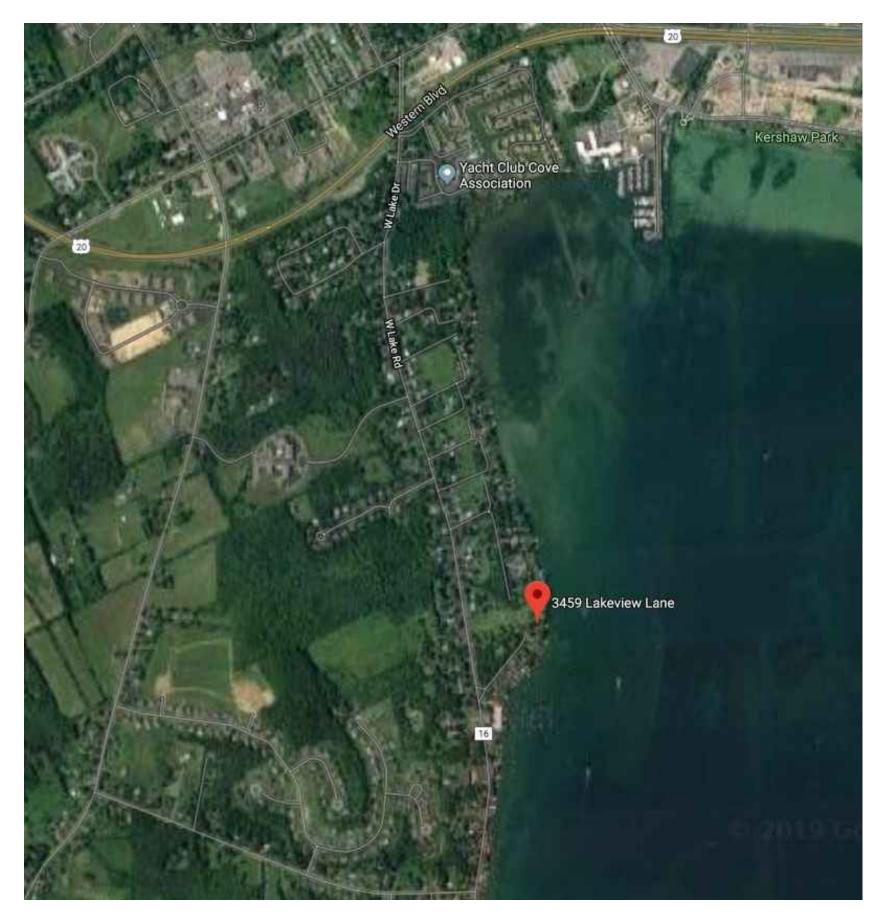
# ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET FOR THE LUPTON FAMILY 3459 LAKEVIEW LANE

## TOWN OF CANANDAIGUA ONTARIO COUNTY -- STATE OF NEW YORK





AERIAL LOCUS NOT TO SCALE

## GENERAL NOTES

8. ELEVATIONS REFERENCE NAVD88 DATUM.

. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD

HILLIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS

3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980020C MAP REVISED MARCH

4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN 5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND

SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES,

6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. 7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).

## SHEET INDEX:

**COVER SHEET** 

EXISTING CONDITIONS PLAN

SITE PREPARATION & EROSION CONTROL PLAN

SITE LAYOUT AND UTILITY PLAN

SITE AND UTILITY DETAILS LANDSCAPE PLAN

### **ZONING CHART**

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	·			_
	REQUIRED	EXISTING	PROVIDED	
MIN LOT AREA (AREA TO ROW)	20,000 SF	20,647 SF	20,647 SF	
MIN LOT WIDTH	125'	112'*	112'*	
MIN FRONT YARD SETBACK	60'	74.35'	34.15'	VARIANCE REQUESTED GRANTED 2/18/2020
MIN SIDE YARD SETBACK	12'	19.2'	12.82'	
MIN REAR YARD SETBACK	60'	36.14	42.96'	VARIANCE REQUESTED GRANTED 2/18/2020 [FOR 40.14']
AX BUILDING HEIGHT	25 FT	<25 FT	24.85 FT	[101( 10.11]
MAX BUILDING COVERAGE	15%	9.1%	20.1% -	VARIANCE REQUESTED GRANTED 2/18/2020 [FOR 20.8%]
MAX LOT COVERAGE	25%	16.8%	29.9%	VARIANCE REQUESTED GRANTED 2/18/2020
SITE DISTURBANCE		19,250 SF		
DDE EVICTINO NON	CONFORMINIO			-

\* PRE-EXISTING NON-CONFORMING

Proposed Lot Coverage Calculations: Sq.F Asphalt Driveway. Asphalt Driveway... Lake Walls. Lake Walls... Site Walls/Steps.... Walkway.. Patio/Hot Tub/Wall...... 622 Building Coverage...... 1,870 Total Coverage... Building Coverage...... 4,148 Total Site Area..... 20,647 Total Coverage...... Building Coverage...... Total Site Area..... Total Lot Coverage...... ....16.8% Building Coverage......20.1%

