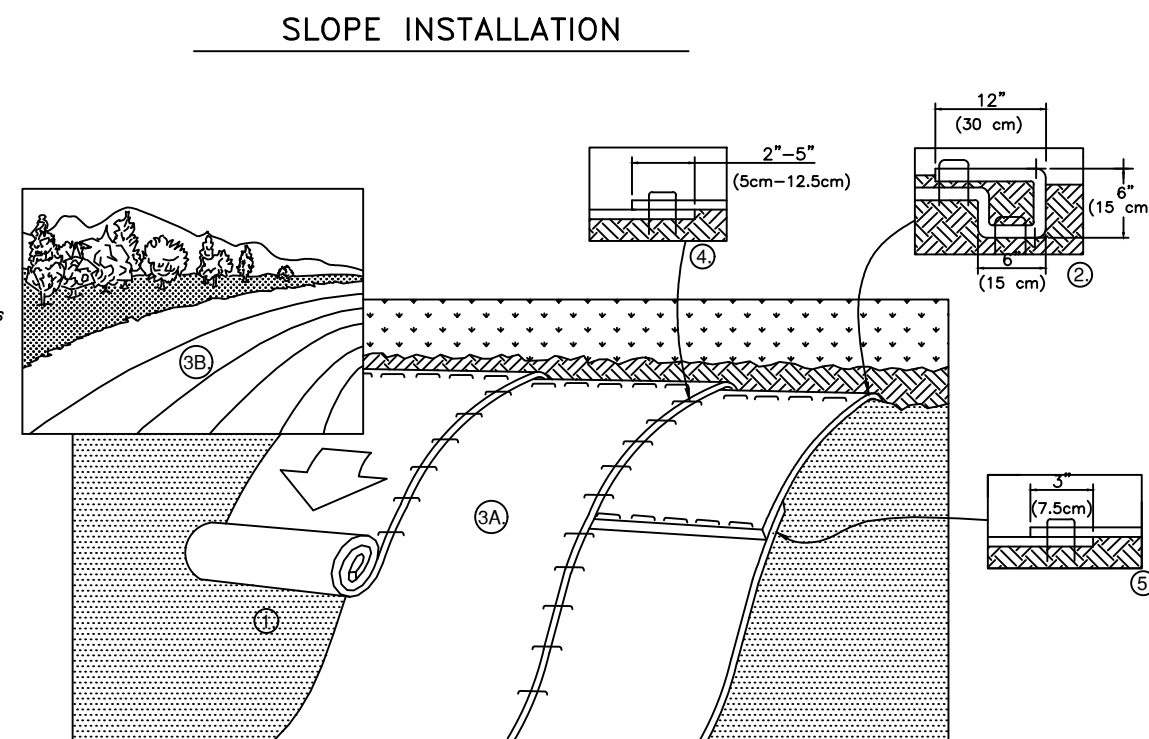
WATER SERVICE CONNECTION DETAIL  
NOT TO SCALE



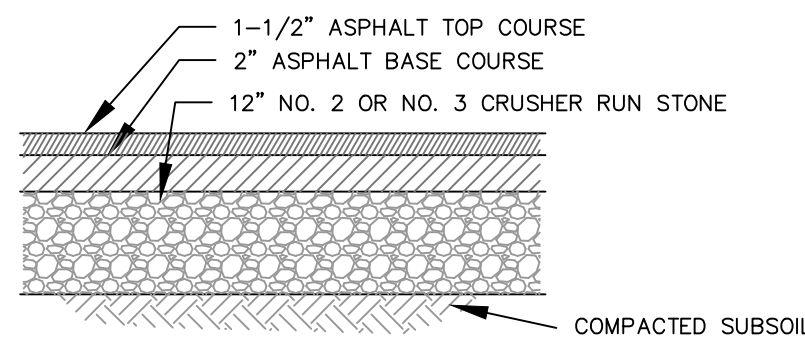
SILT FENCE DETAIL  
NOT TO SCALE



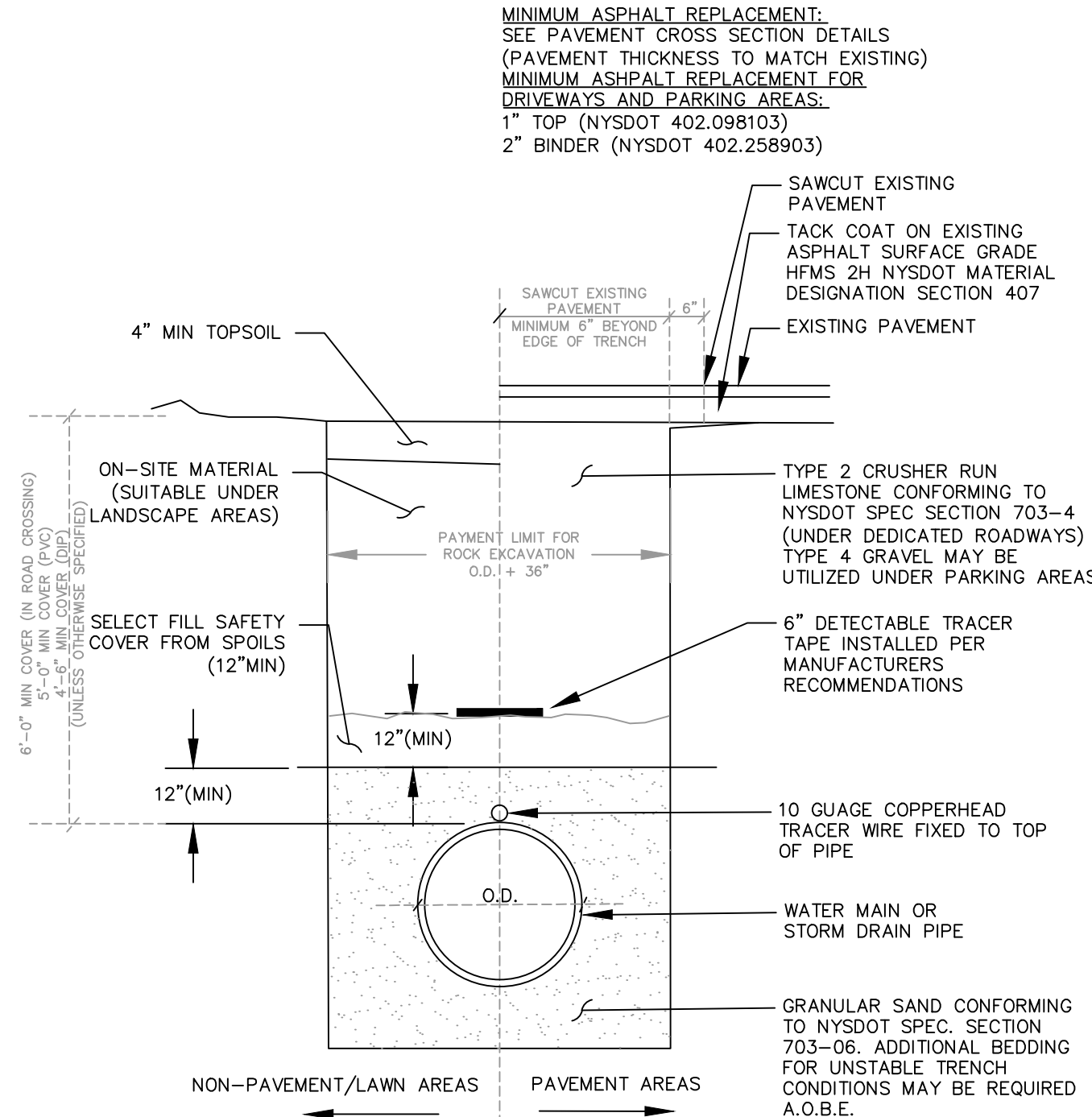
EROSION CONTROL Products  
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EVANSVILLE, IN 47725  
800-772-2040  
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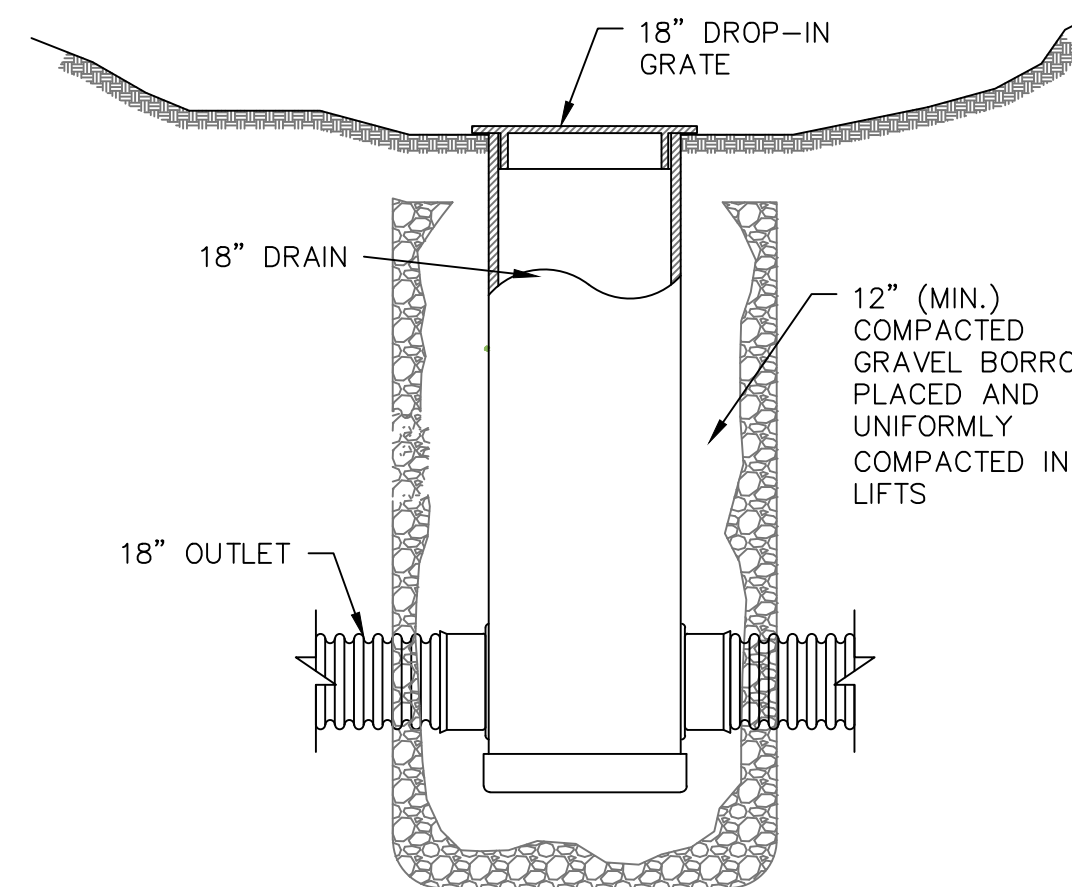
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (REC-P's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE REC-P's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF REC-P's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE REC-P's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF REC-P'S BACK OVER SEED AND COMPACTED SOIL. SECURE REC-P'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE REC-P's.
- ROLL THE REC-P's (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. REC-P's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL REC-P's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. THE EDGES OF PARALLEL REC-P's MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON REC-P's TYPE.
- CONSECUTIVE REC-P's SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE REC-P's WIDTH.  
NOTE:  
MIN. LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE REC-P's.



