

Lupton 3459 Adjustments

In an effort to reduce cost and soften the view of the house from the lake, several changes were quickly implemented over the past week:

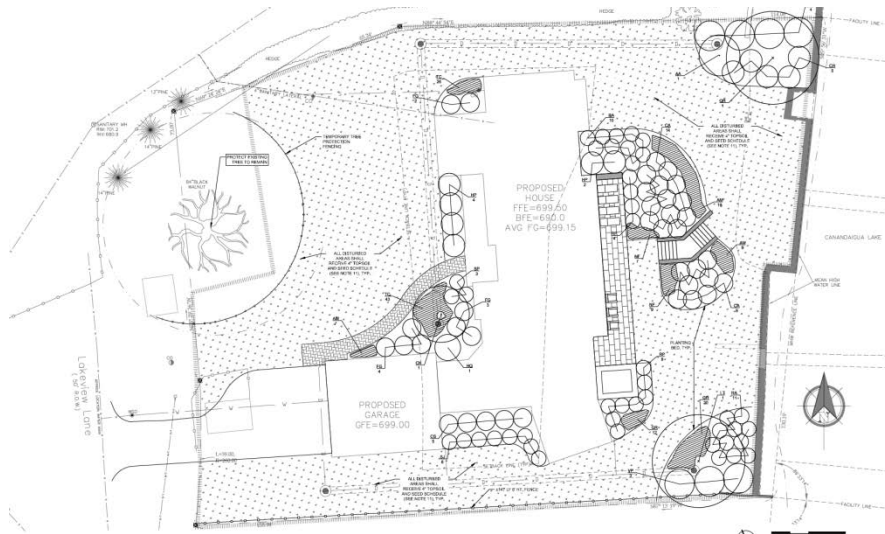
- Reduced the basement from 8.5 feet to a 4 foot crawl space. Eliminated walk out, door/windows at walk out, eliminated extensive hardscape, softened the grade to the lake, reduced the stone veneer on the outside - lower northeast corner of the house, reduced excavation and concrete work while improving the condition of the basement relative to the flood plain.
- Reduced Laundry room and attic above by 120 sq ft.
- Removed the 22.5 degree angle from the porch and reduced the porch by 100 sq ft. Allowing a simpler design on the porch which generated significant savings.

Why now?

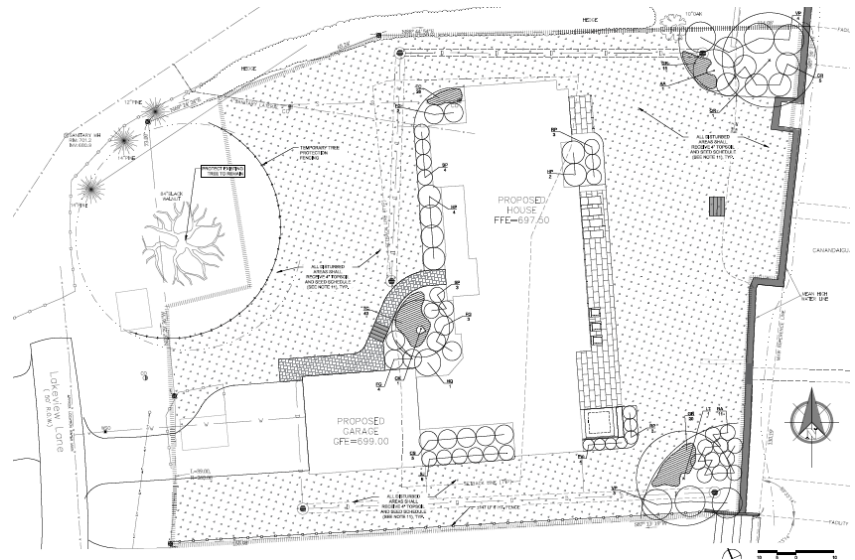
- We recently brought a General Contractor onto the project team. Brooke and I did not fully understand the cascade of cost impacts from early decisions we made around the creation of a full basement with storage and easy outside access. We needed to reduce the cost and we were uncomfortable with the lakeside access.

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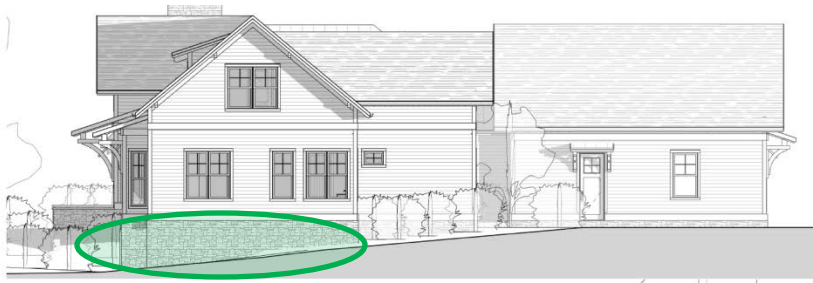
April 15 Landscape Plan