## ONE STAGE SITE PLAN APPROVAL

Total Lot Coverage.....29.9%

PLANNING BOARD CHAIRPERSON DATE

TOWN HIGHWAY & WATER SUPERINTENDENT

TOWN ENGINEER

NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

File# 19263

FOR PERMITTING ONLY



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NO.	Date	Description	Ву
1	1/17/2020	PRC REVIEW	EVJ
2	2/06/2020	LANDSCAPE COORDINATION	EVJ
3	3/13/2020	TOWN COMMENTS	EVJ
4	5/7/2020	OWNER REVISION	EVJ

Revisions

Site Plan Drawings Prepared For:

## Al Lupton II

3459 Lakeview Lane Town of Canandaigua State of New York County of Ontario

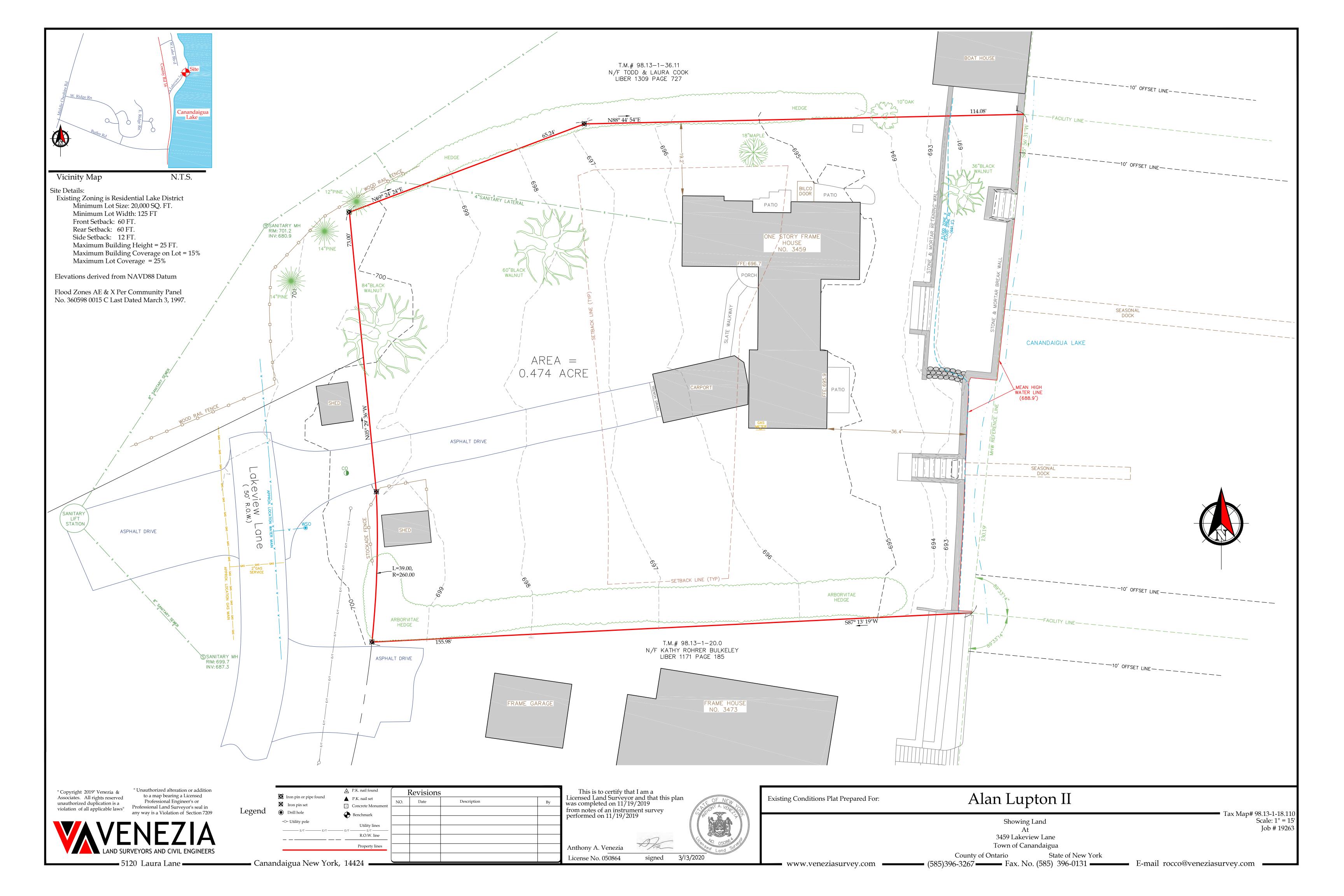
Scale: 1"=10' T.m. # 98.13-1-18.110 Date: 01/09/2020 Sheet:

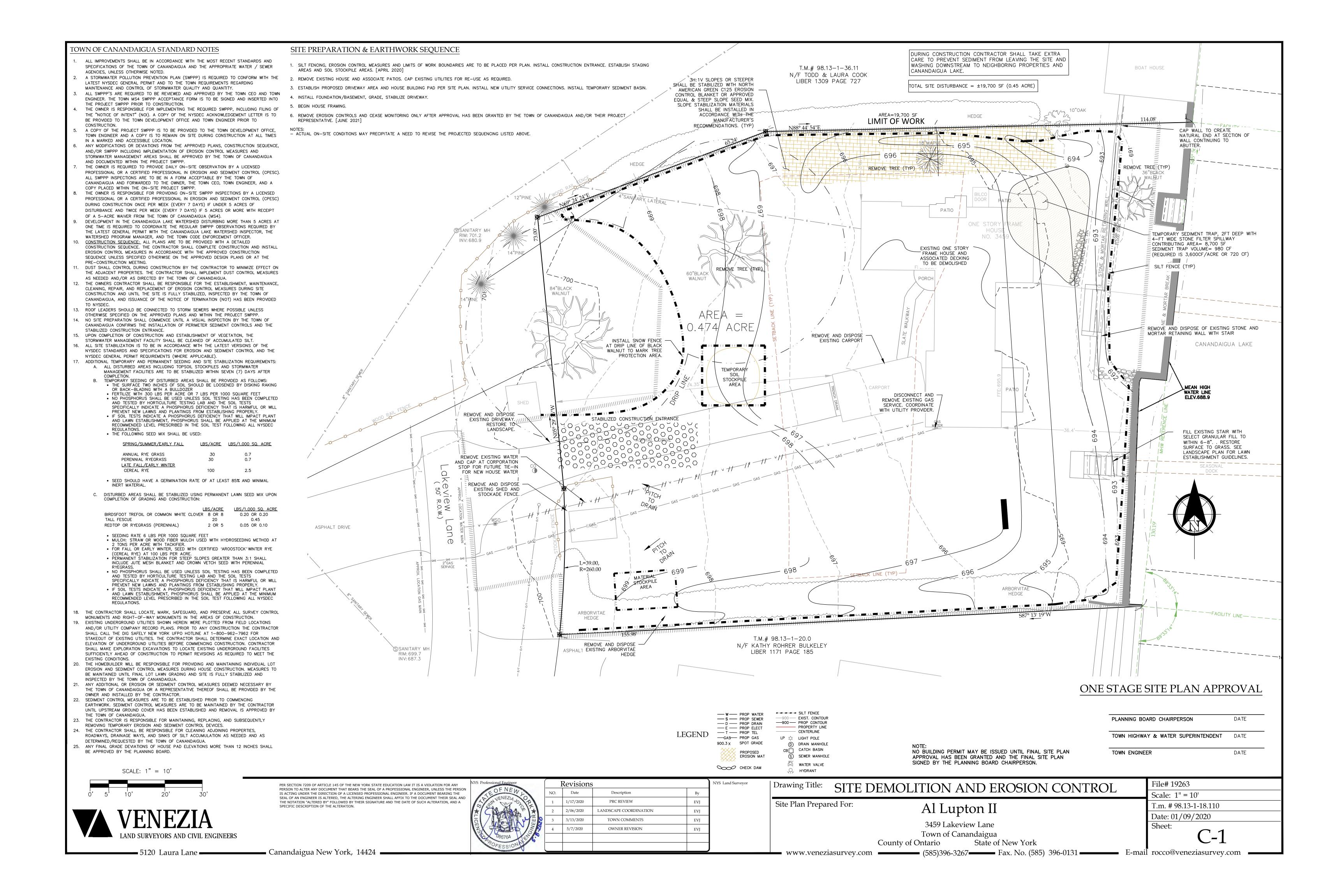
DATE

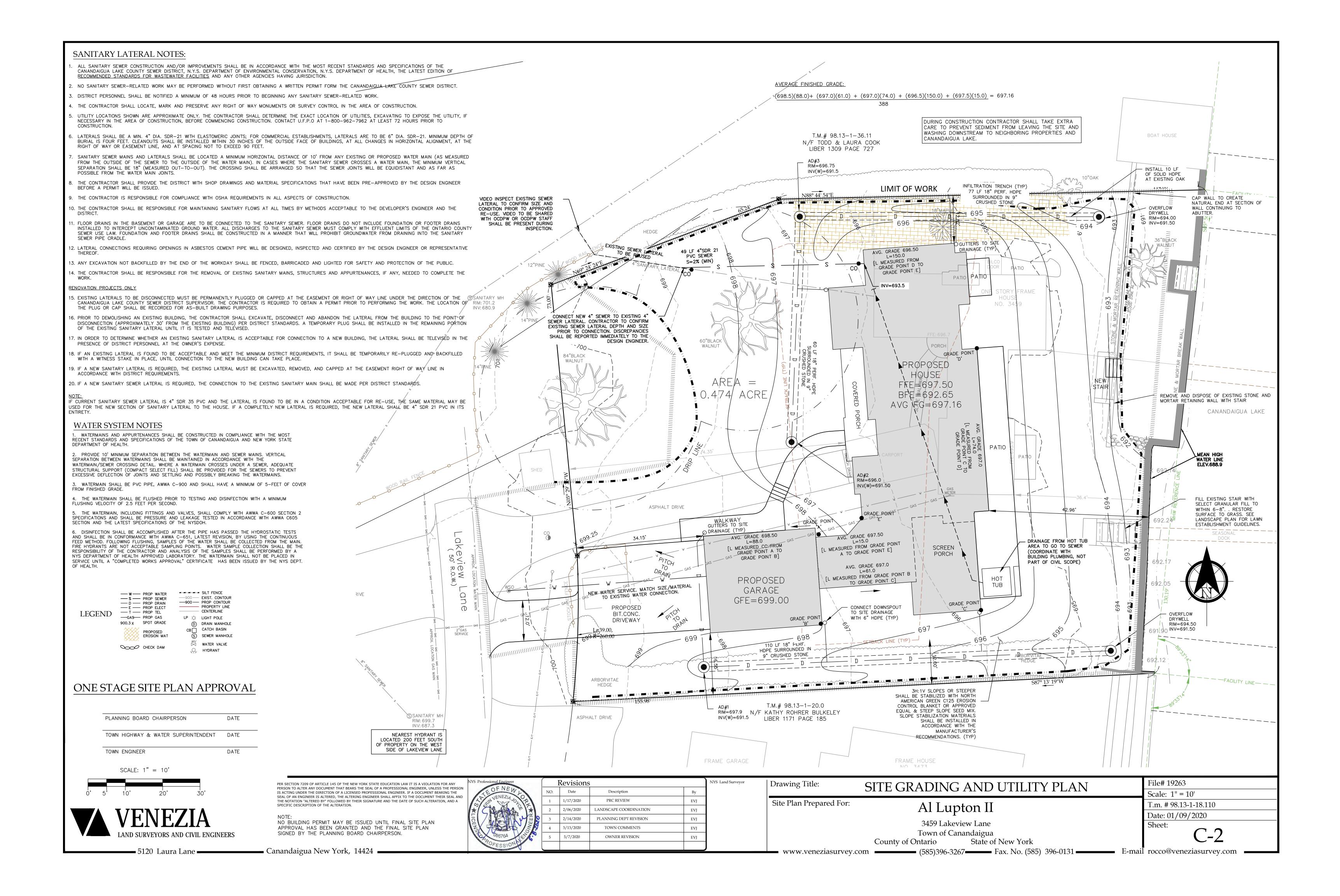
— Canandaigua New York, 14424 **–** 5120 Laura Lane **–** 