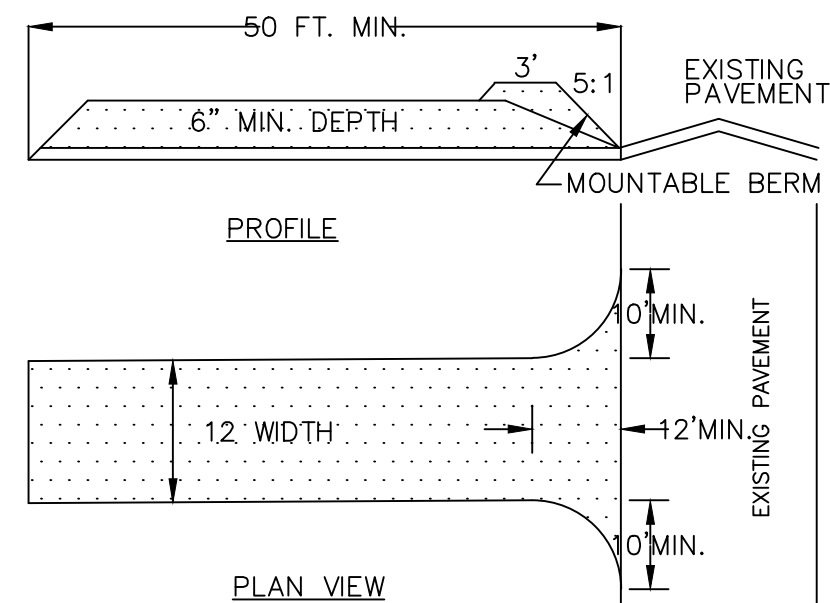
BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE



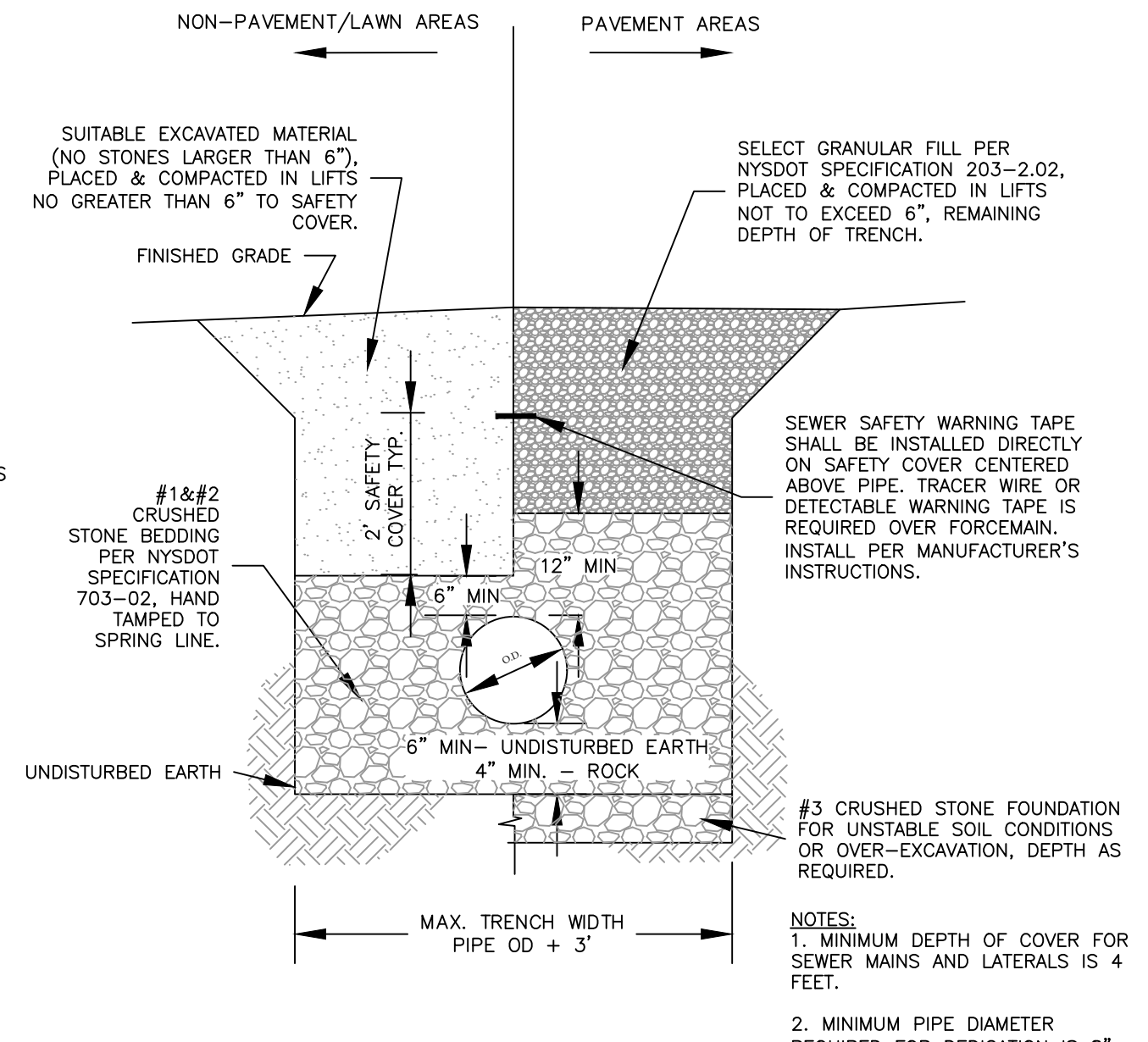
WATER MAIN & DRAIN  
BEDDING DETAIL  
NOT TO SCALE



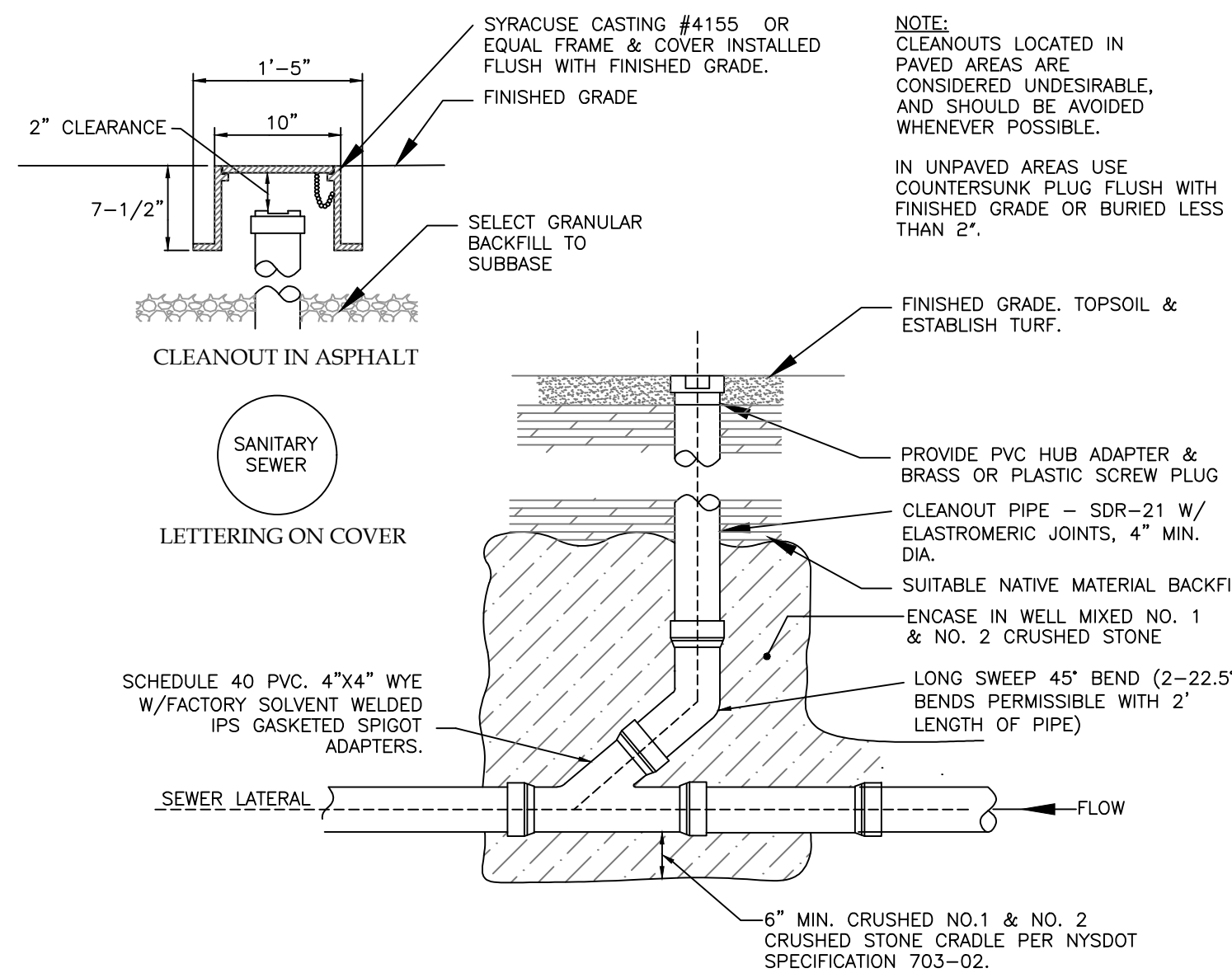
AREA DRAIN DETAIL (18" DRAIN BASIN)  
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAILS  
NOT TO SCALE