May 10 Landscape Plan

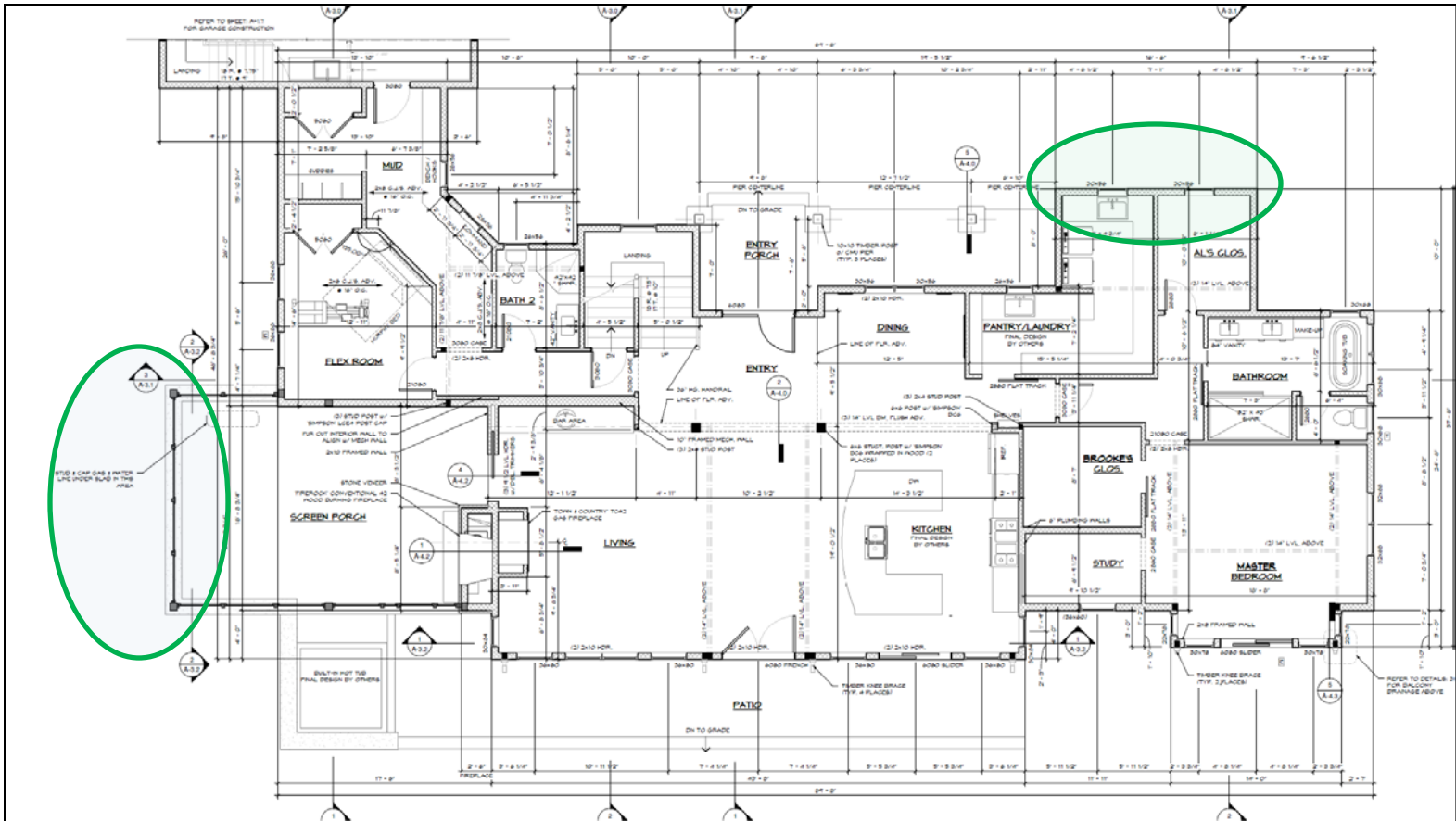


The basement was reduced to a crawl space, the home was lowered on the land by two feet. (699.5 to 697.5) The grade is more gradual throughout the site. Many steps and a great deal of hardscape were eliminated. As the hardscape is gone and no longer needs to be screened, the site is now a gradual lawn. The Shoreline View has been dramatically improved.



The basement was reduced to a crawl space, allowing us to better manage the grade and eliminate the need for many of the steps in the front lawn. It is an easier transition to the lake with less grade and less hardscape. As the hardscape is gone, it no longer needs to be screened. The view is softer in relation to the Shoreline Guideline. There are no other significant changes to the landscape.

May 10 Reduced Floor Plan



Beyond changing the basement to a crawl space, we also reduced the screened porch by 100 sq ft at the south end and reduced the size of the Laundry Room and Attic above by 60 sq ft on each level. There is no significant change in appearance from the outside.

Canandaigua Lake Shoreline Development Guidelines

Revised Narrative for Municipal Application 5/12/2020

Lupton Residence 3459 Lakeview Lane

The proposed improvements associated with the proposed site improvements at 3459 Lakeview Lane is aligned with the Canandaigua Lake Shoreline Development guidelines. The proposed development utilizes strategies such as building setback and vegetative buffer to minimize the visual impacts of shoreline development. The property has an existing concrete breakwall and two sets of steps along the shoreline. The wall modifications proposed as part of this project will include removal of the south set of steps along the wall. The proposed improvements will reconstruct the wall at the location of the steps to provide a continuous shoreline wall. The infill section of wall will match the existing break wall with material and height.

The proposed vegetative buffer includes new shade trees along the shoreline and an understory ornamental tree in the lakeside yard. The addition of new trees along the lakeside will replace a hazard tree which is to be removed and will soften the visual impacts of the new home construction. Additionally, foundation plantings will be included along the lakeside of the home, providing another layer of vegetation that will soften views from the lake. The proposed vegetation will be native and adaptive plant material appropriate for the region.