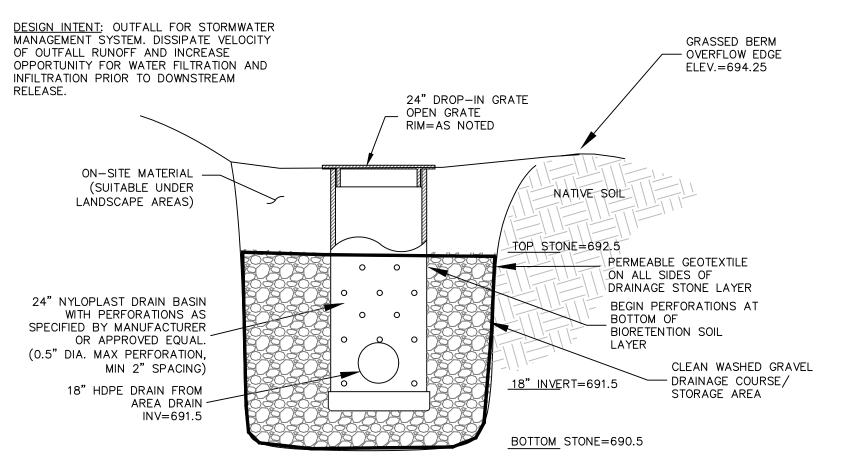
Rocco A. Venezia, P.L.S. License # 049761

**—** www.veneziasurvey.com ————— (585)396-3267——— Fax. No. (585) 396-0131 ———— E-mail erin@veneziasurvey.com









OVERFLOW DRYWELL

NOT TO SCALE

#### STORMWATER SYSTEM SIZING

REQUIRED VOLUME FOR AREA REDUCTION:

THE STORMWATER INFILTRATION SYSTEM HAS BEEN SIZED TO CONTAIN A 2" RAIN EVENT BEFORE OVERFLOW. DUE TO THE FACT THAT THE PROJECT IS A SINGLE-FAMILY HOME AND THE PROJECT IS NOT SIGNIFICANTLY INCREASING IMPERVIOUS COVER (+2,723 SF) A FULL STORMWATER QUANTITY ANALYSIS HAS NOT BEEN PERFORMED, BUT CONTAINMENT OF THE 2" STORM WILL HAVE REDUCTION OF RUNOFF AMOUNTS ACROSS ALL STORMS. ADDITIONALLY THE 2-INCH RUNOFF CONTAINMENT BEFORE OVERFLOW PROVIDES STORMWATER QUALITY CONTROL FOR ENHANCED PHOSPHOROUS REMOVAL DUE TO THE PROJECT BEING LOCATED IN THE CANANDAIGUA LAKE WATERSHED.

THE PROPOSED VOLUME OF RUNOFF, ASSUMING 100% RUNOFF FROM 2" OF RAIN, OVER THE IMPERVIOUS COVER DRAINAGE AREA (PROPOSED ROOF, PAVEMENT, DECK, ETC) IS:

IMPERVIOUS AREA X 2" = 6,182 SF X 0.16 FT = 989 CF

IN ORDER TO PROVIDE DETENTION FOR THIS VOLUME, INFILTRATION TRENCHES ARE PROPOSED AROUND THE HOUSE THAT STORE A COMBINED VOLUME OF 1,150 CF BEFORE OVERFLOW.