SANITARY SEWER MAIN  
& LATERAL TRENCH BEDDING  
DETAIL  
NOT TO SCALE



SANITARY CLEANOUT DETAIL  
NOT TO SCALE

### ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

File# 19263

Scale: AS NOTED

T.m. # 98.13-1-18.110

Date: 01/09/2020

Sheet:

C-3

**VENEZIA**  
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane

Canandaigua New York, 14424



Revisions			
NO.	Date	Description	By
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ
3	3/13/2020	TOWN COMMENTS	EVJ

NYS Land Surveyor

Rocco A. Venezia, P.L.S.  
License # 049761

Drawing Title:

Site Plan Prepared For:

**SITE AND UTILITY DETAILS**

**Al Lupton II**

3459 Lakeview Lane  
Town of Canandaigua  
County of Ontario State of New York

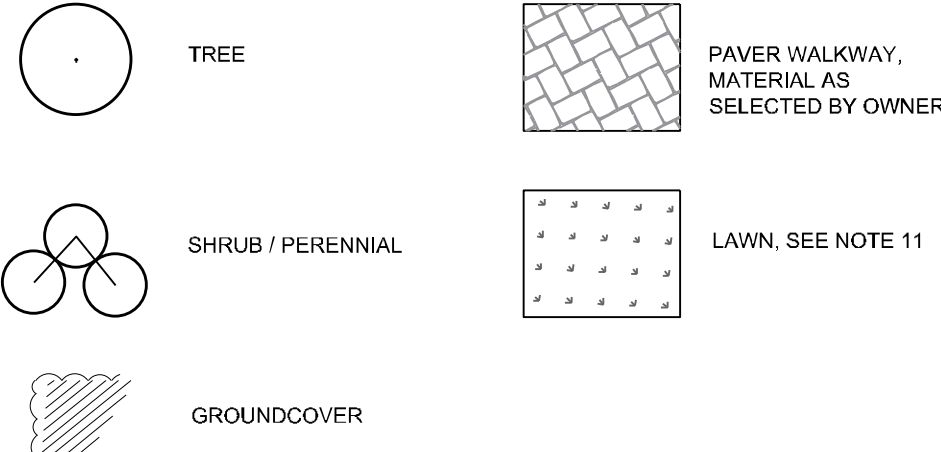
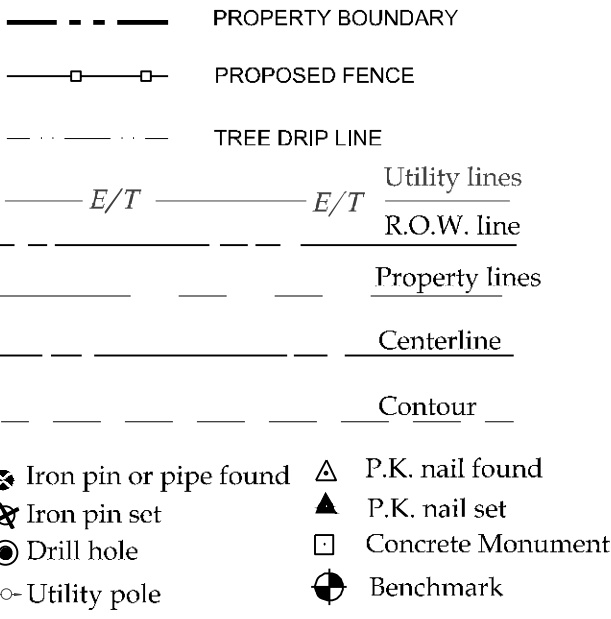
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E-mail rocco@veneziasurvey.com



LEGEND



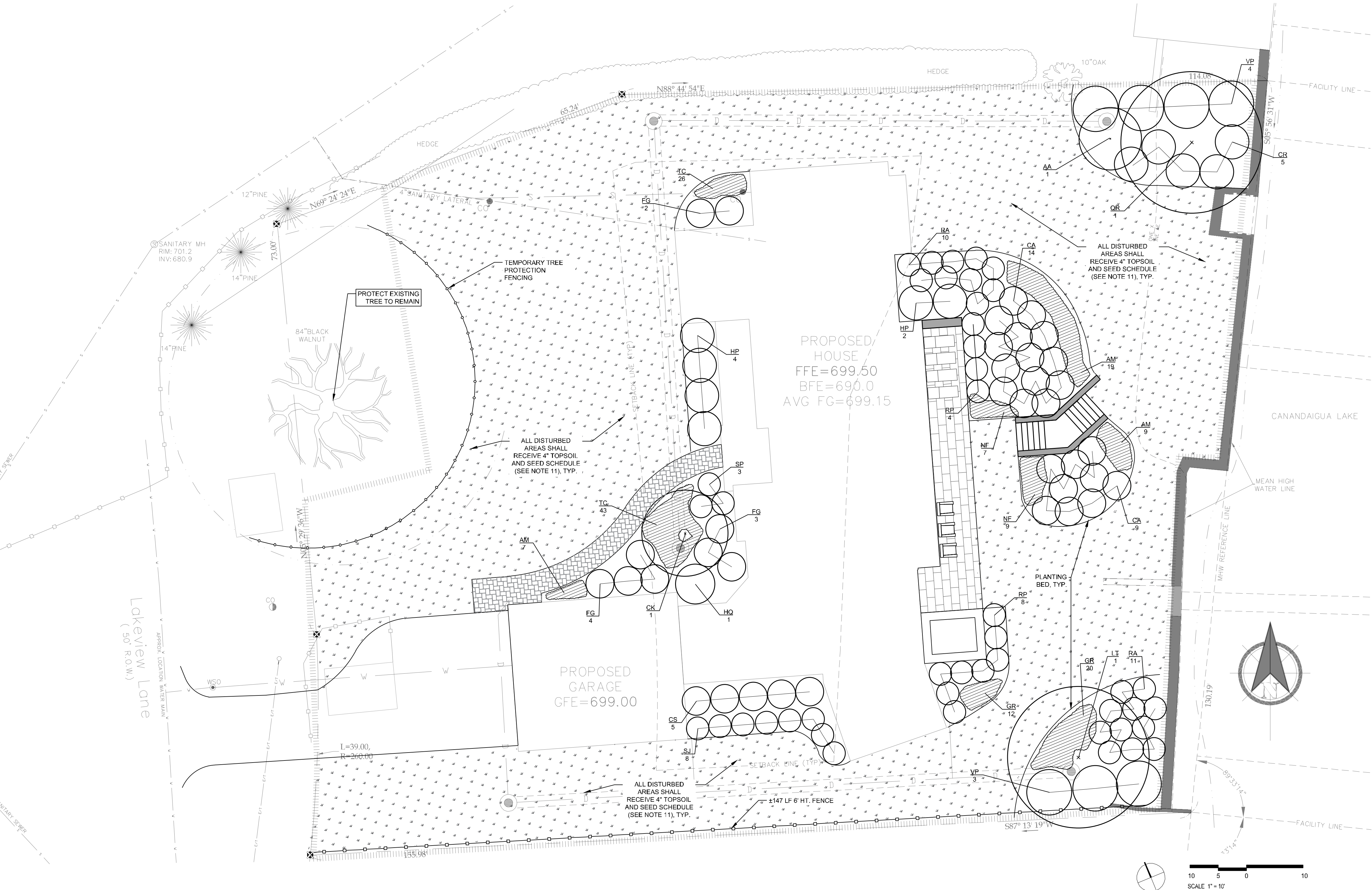
PLANT SCHEDULE

DECIDUOUS TREES					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
AA Amelanchier x arborea 'Autumn Brilliance'	Autumn Brilliance Serviceberry	15-25'	15-25'	B&B, multistem	7' H
CK Cornus kousa	Kousa Dogwood	15-30'	15-30'	B&B, multistem	7' H
QR Quercus rubra	Red Oak	50-75'	50-75'	B&B	8' H
LT Liriodendron tulipifera	Tulip Tree	60-90'	30-50'	B&B	8' H