VOLUME PROVIDED IN INFILTRATION SYSTEM:

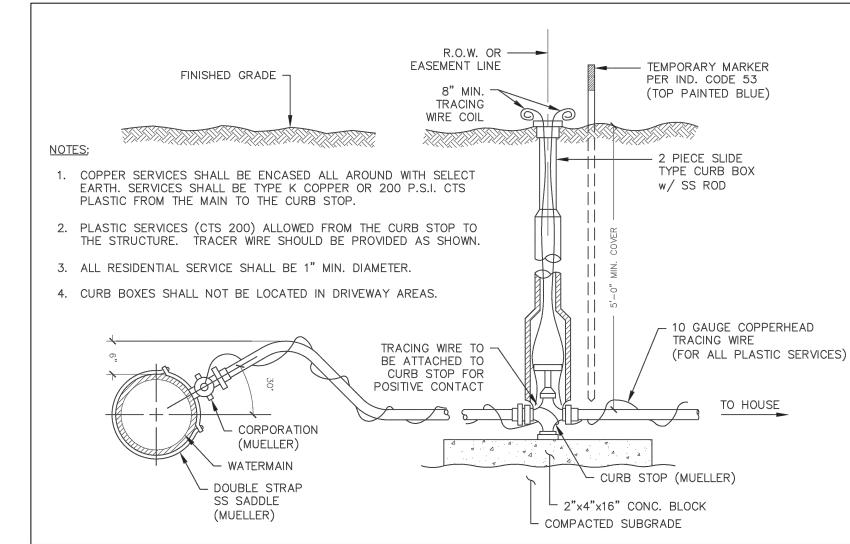
STONE TRENCH: 247' BASE LENGTH STONE

3.0' BASE WIDTH STONE VOLUME OF STONE = 247' X 3.0' X 3.0' = 2,223 CF - PIPE VOLUME = 1,787 CF X 40% VOID = 715 CF

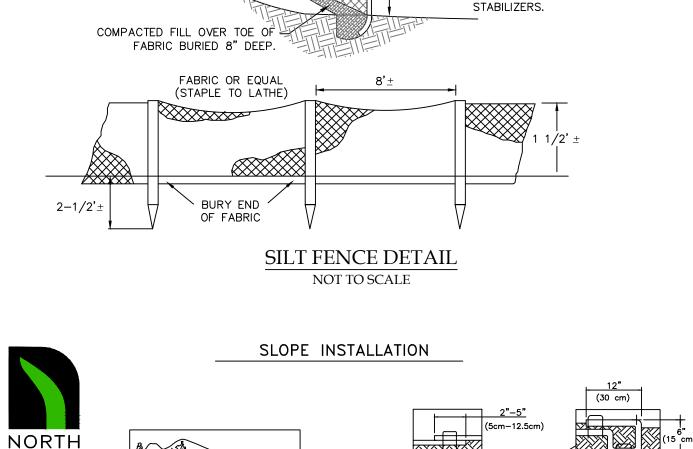
PIPE VOLUME (EMBEDDED IN STONE):

247' LF 18" PIPE VOLUME OF 18" PIPE =  $3.14 \times (9''/12)^2 \times 247' = 436 \text{ CF}$ 

TOTAL VOLUME OF SYSTEM: VOLUME OF STONE + VOLUME OF PIPE = 715 CF + 436 CF = 1,150 CF



WATER SERVICE CONNECTION DETAIL NOT TO SCALE



POSTS SHALL BE 4" MIN. DIA. PINE LOCATED DOWNSLOPE OF

SLOPE

FABRIC TO HELP SUPPORT FENCE.

AMERICAN

GREEN

EROSION CONTROL Products

Guaranteed SOLUTIONS

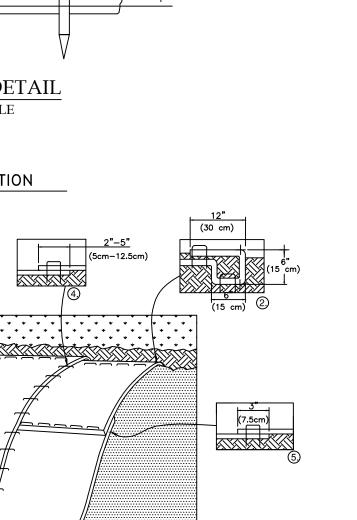
14649 HIGHWAY 41 NORTH

EVANSVILLE, IN 47725 800-772-2040

www.nagreen.com

- I. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION
- NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE
- AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE

\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.



FILTER FENCE FABRIC SHALL BE OF

NYLON, POLYESTER, PROPYLENE, OR ETHYLENE YARN WITH EXTRA STRENGTH

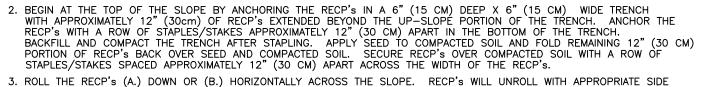
GAL./SQFT/MINUTE. FABRIC SHOULD

CONTAIN UV RAY INHIBITORS AND

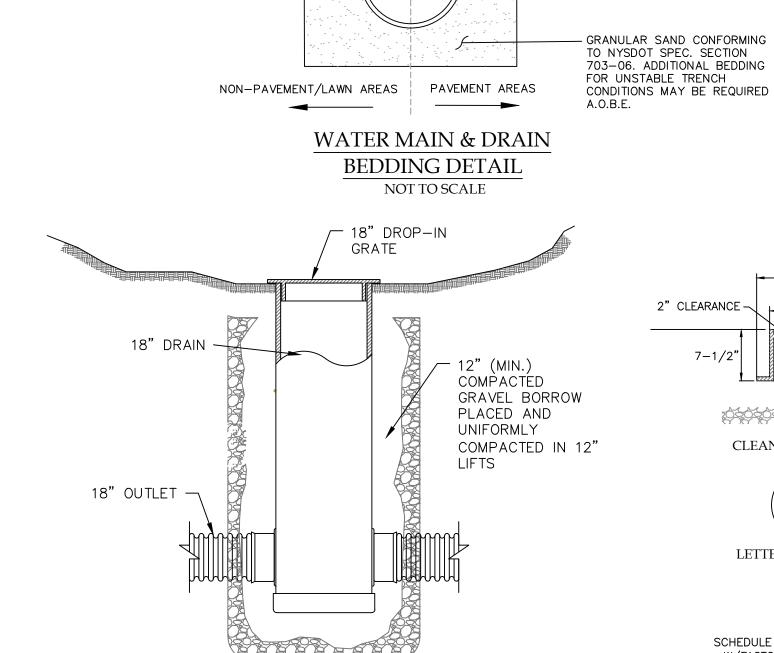
RATE OF AT LEAST 0.3

- 50LB/LIN, IN,(MIN), WITH A FLOW





. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP's TYPE.



4" MIN TOPSOIL -

ON-SITE MATERIAL

LANDSCAPE AREAS)

SELECT FILL SAFETY

12"(MIN)

(12"MIN)