DECIDUOUS SHRUBS					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
AM Aronia melanocarpa 'Ground Hog'	Chokeberry	14'	3-3'	No 2 Cont.	
CA Clethra alnifolia 'Hummingbird'	Sweet pepperbush	2-4'	3-5'	No 3 Cont.	
CR Cornus racemosa 'Huron'	Huron Grey dogwood	4-5'	4-5'	No 5 Cont.	
CS Cornus sericea 'Ivan's'	Redtwig Dogwood	4-5'	4-5'	No 5 Cont.	
FG Fothergilla gardenii	Dwarf Fothergilla	2-3'	2-4'	No 3 Cont.	
HP Hydrangea paniculata 'limelight'	Limelight Hydrangea	6-8'	6-8'	No 7 Cont / B&B	
HQ Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	5-8'	5-8'	No 7 Cont / B&B	
RA Rhus aromatica 'grove low'	Grove Low Sumac	1.5-2'	4-5'	No 2 Cont.	
RP Rosa x Snow Pavement	Snow Pavement Rose	2-3'	3-5'	No 2 Cont.	
SJ Spiraea japonica 'Double Play Blue Kazoo'	Double Play Series Spiraea	2-3'	2-3'	No 2 Cont.	
SP Syringa patula 'Miss Kim'	Dwarf Lilac	3-5'	3-5'	No 3 Cont.	
VP Viburnum plic. var. tomentosum 'Summer Snowflake'	Summer Snowflake Doublefile Viburnum	5-6'	8-10'	B&B	

PERENNIALS AND ORNAMENTAL GRASSES					
KEY BOTANICAL NAME	COMMON NAME	MATURE HT.	MATURE SPRD.	COND.	NOTES
NF Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	2-3'	2-3'	No 2 Cont.	
GR Geranium x 'Rozanne'	Rozanne Crane'sbill	12-18"	12-24"	No 2 Cont.	
TC Tiarella cordifolia	Foamflower	8-12"	12-18"	No 2 Cont.	

NOTE: PLANTING PLAN SHALL BE REVIEWED PRIOR TO CONSTRUCTION TO CONFIRM PLANT AVAILABILITY AT TIME OF CONSTRUCTION.



GENERAL NOTES

- EXISTING CONDITIONS INFORMATION IS TAKEN FROM THE PROPERTY SURVEY PREPARED BY VENEZIA & ASSOCIATES, EXISTING CONDITIONS PLAT PREPARED FOR THE AL LUPTON II AT 3459 LAKEVIEW LANE, TOWN OF CANANDAIGUA DATED NOVEMBER 19, 2019.
- CONTOURS DERIVED FROM NAVD88 DATUM
- SURVEY REFERENCE GPS

PLANTING NOTES

- CONTRACTOR SHALL VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- ALL PLANTING BEDS SHALL BE PREPARED TO A DEPTH OF 18" AS FOLLOWS:
  - 12" DEPTH SHALL BE A PLANTING MEDIUM CONSISTING OF A MIX OF THREE PARTS EXISTING TOPSOIL AND ONE PART APPROVED ORGANIC COMPOST. THE PLANTING SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
  - THE SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 6" BENEATH PLANTING MEDIUM PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWN AREAS.
- TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- NO PHOSPHORUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.
- CONTRACTOR SHALL LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND PLANTING AREAS. PLANT LOCATIONS MAY BE MODIFIED BASED ON ACTUAL SITE CONDITIONS AT THE TIME OF CONSTRUCTION AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE EXCAVATING OR PLANTING. CONTRACTOR SHALL ADJUST THE PLANT LOCATIONS IF DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE.
- ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- PROTECT PLANTS FROM DAMAGE DUE TO TRANSPORTATION, LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADERS. MAINTAIN PROTECTION DURING INSTALLATION PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- ALL EXISTING LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDDED WITH PREFERRED SEEDS 'TRIO SUPREME MIX' OR APPROVED EQUAL AT A MINIMUM RATE OF 5 LBS / 1000 SF.
- SEEDING TO BE DONE AT COMPLETION OF SITE GRADING. SEEDING AREAS TO BE MAINTAINED THROUGH FULL ESTABLISHMENT OF HEALTHY GRASS THAT IS FREE OF WEEDS.

Sue Steele Landscape Architecture PLLC

9 Summit Street, Fairport, New York 14450  
(585) 747-9996  
steelle.la

**WARNING**  
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address  
**Lupton Residence**  
3459 Lakeview Lane  
Town of Canandaigua, New York

Issue Date		
FEBRUARY 6, 2020		
No.	Date	Revision
1	3/17/20	ENG. COMMENTS

Drawing Title  
**MUNICIPAL REVIEW PLANS LANDSCAPE PLAN**

L-1