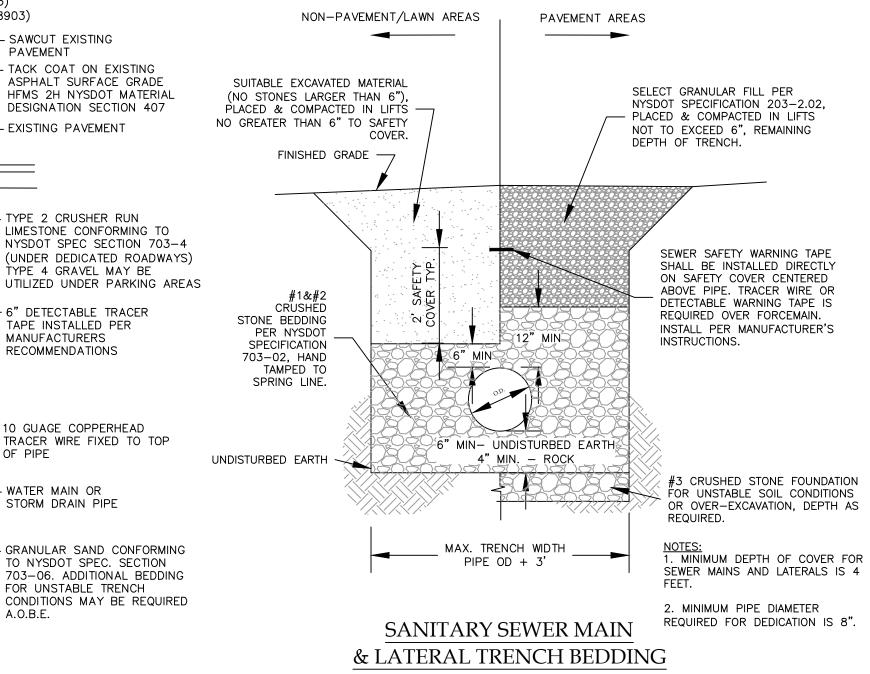
量ECOVER FROM SPOILS

(SUITABLE UNDER

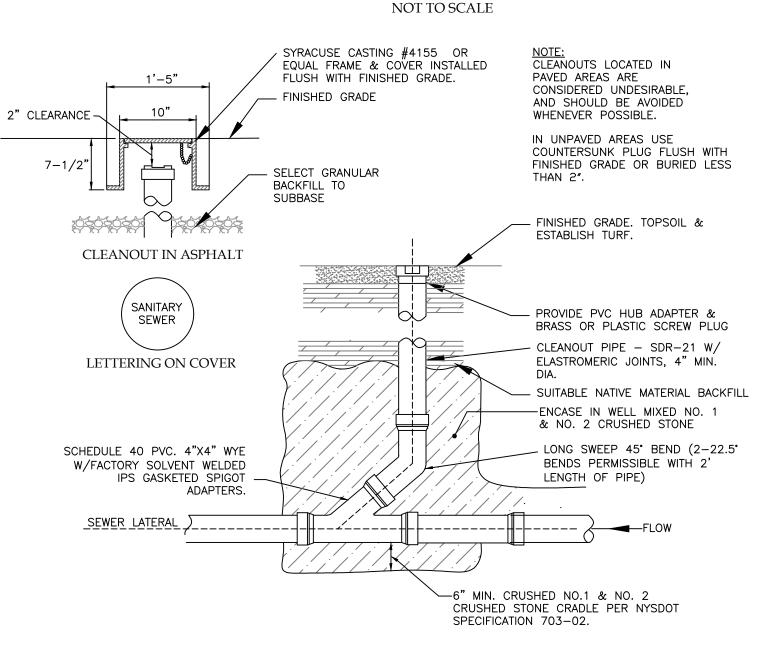
AREA DRAIN DETAIL (18" DRAIN BASIN) NOT TO SCALE

EXISTING PAVEMENT

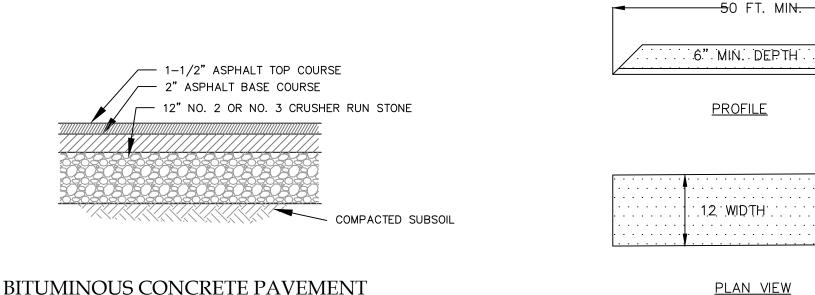
∠MOUNTABLE BERM



DETAIL



SANITARY CLEANOUT DETAIL NOT TO SCALE



1. STONE SIZE - USE #2 STONE

2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.

3. WIDTH - FULL ENTRANCE WIDTH

SEE PAVEMENT CROSS SECTION DETAILS (PAVEMENT THICKNESS TO MATCH EXISTING) MINIMUM ASHPALT REPLACEMENT FOR DRIVEWAYS AND PARKING AREAS: 1" TOP (NYSDOT 402.098103) 2" BINDER (NYSDOT 402.258903)

PAVEMENT 6 MINIMUM 6" BEYOND 1 EDGE OF TRENCH

PAYMENT LIMIT FOR

O.D. + 36"

— ROCK EKCAVATION —

12"(MIN)

- TACK COAT ON EXISTING ASPHALT SURFACE GRADE

HFMS 2H NYSDOT MATERIAL

DESIGNATION SECTION 407

— EXISTING PAVEMENT

TYPE 2 CRUSHER RUN

LIMESTONE CONFORMING TO

TYPE 4 GRAVEL MAY BE

6" DETECTABLE TRACER

TAPE INSTALLED PER

- 10 GUAGE COPPERHEAD

- WATER MAIN OR

STORM DRAIN PIPE

OF PIPE

TRACER WIRE FIXED TO TOP

MANUFACTURERS

RECOMMENDATIONS

4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY. 5. MAINTENANCE — THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.

WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNE THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.

PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

## ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE TOWN HIGHWAY & WATER SUPERINTENDENT DATE TOWN ENGINEER DATE

NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

## FOR PERMITTING ONLY



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NOT TO SCALE

rofessional Engineer		Revisions	3	
TEOFNEW	NO.	Date	Description	Ву
AN VENEZIA VOL P	1	1/17/2020	PRC REVIEW	EV
C MARINE TO THE	2	2/06/2020	LANDSCAPE COORDINATION	EV
A STATE OF	3	3/13/2020	TOWN COMMENTS	EV
	4	5/7/2020	OWNER REVISION	EV
08676A				
POFESSION				

	NYS Land Surveyor	Drawing [
		Site Plan
ı		1

Rocco A. Venezia, P.L.S.

Drawing Title:	SITE AND UTILITY DETAILS
Site Plan Prepared For:	Al Lupton II
	3459 Lakeview Lane Town of Canandaigua

STABILIZED CONSTRUCTION ENTRANCE DETAILS

NOT TO SCALE

SITE AND UT	LITT DETAILS
Al Lup	ton II
3459 Lakev	iew Lane
Town of Car	andaigua
County of Ontario	

File# 19263 Scale: AS NOTED T.m. # 98.13-1-18.110 Date: 01/09/2020 Sheet:

**–** 5120 Laura Lane **––** 

**—** Canandaigua New York, 14424

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#### LEGEND

### PROPERTY BOUNDARY

Utility lines

♣ Iron pin or pipe found △ P.K. nail found

P.K. nail set 🔉 Iron pin set Drill hole Benchmark -≎- Utility pole

SHRUB / PERENNIAL

GROUNDCOVER

PAVER WALKWAY, MATERIAL AS SELECTED BY OWNER

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AWN,	SEE NO	)TE 11	

PLANT SCHEDULE

LT Liriodendron tulipifera

#### **DECIDUOUS TREES** KEY BOTANICAL NAME COMMON NAME AA Am elachier x arborea 'Autum n Brilliance' Autumn Brilliance Serviceberry 15-25' 15-25' B&B, multistem 15-30' 15-30' B&B, multistem 7' Ht CK Cornus kousa Kousa Dogwood 50-75' 50-75' 8' Ht. QR Quesrcus rubra Red Oak B&B

60-90'

30-50'

B&B

8' Ht.

NOTES

DECIDUOUS SHRUBS					
KEY	BOTANICAL NAME	COMMONNAME	MATURE HT.	MATURE SPRD.	COND.
CR	Cornus racemosa 'Huron'	Huron Grey dogwood	4-5'	4-5'	No 5 Cont.
CS	Cornus sericea 'Isanti'	Redtwig Dogwood	4-5'	4-5'	No 5 Cont.
FG	Fothergilla gardenia	Dwarf Fothergilla	2-3'	2-4'	No 3 Cont.
HP	Hydrangea paniculata 'lim elight'	Limelight Hydrangea	6-8'	6-8'	No 7 Cont / B&B
HQ	Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	5-8'	5-8'	No 7 Cont / B&B
RA	Rhus aromatica 'grow low'	Grow Low Sumac	1.5-2'	4-5'	No 2 Cont.
RP	Rosa 'Radrazz' Knock Out	Knock out Shrub Rose	3-4'	3-4'	No 2 Cont.
SJ	Spiraea japonica 'Double Play Blue Kazoo'	Double Play Series Spiraea	2-3'	2-3'	No 2 Cont.
SP	Syringa patula 'Miss Kim'	Dwarf Lilac	3-5'	3-5'	No 3 Cont.
VP	Viburnum plic. ∨ar. tomen. 'Summer Snowflake'	Summer Snowflake Doublefile Viburnum	5-8'	8-10'	B&B

PERENNIALS AND ORNAMENTAL GRASSES KEY BOTANICAL NAME COMMON NAME MATURE HT. MATURE SPRD. COND. GR Geranium x 'Rozanne TC Tiarella cordifolia Foamflower 12-18" No 2 Cont. PV Panicum virgatum 'Shenendoah Switch Grass No 2 Cont.

# AREAS SHALL RECEIVE 4" TOPSOIL AND SEED SCHEDULE PROTECTION PROTECT EXISTING TREE TO REMAIN PROPOSED, FFE=697.50 CANANDAIGUA LAKE AREAS SHALL RECEIVE 4" TOPSOIL AND SEED SCHEDULE (SEE NOTE 11), TYP. ∠MEAN HIGH WATER LINE PROPOSED GFE=699.00 AREAS SHALL RECEIVE 4" TOPSOIL

#### **GENERAL NOTES**

NOTE: PLANTING PLAN SHALL BE REVIEWED PRIOR TO

OF CONSTRUCTION.

CONSTRUCTION TO CONFIRM PLANT AVAILABILITY AT TIME

- 1. EXISTING CONDITIONS INFORMATION IS TAKEN FROM THE PROPERTY SURVEY PREPARED BY VENEZIA & ASSOCIATES, EXISTING CONDITIONS PLAT PREPARED FOR THE AL LUPTON II AT 3459 LAKEVIEW LANE, TOWN OF CANANDAIGUA DATED NOVEMBER 19, 2019.
- 2. CONTOURS DERIVED FROM NAVD88 DATUM
- 3. SURVEY REFERENCE GPS

RANGE OF 5.0 TO 7.0.

#### **PLANTING NOTES**

- 1. CONTRACTOR SHALL VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- 2. ALL PLANTING BEDS SHALL BE PREPARED TO A DEPTH OF 18" AS
- 2.1. 12" DEPTH SHALL BE A PLANTING MEDIUM CONSISTING OF A MIX OF THREE PARTS EXISTING TOPSOIL AND ONE PART APPROVED ORGANIC COMPOST. THE PLANTING SOIL MIX SHALL HAVE A PH
- 2.2. THE SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 6" BENEATH PLANTING MEDIUM PLANT TREES, SHRUBS, AND OTHER PLANTS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING
- 3. TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE
- 4. NO PHOSPHORUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- 5. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.
- 6. CONTRACTOR SHALL LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND PLANTING AREAS . PLANT LOCATIONS MAY BE MODIFIED BASED ON ACTUAL SITE CONDITIONS AT THE TIME OF CONSTRUCTION AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE EXCAVATING OR PLANTING. CONTRACTOR SHALL ADJUST THE PLANT LOCATIONS IF DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE.
- 7. ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
- 8. ALL PLANTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- 9. PROTECT PLANTS FROM DAMAGE DUE TO TRANSPORTATION, LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- 10. ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
- 11. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM
- THE DATE OF ACCEPTANCE BY THE OWNER. 12. ALL EXISTING LAWN AREAS DISTURBED BY THIS CONSTRUCTION PROJECT SHALL RECEIVE 4" TOPSOIL MINIMUM AND SHALL BE FINE

GRADED AND SEEDED WITH PREFERRED SEED'S "TRIO SUPREME MIX"

13. SEEDING TO BE DONE AT COMPLETION OF SITE GRADING. SEEDING

OR APPROVED EQUAL AT A MINIMUM RATE OF 5 LBS / 1000 SF.

HEALTHY GRASS THAT IS FREE OF WEEDS.

## Sue Steele Landscape Architecture

9 Summit Street, Fairport, New York 14450 (585) 747-9996

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Project Name and Address

## Lupton Residence

3459 Lakeview Lane Town of Canandaigua, New York

**FEBRUARY** 6, 2020

3/17/20 ENG. COMMENTS 5/7/20 DESIGN REVISIONS

Drawing Title

MUNICIPAL **REVIEW PLANS** LANDSCAPE PLAN

Date

LANDSCAPE PLAN